



CITY OF CORCORAN
Corcoran City Council Agenda
November 21, 2022 - 7:00 pm

HYBRID MEETING OPTION AVAILABLE
The public is invited to attend the regular Council meetings at City Hall.

Meeting Via Telephone/Other Electronic Means

Call-in Instructions:

+1 312 626 6799 US

Enter Meeting ID: 849 5542 4399

Press *9 to speak during the Public Comment

Sections in the meeting.

Video Link and Instructions:

<https://us02web.zoom.us/j/84955424399>

visit <http://www.zoom.us> and enter

Meeting ID: 849 5542 4399

Participants can utilize the Raise Hand function to be recognized to speak during the Public Comment sections in the meeting. Participant video feeds will be muted. **In-person comments will be received first, with the hybrid electronic means option following.**

For more information on options to provide

www.corcoranmn.gov

1. Call to Order / Roll Call
2. Pledge of Allegiance
3. Agenda Approval
4. Commission Representatives*
5. Open Forum – Public Comment Opportunity
6. Presentations/Recognitions
7. Consent Agenda
 - a. Financial Claims*
 - b. Vollrath Ag Building CUP*
 - c. Tavera 5th Final Plat and PUD*
 - d. Tort Liability Waiver
 - e. Designating Polling Place Locations for 2023*
 - f. Schedule Work Session – 2023 Fee Schedule*
8. Planning Business
 - a. Corcoran Farms Industrial Park Preliminary Plat*
 - b. Public Hearing – Vacations for D&U Easement – Walcott Glen*
 - c. Paulsen Development Rights Appeal*
 - d. O'Brien Concept Plan*
 - e. Continental Properties Concept Plan*
9. Unfinished Business – Public Comment Opportunity
 - a. City Calendar 2022 Review*
10. New Business – Public Comment Opportunity
 - a. Council Calendar 2023*
11. Staff Reports
 - a. Active Planning Applications*
12. 2022-23 City Council Schedule*
13. Adjournment

**Includes Materials - Materials relating to these agenda items can be found in the Council Chambers Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at www.corcoranmn.gov.*

STAFF REPORT

Agenda Item: 4.

Council Meeting: November 21, 2022	Prepared By: Michelle Friedrich
Topic: Commission Representatives	Action Required: None – Informational

Summary:

The advisory commission representatives for the November 21st Council meeting are as follows:

- Planning Commission: Jim Shoulak
- Parks and Trails Commission: Lisa Wyffels

Financial/Budget:

N/A

Council Action:

N/A

Attachments:

N/A

FINANCIAL CLAIMS

CHECK RANGE

FUND #500 ESCROW CLAIMS

Paid to	Amount	Project name
SEE THE REGISTER FOR #500 CLAIMS		

Total	\$0.00	
Total Fund #500 =		\$ -
(See attached Payments Detail)		

ALL OTHER FINANCIAL CLAIMS

Check Register		\$135,488.02
(See attached Check Detail Registers)		
Total Checks	\$	135,488.02
Total of Auto Deductions	\$	30,354.59
 TOTAL EXPENDITURES FOR APPROVAL	 \$	 165,842.61

Date	Paid to	Amount	Description
11/7/2022	RevTrak	\$ 45.06	Credit Card Fee
11/7/2022	State of MN - Empower	\$ 5,052.86	Employee Deferred Comp/Healthcare Savings
11/7/2022	Optum Bank	\$ 3,559.12	Employee HSA
11/7/2022	MN PERA	\$ 20,258.77	Employee Pension
11/8/2022	Invoice Cloud	\$ 970.66	Credit Card Fee
11/16/2022	MN DEPT OF REVEN	\$ 68.12	Fuel Taxes
11/16/2022	POSTALIA	\$ 400.00	Postage
Total		\$ 30,354.59	

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 32972							
100-41900-50401	11/08/22	ADAMS PEST CONTROL, INC.	PEST CONTROL	3562741	11/21/22	118.70	32972
			Total For Check 32972			118.70	
Check 32973							
100-41900-50300	11/04/22	ADP, LLC	PAYROLL PERIOD #22	618604734	11/21/22	322.28	32973
			Total For Check 32973			322.28	
Check 32974							
100-41410-50210	11/03/22	AMAZON CAPITAL SERVICES	GENERAL ELECTIONS 2022 SUPPLIES	1CK7-4F1P-G199	11/21/22	55.43	32974
100-41410-50210	11/06/22	AMAZON CAPITAL SERVICES	GENERAL ELECTIONS 2022 SUPPLIES	11FY-3XWL-GC13	11/21/22	43.97	32974
100-41410-50210	11/13/22	AMAZON CAPITAL SERVICES	3 RING BINDERS	1X9J-XTTG-67TK	11/21/22	15.51	32974
100-41900-50200	11/03/22	AMAZON CAPITAL SERVICES	LAPTOP STAND	147D-V6PP-M9Y3	11/21/22	27.99	32974
100-41920-50210	11/08/22	AMAZON CAPITAL SERVICES	LABEL PRINTER & OFFICE SUPPLIES	1TY7-LPYM-C4CP	11/21/22	744.14	32974
100-42100-50200	11/08/22	AMAZON CAPITAL SERVICES	LABEL PRINTER & OFFICE SUPPLIES	1TY7-LPYM-C4CP	11/21/22	208.95	32974
100-42100-50210	11/03/22	AMAZON CAPITAL SERVICES	DISPOSABLE GLOVES	1WFH-VKGR-4LKM	11/21/22	198.36	32974
100-42100-50210	11/06/22	AMAZON CAPITAL SERVICES	OFFICE SUPPLIES	1JL3-X49H-CVVL	11/21/22	394.95	32974
100-42100-50223	11/07/22	AMAZON CAPITAL SERVICES	GARAGE SUPPLIES	1L9X-F7KL-33ND	11/21/22	61.72	32974
			Total For Check 32974			1,751.02	
Check 32975							
100-43100-50223	11/01/22	BAN-KOE SYSTEMS INC	PUBLIC WORKS FIRE ALARM	202020	11/21/22	764.00	32975
			Total For Check 32975			764.00	
Check 32976							
100-41900-50212	10/24/22	BEAUDRY OIL COMPANY	UNLEADED 87	2168001	11/21/22	39.49	32976
100-42100-50212	10/24/22	BEAUDRY OIL COMPANY	UNLEADED 87	2168001	11/21/22	1,738.59	32976
100-43100-50212	10/24/22	BEAUDRY OIL COMPANY	UNLEADED 87	2168001	11/21/22	197.60	32976
			Total For Check 32976			1,975.68	
Check 32977							
100-42100-50220	11/08/22	BOYER TRUCKS	ROTORS/BRAKES	003P29371	11/21/22	177.44	32977
100-42100-50220	11/09/22	BOYER TRUCKS	POLICE VEHICLE BRAKE LINING	003P29503	11/21/22	111.14	32977
			Total For Check 32977			288.58	
Check 32978							
100-43121-50224	10/25/22	BROCK WHITE COMPANY LLC	TRANSMISSION OIL	15577703-00	11/21/22	907.10	32978
			Total For Check 32978			907.10	
Check 32979							
100-41900-50400	11/02/22	CINTAS - 470	CITY HALL MATS	4136217525	11/21/22	109.21	32979
100-42100-50400	11/09/22	CINTAS - 470	TOWELS	4136855570	11/21/22	13.19	32979
100-43100-50400	11/09/22	CINTAS - 470	TOWELS	4136855655	11/21/22	111.88	32979
100-43100-50400	11/09/22	CINTAS - 470	MICROFIBER WIPE	4136855604	11/21/22	15.10	32979
100-43100-50400	11/02/22	CINTAS - 470	TOWELS	4136217508	11/21/22	74.73	32979
100-43100-50417	11/09/22	CINTAS - 470	UNIFORMS	4136855721	11/21/22	162.62	32979
100-43100-50417	11/02/22	CINTAS - 470	UNIFORMS	4136217662	11/21/22	162.62	32979
			Total For Check 32979			649.35	
Check 32980							
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0038	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0038.1	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0038.2	11/21/22	16.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0038.3	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	DEVELOPMENT SIGN FEE	BP22-0010	11/21/22	165.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0004.7	11/21/22	97.50	32980

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 32980							
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0004.8	11/21/22	227.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0004.9	11/21/22	48.75	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0004.10	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0004.11	11/21/22	125.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005	11/21/22	378.75	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.1	11/21/22	455.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.2	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.28	11/21/22	32.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.3	11/21/22	195.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.4	11/21/22	195.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.5	11/21/22	113.75	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.6	11/21/22	32.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0005.7	11/21/22	32.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0029	11/21/22	81.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0029.1	11/21/22	16.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0029.2	11/21/22	32.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0029.3	11/21/22	81.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0029.4	11/21/22	32.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0029.5	11/21/22	16.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032	11/21/22	552.50	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032.1	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032.2	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032.3	11/21/22	65.00	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032.4	11/21/22	16.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032.5	11/21/22	16.25	32980
100-00000-22205	11/09/22	CITY OF CORCORAN	CITY PLANNER TIME	BP22-0032.6	11/21/22	16.25	32980
						3,496.25	
Total For Check 32980							
Check 32981							
100-41900-50321	11/05/22	COMCAST - 0023202	INTERNET	11052022	11/21/22	139.18	32981
100-42100-50321	11/05/22	COMCAST - 0023202	INTERNET	11052022	11/21/22	139.17	32981
						278.35	
Total For Check 32981							
Check 32982							
100-43100-50380	11/05/22	COMCAST 0044893	INTERNET	11052022	11/21/22	13.17	32982
						13.17	
Total For Check 32982							
Check 32983							
100-41920-50221	10/31/22	COMPUTER INTEGRATION TECH	TECH CARE	337802	11/21/22	4,812.00	32983
100-41920-50300	10/31/22	COMPUTER INTEGRATION TECH	FORTINET	337801	11/21/22	2,183.00	32983
100-41920-50300	10/31/22	COMPUTER INTEGRATION TECH	IT SUPPORT SERVICES	337830	11/21/22	2,310.00	32983
						9,305.00	
Total For Check 32983							
Check 32984							
100-42100-50210	11/30/22	CULLIGAN BOTTLED WATER	PD OFFICE WATER	100X07502607	11/21/22	82.20	32984
						82.20	
Total For Check 32984							
Check 32985							
100-42100-50300	11/04/22	DELETEME BY ABINE INC	PD TECH SERVICE	CORC-0001	11/21/22	156.82	32985
						156.82	
Total For Check 32985							
Check 32986							
100-41410-50210	11/03/22	ECM PUBLISHERS INC	ELECTION & SAMPLE BALLOT	918768	11/21/22	176.68	32986
100-41910-50350	09/22/22	ECM PUBLISHERS INC	OCT 6 PH ZONING ORD AMEND	912271	11/21/22	39.57	32986

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 32986							
100-41910-50350	09/22/22	ECM PUBLISHERS INC	OCT 6 PH THARP CUP	912270	11/21/22	39.57	32986
100-41910-50350	09/22/22	ECM PUBLISHERS INC	OCT 6 PH PRELIM PLAT HOPE CHURCH	912269	11/21/22	39.57	32986
100-41910-50350	09/22/22	ECM PUBLISHERS INC	OCT 6 PH JMMK LLC PRELIM	912268	11/21/22	43.54	32986
601-49400-50350	11/03/22	ECM PUBLISHERS INC	CORCORAN WATER TOWER BID	918769	11/21/22	135.60	32986
			Total For Check 32986			474.53	
Check 32987							
100-00000-21710	11/10/22	MATT GOTTSCHALK	DEPENDENT CARE REIMBURSEMENT	11142022	11/21/22	769.24	32987
			Total For Check 32987			769.24	
Check 32988							
100-45200-50221	11/02/22	GRAINGER	PARK LIGHTS	9499156629	11/21/22	728.50	32988
100-45200-50221	11/03/22	GRAINGER	PARKS BREAKER	9500474938	11/21/22	96.60	32988
			Total For Check 32988			825.10	
Check 32989							
416-42100-50210	11/08/22	GUARDIAN FLEET SAFETY	SET UP EXPEDITION #573	22-0818	11/21/22	8,597.46	32989
			Total For Check 32989			8,597.46	
Check 32990							
100-45200-50210	11/04/22	HASSAN SAND & GRAVEL	MULCH	162032	11/21/22	261.90	32990
			Total For Check 32990			261.90	
Check 32991							
100-00000-22205	08/26/22	HAUGO GEOTECHNICAL SERVICES	CO ROAD 10 & WALNUT	11641	11/21/22	2,818.00	32991
			Total For Check 32991			2,818.00	
Check 32992							
100-42100-50305	10/31/22	HENN CO SHERIFF	JAIL CHARGES	1000194532	11/21/22	118.02	32992
			Total For Check 32992			118.02	
Check 32993							
100-42100-50323	11/02/22	HENNEPIN COUNTY INFO TECH	PD RADIO LEASE OCTOBER 2022	1000194555	11/21/22	1,567.22	32993
100-43100-50323	11/02/22	HENNEPIN COUNTY INFO TECH	RADIO FLEET FEE 10/2022	1000194622	11/21/22	308.88	32993
			Total For Check 32993			1,876.10	
Check 32994							
100-41410-50210	11/01/22	INTAB LLC	GENERAL ELECTION 2022 SUPPLIES	193337A	11/21/22	46.84	32994
			Total For Check 32994			46.84	
Check 32995							
100-00000-22205	11/09/22	J Borowicz & M Borowicz	ESCROW REFUND	BP22-0038.4	11/21/22	788.75	32995
			Total For Check 32995			788.75	
Check 32996							
100-00000-22205	11/09/22	Jan Sease	ESCROW REFUND	BP22-0002	11/21/22	1,086.00	32996
			Total For Check 32996			1,086.00	
Check 32997							
100-00000-22205	10/18/22	LANDFORM PROFESSIONAL SERVIC	KWIK TRIP PRE-APP MEETING 22-009	33658	11/21/22	36.50	32997
100-00000-22205	11/16/22	LANDFORM PROFESSIONAL SERVIC	BP22-0040 19330 CO RD #30	33722	11/21/22	604.50	32997
100-00000-22205	11/07/22	LANDFORM PROFESSIONAL SERVIC	TOWER AP 22-066	33725	11/21/22	506.00	32997
100-00000-22205	11/07/22	LANDFORM PROFESSIONAL SERVIC	KEEFE MINOR SUBD 22-063	33727	11/21/22	73.00	32997
100-00000-22205	11/07/22	LANDFORM PROFESSIONAL SERVIC	O'BRIEN SKETCH PLAN 22-049	33732	11/21/22	146.00	32997
100-00000-22205	11/07/22	LANDFORM PROFESSIONAL SERVIC	CORCORAN FARMS BP RZ PUD 22-044	33733	11/21/22	1,971.00	32997

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 32997							
100-00000-22205	11/07/22	LANDFORM PROFESSIONAL SERVIC	PIONEER TRAIL INDUSTRIAL PARK RZ P	33735	11/21/22	556.50	32997
100-00000-22205-132	11/07/22	LANDFORM PROFESSIONAL SERVIC	WALCOTT GLEN FP/FPUD 22-036	33736	11/21/22	1,216.00	32997
100-41910-50300	10/18/22	LANDFORM PROFESSIONAL SERVIC	NE DISTRICT ZOA CITY FILE 22-060	33643	11/21/22	995.50	32997
			Total For Check 32997			<u>6,105.00</u>	
Check 32998							
100-41320-50207	09/08/22	LEAGUE OF MINNESOTA CITIES	2022 ICMA CONFERENCE - BEISE	367130	11/21/22	55.00	32998
			Total For Check 32998			<u>55.00</u>	
Check 32999							
100-43100-50210	11/04/22	MENARDS BUFFALO	SHOP SUPPLIES	72413	11/21/22	174.85	32999
408-48009-50530	11/04/22	MENARDS BUFFALO	TRAIL HAVEN PROJECT SUPPLIES	72411	11/21/22	159.92	32999
			Total For Check 32999			<u>334.77</u>	
Check 33000							
100-41920-50210	11/01/22	METRO SALES INC	COPIER BASE RATE	INV2155943	11/21/22	10.00	33000
			Total For Check 33000			<u>10.00</u>	
Check 33001							
602-49450-50312	11/03/22	METROPOLITAN COUNCIL ENVIRO	WASTE WATER SERVICES 12/2022	0001147759	11/21/22	11,642.72	33001
			Total For Check 33001			<u>11,642.72</u>	
Check 33002							
100-43100-50220	08/17/22	MILLER CHEVROLET	2011 GMC SIERRA TRANSMISSION WORK	CVCS685688	11/21/22	359.90	33002
100-43100-50220	08/19/22	MILLER CHEVROLET	2011 GMC SIERRA REPAIR	CVCS688561	11/21/22	430.10	33002
			Total For Check 33002			<u>790.00</u>	
Check 33003							
100-42100-50210	11/07/22	MOTOROLA SOLUTIONS INC	BODY CAMERA	8281504479	11/21/22	2,823.00	33003
416-42100-50580	11/07/22	MOTOROLA SOLUTIONS INC	BODY CAMERA	8281504479	11/21/22	1,500.00	33003
			Total For Check 33003			<u>4,323.00</u>	
Check 33004							
100-42100-50220	10/07/22	NAPA AUTO PARTS - Corcoran	LAMP	435787	11/21/22	2.99	33004
100-42100-50220	10/03/22	NAPA AUTO PARTS - Corcoran	VEHICLE CLEANER	434903	11/21/22	20.98	33004
100-43100-50220	10/28/22	NAPA AUTO PARTS - Corcoran	2011 FORD CROWN VICTORIA BRAKE PAD	439096	11/21/22	156.57	33004
			Total For Check 33004			<u>180.54</u>	
Check 33005							
100-41900-50300	11/08/22	NORTHLAND SECURITIES, INC.	FINANCIAL MANAGEMENT PLAN	7285	11/21/22	8,820.00	33005
			Total For Check 33005			<u>8,820.00</u>	
Check 33006							
100-41900-50200	10/26/22	ODP BUSINESS SOLUTIONS, LLC	SIGN	267485241001	11/21/22	14.99	33006
100-41900-50200	11/02/22	ODP BUSINESS SOLUTIONS, LLC	TAPE	276239437001	11/21/22	13.49	33006
100-41900-50200	11/02/22	ODP BUSINESS SOLUTIONS, LLC	SCISSORS, BATTERY, MAGNETS	276240062001	11/21/22	41.42	33006
100-41900-50200	11/02/22	ODP BUSINESS SOLUTIONS, LLC	CORRUGATED STORAGE BOXES	276240064001	11/21/22	83.74	33006
			Total For Check 33006			<u>153.64</u>	
Check 33007							
100-41920-50221	11/01/22	OPG-3 INC	SUBSCRIPTION	6136	11/21/22	4,100.00	33007
			Total For Check 33007			<u>4,100.00</u>	
Check 33008							
100-41900-50380	10/31/22	REPUBLIC SERVICES	CITY HALL GARBAGE 3-0894-3468541	0894-005981512	11/21/22	407.02	33008

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 33008							
100-43100-50380	10/31/22	REPUBLIC SERVICES	PUBLIC WORKS GARBAGE	0894-005982448	11/21/22	287.57	33008
100-43201-50300	10/31/22	REPUBLIC SERVICES	CITY HALL RECYCLING	0894-005978937	11/21/22	848.52	33008
100-45200-50380	10/31/22	REPUBLIC SERVICES	WILDFLOWER PARK GARBAGE 3-0894-347	0894-005983767	11/21/22	103.21	33008
100-45200-50380	10/31/22	REPUBLIC SERVICES	CITY PARK GARBAGE	0894-005981341	11/21/22	386.73	33008
			Total For Check 33008			<u>2,033.05</u>	
Check 33009							
100-00000-12200	11/15/22	REPUBLIC SERVICES	2022 DELINQUENT RECYCLING	2022SA	11/21/22	3,088.86	33009
100-00000-34400	11/15/22	REPUBLIC SERVICES	2022 DELINQUENT RECYCLING	2022SA	11/21/22	1,153.17	33009
			Total For Check 33009			<u>4,242.03</u>	
Check 33010							
100-43100-50210	10/31/22	ST MICHAEL SPINAL REHAB CENT	DOT PHYSICAL	112022	11/21/22	95.00	33010
			Total For Check 33010			<u>95.00</u>	
Check 33011							
100-00000-21707	11/01/22	TEAMSTER LOCAL 320	UNION DUES/TLDF	11012022	11/21/22	457.92	33011
			Total For Check 33011			<u>457.92</u>	
Check 33012							
100-00000-22206	11/10/22	TUR CONSTRUCTION	ESCROW REFUND	11102022	11/21/22	3,000.00	33012
			Total For Check 33012			<u>3,000.00</u>	
Check 33013							
100-41900-50401	11/01/22	ULTIMATE CLEANERS LLC	CITY HALL & PD CLEANING	22110100	11/21/22	840.00	33013
			Total For Check 33013			<u>840.00</u>	
Check 33014							
100-41900-50210	11/04/22	UNG, MAGGIE	OPEN ENROLLMENT	11042022	11/21/22	8.56	33014
			Total For Check 33014			<u>8.56</u>	
Check 33015							
100-41410-50210	11/08/22	CREDIT CARD PURCHASES	2022 GENERAL ELECTION SUPPLIES	1023360	11/21/22	11.98	33015
100-41410-50210	11/08/22	CREDIT CARD PURCHASES	2022 GENERAL ELECTION SUPPLIES	1011386	11/21/22	11.98	33015
100-41900-50210	11/03/22	CREDIT CARD PURCHASES	EMPLOYEE RECOGNITION EVENT	11032022	11/21/22	129.03	33015
100-42100-50200	10/10/22	CREDIT CARD PURCHASES	OFFICE SUPPLIES	101102022	11/21/22	27.98	33015
100-42100-50200	10/10/22	CREDIT CARD PURCHASES	OFFICE SUPPLIES	10.10.2022	11/21/22	12.89	33015
100-42100-50200	10/10/22	CREDIT CARD PURCHASES	OFFICE SUPPLIES	10/10/22	11/21/22	30.09	33015
100-42100-50207	11/07/22	CREDIT CARD PURCHASES	TRAINING - EDSTROM	2SQ2-L3CV-N19	11/21/22	418.95	33015
100-42100-50223	10/25/22	CREDIT CARD PURCHASES	STEEL BEAM	1932	11/21/22	10.70	33015
100-42100-50223	10/25/22	MENARDS BUFFALO	STEEL BEAM	89506	11/21/22	10.73	33015
100-42100-50223	10/24/22	MENARDS MAPLE GROVE	O-RINGS	58456	11/21/22	3.11	33015
100-42100-50300	11/09/22	FLEETIO	SHIFT SCHEDULING	570122	11/21/22	60.00	33015
			Total For Check 33015			<u>727.44</u>	
Check 33016							
100-43100-50220	11/07/22	WESTSIDE WHOLESALE TIRE	TIRE REPAIR	916546	11/21/22	30.00	33016
			Total For Check 33016			<u>30.00</u>	
Check 33017							
100-00000-22205-007	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	278.68	33017
100-00000-22205-056	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	316.26	33017
100-00000-22205-065	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	1,087.14	33017
100-00000-22205-087	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	337.89	33017
100-00000-22205-098	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	278.41	33017

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 33017							
100-41900-50381	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	1,682.20	33017
100-42151-50381	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	83.09	33017
100-43100-50381	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	197.81	33017
100-45200-50381	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	87.25	33017
601-49400-50380	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	95.68	33017
602-49450-50380	11/10/22	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35030043719	11/21/22	252.83	33017
Total For Check 33017						4,697.24	
Check 33018							
419-43100-50300	10/31/22	WSB	HACKAMORE RD FINAL DESIGN & CONSTR	R-020743-000-4	11/21/22	44,643.50	33018
Total For Check 33018						44,643.50	
Check 33019							
100-43100-50381	10/28/22	XCEL ENERGY	9820 CO RD 101 STREET LIGHT	802339132	11/21/22	47.45	33019
Total For Check 33019						47.45	
Check 33020							
100-43100-50381	11/02/22	XCEL ENERGY	STREET LIGHTS	802891685	11/21/22	30.67	33020
Total For Check 33020						30.67	
Check 33021							
100-43100-50381	11/03/22	XCEL ENERGY	STREET LIGHTS	803080623	11/21/22	164.08	33021
Total For Check 33021						164.08	
Check 5							
100-41900-50210	11/04/22	MENARDS MAPLE GROVE	DOOR SUPPLIES	7286	11/21/22	26.86	5
100-45200-50221	11/03/22	MENARDS MAPLE GROVE	BREAKER	7242	11/21/22	31.36	5
408-48009-50530	11/04/22	MENARDS MAPLE GROVE	SUPPLIES	7287	11/21/22	127.75	5
Total For Check 5						185.97	

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount Check
Fund Totals:						
			Fund 100 GENERAL FUND			68,332.56
			Fund 408 PAVEMENT MANAGEMENT			287.67
			Fund 416 CAPITAL-EQUIPMENT CERTS			10,097.46
			Fund 419 HACKAMORE UPGRADE (LENNAR)			44,643.50
			Fund 601 WATER			231.28
			Fund 602 SEWER			11,895.55
			Total For All Funds:			<u>135,488.02</u>

STAFF REPORT

Agenda Item 7b.

City Council Meeting: November 21, 2022	Prepared By: Natalie Davis McKeown
Topic: Vollrath Agricultural Building Conditional Use Permit (City File 22-038) (PID 20-119-23-22-0003)	Action Required: Approval

Review Deadline: November 28, 2022

1. Application Request

Trent Vollrath requests a Conditional Use Permit (CUP) to allow an agricultural building as a principal use at a property adjacent to the active farmstead at 22903 Strehler Road under the same ownership. Jerald Vollrath has an ownership interest in both PID 20-119-23-22-0003 (the subject property) and 22903 Strehler Road, and the applicant is Jerald's grandson.

2. Planning Commission Review

A public hearing was held at the November 3rd Planning Commission meeting. No public comments were made or submitted outside of the meeting. The Planning Commission unanimously recommended approval (5-0). The Commission briefly discussed landscaping and determined screening or landscaping seemed unnecessary for this request considering the agricultural context of the surrounding area and the large setback of the building from the road and property lines.

3. Context

Zoning and Land Use

The property is zoned Rural Residential (RR), and the Comprehensive Plan designates the property as Rural/Ag Residential. The property is not located within the Metropolitan Urban Service Area (MUSA). The property is used as agricultural land. There is one existing agricultural building on the property that pre-dates the Zoning Ordinance per



aerial views on Hennepin County's Property Map. The building does not have a CUP and does not meet the required setbacks but is protected as a legal nonconforming structure.

Surrounding Properties

The immediate surrounding properties are zoned RR, guided for Rural/Ag Residential, and located within the MUSA. The adjacent property to the northeast under the ownership of Jerald Vollrath includes a single-family home and numerous agricultural buildings. The other surrounding properties appear to be used for farming as well as single-family residences.



Natural Characteristics of The Site

The Comprehensive Plan Natural Resource Inventory (NRI) does not identify any natural plant communities on the subject property. The applicant is undergoing certification of a wetland report with the City. The submitted report indicates wetlands within the northwest and southeast portions of the site (see left). The proposed location of the accessory structure doesn't require grading within the identified wetland boundary. However, Hennepin County's Natural Resources Map (attached to this report) identifies floodplain throughout the site that will be impacted by the proposed location of the structure. This is discussed further in the Analysis section of this report and the attached Engineering Memo.

4. Analysis

Staff reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, and the Engineering Memo is attached.

A. Level of City Discretion in Decision-Making

The City's discretion in approving or denying a CUP is limited to whether the proposed plan is in substantial conformance with the standards outlined in the City Code. If it meets those standards, the City must approve the CUP.

B. Consistency with Ordinance Standards

Time of Construction

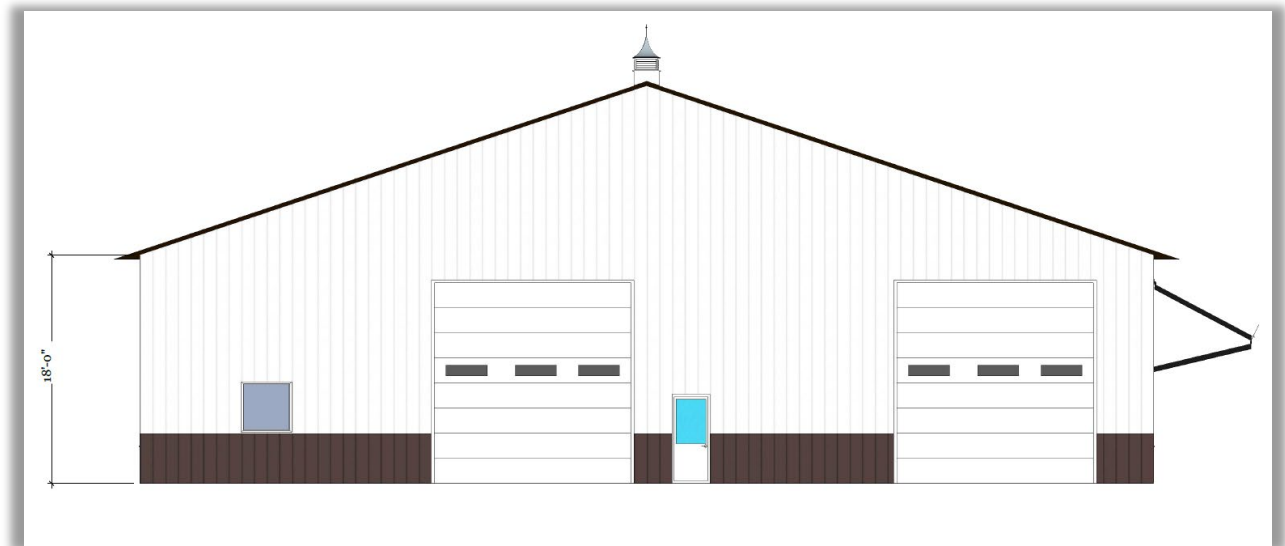
include the proposed structure, floodplain, wetlands, and any recorded easements.

3. The building materials standards required by this Section have been met.
4. The agricultural building is used for agricultural purposes only.

The submitted survey does not include floodplain but does include all other requirements. A condition of approval for the COC and CUP includes the revision of the survey to include the floodplain. Additionally, the applicant will be required to sign an affidavit confirming the building will only be used for agricultural purposes. With these conditions of approval, the standards for the COC are satisfied.

Building Height

The plans for the accessory structure reflect a sidewall height of 18' (as shown below). Typically, accessory structures in the front yard are not allowed to exceed a sidewall height limit of 10'. However, agricultural buildings can surpass this rule with a COC as long as the building does not exceed the building height limit of the underlying zoning district. The building height limit in the Rural Residential district is 35'. The tallest point of the roof is roughly 32'. Therefore, the plans satisfy the standard for the COC.



Buildings with a sidewall height of more than 12' require a minimum eave of 12" and minimum overhang of 24". The City Code does not specifically define eave or overhang, and often these terms are used interchangeably. Historically, staff interpreted eave to mean the underside, or soffit, of the roof along the side of the building. Overhangs are interpreted to mean the edge of the roof overhanging the front and rear elevations. The plans do not clearly dimension the eaves and overhangs, but the eaves and overhangs measure at 24" based on the provided scale in the building plans. This performance standard is satisfied.

Architectural Standards

The building plans do not clearly identify the proposed building materials. The applicant provided verbal confirmation that the building will have a metal roof with metal siding. These materials comply with the standards for accessory structures outlined in Section 1030.020, Subd. 6 and Section 1060.050, Subd. 1(D). Metal siding and roofing is allowed via a COC if the materials meet the standards in the MN State Building Code and are treated with a factory applied color coating system to protect against fading. The applicant's buildings plans show the metal will be coated with white and brown. The materials comply, but a condition of approval in the Resolution requires the plans to be updated to label the proposed building material.

The building includes 2 overhead garage doors, 1 window, and 1 door on the front façade. The left elevation includes 1 overhead garage door, 4 windows, and 1 door. The rear façade consists of 3 windows. The right façade includes 1 overhead garage door, 1 door, and 2 windows. The roofline includes 2 small cupolas to add rural-inspired architecture to the structure. The front façade of the structure may be visible from Strehler Road, but it will be setback 150' to soften the impact.

Landscaping

A landscape plan is not required with this application type. There do not appear to be any existing trees in the vicinity of the proposed building location (see image below). No screening is proposed. The Planning Commission did not recommend adding landscaping for screening to this project. They felt it was unnecessary due to the agricultural use of the surrounding neighborhood and the large setbacks from the road and interior lot lines.



Grading

The applicant submitted grading information within the submitted survey as part of the application. Per the wetland delineation report submitted for certification, the wetland boundary is much further west of the proposed building location than what is shown on the survey. Therefore, the wetlands are not anticipated to be impacted by the proposed grading. Regardless, the survey needs to be revised to show the certified wetland boundary. The proposed building location and grading appears to be within a floodplain per data from Hennepin County (see image below).



The Engineering Memo requires the following to address the proposed impact to the floodplain:

- The plans must be revised to identify the flood protection elevation to ensure the building is constructed above the elevation in accordance with regulatory standards.
- If fill is placed below the floodplain elevation, then compensatory storage (e.g., mitigation) should be provided onsite or the building should be placed in a location without any impacts on the floodplain.
- Watershed review and approval is required due to the proposed work in the floodplain.

This feedback is incorporated as conditions of approval in the Resolution.

Driveway

There is an existing driveway on the property that will be utilized to access the building. It is assumed that the driveway will be extended to reach the doors on three sides of the building. The Engineering Memo states that the plans must be revised to reflect where the driveway will be extended. This is included as a conditional of approval in the Resolution.

Conditional Use Permit

Specific CUP standards are provided for agricultural buildings as principal uses in Section 1030.020, Subd. 4(J). Additionally, Section 1070.020 provides general standards for CUPs. All of these standards were used in evaluating the CUP request.

Specific standards:

1. *The proposed use shall be in conformance with all City Regulations.*

Agricultural accessory buildings are a permitted use in the RR district. As discussed previously in this report, the proposed plans significantly comply with the accessory structure standards provided in Section 1030.020 of the Zoning Ordinance. The outstanding concerns can be addressed with conditions of approval that are included in the enclosed Resolution.

2. *A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites, and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.*

The applicant submitted materials to start the formal wetland delineation process on September 29, 2022. Finalization of the wetland delineation with the City is included as a condition of approval. If the City were to determine the wetland boundary is further east than shown in the submitted wetland report, then the applicant must ensure the grading and building stay out of the wetland and revise their plans as necessary. A certificate of survey was submitted, but it does not reflect the delineated wetland boundary per the applicant's wetland report nor the floodplain on the property. The Engineering Memo requires the applicant to revise the survey to show the delineated wetland boundary as well as the flood protection elevation to address the anticipated impact to the floodplain on the property.

3. *The building materials standards required by this Section have been met.*

As discussed earlier in this report, the proposed metal siding and metal roof are permitted building materials when approved via a COC.

4. *The applicant provides proof of ownership as required above.*

Hennepin County's Property Map reflects Jerald Vollrath's ownership of 22903 Strehler Road. On the same resource, Trent Vollrath is the listed owner of the subject property (PID 20-119-23-22-0003), but the applicant submitted paperwork reflecting Jerald Vollrath's continued ownership interest in the subject property. This documentation is attached to this report. Since this is a CUP and not an Interim Use Permit (IUP), a typical sunset clause cannot be added to address what happens when there is a change of ownership. In discussing this topic with the City Attorney, he advises a condition in the CUP that ties the approvals back to the use of the structure and/or property. Staff attempts to address this limitation with a condition of approval in the Resolution requiring the continued agricultural use of the subject property in tandem with the farmstead at 22903 Strehler Road.

5. *The agricultural building is used for agricultural purposes only.*

In speaking with the applicant, the building is expected to house farming equipment as well as livestock. The applicant will be required to sign an affidavit that the building will only be used for agricultural purposes as a condition of approval.

General standards:

- A. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The Future Land Use Map within the 2040 Comprehensive Plan designates this property as Rural/Ag Residential. This land use designation is defined by natural areas, planted fields, pastureland, hobby farms, and large residential lots. The proposed agricultural building is compatible with the anticipated uses within this area of the City as contemplated by the Comprehensive Plan. There are no believed conflicts to public facilities or capital improvement plans.

- B. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals, or comfort.*

The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the community. The building will be used to house equipment and livestock. The orderly containment of equipment and livestock will promote and enhance the general public welfare.

- C. *The conditional use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, not substantially diminish and impact property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of nearby properties, nor substantially impact property values within the neighborhood. Farming and necessary agricultural buildings exist on the two involved properties today and are an expected use within the district. The agricultural building will provide a containable space for the applicant to keep farming equipment and livestock, which will minimize any injurious impacts to the use and enjoyment of the properties within the immediate area. It is unlikely that the agricultural building will diminish property values in the neighborhood.

- D. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property uses permitted in the district.*

The establishment of the conditional use does not cause an impediment to development and improvement of surrounding properties for permitted uses within the RR.

- E. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Municipal sewer and water are not available to the site and are not required to accommodate the proposed use.

- F. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The conditional use, in all other respects, conforms to the applicable regulations within the RR District.

- G. *The conditional use and site conform to the performance standards as specified by this Chapter.*

The conditional use and site conform to the performance standards as specified by the Zoning Ordinance. Any outstanding concerns are addressed as conditions of approval in the Resolution.

4. Conclusion

Staff reviewed the plans with the applicable standards outlined in the Comprehensive Plan and Zoning Ordinance and finds that the standards for a CUP are satisfied. The proposed use is consistent with the type of use existing and anticipated within the RR. Any outstanding issues that must be addressed are included as a condition of approval in the attached Resolution.

5. Recommendation

The Planning Commission and staff recommend approval of Resolution 2022-141 approving the CUP for an agricultural accessory building as a principal use on the subject property.

Attachments:

1. Resolution 2022-141
2. Survey
3. Building Plans
4. Proof of Ownership
5. Delineated Features Exhibit from the Wetland Report
6. Hennepin County Natural Resources Map
7. Engineering Memo

RESOLUTION NO. 2022-141

Motion By:
Seconded By:

**APPROVAL OF A CONDITIONAL USE PERMIT FOR THE PROPERTY ADJACENT TO
22903 STREHLER ROAD (PID 20-119-23-22-0003) (CITY FILE NO. 22-038)**

WHEREAS, Trent Vollrath, the applicant, requests approval of a Conditional Use Permit to allow for construction of an agricultural accessory building as a principal use on the subject property legal described as follows:

SEE ATTACHMENT A

WHEREAS, the applicant also requests Certificates of Compliance for the following features:

- a. A total accumulated accessory structure footprint of 10,760 square feet.
- b. A sidewall height of 18 feet for an accessory structure built in the front yard.
- c. Use of metal roofing and metal siding as building materials.

WHEREAS, the Planning Commission reviewed the conditional use permit at a duly called public hearing; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request, subject to the following findings and conditions;

1. A Conditional Use Permit is approved to allow for the construction of an agricultural accessory structure as shown on the building plans received July 13, 2022, the survey received on August 24, 2022, and as otherwise amended in this Resolution.
2. The applicant must comply with the Engineering Memo dated October 24, 2022.
3. A Certificate of Compliance to allow an accessory structure footprint of 10,760 square feet is approved as part of the Conditional Use Permit subject to the following conditions:
 - a. The certificate of survey must be revised to reflect the certified wetland boundary after completion of the wetland delineation application with the City.
 - b. The applicant must sign an affidavit testifying the building will be used for agricultural purposes only.
4. A Certificate of Compliance to allow an accessory structure sidewall height of 18 feet in the front yard is approved as part of the Conditional Use Permit. The total building height cannot exceed 35 feet.
5. A Certificate of Compliance to allow metal siding and a metal roof on this accessory building is approved as part of the Conditional Use Permit. The building materials must comply with Section 1060.050, Subd. 1(D)(3) of the Zoning Ordinance.

RESOLUTION NO. 2022-141

6. A Conditional Use Permit to allow an agricultural accessory building as a principal use is approved, subject to the following findings outlined as specific criteria in Section 1030.020, Subd. 4(J):
 - a. The proposed accessory structure is in conformance with all City Regulations. Accessory structures and agriculture are permitted uses in the Rural Residential District, and the proposed plans significantly comply with standards for accessory structures as outlined in Section 1030.020 of the Zoning Ordinance.
 - b. The applicant submitted a certificate of survey and wetland delineation application that provide most of the necessary information to evaluate his request. A condition of approval is included in this Resolution to require a revised survey that incorporates the newly delineated wetland boundary and the floodplain in order to satisfy this standard.
 - c. The building materials meet the standards required in Section 1070.020 with the approval of a Certificate of Compliance.
 - d. The applicant provided proof of ownership reflecting an ownership interest in the subject property as well as the adjacent farmstead at 22903 Strehler Road.
 - e. The agricultural building will be used for agricultural purposes only. The applicant is required to sign an affidavit that testifies the building will only be used for agricultural purposes.

7. A Conditional Use Permit to allow an agricultural accessory building as a principal use is approved, subject to the following findings outlined as general criteria in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance:
 - a. The proposed use complies with the Comprehensive Plan. The structure is consistent with the Rural/Ag Residential land use designation and maintains the desired rural character of the area.
 - b. The establishment of the conditional use will promote and enhance the general public welfare. Granting the Conditional Use Permit for the new structure will allow for the orderly containment of the applicant's farm equipment and livestock.
 - c. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity. The structure meets or exceeds a large setback of 100' from all property lines to soften the impact of the structure to surrounding properties. Containment of farming equipment and livestock is necessary to the enjoyment of surrounding properties, and the accessory structure is unlikely to lead to an injurious impact or diminish property values.
 - d. The establishment of the conditional use will not impede the normal and orderly development of surrounding property uses permitted in the district.
 - e. Municipal sewer and water are not available to the site and are not required to accommodate the proposed use.

RESOLUTION NO. 2022-141

- f. The conditional use conforms to the applicable regulations of the Rural Residential district.
 - g. Conditions in this resolution will ensure the conditional use and site conform to the accessory structure ordinance. Staff found that the building conforms to all other performance standards specified in the Zoning Ordinance and City Code as required by Section 1070.020.
8. The accessory structure cannot be used for personal storage or commercial purposes other than agriculture.
9. The building must be constructed above the flood protection elevation in accordance with regulatory standards.
 - a. If fill is placed below the floodplain elevation, compensatory storage must be provided onsite, or the building must be placed in a location without any impacts to the floodplain.
10. The subject property must continue to be used for agriculture in tandem with the farmstead at 22903 Strehler Road.
11. FURTHER, the following conditions must be met prior to commencing construction of the building and release of the escrow account on file with the City:
 - a. A revised survey must be submitted that addresses the following:
 - i. The final wetland boundary as approved by BWSR.
 - ii. Floodplain must be indicated on the survey.
 - iii. Identification of the flood protection elevation.
 - iv. The intended driveway expansion to serve the proposed overhead doors of the building.
 - b. Revised building plans must be submitted that reflect the proposed building materials.
 - c. The applicant must sign an affidavit testifying that the building will only be used for agricultural purposes.
 - d. The formal wetland delineation process must be complete.
 - i. If the location of the certified wetland boundary differs from the submitted site plans, the site plan and grading plan must be modified to ensure grading remains outside of the wetland.
 - e. Work completed within the floodplain as reflected on the proposed plans must be reviewed and approved by the Watershed Management Organization.
 - f. The applicant/landowner must record the approving resolution at Hennepin County and provide proof of recording to the City.

RESOLUTION NO. 2022-141

12. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and the required improvements. The applicant can apply for an additional time extension of up to one year as allowed by Section 1070.020, Subd.7(A) of the Zoning Ordinance.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Jessica Beise – Administrative Services Director

City Seal

RESOLUTION NO. 2022-141

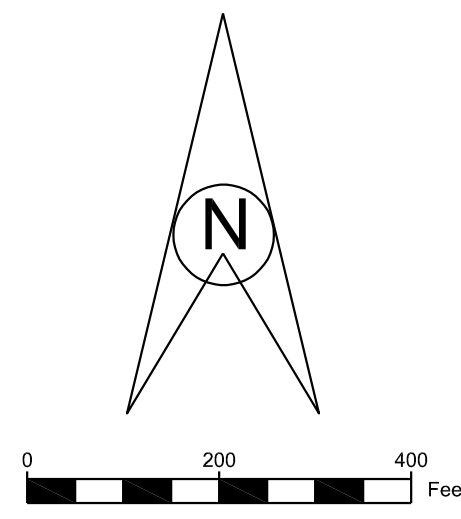
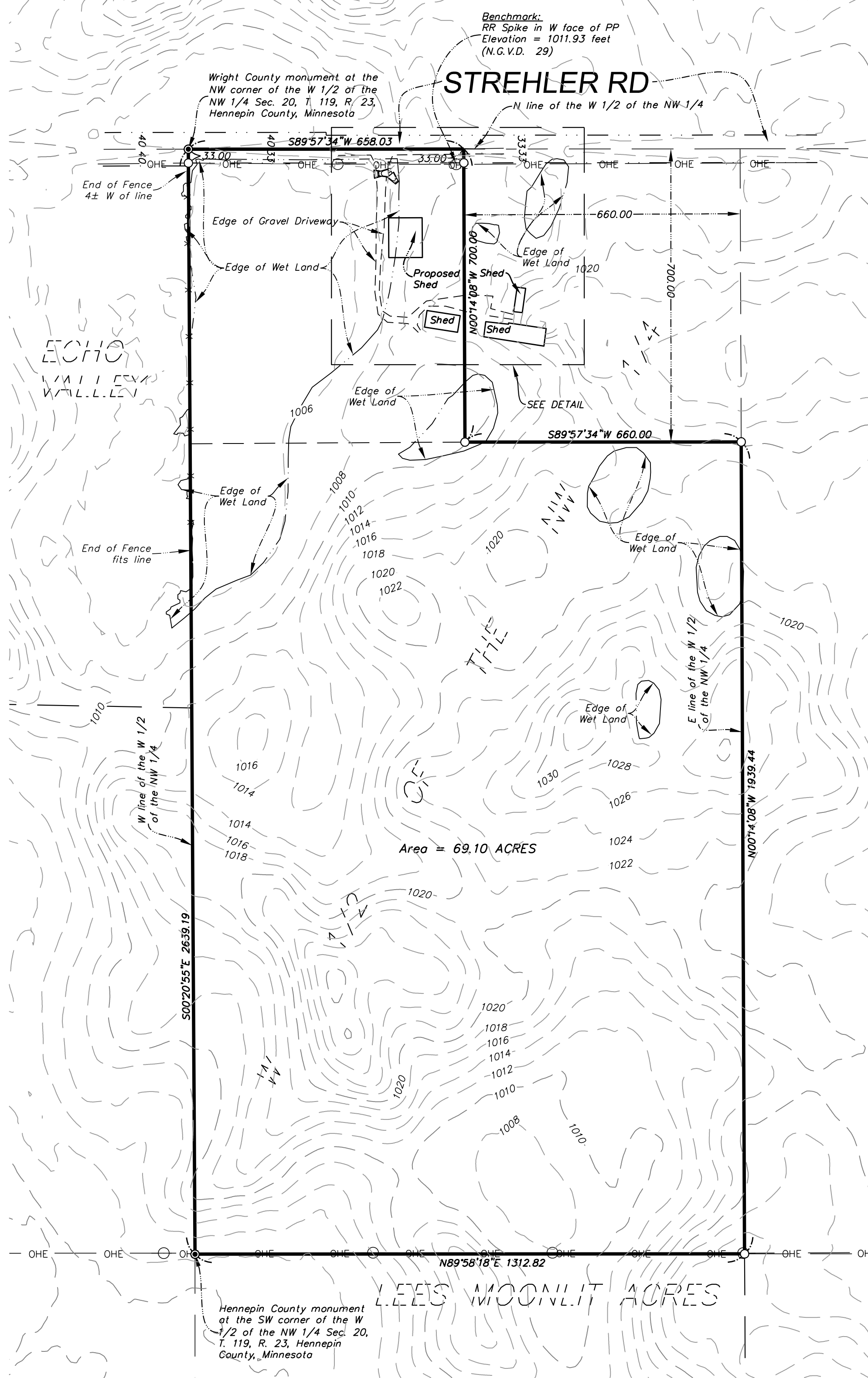
Attachment A

That part of the West Half of the Northwest Quarter of Section 20, Township 119, Range 23, Hennepin County, Minnesota, lying South of the North 700.00 feet thereof.

AND

That part of the North 700.00 feet of the West Half of the Northwest Quarter of said Section 20, lying West of the East 660.00 feet thereof.

Certificate of Survey



- LEGEND**
- 988 — denotes Existing Contour
 - 988.00 X denotes Existing Spot Elevation
 - FF=989.36 denotes Finished Floor Elevation
 - denotes Soil Boring
 - denotes Power Pole
 - OHE — denotes Overhead Electric Line
 - X — denotes Fence Line
 - |— denotes Existing Culvert
 - 1010— denotes Proposed Contour
 - [1017.5] X denotes Proposed Spot Elevation
 - denotes Proposed Drainage

PROPERTY DESCRIPTION:

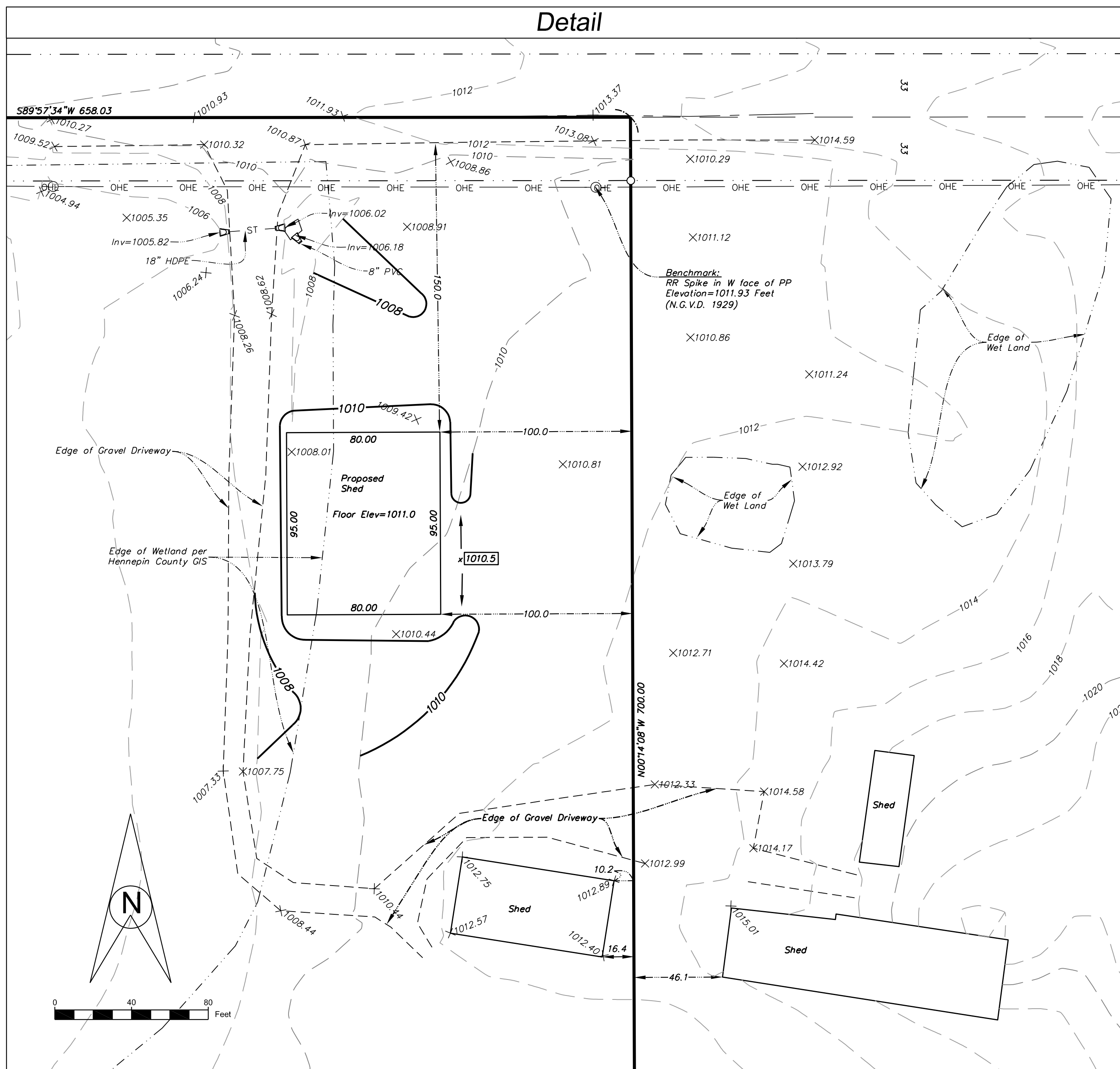
That part of the West Half of the Northwest Quarter of Section 20, Township 119, Range 23, Hennepin County, Minnesota, lying South of the North 700.00 feet thereof.

AND

That part of the North 700.00 feet of the West Half of the Northwest Quarter of said Section 20, lying West of the East 660.00 feet thereof.

Surveyor's Note:

- Topography shown from Hennepin County LIDAR data.
- Wet lands shown are probable per Hennepin County Natural Resource GIS data.



Certificate of Survey on part of the W 1/2 of the NW 1/4 of Sec. 20, T. 119, R. 23, Hennepin County, Minnesota

Revised: 8-23-22 - T.R.K. - SHED LOCATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License #40062 Date: 8-24-22

Requested By:

Jerald Vollrath

Date: 7-13-22

Drawn By: T.R.K.

Scale: 1"=200'

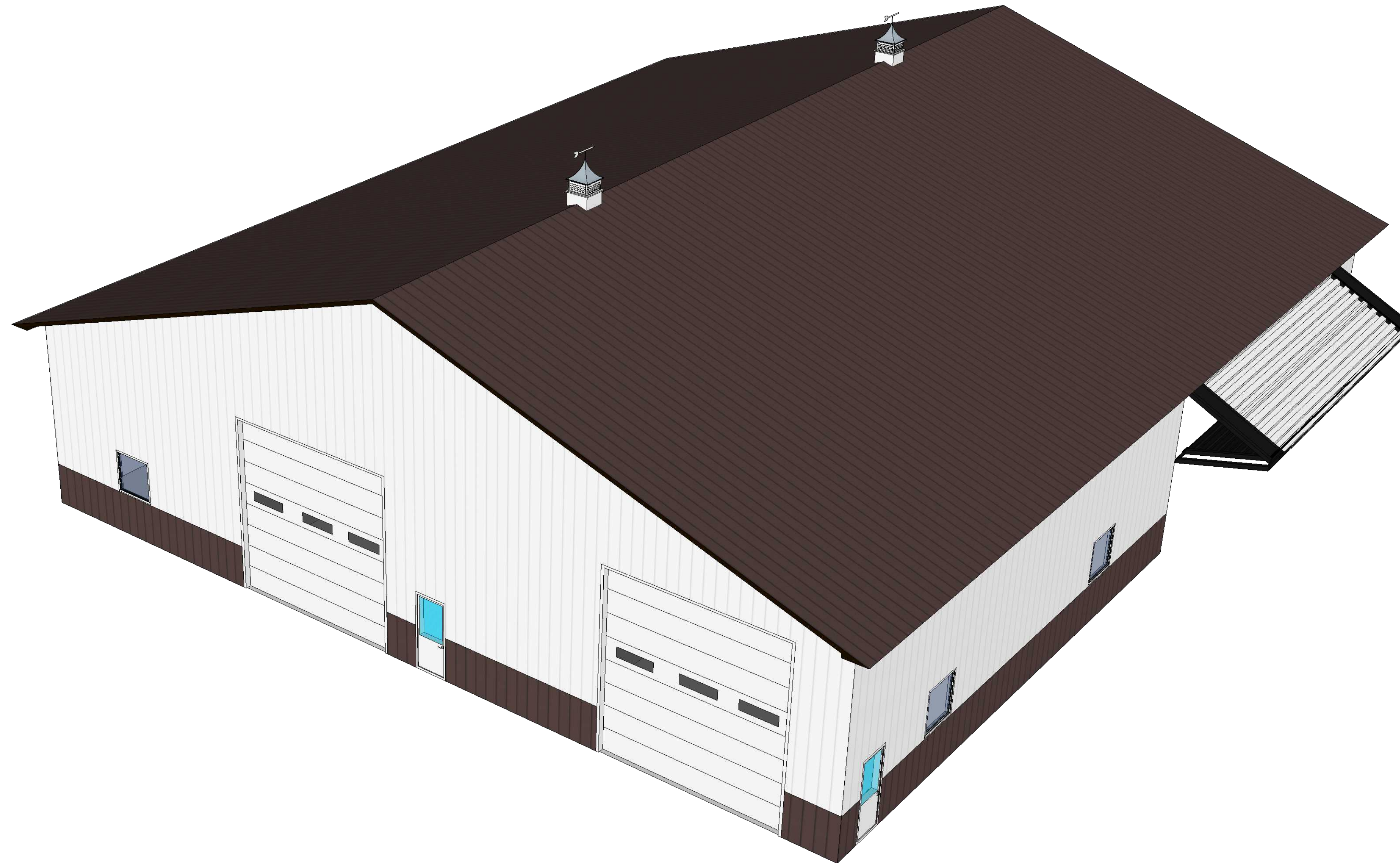
Checked By: P.E.O.



www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

● denotes iron monument found
○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Project No. 22-0307



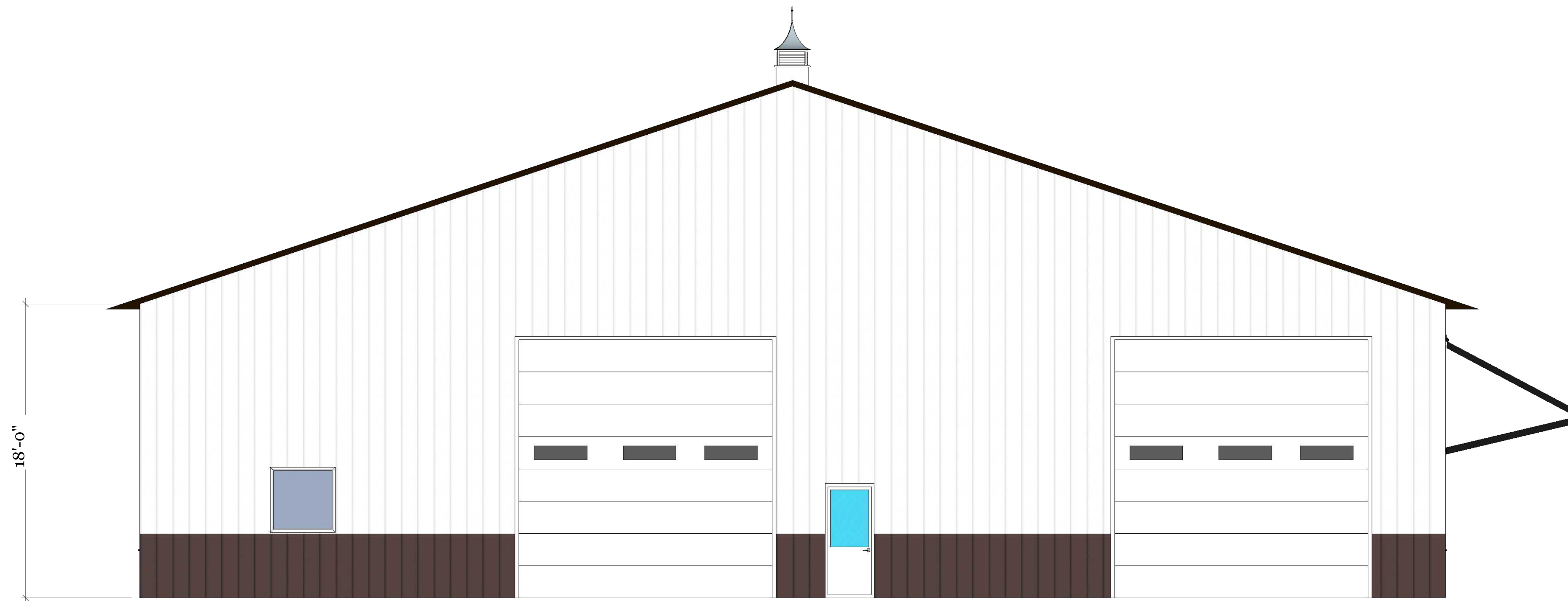
Company Name
Berg Companies
5145 Industrial Street Suite #1
Maple Plain, MN 55359

DRAWN BY
Nate Lysne

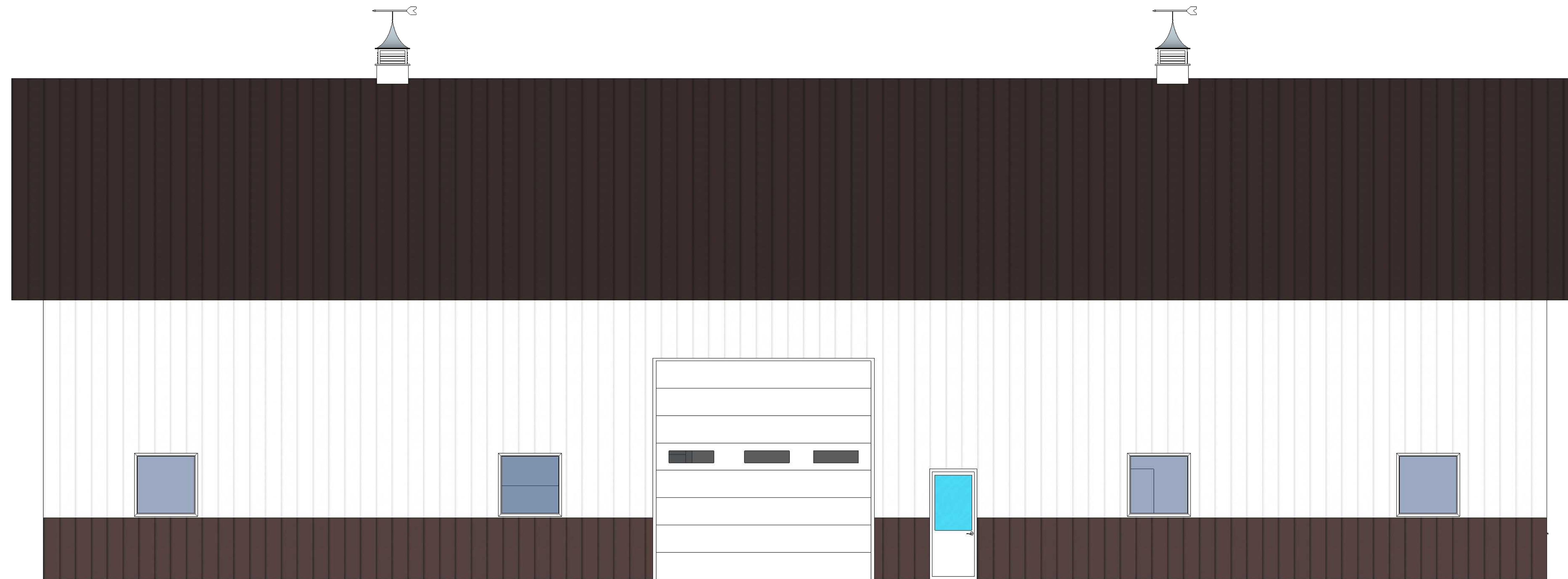
Ao.

Company Name
Berg Companies
5145 Industrial Street Suite #1
Maple Plain, MN 55359

DRAWN BY
Nate Lysne



Front Elevation - 1/4" = 1'-0"

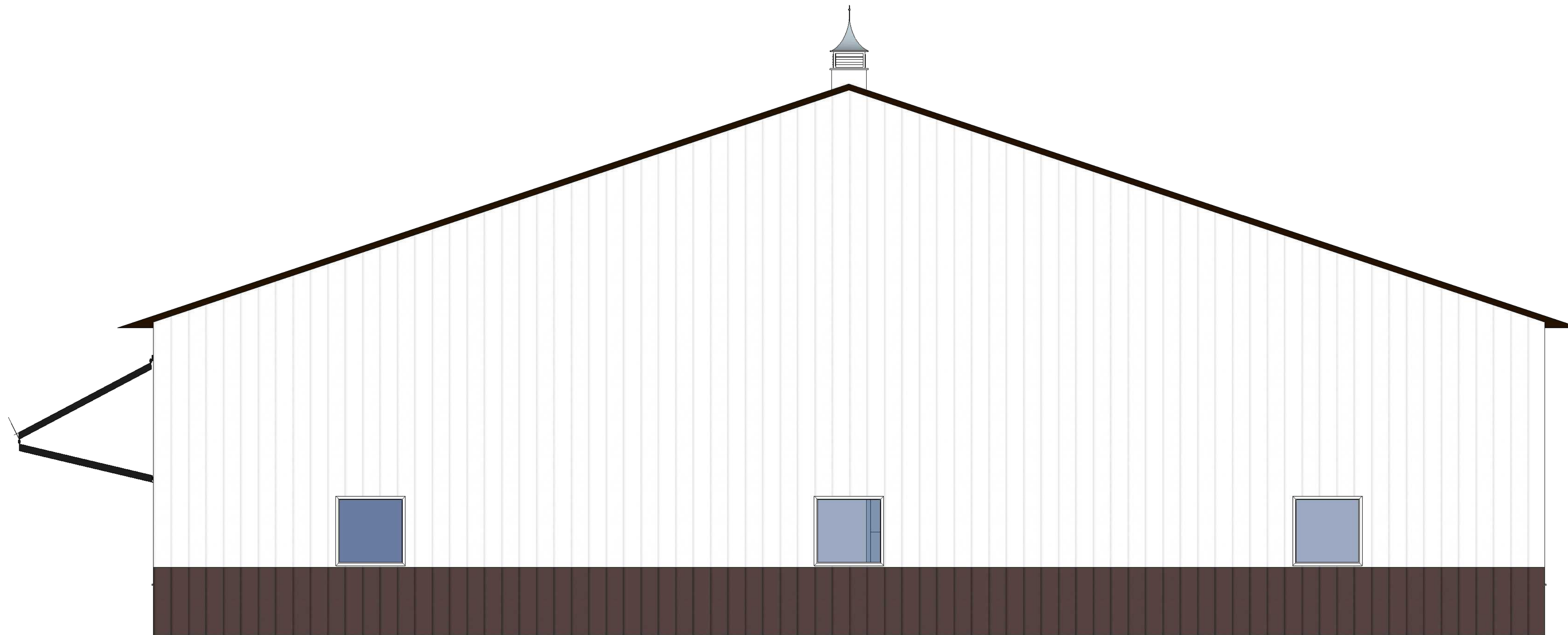


Company Name
Berg Companies
5145 Industrial Street Suite #1
Maple Plain, MN 55359

DRAWN BY
Nate Lysne

Left Elevation - 1/4" = 1'-0"

A0.2



Company Name
Berg Companies
5145 Industrial Street Suite #1
Maple Plain, MN 55359

DRAWN BY
Nate Lysne

Back Elevation - 1/4" = 1'-0"



Company Name
Berg Companies
5145 Industrial Street Suite #1
Maple Plain, MN 55359

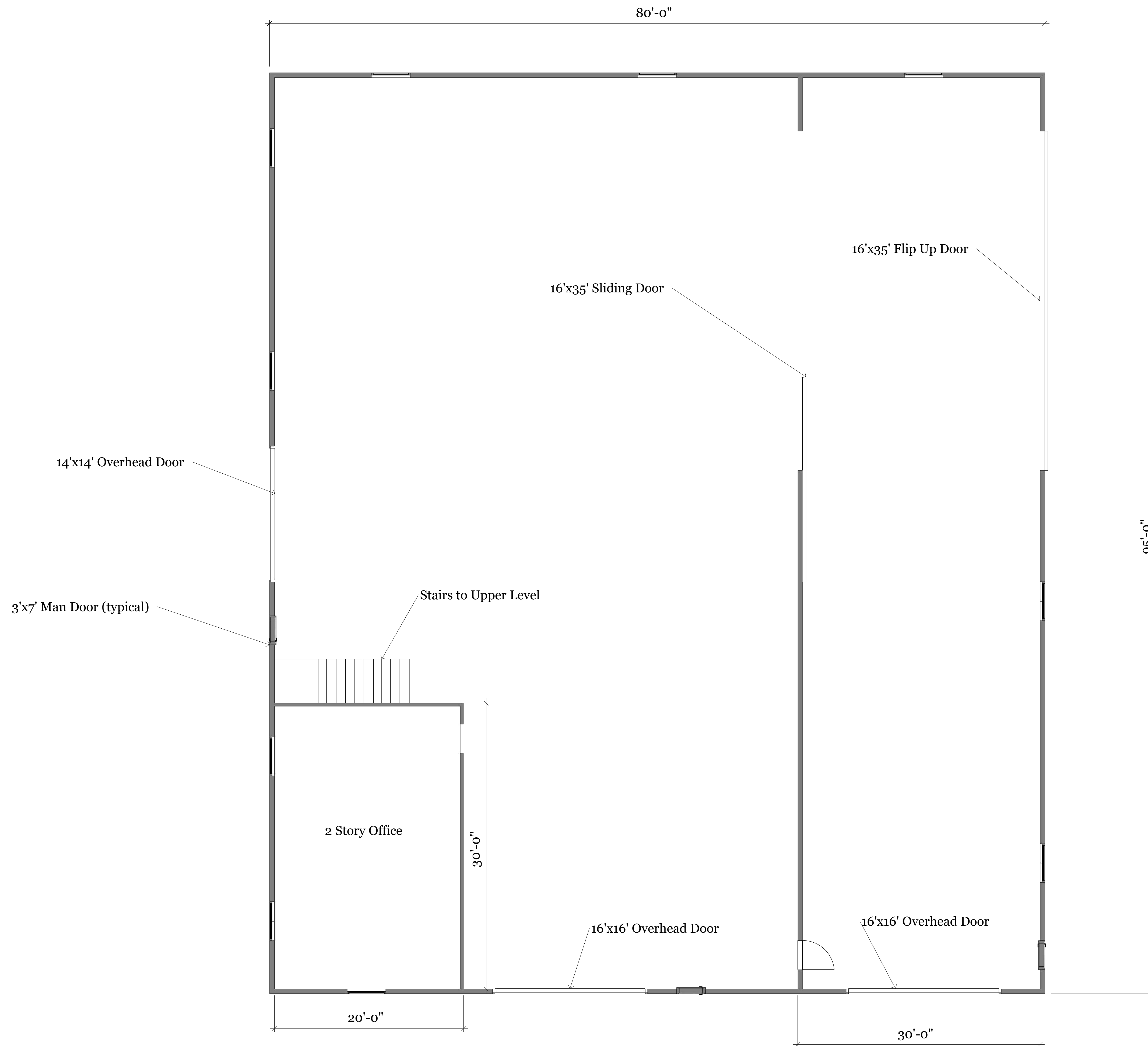
DRAWN BY
Nate Lysne

Right Elevation - 1/4" = 1'-0"



Company Name
Berg Companies
5145 Industrial Street Suite #1
Maple Plain, MN 55359

DRAWN BY
Nate Lysne



Floor Plan - 3/16" = 1'-0"

A0.5

C.V. filed C.V. not req.



No delinquent taxes

Transfer Entered

Jul 2, 2021 4:08 PM

Hennepin County, Minnesota
Mark Chapin
County Auditor and Treasurer

LAND TYPE Torrens (T)

DOC NUM 5849771

Certified, filed and/or recorded on
Jul 2, 2021 4:08 PM

Office of the Registrar of Titles
Hennepin County, Minnesota
Amber Bougie acting, Registrar of Titles
Mark Chapin, County Auditor and Treasurer

Deputy 87

Pkg ID 2271165E

CRV# 1203268

Conservation Fee	\$5.00
Document Recording Fee	\$46.00
Environmental Response Fund (SDT .0001)	\$19.22
State Deed Tax (.0033 rate)	\$634.30
Document Total	\$704.52

PID(s)
20-119-23-22-0003

Existing Certs
1524821

New Certs
1524822

SCHEDULE A

Name and Address of Title Insurance Company: Stewart Title Guaranty Company
1700 West 82nd Street
Bloomington, MN 55431

Policy Number: O-0000369835508
File Number: HB-44772
Address Reference: XXXXX Strehler Rd
Corcoran, MN 55340
Amount of Insurance: \$ 192,213.00 Premium: \$ 643.25
Date of Policy: July 2, 2021 at 04:08 PM

1. Name of Insured:
Trent E. Vollrath
2. The estate or interest in the Land that is insured by this policy is:
Fee Simple
3. Title is vested in:
Trent E. Vollrath, an undivided 1/3 interest;
Darven V. Vollrath, an undivided 1/3 interest;
Jerald M. Vollrath, an undivided 1/3 interest
4. The Land referred to in this policy is described as follows:
The West 1/2 of Northwest Quarter of Section 20, Township 119, Range 23, except the East 660 feet of the North 700 feet thereof, Hennepin County, Minnesota.

Torrens Property.
Torrens Certificate No. 1524822

Custom Home Builders Title, LLC

By: 

Custom Home Builders Title, LLC

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AMERICAN
LAND TITLE
ASSOCIATION



(HB-44772.PFD\HB-44772\41)

PART ONE: Applicant Information

If applicant is an entity (company, government entity, partnership, etc.), an authorized contact person must be identified. If the applicant is using an agent (consultant, lawyer, or other third party) and has authorized them to act on their behalf, the agent's contact information must also be provided.

Applicant/Landowner Name: Trent Vollrath
Mailing Address: 8690 Bechtold Road, Rogers, MN 55341
Phone: 612-363-8781
E-mail Address: tvollrath73@gmail.com; kmvollra@rphouse.com

Authorized Contact (do not complete if same as above):
Mailing Address:
Phone:
E-mail Address:

Agent Name: Nick Omodt
Mailing Address: 2 Carlson Parkway, Suite 110, Plymouth, MN 55447
Phone: 612-699-0427
E-mail Address: nick.omodt@mooreengineeringinc.com

PART TWO: Site Location Information

County: Hennepin **City/Township:** Corcoran
Parcel ID and/or Address: 2011923220003
Legal Description (Section, Township, Range): sec 20 T119N R023W
Lat/Long (decimal degrees): 45.108802 N / -93.623816 W
Attach a map showing the location of the site in relation to local streets, roads, highways.
Approximate size of site (acres) or if a linear project, length (feet): 69 acres

If you know that your proposal will require an individual Permit from the U.S. Army Corps of Engineers, you must provide the names and addresses of all property owners adjacent to the project site. This information may be provided by attaching a list to your application or by using block 25 of the Application for Department of the Army permit which can be obtained at:

http://www.dmv.usace.army.mil/000001/37/docs/Regulatory/RegulatoryDocs/permform_305_2012oct.pdf

PART THREE: General Project/Site Information

If this application is related to a delineation approval, exemption determination, jurisdictional determination, or other correspondence submitted prior to this application then describe that here and provide the Corps of Engineers project number.

Describe the project that is being proposed, the project purpose and need, and schedule for implementation and completion. The project description must fully describe the nature and scope of the proposed activity including a description of all project elements that effect aquatic resources (wetland, lake, tributary, etc.) and must also include plans and cross section or profile drawings showing the location, character, and dimensions of all proposed activities and aquatic resource impacts.

Attachment A

Request for Delineation Review, Wetland Type Determination, or Jurisdictional Determination

By submission of the enclosed wetland delineation report, I am requesting that the U.S. Army Corps of Engineers, St. Paul District (Corps) and/or the Wetland Conservation Act Local Government Unit (LGU) provide me with the following (check all that apply):

Wetland Type Confirmation

Delineation Concurrence. Concurrence with a delineation is a written notification from the Corps and a decision from the LGU concurring, not concurring, or commenting on the boundaries of the aquatic resources delineated on the property. Delineation concurrences are generally valid for five years unless site conditions change. Under this request alone, the Corps will not address the jurisdictional status of the aquatic resources on the property, only the boundaries of the resources within the review area (including wetlands, tributaries, lakes, etc.).

Preliminary Jurisdictional Determination. A preliminary jurisdictional determination (PJD) is a non-binding written indication from the Corps that waters, including wetlands, identified on a parcel may be waters of the United States. For purposes of computation of impacts and compensatory mitigation requirements, a permit decision made on the basis of a PJD will treat all waters and wetlands in the review area as if they are jurisdictional waters of the U.S. PJDs are advisory in nature and may not be appealed.

Approved Jurisdictional Determination. An approved jurisdictional determination (AJD) is an official Corps determination that jurisdictional waters of the United States are either present or absent on the property. AJDs can generally be relied upon by the affected party for five years. An AJD may be appealed through the Corps administrative appeal process.

In order for the Corps and LGU to process your request, the wetland delineation must be prepared in accordance with the 1987 Corps of Engineers Wetland Delineation Manual, any approved Regional Supplements to the 1987 Manual, and the *Guidelines for Submitting Wetland Delineations in Minnesota* (2013).

<http://www.mwp.usace.army.mil/Missions/Regulatory/Delineation/IDGuidance.aspx>

PART FOUR: Aquatic Resource Impact¹ Summary

If your proposed project involves a direct or indirect impact to an aquatic resource (wetland, lake, tributary, etc.) identify each impact in the table below. Include all anticipated impacts, including those expected to be temporary. Attach an overhead view map, aerial photo, and/or drawing showing all of the aquatic resources in the project area and the location(s) of the proposed impacts. Label each aquatic resource on the map with a reference number or letter and identify the impacts in the following table.

Aquatic Resource ID (as noted on overhead view)	Aquatic Resource Type (wetland, lake, tributary etc.)	Type of Impact (fill, excavate, drain, or remove vegetation)	Duration of Impact Permanent (P) or Temporary (T) ²	Size of Impact ²	Overall Size of Aquatic Resource ³	Existing Plant Community Type(s) in Impact Area ⁴	County, Major Watershed #, and Bank Service Area # of Impact Area ⁵

¹If impacts are temporary, enter the duration of the impacts in days next to the "T". For example, a project with a temporary access fill that would be removed after 220 days would be entered "T (220)".

²Impacts less than 0.01 acre should be reported in square feet. Impacts 0.01 acre or greater should be reported as acres and rounded to the nearest 0.01 acre. Tributary impacts must be reported in linear feet of impact and an area of impact by indicating first the linear feet of impact along the flowline of the stream followed by the area impact in parentheses). For example, a project that impacts 50 feet of a stream that is 6 feet wide would be reported as 50 ft (300 square feet).

³This is generally only applicable if you are applying for a de minimis exemption under MN Rules 8420.0420 Subp. 8, otherwise enter "N/A".

⁴Use *Wetland Plants and Plant Community Types of Minnesota and Wisconsin* 3rd Ed. as modified in MN Rules 8420.0405 Subp. 2.

⁵Refer to Major Watershed and Bank Service Area maps in MN Rules 8420.0522 Subp. 7.

If any of the above identified impacts have already occurred, identify which impacts they are and the circumstances associated with each:

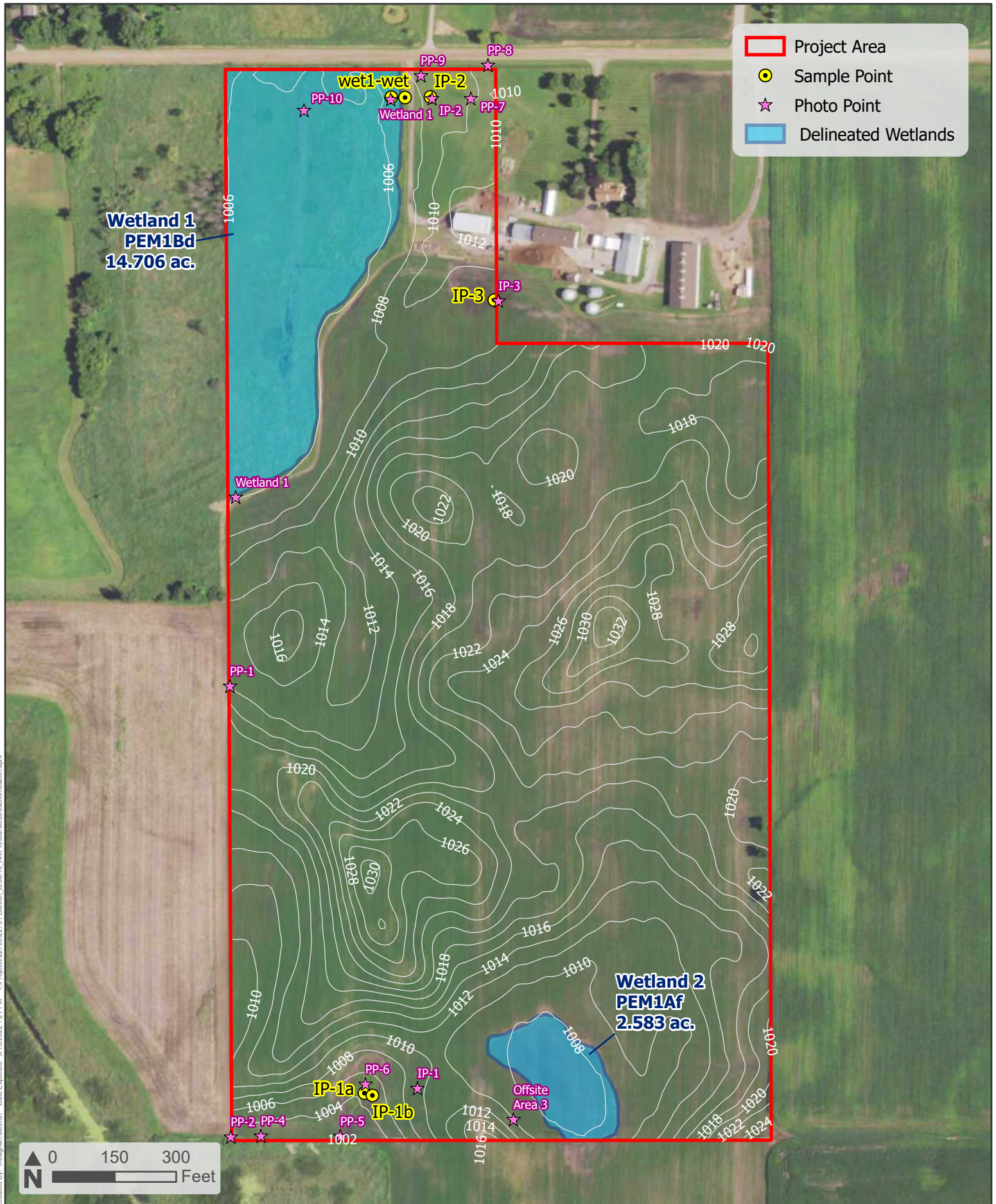
PART FIVE: Applicant Signature

Check here if you are requesting a pre-application consultation with the Corps and LGU based on the information you have provided. Regulatory entities will not initiate a formal application review if this box is checked.

By signature below, I attest that the information in this application is complete and accurate. I hereby authorize **MOORE ENGINEERING, INC** to act on my behalf as my agent in the processing of this application and to furnish, upon request, supplemental information in support of this application. I further attest that I possess the authority to undertake the work described herein.

Signature:  Date: 9/28/22

⁴The term "impact" as used in this joint application form is a generic term used for disclosure purposes to identify activities that may require approval from one or more regulatory agencies. For purposes of this form it is not meant to indicate whether or not those activities may require mitigation/replacement.



Delineated Features
Vollrath Aquatic Resources Delineation

Figure 6
Client: Bursch Brothers





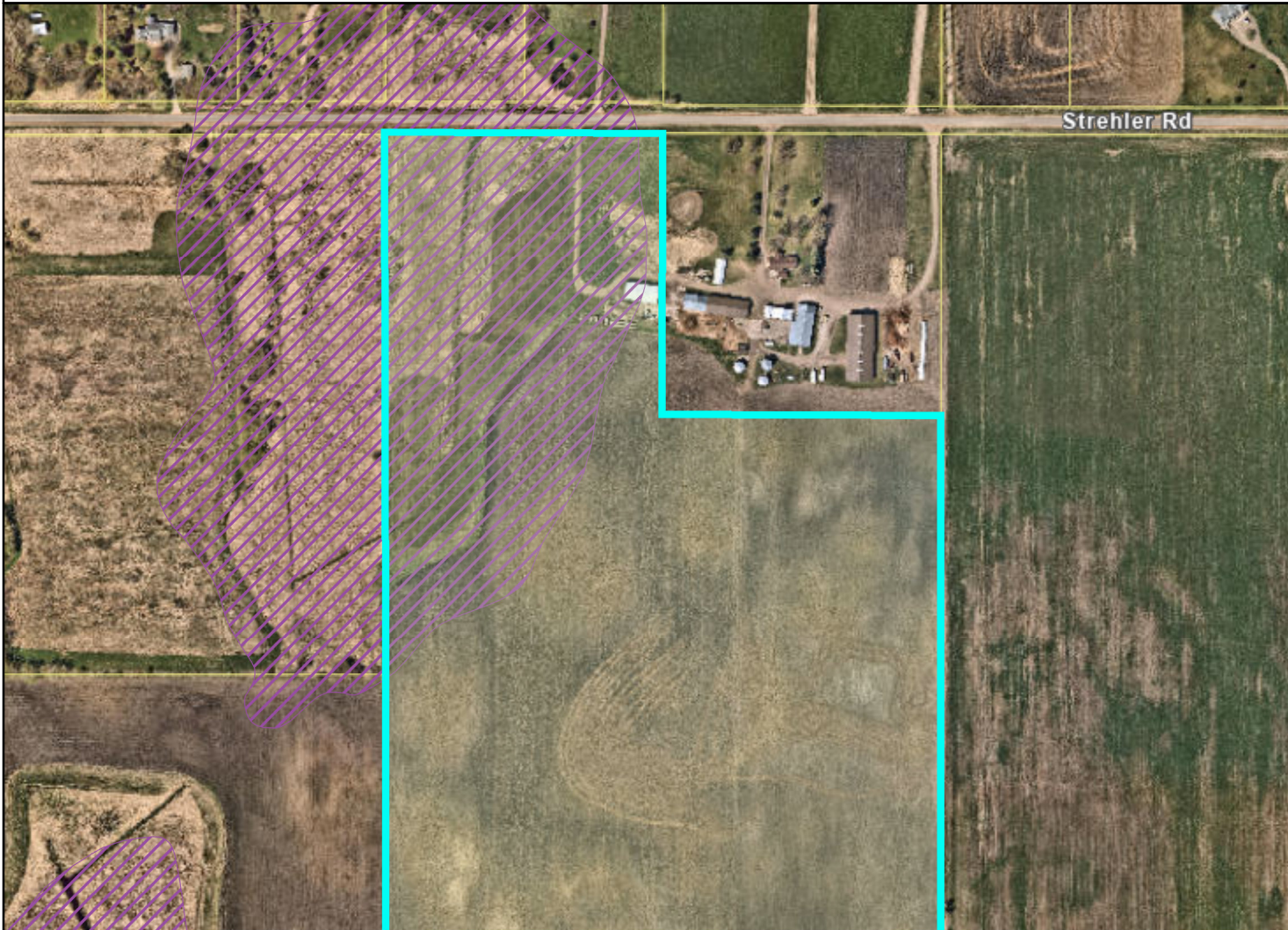
Hennepin County Natural Resources Map

Date: 10/27/2022

Legend

FEMA Floodplains - 100 Year

-  A
-  AE FLOODPLAIN
-  AH
-  AO
-  AE FLOODWAY



PID: 2011923220003
 Address: 52 Address Unassigned,
 Corcoran 00000
 Owner: Trent E Vollrath
 Acres: 68.6

Comments:

1 inch = 400 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran

From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Vollrath Ag Building

Date: 10/24/2022

Exhibits:

This Memorandum is based on a review of the following documents:

1. Certificate of Survey for Jerald Vollrath by Otto Associates Dated 7-13-22
2. Building plans by Berg Exteriors Company, no date

Comments:**General:**

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Corcoran.
3. No additional access is proposed with the site plan as the existing drive access from Strehler Road will be utilized.

October 24, 2022

Vollrath Ag Building

Kevin Mattson

Page 2 of 2

Site Improvements:

4. A wetland delineation has been completed for the site. The survey should be updated to show the final wetland boundaries as approved by BWSR instead of the Hennepin County GIS information.
5. The site plan shows the building and proposed grading. It is assumed that driveways will be constructed to the doors of the building. If so, these should be shown on the site plan at the time of the building permit.
6. The proposed building location is located within a FEMA zone A as shown below from the Hennepin County GIS website. The plans shall identify the flood protection elevation and ensure the building is constructed above the elevation on accordance with regulatory standards. If fill is placed below the floodplain elevation compensatory storage should be provided onsite or building should be placed in a location without any impacts on floodplain.
 - o Due to proposed work in floodplain, a WMO review is required.



End of Comments

STAFF REPORT

Agenda Item: 7c.

City Council Meeting: November 21, 2022	Prepared By: Nicholas Ouellette through Kendra Lindahl, AICP
Topic: Final Plat and Final Planned Unit Development (PUD) for “Tavera 5 th Addition” (PID 35-119-23-43-0001 and 35-119- 23-44-0004) (city file 22-068)	Action Required: Approval

Review Deadline: December 30, 2022

1. Request

The applicant, Lennar, has requested approval of the final plat and final PUD plan for Tavera 5th Addition.

Key plan application materials are attached as part of this packet; however, due to size limitations not every item is included. The complete application is available at City Hall.

2. Background

On June 25, 2020, Council approved a comprehensive plan amendment, rezoning, preliminary plat and preliminary PUD plan for Tavera, a 549-unit development with a mix of single family, villa, twinhome and townhome units.

On January 25, 2021, Hennepin County approved a lot division for the Wessel property. The lot split did not require City Council approval because lot splits creating parcels at least 20-acres in size with 500 feet of frontage on a public street are exempt from subdivision by Minnesota Statute. The split created two parcels.

On April 8, 2021, Council approved Tavera 1st Addition for 33 single family units and three outlots. Access to the development from County Road 116 was constructed with this initial phase.

On July 22, 2021, Council approved a PUD amendment to allow 551 units to be developed and allow a modification to the temporary real estate time period.

On September 23, 2021, Council approved Tavera 2nd Addition for 46 single family units and five outlots.

On November 11, 2021, Council approved a PUD amendment to allow four additional stockpiles of grading material to be stored on site.

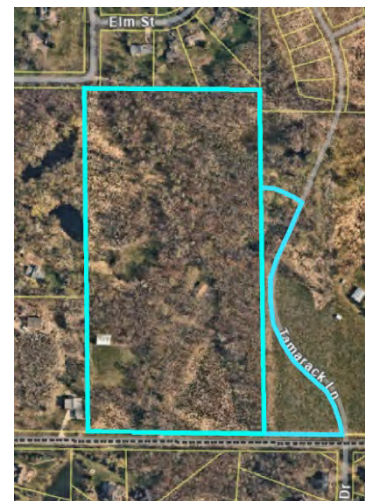


Figure A: Location Map

On February 10, 2022, Council approved Tavera 3rd Addition for nine single family units, 134 townhome units and 35 outlots.

On August 28, 2022, Council approved Tavera 4th Addition for 80 single family units, 42 twinhome lots and 11 outlots.

3. Analysis

Staff has reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

A. Level of Discretion in City Decision-Making

The City's Discretion in approving a final PUD plan is limited to whether the proposed plan is in substantial conformance with the preliminary PUD plan. If it meets these standards, the City must approve the final PUD plan.

The City's discretion in approving a final plat is limited to whether the proposed plat meets the standards outlined in the City's Subdivision and Zoning Ordinance. If it meets these standards, the City must approve the final plat.

B. Consistency with the Ordinance Standards

Final PUD Plan

Staff has reviewed the application for consistency with the approved preliminary plans, as well as City policies. Staff finds that the final PUD is consistent with the approved preliminary plans. However, there are a number of conditions that must be addressed prior to release of final plat and authorization to begin construction.

The 5th Addition includes 26 single family units on lots ranging in size from 8,953 to 18,785 square feet in area. A homeowners association will be responsible for the maintenance of common areas.

Lot Dimensions and Setbacks

The preliminary PUD approvals granted some flexibility from lot size, width standards and rear yard setbacks for decks and patios. The approved standards are included in the approving resolutions. Because single family home buyers will select their individual home for each lot, staff will review setbacks for compliance with these standards as part of the building permit application. However, it appears that proposed driveway locations for lots on the 62nd Avenue cul-de-sac appear to encroach into the side drainage and

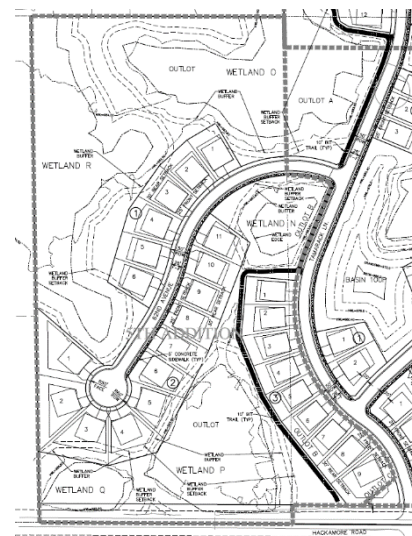


Figure B: Site Plan

utility easement. Staff has included a condition requiring the driveways be located outside of the side drainage and utility easements.

Design Standards

Flexibility has been granted from the garage standards in Section 1040.040, Subd. 8 of the Zoning Ordinance as part of the preliminary approvals. Single family homes will be selected for each lot by the home buyers and must comply with all design and PUD standards. Single family homes will be reviewed at the time building permits are applied for to ensure compliance.

Equal architectural treatment is required on all sides of a single family home that faces a public right-of-way or park. The single family homes required to provide additional architectural treatment are shown on the Architectural Upgrades Exhibit.

Utilities

The City Engineer's memo provides detailed utility comments. The watermain will along 62nd Avenue from Tamarack Lane to Hackamore Road south of the 5th Addition. The sanitary sewer will extend from the intersection of 62nd Avenue and Tamarack Lane to the west boundary of the 5th Addition near the 62nd Avenue cul-de-sac.

Easements

The plat will provide new standard drainage and utility easements around the perimeter of lots and over the wetland areas (wetlands and wetland buffer). The City Engineer's memo indicates additional easement will be necessary for the storm sewer on the north side of Lot 1, Block 3.

Stormwater

There are no stormwater ponds in this phase.

Grading

The City Engineer's memo provides detailed comments on grading for this project.

Streets

The 5th Addition will extend 62nd Avenue from the existing street stub from Tamarack Lane. 62nd Avenue is the only street being developed in this phase and will terminate in a cul-de-sac.

Wetlands

Section 1050.010 establishes standards for the wetland overlay district. This includes the establishment of wetland buffer strips with an average width of 25 feet plus a 15 foot structure setback from the buffer edge. Wetland buffer signs are required to indicate the contour of the buffer with a maximum spacing of 200 feet along the buffer edge. Wetland buffer signs are also required where the wetland buffer edge intersects with a

lot or outlot line. Wetland buffer signs are missing along some contours of the buffer edge as well as from some locations where the wetland buffer edge intersects with lot and outlot lines. An exhibit has been included with this packet to indicate the necessary location of wetland buffer monuments. Staff has included a condition requiring the applicant to revise plans in compliance with wetland buffer requirements.

The applicant has proposed installing a watermain through Wetlands P and Q. The City Engineer's memo requires the applicant to ensure WCA permits to allow for installation in the wetlands.

Landscaping

The applicant is required to provide one tree for each dwelling unit; 42 trees are provided in the 5th Addition for 26 total single family units. Generally, proposed trees are evenly spaced in the front yard along the street to create a tree lined street canopy. Staff recommends that all trees be planted when the street is complete, but trees must be planted prior to issuance of a certificate of occupancy for the adjacent home.

The landscape plan should be revised to show the utility connections for each lot to ensure that proposed tree locations do not conflict with the location of underground utilities.

Natural Resources

The City does not have a tree preservation ordinance; however, a significant portion of the wooded areas in the Tavera development will be preserved as one of the PUD benefits. A conservation easement for the tree protection areas was recorded with the 1st Addition and will be amended to include tree preservation areas in the 5th Addition. Tree preservation in this phase will also screen the development from Hackamore Road to the south.



Figure C: Tree Preservation

Signage

"No parking" signs will restrict parking to one side of the public street. No other signs are proposed with this phase.

Lighting

Standard street lighting detail has been provided by Wright Hennepin Electric. Streetlights have been placed at intersections and bends in the street, generally located on the sidewalk side of the street. Final streetlight locations will be field located during construction in coordination with the City. The City Engineer's memo notes the streetlight between Lots 1 and 2, Block 1 should be moved to the sidewalk side of the road and a streetlight should be added between Lots 9 and 10, Block 2.

Parks and Trails

The 2040 Parks and Trails Plan Map shows On-Road trails along Hackamore Road which can be accommodated in the right-of-way.

An off-road trail is proposed along the west property line of lots in Block 3. The off-road trail will connect to the on-road trail further north on Tamarack Lane and to the future Hackamore Road trail to the south. The proposed trail is located in Outlot B and will not require a trail easement.

Park Dedication

The City should accept park dedication in the form of land where shown on maps. The City may accept cash-in-lieu of land if park dedication requirements are not met by dedicated land. Park dedication requirements for Tavera are based on the entire development. Park dedication for Tavera will be satisfied with a combination of park land dedication (trail easement and park land) plus cash-in-lieu of land. Park dedication will be based on the park dedication fee in place at the time the final plat is release for recording.

No parkland is proposed and park dedication for the 5th Addition shall be cash-in-lieu of land. The current fee schedule would require the following for the project:

26 single family units = \$120,328 (26 x \$4,628)

TOTAL = \$120,328.00

Final Plat

The applicant is requesting approval of a final plat for 26 single family homes and two outlots. The final plat is consistent with the approved preliminary plat.

Conclusion

Staff finds the proposed plan is consistent with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and preliminary PUD approvals. The staff report notes outstanding issues that must be addressed and staff has included conditions in the attached resolutions to address these issues.

4. Recommendation

Move to adopt the following:

- a. Resolution 2022-138 approving the final PUD plan
- b. Resolution 2022-139 approving the final plat and development contract

Attachments

1. Resolution 2022-138 Approving the Final PUD Plan
2. Resolution 2022-139 Approving the Final Plat and Development Contract
3. Draft Development Contract
4. Site Location Map
5. City Engineer's Memo dated November 16, 2022
6. Final PUD Plans dated October 19, 2022
7. Landscape Plan dated October 19, 2022
8. Final Plat dated October 31, 2022
9. Wetland Buffer Exhibit dated November 9, 2022
10. Architectural Upgrades Exhibit dated November 9, 2022

RESOLUTION NO. 2022-138

Motion By:
Seconded By:

APPROVING FINAL PLANNED UNIT DEVELOPMENT (PUD) PLAN FOR “TAVERA 5TH ADDITION” FOR LENNAR (PID 35-119-23-43-0001 AND 35-119-23-44-0004) (CITY FILE NO. 22-068)

WHEREAS, US Home, LLC, a Delaware limited liability company dba Lennar (the “applicant”) has requested approval of a final planned unit development (PUD) plan for “Tavera 5th Addition” for 26 single family lots and two outlots on the property legally described as:

See Attachment A

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for a final PUD plan for “Tavera 5th Addition”, subject to the following conditions:

1. A final PUD plan is approved to create 26 single family lots and two outlots for “Tavera 5th Addition”, in accordance with the plans and application received by the City on October 19, 2022 and additional information received on October 31, 2022, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the final plat (Resolution 2022-139).
3. Development is subject to all conditions of the “Tavera” preliminary plat and preliminary PUD plan approvals (Resolutions 2020-50 and 2020-51), except as modified by the PUD amendment (Resolution 2021-86).
4. The applicant shall comply with all requirements of the City Engineer’s memo dated November 16, 2022.
5. All utility facilities shall be located underground.
6. Lawn sprinkler/irrigation systems (where provided) shall have rain sensors to limit unnecessary watering.
7. The HOA shall be responsible for the maintenance of:
8. PUD flexibility is granted to establish the following lot standards for this development:
9. All garages must have a 22-foot wide parking area between the garage and right-of-way that does not overlap into sidewalks, drives or streets.

FUTHER, prior to the release of final plat for recording:

10. Plans shall be revised to provide wetland buffer monuments at each lot line where it crosses a wetland buffer and where needed to indicate the contour of the buffer with a maximum

RESOLUTION NO. 2022-138

spacing of 200 feet along the wetland edge. A wetland buffer exhibit dated November 9, 2022 delineates the correct locations for wetland buffer monuments in the 5th Addition.

FUTHER, the following must be addressed prior to issuance of building permits:

11. Plans shall be revised to locate driveways along the cul-de-sac outside of the side drainage and utility easements.
12. The applicant shall provide equal architectural treatment on the elevations of a home that face a public right-of-way or public park. For example, if three sides of a home face a public right-of-way and/or a park, then equal architectural treatment shall be provided on those three sides of the building. As shown on the Architectural Upgrades Exhibit dated November 9, 2022, the following lots are subject to this standard:
 - a. Lots 1 and 6, Block 1
 - b. Lots 1, 3, 4 and 11, Block 2
 - c. Lots 1, 8 and 9, Block 3
13. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. Wetland signs shall be purchased from the City.
 - b. The final location of wetland signs must be inspected and approved by City staff.
 - c. Monument signs shall be installed prior to approval of building permit.
14. Trees must be planted prior to issuance of certificate of occupancy for the adjacent home.
15. The plans shall show centralized mailbox locations. These mailbox locations shall be approved by the US Postal Service and proof of the approved locations provided to the City.

FURTHER, that the following conditions must be met prior to release of remaining escrow:

16. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying plantings have been correctly installed in compliance with the plans and specifications will suffice.
17. Any request for the City to inspect the required pond and wetland buffers in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying buffers have been correctly seeded in compliance with the plans and specifications will suffice.

RESOLUTION NO. 2022-138

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Jessica Beise – City Administrator

City Seal

RESOLUTION NO. 2022-138

ATTACHMENT A

OUTLOT B, TAVERA 3RD ADDITION, Hennepin County, Minnesota

and

East half of the Southwest Quarter of the Southeast Quarter, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

RESOLUTION NO. 2022-139

**Motion By:
Seconded By:**

APPROVING FINAL PLAT AND DEVELOPMENT CONTRACT FOR “TAVERA 5TH ADDITION” FOR LENNAR (PID 35-119-23-43-0001 AND 35-119-23-44-0004) (CITY FILE NO. 22-068)

WHEREAS, US Home, LLC, a Delaware limited liability company dba Lennar (the “applicant”) has requested approval of a final plat for “Tavera 5th Addition” for 26 single family lots and two outlots on the property legally described as:

See Attachment A

FURTHER, that the development contract for said plat shall be completed by City staff and the Mayor and City Administrator be authorized to execute the development contract on behalf of the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for a final plat for “Tavera 5th Addition”, subject to the following conditions:

1. A final plat is approved to create 26 single family lots and two outlots for “Tavera 5th Addition”, in accordance with the plans and application received by the City on October 19, 2022 and additional information received on October 31, 2022, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the final PUD plan (Resolution 2022-138).
3. Development is subject to all conditions of the “Tavera” preliminary plat and preliminary PUD plan approvals (Resolutions 2020-50 and 2020-51), except as modified by the PUD amendment (Resolution 2021-86).
4. The applicant must submit a final plat for each future phase of development. No approvals are granted at this time for future phases of development.
5. The applicant shall comply with all requirements of the City Engineer’s memo dated November 16, 2022.

FURTHER, prior to release of the final plat for recording:

6. The development contract must be executed by the developer and City and must be filed with the final plat.
7. The final plat must be revised to provide drainage and utility easements over Outlots A and B.
8. Additional easement shall be provided for the storm sewer on the north side of Lot 1, Block 3.

RESOLUTION NO. 2022-139

9. Park dedication for this phase shall be \$120,328.00 cash-in-lieu of land.
 - a. Park dedication is required based on the finding that the development will add 26 new single family residential units to the City.
 - b. Residents of the development will need access to nearby existing and future trails that does not exist today.
10. Woodland areas shown as preserved on plans must be protected. The conservation easement shall be amended to include the conservation areas in the 5th Addition.
11. The following documents must be approved by the City Attorney:
 - a. Development Contract
 - b. Conservation Easement
 - c. Homeowners Association documents
12. Letter of credit must be in place and fees paid.

FURTHER, that the following conditions must be met prior to issuance of building permits:

13. The applicant must file the final plat at Hennepin County within two years of the date of approval or the approval shall expire.
14. The following documents must be recorded at Hennepin County and proof of recording provided to the City:
 - a. Development Contract
 - b. Conservation Easement
 - c. Homeowners Association documents
15. Lot and corner monuments shall be installed as required by the Subdivision Ordinance. A financial guarantee shall be required to ensure installations per City requirements.
16. Wetland buffer monument signs must be installed as required by Section 1050.010 of the Zoning Ordinance.

FURTHER, that the following conditions must be met prior to release of remaining escrow:

17. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying plantings have been correctly installed in compliance with the plans and specifications will suffice.
18. Any request for the City to inspect the required pond and wetland buffers in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying buffers have been correctly seeded in compliance with the plans and specifications will suffice.

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VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Jessica Beise – City Administrator

City Seal

RESOLUTION NO. 2022-139

ATTACHMENT A

OUTLOT B, TAVERA 3RD ADDITION, Hennepin County, Minnesota

and

East half of the Southwest Quarter of the Southeast Quarter, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

(reserved for recording information)

DEVELOPMENT CONTRACT

(Developer Installed Improvements)

TAVERA 5TH ADDITION

This **DEVELOPMENT CONTRACT** (this “Contract”) dated _____, 2022, is entered into by and between the **CITY OF CORCORAN**, a Minnesota municipal corporation (the “City”), and **U.S. HOME, LLC, A DELAWARE LIMITED LIABILITY COMPANY (DBA LENNAR)** (the “Developer”) and shall be effective upon full execution by the City and the Developer. The City and the Developer are sometimes collectively referred to herein as the “parties” or each a “party”. This is an amendment to the master Tavera Development Contract dated June 23, 2021.

- 1. REQUEST FOR PLAT APPROVAL.** The Developer has asked the City to approve a plat for Tavera 5th Addition (referred to in this Contract as the "plat"). The land is situated in the County of Hennepin, State of Minnesota, and is legally described in the attached Exhibit A (the “Subject Property”).
- 2. CONDITIONS OF PLAT APPROVAL.** The Developer shall enter into this Contract, furnish the security required by it, and record the plat upon City approval with the County Recorder or Registrar of Titles.
- 3. RIGHT TO PROCEED.** Unless separate written approval has been given by the City, within the plat or land to be platted, the Developer may not grade or otherwise disturb the earth, remove trees, construct sewer lines, water lines, streets, utilities, public or private improvements, or any buildings until all the following conditions have been satisfied: 1) this agreement has been fully executed by both parties and filed with the City Administrative Services Director, 2) the necessary security has been received by the City, 3) the plat, development contract and other associated documents have been recorded with the Hennepin County Recorder's Office and proof of recording has been provided to the City, and 4) the City has authorized the Developer to proceed, in writing. However, the Developer may be allowed to begin grading the site when items 1, 2 and 4 of the previous sentence have been satisfied.
- 4. PHASED DEVELOPMENT.** If the plat is a phase of a multi-phased preliminary plat, the City may refuse to approve final plats of subsequent phases if the Developer has failed to fulfill all obligations in this Contract and the failure has not been remedied. Development of subsequent phases may not proceed until Development Contracts for such phases are approved by the City. Park charges and area charges

for sewer and water referred to in this Contract are not being imposed on outlots, if any, in the plat that are designated in an approved preliminary plat for future subdivision into lots and blocks. Such charges will be calculated and imposed when the outlots are final platted into lots and blocks.

5. **PRELIMINARY PLAT STATUS.** If the plat is a phase of a multi-phased preliminary plat, the preliminary plat approval for all phases not final platted shall lapse and be void unless the initial phase is final platted into lots and blocks, not outlots, within two (2) years after preliminary plat approval.
6. **CHANGES IN OFFICIAL CONTROLS.** For two (2) years from the date of this Contract, no amendments to the City's Comprehensive Plan or official controls shall apply to or affect the use, development density, lot size, lot layout or dedications of the approved final plat unless required by state or federal law or agreed to in writing by the City and the Developer. Thereafter, notwithstanding anything in this Contract to the contrary, to the full extent permitted by state law, the City may require compliance with any amendments to the City's Comprehensive Plan, official controls, platting or dedication requirements enacted after the date of this Contract. Notwithstanding the provisions of this paragraph, in the event that changes to federal or state law prohibit or limit the City's authority to collect the costs of off-site improvements for this project as contemplated in Section 9 herein and the parties do not mutually agree to remain bound to the terms contemplated in said Section 9, the City shall have the right to substitute off-site improvement cost collection provisions which are: 1) in compliance with applicable law; and 2) which result in reasonably comparable cost contribution from the Developer.
7. **DEVELOPMENT PLANS.** The plat shall be developed in accordance with the following plans. The plans shall not be attached to this Contract. If the plans vary from the written terms of this Contract, the written terms herein shall control. The plans are:
Exhibit A – Legal Description
Plan A – Final Plat, dated October 31, 2022
Plan B – Final Grading, Drainage, and Erosion Control Plan, dated October 19, 2022
Plan C – Final Sanitary Sewer, Watermain and Storm Sewer Plan, dated October 19, 2022
Plan D – Final Tree Preservation and Reforestation Plan, dated October 19, 2022
Plan E– Final Landscape Plan, dated October 19, 2022

8. **IMPROVEMENTS.** The Developer shall install and pay for, without limitation, all of the following improvements:
 - Streets
 - Sanitary Sewer
 - Watermain
 - Surface Water Facilities (pipe, ponds, rain gardens, etc.)
 - Grading and Erosion Control
 - Sidewalks/Trails
 - Street Lighting
 - Underground Utilities
 - Street Signs and Traffic Control Signs
 - Landscaping
 - Tree Preservation
 - Wetland Mitigation and Buffers

- Monuments Required by Minnesota Statutes
- Miscellaneous Facilities

In addition to the above-listed improvements, Developer shall be responsible for all other costs necessary to construct the improvements pursuant to the City-approved plans.

The Developer shall submit plans which have been prepared by a competent registered professional engineer to the City for approval by the City Engineer or designee. The Developer may instruct its engineer to provide full-time field inspection personnel in order for the Developer's engineer to be able to certify that the construction work meets the approved City standards as a condition of City acceptance. In addition, the City may, at the City's discretion and at the Developer's expense, have one or more City inspectors and a soil engineer inspect the work on a full or part-time basis. The Developer, its contractors and subcontractors, shall follow all instructions received from the City's inspectors. The Developer and/or the Developer's engineer shall provide for on-site project management. The Developer's engineer is responsible for design changes and contract administration between the Developer and the Developer's contractor. The Developer or his or her engineer shall schedule a pre-construction meeting at a mutually agreeable time at City Hall with all parties concerned, including the City staff, to review the program for the construction work.

All labor and work shall be performed and completed in the best and most workmanlike manner and in strict conformance with the approved plans and City Engineering Design Standards. No deviations from the approved plans and Standards will be permitted unless authorized by the City Engineer or designee. The Developer agrees to furnish to the City a list of contractors being considered for retention by the Developer for the performance of the work required by the contract. The Developer shall not do any work or furnish any materials not covered by the plans and special conditions of this contract, for which reimbursement is expected from the City, unless such work is first approved in writing by the City Engineer or designee.

The Developer shall be responsible for construction of all improvements in conformance with the approved plans, City Engineering Design Standards and Standard Details.

9. **OFF-SITE PUBLIC IMPROVEMENTS.** The City intends to make improvements to County Road 116 at the intersection of the future Horseshoe Trail providing access to the site, improve Hackamore Road, improve existing Horseshoe Trail and Old Settlers Road, extend municipal sanitary sewer to the site and complete stormwater improvements. The public improvements are more fully detailed in the Feasibility Study dated November 21, 2019, prepared by Wenck Associates, Inc. The developer agrees to fund off-site improvements as noted in this Contract. There are not payments due with Tavera 5th Addition.

- a. The following improvements will be funded by the developer with future phases as noted below:
 - The City believes that a traffic signal will be required at County Road 116 and Horseshoe Trail. The developer shall be responsible for half of the cost of this signal. The City estimates that the signal will be required when 75% of the lots are platted.
 - The developer shall provide a financial guarantee to the City for the cost to shape and pave Old Settlers Road and Horseshoe Trail (estimated at \$375,000). The development contract will include \$375,000 in the letter of credit. When the City bids the project, the City will

reduce the letter of credit by \$375,000 and require the developer to provide cash escrow based on the final bid amount. The financial guarantee shall be provided when 75% of the lots north of Horseshoe Trail are platted or the Horseshoe Trail connection is made, whichever occurs first.

- The developer shall provide a financial guarantee for the Horseshoe Trail west watermain loop (estimated at \$225,000). The development contract will include \$225,000 in the letter of credit. When the City bids the project, the City will reduce the letter of credit by \$225,000 and require the developer to provide cash escrow based on the final bid amount. The financial guarantee shall be provided when 75% of the lots north of Horseshoe Trail are platted or the Horseshoe Trail connection is made, whichever occurs first. The final route shall be determined by the City.
 - The current plan eliminates the need for watermain looping along Hackamore Road as originally anticipated in the EAW/feasibility study.
 - The developer shall provide a financial guarantee to the City for the cost of the FEMA Map Amendment for the northeast part of the site (estimated at \$25,000). The development contract will include \$25,000 in the letter of credit. When 100% of the lots south of Horseshoe Trail are platted, the City will reduce the letter of credit by \$25,000 and require the developer to provide cash escrow based on the updated engineering estimate for the FEMA process and due with the final plat for that phase.
 - The developer shall provide a financial guarantee to the City for the cost of the FEMA Map Amendment for the northwest part of the site (estimated at \$25,000). The development contract will include \$25,000 in the letter of credit. When 100% of the lots north of Horseshoe Trail are platted, the City will reduce the letter of credit by \$25,000 and require the developer to provide cash escrow based on the updated engineering estimate for the FEMA process and due with the final plat for that phase.
- b. The developer agrees to pay the City the cost of these improvements as outlined above. The City will notify the developer of required reimbursement under this paragraph for design and construction of such improvements. The costs to be reimbursed include the actual cost to the City for construction of the improvements plus the allocation of the engineering, legal, administrative and other similar costs of the project based on the relative construction costs of the improvements. The developer reserves the right to be refunded for any unused portion of the estimated cost versus the actual cost of each improvement.

10. CONTRACTORS/SUBCONTRACTORS. City Council members, City employees, and City Planning Commission members, and corporations, partnerships, and other entities in which such individuals have greater than a 25% ownership interest or in which they are an officer or director may not act as contractors or subcontractors for the public improvements identified in Paragraph 8 above.

11. PERMITS. The Developer shall obtain or require its contractors and subcontractors to obtain all necessary permits, including but not limited to:

- *Minnesota Department of Health for Watermains/Wells*
- *NPDES Permits*

- *MPCA for Sanitary Sewer and Hazardous Material Removal and Disposal*
- *Hennepin County for Septic System Permits and/or Abandonment*
- *DNR for Dewatering and Work in Protected Waters*
- *City of Corcoran for Building Permits and Building Demolition*
- *MCES for Sanitary Sewer Connections*
- *Watershed Permits*

12. **TIME OF PERFORMANCE.** The Developer shall install all required public improvements in this phase by **October 31, 2023**, with the exception of the final wear course of asphalt on streets. The City will not accept new public streets in the 5th Addition until 80% of the homes in the 5th Addition have received a certificate of occupancy and the streets have weathered a full winter season. Final wear course placement outside of this time frame must have the written approval of the City Engineer. The Developer may, however, request an extension of time from the City. If an extension is granted, it shall be conditioned upon updating the security posted by the Developer to reflect cost increases and the extended completion date.
13. **LICENSE.** The Developer hereby grants the City, its agents, employees, officers and contractors a license to enter the plat to perform all work and inspections deemed appropriate by the City in conjunction with plat development.
14. **CONSTRUCTION ACCESS.** Haul routes for vehicles used in transport of materials shall be designated by the City Engineer. The City Engineer has discretion to change the designated haul routes at any time in event of unforeseen circumstances. This Agreement may be terminated and all work on the Subject Property may be halted by the City for Developer's failure to use the designated haul routes or for any other violation of this Agreement.
15. **GRADING PLAN.** The plat shall be graded in accordance with the approved grading drainage and erosion control plan, Plan "B". The plan shall conform to City of Corcoran Engineering Design Standards.
16. **EROSION CONTROL.** Prior to initiating site grading, the erosion control plan, Plan B, shall be implemented by the Developer and inspected and approved by the City. Erosion control practices must comply with the Minnesota Pollution Control Agency's Best Management Practices. The City may impose additional erosion control requirements which the City determines would be beneficial. The City is an MS4 City and all erosion control shall comply with the Corcoran City Code and the Corcoran Engineering Design Standards. No development, utility or street construction will be allowed and no building permits will be issued unless the plat is in full compliance with the approved erosion control plan. Further, the City shall have the authority to stop work on the Subject Property and/or withhold additional building permits or certificates of occupancy in the event that the Developer fails to comply with the approved erosion control plan.
17. **STREET MAINTENANCE DURING CONSTRUCTION.** The Developer shall be responsible for all street maintenance until the streets affected by the project are accepted by the City. Warning signs shall be placed when hazards develop in streets to prevent the public from traveling on the same and to direct attention to detours. If and when streets become impassable, such streets shall be barricaded and closed. In the event residences are occupied prior to completing streets, the Developer shall maintain a smooth surface and provide proper surface drainage to ensure that the streets are

passable to traffic and emergency vehicles. The Developer shall be responsible for keeping streets within and without the subdivision swept clean of dirt and debris that may spill, track, or wash onto the street from Developer's operation.

18. OWNERSHIP OF IMPROVEMENTS. Upon completion of the work and construction required by this Contract and acceptance of the work by the City, the public improvements lying within public easements or right-of-way shall become City property. This provision shall not apply to private improvements (e.g. private retaining walls) which encroach upon public easement or right-of-way, and such encroachments shall be subject to any applicable and separate encroachment agreement. Prior to acceptance of the improvements by the City, the Developer must furnish the following affidavits:

- Record Drawings
- Certification from the Registered Land Surveyor that land corner monuments and wetland buffer signs have been installed according to the approved plans.
- The warranty/performance financial guarantee

19. PARK DEDICATION. The Developer shall dedicate to the City the park as shown on the preliminary plat. The Developer shall also dedicate to the City the trail easements identified on the preliminary plat, except as modified by the approving resolutions and construct all trails as shown on the plans. The developer shall construct the bituminous trails in the subdivision and shall work with the city on the final location within the public park. No credit shall be given for trail construction. Credit shall be given for the net area of the park land and trail easement area. The remainder of the required park dedication shall be satisfied with cash-in-lieu of land. Park dedication shall be obtained based on the phase being platted.

Tavera 5th Addition will have no park land dedication and will provide cash-in-lieu of land. Prior to release of the final plat, the Developer shall satisfy the park dedication requirements for this phase by a cash contribution of **\$120,328.00**. The charge was calculated in accordance with Section 955 of the City's Subdivision Ordinance as follows: 26 single family units x \$4,628.00 per unit = \$120,328.00.

20. WATERMAIN / STORAGE TRUNK LINE AREA CHARGE (TLAC). This plat is subject to a watermain/storage trunk line area charge (TLAC). The charge is calculated as follows: 13.58 net acres (based on pre-developable area) \$8,508.16 per acre (Watermain & Raw Water TLAC) = **\$115,540.81**, and 13.58 net acres (based on pre-developable area) x \$9,092.17 per acre (Treatment & Storage TLAC) = **\$123,471.67**. Future phases shall be cash with the final plat for each future phase subject to the then-current rates.

21. WATER CONNECTION CHARGE. This plat is subject to a water connection charge calculated as follows: 26 single family units x \$1,256.00 per unit = **\$32,656.00**. The fees shall be paid at the time of building permit. Future development shall be cash at the time of issuance of each building permit at the then-current rates.

The developer will be responsible for payment of the then-current water connection charge set by the City of Maple Grove.

22. SANITARY SEWER TRUNK LINE AREA CHARGE (TLAC). This plat is subject to a sanitary sewer trunk line area charge (TLAC). The charge is calculated as follows: The charge is calculated

as follows: 13.58 net acres (based on pre-developable area) x \$7,405.00 per acre = **\$100,559.90**. Future phases shall be cash with the final plat for each future phase subject to the then-current rates.

The developer will also be responsible for payment of the then-current SAC fee set by the Metropolitan Council.

23. SANITARY SEWER CONNECTION CHARGE. This plat is subject to a sanitary sewer connection charge calculated as follows: 26 single family units x \$1,243.00 per unit = **\$32,318.00**. The fees shall be paid at the time of building permit. Future development shall be cash at the time of issuance of each building permit at the then-current rates.

24. BUILDING PERMITS/CERTIFICATES OF OCCUPANCY.

- A. Prior to issuance of building permits other than the model home; utilities, curbing and one lift of bituminous shall be installed on public streets.
- B. Utilities shall be installed and reasonable access to the lot from a public street shall be provided prior to issuance of a model home permit. One model home will be allowed per product type (single family, twin home, townhome, etc.) per development and shall be on lots acceptable to the City.
- C. No sewer and water connection permits may be issued until the utilities are tested and approved by the City Engineer.
- D. The Developer shall comply with the City of Corcoran Engineering Design Standards.
- E. Prior to issuance of building permits, wetland buffer monuments shall be placed in accordance with the City's zoning ordinance. Monument signs shall be purchased from the City. The land surveyor must certify that the wetland buffer signs have been installed in accordance with the approved plans.
- F. Failure to fulfill any of the terms of this Contract by the Developer, including nonpayment of billings from the City, shall be grounds for denial of building permits, including lots sold to third parties, the halting of all work in the plat, and/or the denial of certificates of occupancy.
- G. If building permits are issued prior to the acceptance of public improvements, the Developer assumes all liability and costs resulting in delays in completion of public improvements and damage to public improvements caused by the City, Developer, their contractors, subcontractors, materialmen, employees, agents, or third parties. No sewer and water connection permits may be issued until the streets needed for access have been paved with a bituminous surface and the utilities are tested and approved by the City Engineer.

25. STREET REGULATORY SIGNS/TRAFFIC CONTROL SIGNS. Street name signs shall be installed by the Developer in accordance with the City of Corcoran Engineering Design Standards.

The Developer shall install traffic control signs in accordance with the plan approved by the City Engineer and Minnesota Manual on Uniform Traffic Control Devices. All signs must be installed prior to final building inspection approval or earlier if necessary as determined by the City Engineer.

26. STREET LIGHT INSTALLATION AND OPERATION COSTS. The developer shall pay for and install all street lights. The street light shall be of a design approved by the City. The developer shall be responsible for street light operation and maintenance costs until such time as the City accepts the public street where the streetlights are located. After the acceptance the City shall be responsible for all costs, subject to the street lighting policy. The costs of operation are dependent upon the operation costs for Wright Hennepin Electric under contract franchise with the City of Corcoran.

27. RESPONSIBILITY FOR COSTS.

- A. Except as otherwise specified herein, the Developer shall pay all costs incurred by it or the City in conjunction with the development of the plat, including but not limited to legal (including, without limitation, attorneys' fees), planning, engineering and inspection expenses incurred in connection with approval and acceptance of the plat, the preparation of this Contract, review of construction plans and documents, and all costs and expenses incurred by the City in monitoring and inspecting development of the plat. The City may require Developer to post funds in an escrow account, at its discretion. In the event the cash escrow amount is insufficient, Developer shall post additional escrow funds as determined by the City Planner within ten (10) days of written demand. Failure to make payment of the additional escrow amount shall permit the City to supplement those amounts from any other sureties posted by Developer.
- B. The Developer shall hold the City and its officers, employees, and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from plat approval and development. The Developer shall indemnify the City and its officers, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees.
- C. The Developer shall reimburse the City for costs incurred in the enforcement of this Contract, including engineering and attorneys' fees.
- D. The Developer shall pay, or cause to be paid when due, and in any event before any penalty is attached, all special assessments referred to in this contract. This is a personal obligation of the Developer and shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it.
- E. The Developer shall pay in full all bills submitted to it by the City for obligations incurred under this Contract within thirty (30) days after receipt. Bills not paid within thirty (30) days shall accrue interest at the rate of eight percent (8%) per year. Further, the City shall have the right to access Developer's posted security to obtain reimbursement for unpaid invoiced amounts. Should Developer's security be insufficient to cover any amounts owed to the City and unpaid after invoicing, the City may assess such amounts against the Subject Property. Developer, on behalf of itself and its successors and assigns, hereby waives any assessment notice requirements and any right to appeal such assessment pursuant to Minnesota Statute 429.
- F. In addition to the charges and special assessments referred to herein, other charges and special assessments may be imposed such as but not limited to sewer availability charges ("SAC"), City water connection charges, City sewer connection charges, and building permit fees.

28. SPECIAL PROVISIONS. The following special provisions shall apply to plat development:

- A. Compliance with the conditions of the original approvals (Resolutions 2020-50 and 2020-51), PUD Amendments, including the PUD Final Development Plan (Resolution 2022-138) and Final Plat approval (Resolution 2022-139) is required.
- B. Before the City signs the final plat, the Developer shall convey the Park to the City by warranty deed, free and clear of any and all encumbrances. Before the City signs the final plat, the developer shall convey the required trail easements to the City in a form satisfactory to the City.
- C. The Developer shall post a **\$2,800.00** security for the final placement of interior subdivision iron monuments at property corners. The security was calculated as follows: **28** lots at \$100.00 per lot. The security will be held by the City until the Developer's land surveyor certifies that all irons have been set following site grading and utility and street construction. In addition, the certificate of survey must also include a certification that all irons for a specific lot have either been found or set prior to the issuance of a building permit for that lot.
- D. The Developer must obtain a sign permit from the City Building Official prior to installation of any subdivision identification signs.
- E. The Developer shall include the "City of Corcoran's Standard Detail" (all applicable sections) in the contract documents of their improvement project.

29. MISCELLANEOUS.

- A. The Developer may not assign this Contract without the written permission of the City Council. The Developer's obligation hereunder shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it. Notwithstanding anything herein to the contrary, in conjunction with a sale of the entire land, the Developer may, without the consent of the City, assign this Contract to a limited liability company or other entity in which the Developer or an affiliate thereof has a controlling membership or other controlling ownership interest, provided that such assignee assumes in writing the obligations of Developer under this Contract and all posted security correspondingly secures the performance of the assignee.
- B. Certain retaining walls will require a Building Permit. Retaining walls that require a building permit shall be constructed in accordance with plans and specifications prepared by a structural or geotechnical engineer licensed by the State of Minnesota. Following construction, a certification signed by the design engineer shall be filed with the Building Official evidencing that the retaining wall was constructed in accordance with the approved plans and specifications. All retaining walls identified on the development plans or by special conditions referred to in this Contract shall be constructed before any other building permit is issued for a lot on which a retaining wall is required to be built.
- C. Appropriate legal documents including, but not limited to, those regarding Homeowner Association documents, conservation easements, covenants and restrictions, as approved by the City Attorney, shall be filed with the Final Plat.
- D. Third parties shall have no recourse against the City under this Contract.

- E. If any portion, section, subsection, sentence, clause, paragraph, or phrase of this Contract is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Contract.
- F. The action or inaction of the City shall not constitute a waiver or amendment to the provisions of this Contract. To be binding, amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Contract shall not be a waiver or release.
- G. This Contract shall run with the land and may be recorded against the title to the property. The Developer covenants with the City, its successors and assigns, that the Developer has fee title to the property being final platted and/or has obtained consents to this Contract, in the form attached hereto, from all parties who have an interest in the property; that there are no unrecorded interests in the property being final platted; and that the Developer will indemnify and hold the City harmless for failure to fulfill any of the foregoing covenants.
- H. Each right, power or remedy herein conferred upon the City is cumulative and in addition to every other right, power or remedy, express or implied, now or hereafter arising, available to City, at law or in equity, or under any other agreement, and each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and shall not be a waiver of the right to exercise at any time thereafter any other right, power or remedy.
- I. The Developer represents to the City that the plat complies with all city, county, metropolitan, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations. If the City determines that the plat does not comply, the City may, at its option, refuse to allow construction or development work in the plat until the Developer does comply. Upon the City's demand, the Developer shall cease work until there is compliance.
- J. The Contract may be executed in any number of counterparts, each of which shall be deemed to be an original.
- K. The laws of the State of Minnesota shall govern all issues relating to this Contract and any action brought to enforce rights or obligations herein shall be brought in Hennepin County, Minnesota.
- L. All exhibits, plan documents, City approval documents, and City planning or engineering memos referenced herein are hereby incorporated into and shall become a part of this Contract as if attached hereto.
- M. Upon completion of construction, the Developer shall provide the City with as-built records of all soil corrections and utility infrastructure installations made by the Developer on the Subject Property or within any affected public right-of-way.
- N. Upon completion of installation of the same (as applicable), any sanitary sewer installed on the Subject Property shall be televised at the Developer's expense and the Developer shall submit a recording of the same to the City for the City's records.
- O. The Developer shall install railings adjacent to slopes on the Subject Property in compliance with the building, as determined by the Building Official.

- 30. DEVELOPER'S DEFAULT.** In the event of default by the Developer as to any of the work to be performed by it hereunder, the City may, at its option, perform the work and the Developer shall promptly reimburse the City for any expense incurred by the City, provided the Developer, except in an emergency as determined by the City, is first given notice of the work in default, not less than 48 hours in advance. This Contract is a license for the City to act, and it shall not be necessary for the City to seek a court order for permission to enter the Subject Property. When the City does any such work, the City may, in addition to its other remedies, assess the cost in whole or in part to the Subject Property and the Developer, on behalf of itself and its successors and assigns, hereby waives any right to appeal said assessment.
- 31. WARRANTY/PERFORMANCE GUARANTEE.** The Developer warrants all improvements required to be constructed by it pursuant to this Contract against poor material and faulty workmanship. The Developer shall submit either 1) a warranty/maintenance bond for 100% of the cost of the improvement, or 2) a letter of credit or performance bond for twenty-five percent (25%) of the amount of the original cost of the improvements.
- A. The required warranty period for materials and workmanship for the utility contractor installing public sewer and water mains shall be two (2) years from the date of final written City acceptance of the work.
 - B. The required warranty period for all work relating to street construction, including concrete curb and gutter, sidewalks and trails, materials and equipment shall be subject to one (1) year from the date of final written acceptance, unless the wear course is placed during the same construction season as the bituminous base course. In those instances, the Developer shall guarantee all work, including street construction, concrete curb and gutter, sidewalks and trails, material and equipment for a period of two (2) years from the date of final written City acceptance of the work.
 - C. The required warranty period for sod, trees, and landscaping is one full growing season following installation. Following construction, a certification signed by the design landscape architect shall be filed with the City evidencing that the sod, trees, and landscaping was installed in accordance with the approved plans and specifications.
- 32. SUMMARY OF SECURITY REQUIREMENTS.** To guarantee compliance with the terms of this contract, payment of special assessments, payment of the costs of all public improvements, and construction of all public improvements, the Developer shall furnish the City with a letter of credit, in a form acceptable to the City, from a bank, cash escrow or a combination cash escrow and Letter of Credit ("security") for **\$1,164,456.65**, which represents 100 percent of the estimated cost of the Improvements. The letter of credit shall include an automatic renewal clause.

The letter of credit shall guarantee to the City the construction and satisfactory completion of all items to be completed by the developer; that the letter of credit shall be reduced from time to time as work is performed and accepted in a satisfactory manner; that the City Engineer may reduce the letter of credit to the amount reasonably estimated by the City Engineer to be necessary to cover the remaining construction obligations; however, the letter of credit shall not be reduced below the amount estimated by the City to cover all obligations of development including payment of costs and expenses incurred by the City for legal, engineering, planning and any other costs until a maintenance bond for period of

one year, satisfactory to the City Attorney and the City Engineer has been provided by the Developer or its subcontractor.

DRAFT

The amount of the security was calculated as follows:

ESTIMATED COSTS			
ITEM	City Project (1)	Developer Installed (2)	Total
Sanitary Sewer System		\$217,534.00	\$217,534.00
Watermain System		\$189,173.00	\$189,173.00
Stormwater System		\$288,399.50	\$288,399.50
Street Construction		\$334,294.10	\$334,294.10
Street Lighting			
Grading/Erosion Control			
Landscaping/Tree Preservation		\$30,000.00	\$30,000.00
Setting Iron Monuments		\$2,800.0	\$2,800.00
Installing Wetland Buffer Monuments*		\$16,000.00	
SUB-TOTAL:		\$1,078,200.60	\$1,078,200.60
City Design, Inspection and Administration (8%)		\$86,256.05	\$86,256.05
Total:		\$1,164,456.65	\$1,164,456.65
Total Project Cost	\$1,164,456.65		

- (1) Public Improvement/City Project. City to own and maintain after development complete.
- (2) Developer Installed Public Improvements. City to own and maintain after development complete.

This breakdown is for historical reference; it is not a restriction on the use of the security. If a letter of credit is used to post any portion of the security, the bank shall be subject to the approval of the City Administrator. The City may draw down the security, without notice, for any violation of the terms of this Contract or upon receipt of notice that the security will be cancelled or otherwise lapse prior to the end of the required term and no City-approved replacement security has been provided. If the required public improvements are not completed at least 30 days prior to the expiration of the security, the City may also draw it down. If the security is drawn down, the proceeds shall be used to cure the default. Upon receipt of proof satisfactory to the City Engineer or designee that work has been completed and financial obligations to the City have been satisfied, with City Engineer or designee approval the security may be reduced from time to time by 75% of the financial obligations that have been satisfied. Twenty-five percent (25%) of the public improvement and landscaping amounts certified by the Developer's engineer shall be retained as security until: (1) all improvements have been completed; (2) iron monuments for lot corners have been installed; (3) all financial obligations to the City, both actual and anticipated, have been satisfied; (4) the required "record" plans have been received by the City; (5) a warranty security is provided; and (6) the public improvements are accepted by the City.

33. INSURANCE REQUIREMENTS. Developer shall take out and maintain or cause to be taken out and maintained until six months after the City's acceptance of the public improvements:

- A. Commercial general liability insurance (including operations, contingent liability, operations of subcontractors, completed operations and contractual liability insurance) together with an

Owner's Contractor's Policy with limits against bodily injury, including death, and property damage (to include, but not be limited to damages caused by erosion or flooding) which may arise out of Developer's work or the work of any of its subcontractors.

- B. Limits for bodily injury or death shall not be less than \$750,000.00 for one person and \$1,500,000.00 for each occurrence; limits for property damage shall not be less than \$2,000,000.00 for each occurrence.
- C. Worker's compensation insurance, with statutory coverage, if applicable.
- D. Developer shall file a Certificate of Insurance with the City Administrator prior to commencing site grading. The City and the City Engineer shall be named as Additional Insureds on a primary and non-contributory basis on the Certificate. The Certificate shall be modified to bear the following language:

Should any of the above policies be canceled, materially changed, or not renewed before the expiration date thereof, the issuing company shall give thirty (30) days written notice of the same to the Certificate Holder. In the event of cancellation due to non-payment, ten (10) day's written notice shall be given to the Certificate Holder.

Developer shall be responsible for providing the above language to its insurer. The City does not warrant that these amounts will be sufficient to cover all Developer liability related to the work on the Subject Property and Developer shall be responsible for conducting its own analysis of the appropriate levels of coverage.

34. SUMMARY OF CASH REQUIREMENTS. The following is a summary of the cash requirements under this Contract which must be furnished to the City at the time of final plat approval:

Water Supply Trunk line area charge (TLAC)	\$ 239,012.48
Sanitary Sewer Trunk line area charge (TLAC)	100,559.90
Park Dedication	120,328.00
Engineering Escrow	<u>75,000.00</u>
TOTAL CASH REQUIREMENTS LEVIED:	\$ 534,900.38

35. NOTICES. Required notices to the Developer shall be in writing, and shall be either hand delivered to the Developer, its employees or agents, or mailed to the Developer by certified mail at the following address:

Notices to the City shall be in writing and shall be either hand delivered to the City Administrator, or mailed to the City by certified mail in care of the City Administrator at the following address: Corcoran City Hall, 8200 County Road 116, Corcoran, MN 55340.

The Developer shall notify the City within five (5) days of change of address.

[Signatures on pages to follow]

DRAFT

CITY OF CORCORAN:

BY: _____
Tom McKee, Mayor

(SEAL)

AND _____
Jessica Beise, City Administrator

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Tom McKee and by Jessica Beise, the Mayor and City Administrator of the City of Corcoran, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

NOTARY PUBLIC

DRAFT

EXHIBIT A
(the “Subject Property”)

Lots 1 through 6, Block 1, Tavera 5th Addition, Hennepin County, Minnesota.

Lots 1 through 11, Block 2, Tavera 5th Addition, Hennepin County, Minnesota.

Lots 1 through 9, Block 3, Tavera 5th Addition, Hennepin County, Minnesota.

Outlots A and B, Tavera 5th Addition, Hennepin County, Minnesota.

DRAFT

**FEE OWNER CONSENT
TO
DEVELOPMENT CONTRACT**

_____, fee owners of all or part of the Subject Property, the development of which is governed by the foregoing Development Contract, affirm and consent to the provisions thereof and agree to be bound by the provisions as the same may apply to that portion of the Subject Property owned by them. Fee Owners further consent to the recording of the Agreement against the Subject Property.

Dated this ____ day of _____, 2____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2____, by

_____.

NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340

**MORTGAGEE CONSENT
TO
DEVELOPMENT CONTRACT**

_____, which holds a mortgage on the Subject Property, the development of which is governed by the foregoing Development Contract, agrees that the Development Contract shall remain in full force and effect even if it forecloses on its mortgage.

Dated this ____ day of _____, 2 ____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2____, by _____.

NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340

**CONTRACT PURCHASER CONSENT
TO
DEVELOPMENT CONTRACT**

_____, which/who has a contract purchaser's interest in all or part of the subject property, the development of which is governed by the foregoing Development Contract, hereby affirms and consents to the provisions thereof and agrees to be bound by the provisions as the same may apply to that portion of the Subject Property in which there is a contract purchaser's interest.

Dated this ____ day of _____, 2____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2____,
by _____.

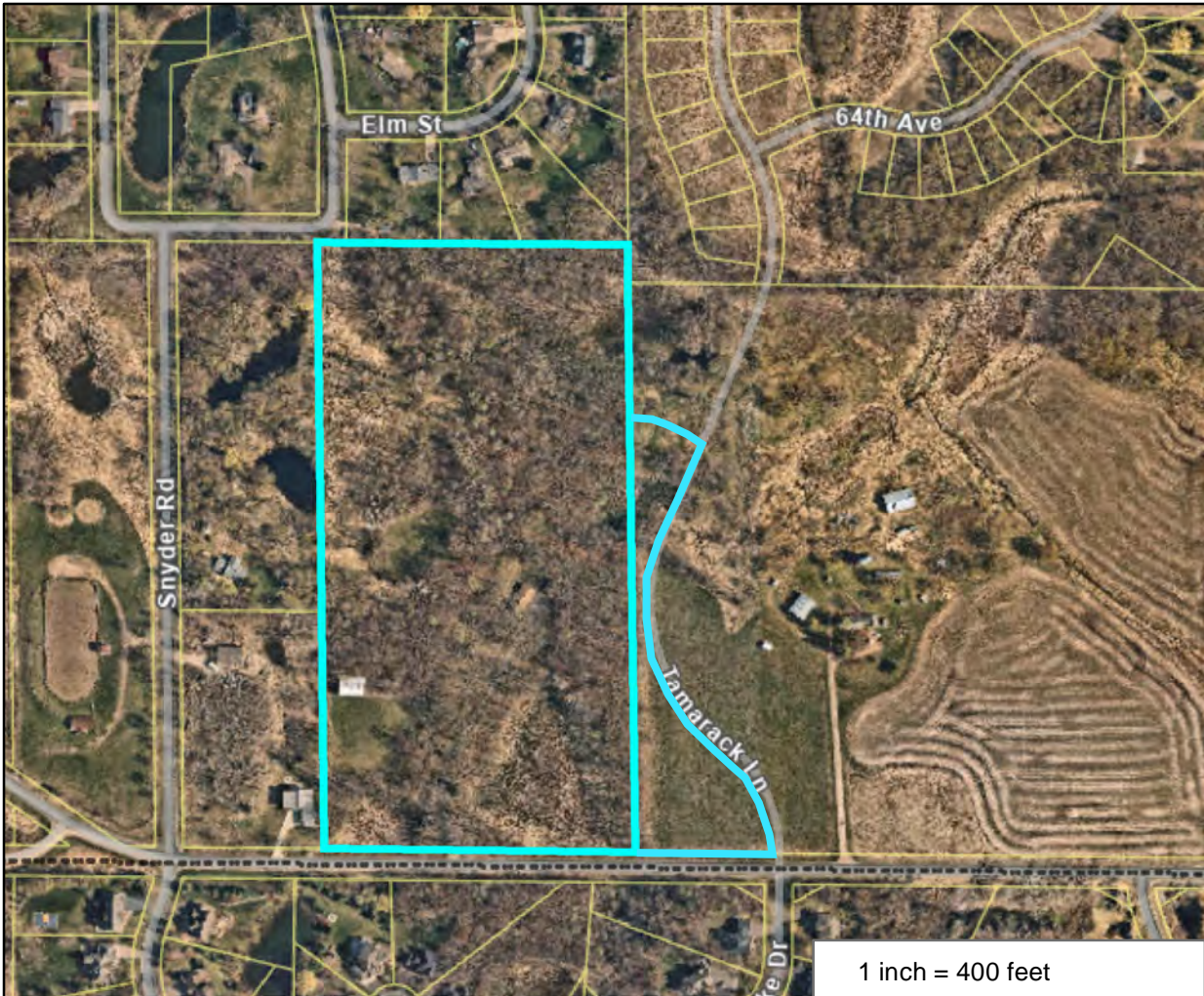
NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340



Hennepin County Property Map

Date: 11/16/2022



PARCEL ID: 3511923430001

OWNER NAME: Us Home Llc

PARCEL ADDRESS: 20202 Hackamore Rd,Corcoran MN 55340

PARCEL AREA: 19.74 acres, 859,905 sq ft

A-T-B: Torrens

SALE PRICE: \$1,400,000

SALE DATE: 04/2022

SALE CODE: Excluded From Ratio Studies

ASSESSED 2021, PAYABLE 2022
PROPERTY TYPE: Residential
HOMESTEAD: Homestead
MARKET VALUE: \$526,600
TAX TOTAL: \$7,128.42

ASSESSED 2022, PAYABLE 2023
PROPERTY TYPE: Residential
HOMESTEAD: Homestead
MARKET VALUE: \$610,300

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran

From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Tavera 5th Addition

Date: November 16, 2022

Exhibits:

This Memorandum is based on a review of the following documents:

1. Tavera Phase 1 Grading Plan, Prepared by Pioneer Engineering, Revision Dated 10/25/2021
2. Tavera 5th Addition Utility Plans by Pioneer Engineering, Dated 9/23/2022
3. Rational Method Calculation, by Pioneer Engineering
4. Final Plat Tavera 5th Addition prepared by Pioneer Engineering

Comments:General:

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Corcoran.
3. Applicant shall provide a list of any changes made to the plans not directly related to any of the comments provided.
4. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.

Plat:

1. The applicant shall have all drainage and utility easements provided and shown and all platting requirements met per the City Code. Drainage and utility easements (5' – 10') shall be provided along property lines, as standard per City requirements.
2. Additional easement will be necessary for storm sewer on north side of Lot 1 Block 3. A minimum of 1:1 sloping shall be provided for from the invert of the pipe.

Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction. Provide updated copy of SWPPP to ensure utility components of the 5th Addition are incorporated into the document.

Transportation

1. Driveways within the cul-de-sac are shown within the easements. Revise driveway locations so at the time of building permits they are properly located.

November 16, 2022

Tavera 5th Addition

Kevin Mattson

Page 2 of 2

2. Street lighting locations shall be reviewed by public safety and final lighting locations shall be determined at the time of final plat.
3. Street light between lots 1 and 2 Block 1 should be moved to the sidewalk side of the road. Additional street light shall be added between Lots 9 and 10 Block 2
4. Trail profile in the back yards of block 3 shall have vertical curves instead of connecting tangents.
5. The trail connection along Hackamore Road shall be coordinated with the current design documents for that project.

Grading /Stormwater

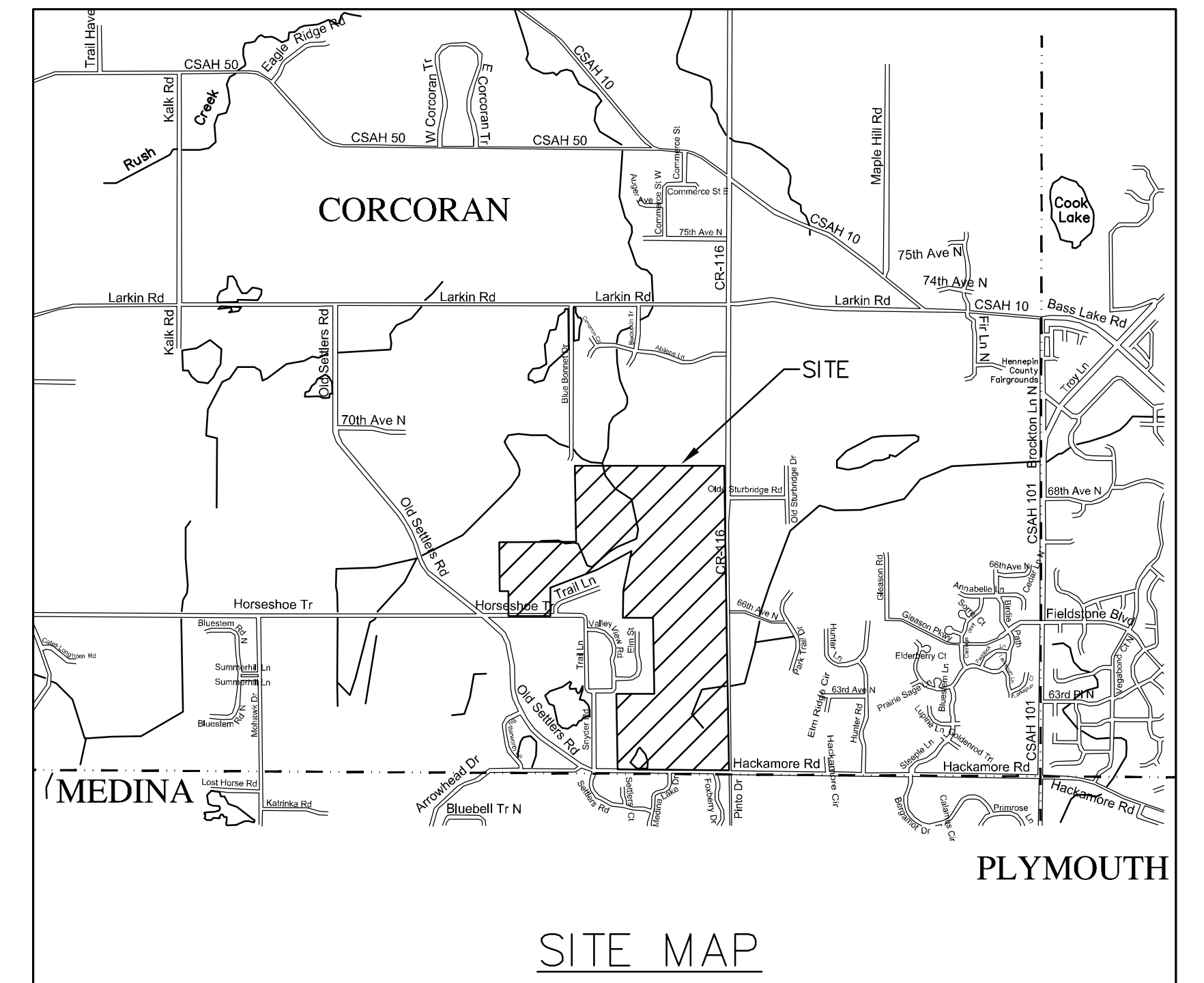
1. Sumps will be required in all storm structures with drops in of 18" or greater as well as the last accessible structures prior to stormwater basins. These shall specifically be provided in CBMH-1207 and CBMH-1209.
2. The FES-P1 appears to be buried based on the pipe profile. Verify pipe elevations so that pipe flows freely and is not submerged.
3. The following pipe sizes are different in the hydraulic model for the development vs the phased piping plan. Verify which is correct and provide updated plans or hydraulic model.
 - o Reach 1202 is 27" in the model and 33" in the spreadsheet; Reach 1204 is 21" in the model and 24" in the spreadsheet.

Watermain/Sanitary Sewer

1. For Sanitary MH-1024 the applicant shall be permission from the property owner for the excavation for the structure to be on the adjacent parcel or the manhole should be slid back from the property line and installed with a stub for future connection.
2. Applicant shall ensure WCA permits allow for watermain installation through Wetlands P and Q.
3. If watermain is bored under wetland P it shall be fused PVC as the city has done on previous projects.
4. On sheet 3.11 remove the valve on north leg of tee adjacent to Hackamore Road.

End of Comments

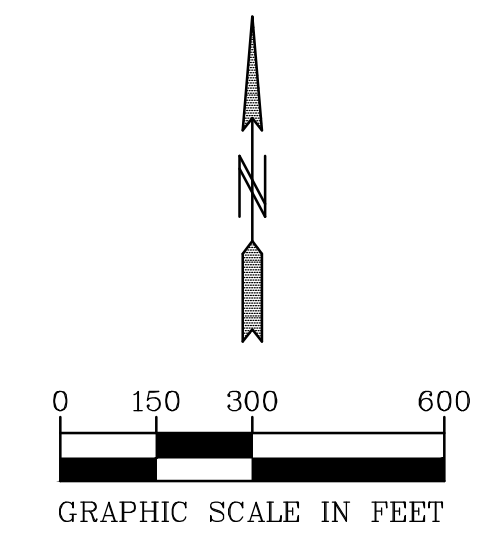
TAVERA PUD & MASTER UTILITY PLAN CORCORAN, MINNESOTA



SHEET INDEX

- 0.01 COVER SHEET
- 0.02 LEGEND SHEET
- 1.01-1.02 EXISTING CONDITIONS
- 2.01-2.06 PRELIMINARY PLAT
- 3.01-3.05 SITE PLAN
- 4.01-4.02 WETLAND IMPACT
- 5.01-5.06 WETLAND BUFFER PLAN
- 6.01-6.06 OVERALL SANITARY & WATERMAIN PLAN
- 7.01-7.05 OVERALL STORM SEWER PLAN
- 7.06-7.07 STORM SEWER OCS DETAILS

T1-T5 TREE PRESERVATION PLAN



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CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
Paul J. Chene
Reg. No.: 19860 Date: 9-11-2020

Revisions:
1. 10-8-2020 Pad Type Change
2. 11-9-2020 Add Demo Plan
3. 01-29-2021 City Comments & 08-18-2021 Trail L, 12 B, 1 2nd Add.
4. 04-09-2021 City Comments
5. 05-27-2021 City Comments
6. 06-11-2021 City Comments
7. 07-16-2021 2nd Addition
8. 08-18-2021 Trail L, 12 B, 1 2nd Add.
9. 09-22-2021 City Comments
10. 09-27-2021 3rd Addition
11. 02-23-2022 City Comments
12. 05-06-2022 City Comments
13. 05-26-2022 City Comments
14. 06-29-2022 City Comments
15. 08-11-2022 City Comments

Date: 9-11-2020
Designed: PIC/BNM
Drawn: MPC

COVER SHEET

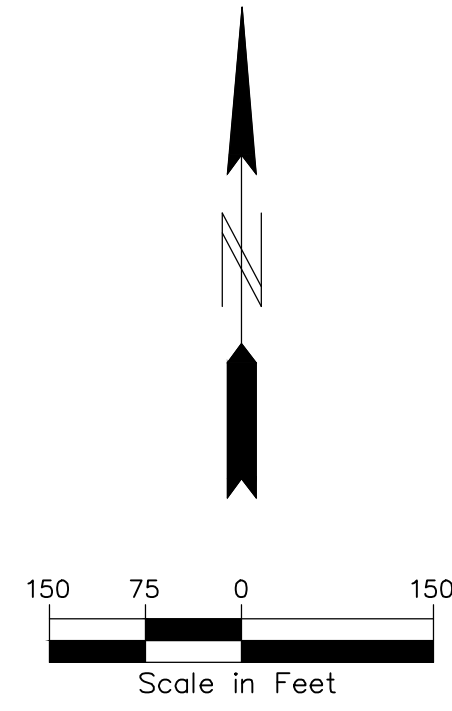
LENNAR
16305 36TH AVENUE NORTH
PLYMOUTH, MINNESOTA 55446

TAVERA
CORCORAN, MINNESOTA

0.01 OF 36

LEGEND

- Denotes concrete
- Denotes gravel
- Denotes bituminous
- Denotes riprap
- Denotes field edge
- Denotes tree line
- Denotes storm sewer line
- Denotes sanitary sewer line
- Denotes water line
- Denotes overhead utility lines
- Denotes underground television line
- Denotes underground telephone line
- Denotes underground fiber optic line
- Denotes underground electric line
- Denotes underground gas line
- Denotes fence (barbed wire)
- Denotes fence (chain link)
- Denotes fence (wood)
- Denotes catch basin
- Denotes catch basin beehive
- Denotes flared end section
- Denotes gate valve
- Denotes hydrant
- Denotes service
- Denotes water well
- Denotes cleanout
- Denotes hand hole
- Denotes manhole other than sanitary or storm
- Denotes sanitary or storm manhole
- Denotes lawn sprinkler valve
- Denotes lawn sprinkler head
- Denotes utility pole
- Denotes transformer box
- Denotes fiber optic box
- Denotes electric box
- Denotes natural gas meter
- Denotes light pole
- Denotes telephone box
- Denotes television box
- Denotes cast iron monument
- Denotes found iron pipe
- Denotes flag pole
- Denotes test hole
- Denotes mailbox
- Denotes sign



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2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota

Name: Peter J. Hawkinson
 Reg. No.: 42299
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
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 5. 05-27-2021 City Comments
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 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F B, I 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

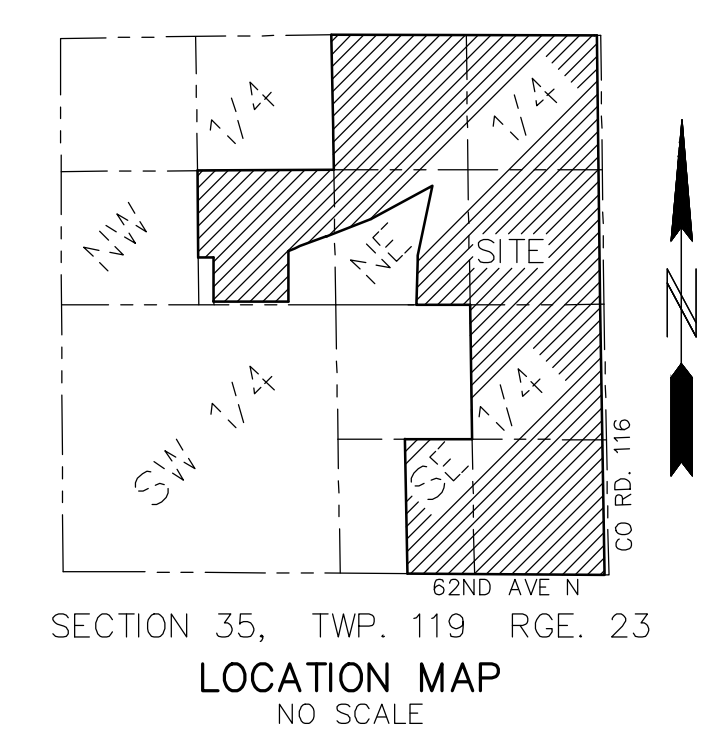
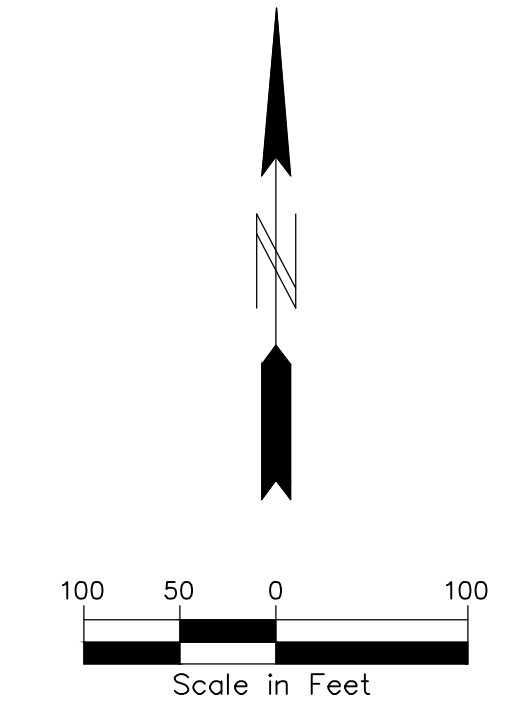
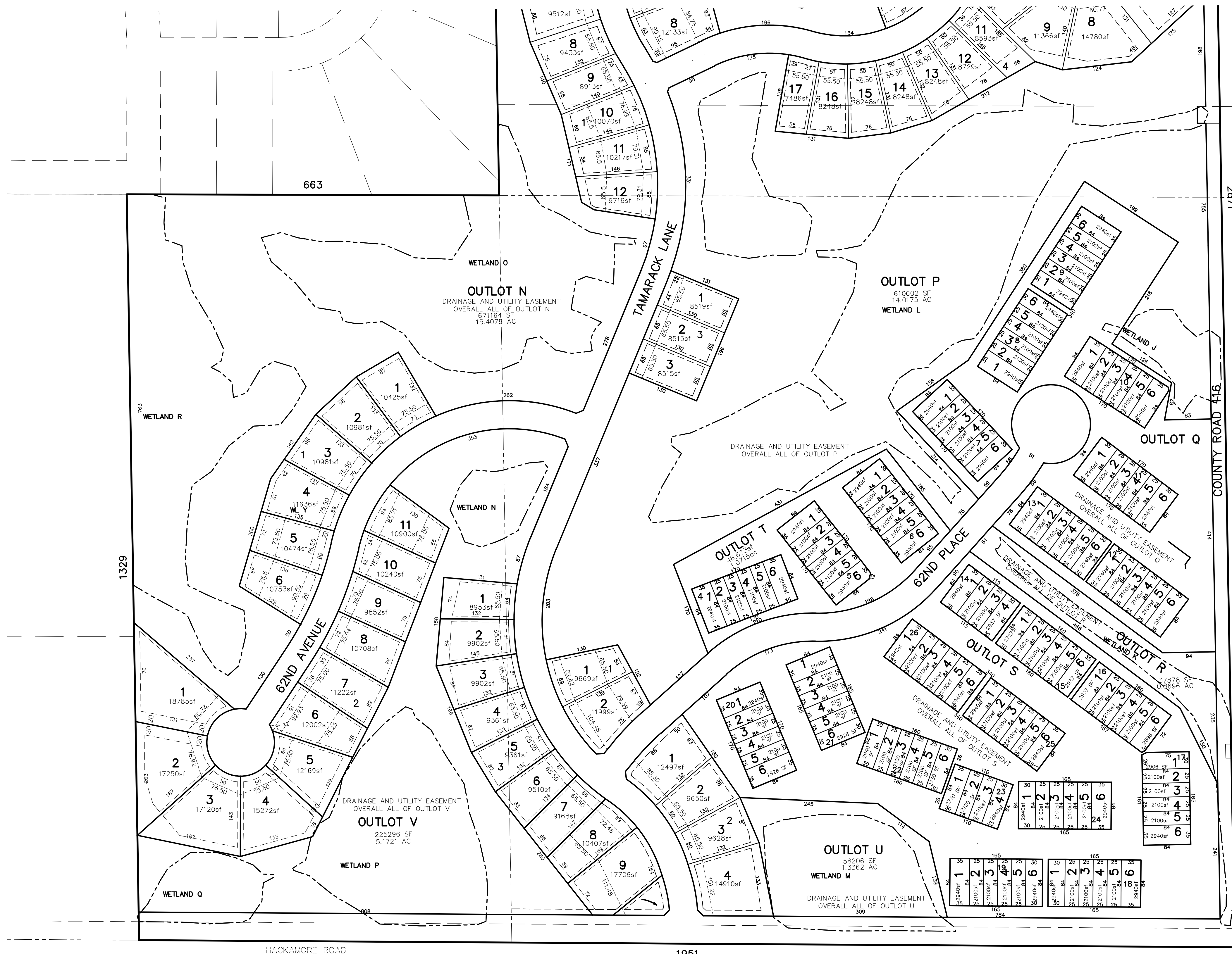
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

EXISTING CONDITIONS

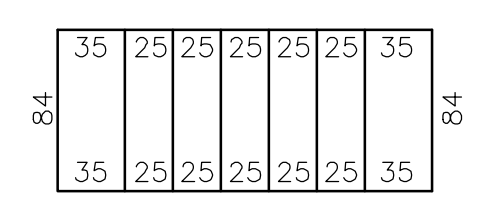
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

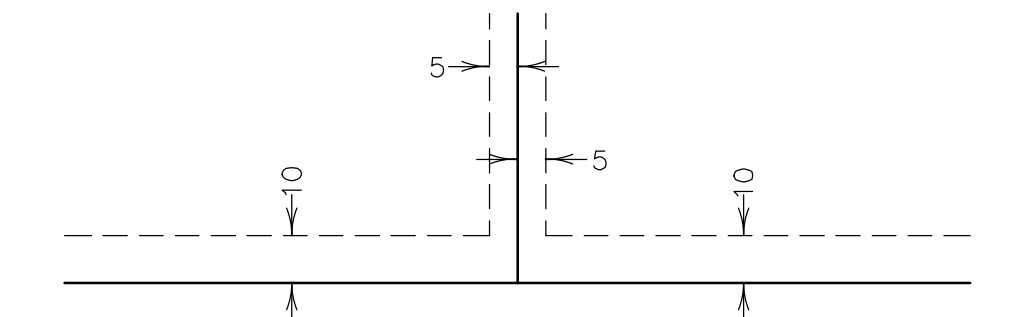
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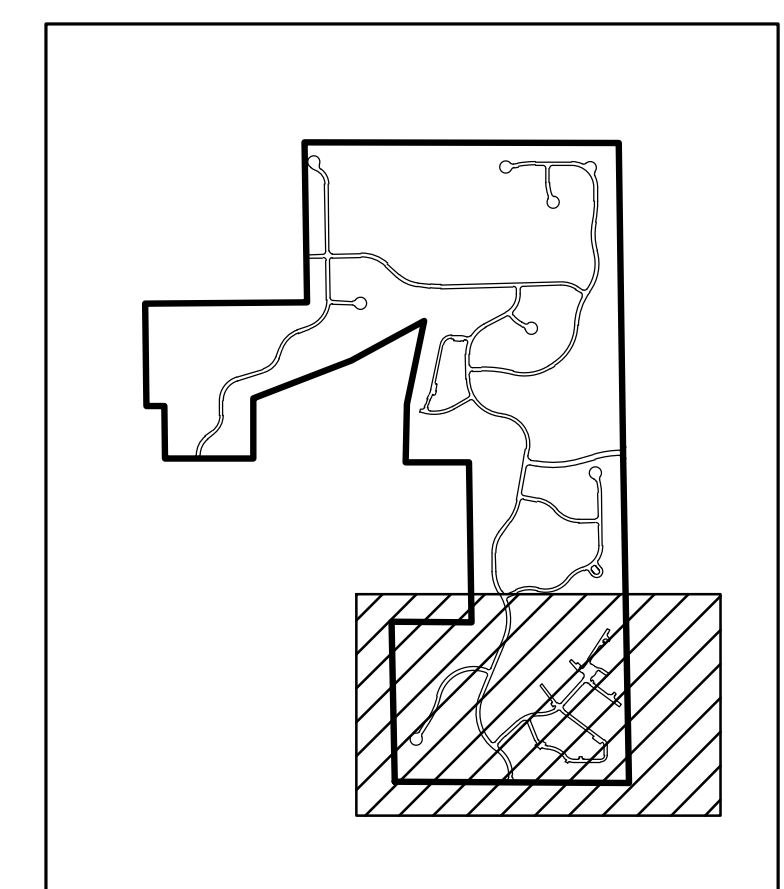
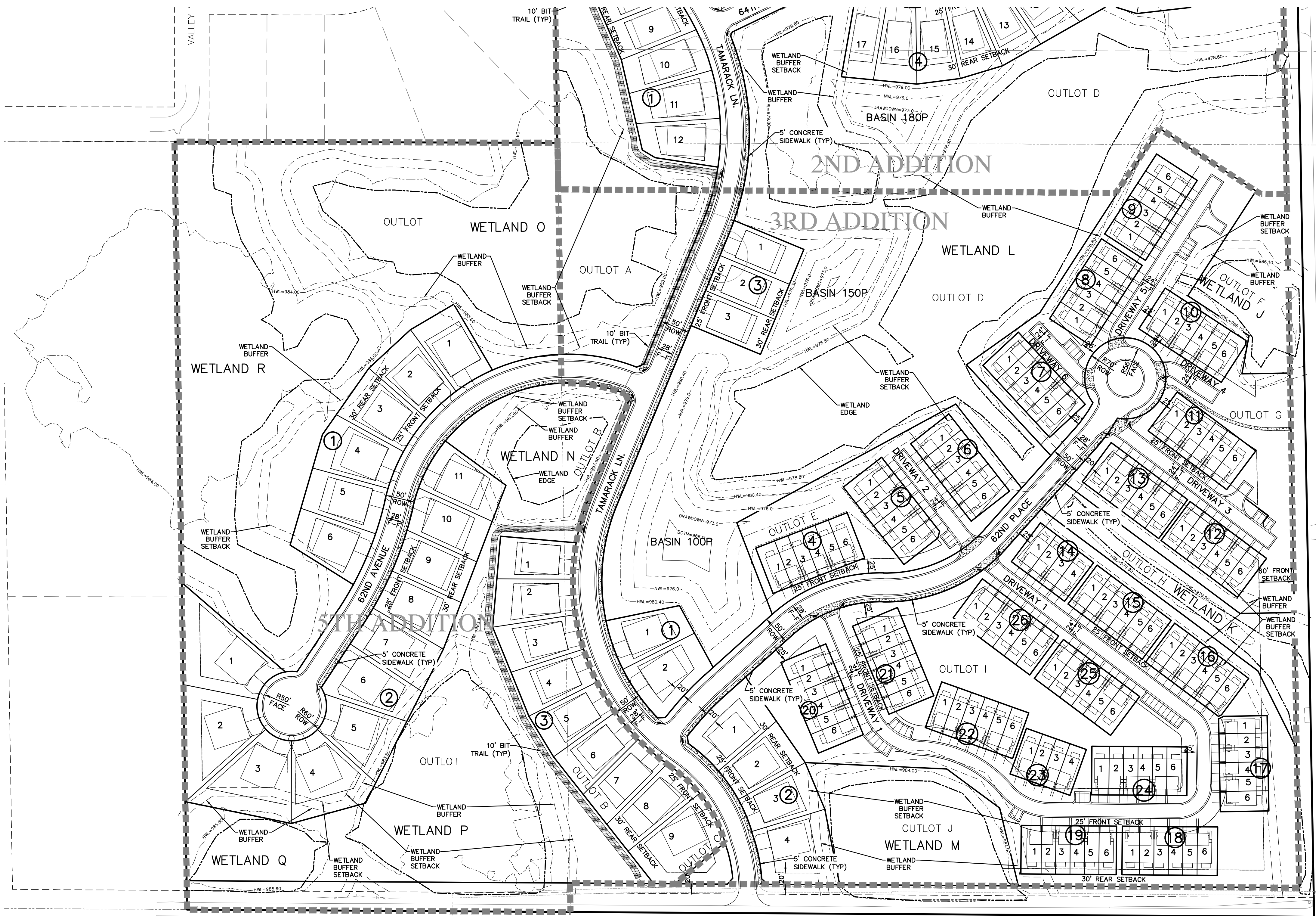
TOWNHOME LOT TYPICAL:



DRAINAGE AND UTILITY EASEMENTS FOR SINGLE FAMILY LOTS ARE SHOWN THIS:



being 5 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining street lines and rear lot lines unless otherwise indicated on the plat.



INDEX

PROPOSED UNITS: 549
 55-65' VILLAS: 70 (44-55', 29-65')
 55' SF: 51
 65' SF: 156
 75' SF: 58
 TWIN UNITS: 80
 ROW TOWNHOME UNITS: 134

PROPOSED SETBACKS:
 VILLAS:
 AREA: 7,000 SF
 WIDTH: 55' TO 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

75' WIDE SINGLE FAMILY LOTS:
 AREA: 9,000 SF
 WIDTH: 75'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

65' WIDE SINGLE FAMILY LOTS:
 AREA: 7,800 SF
 WIDTH: 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

55' WIDE SINGLE FAMILY LOTS:
 AREA: 6,600 SF
 WIDTH: 55'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

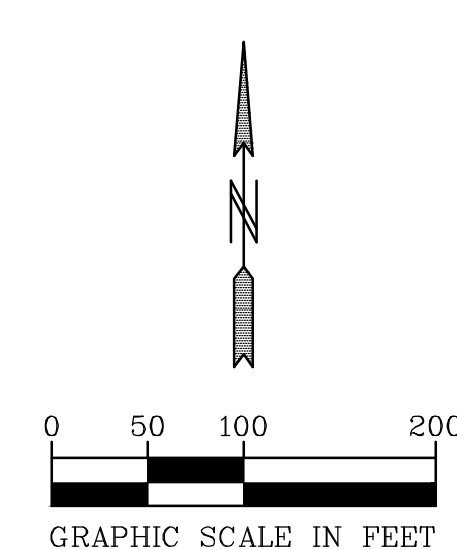
TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO RIGHT OF WAY

TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO CURB(PRIVATE STREET)
 SIDE STREET: 25' TO RIGHT OF WAY(PUBLIC STREET)





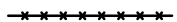

WETLAND REQUIREMENTS (AVERAGING ALLOWED):
 HIGH:
 AVERAGE WIDTH: 50'
 MINIMUM WIDTH: 40'
 MAXIMUM WIDTH: 60'
 SETBACK FROM BUFFER: 15'
 MEDIUM:
 AVERAGE WIDTH: 25'
 MINIMUM WIDTH: 20'
 MAXIMUM WIDTH: 40'
 SETBACK FROM BUFFER: 15'
 LOW:
 AVERAGE WIDTH: 25' (WATERSHED STANDARD)
 MINIMUM WIDTH: 10'
 MAXIMUM WIDTH: 20'
 SETBACK FROM BUFFER: 15'

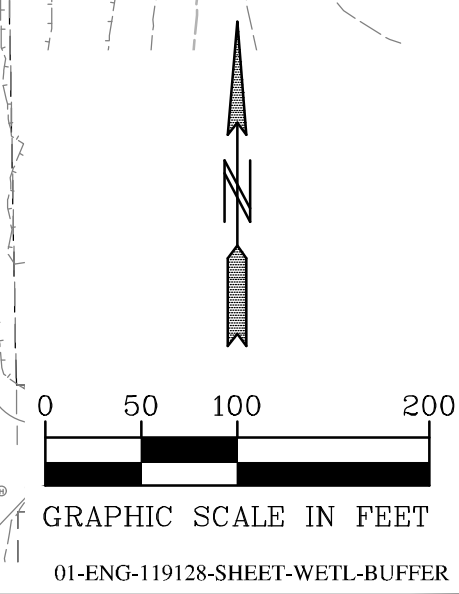
TOWNHOME PARKING SUMMARY
 UNITS: 134
 OFF STREET: 38
 ON STREET: 20

COUNTY ROAD 116



WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	179,402
WETLAND C	122,146	134,034
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK



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2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

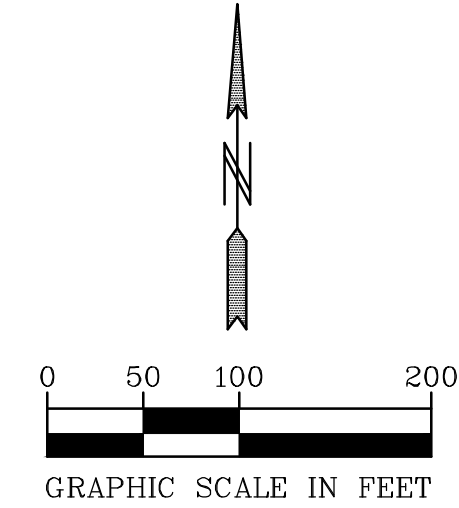
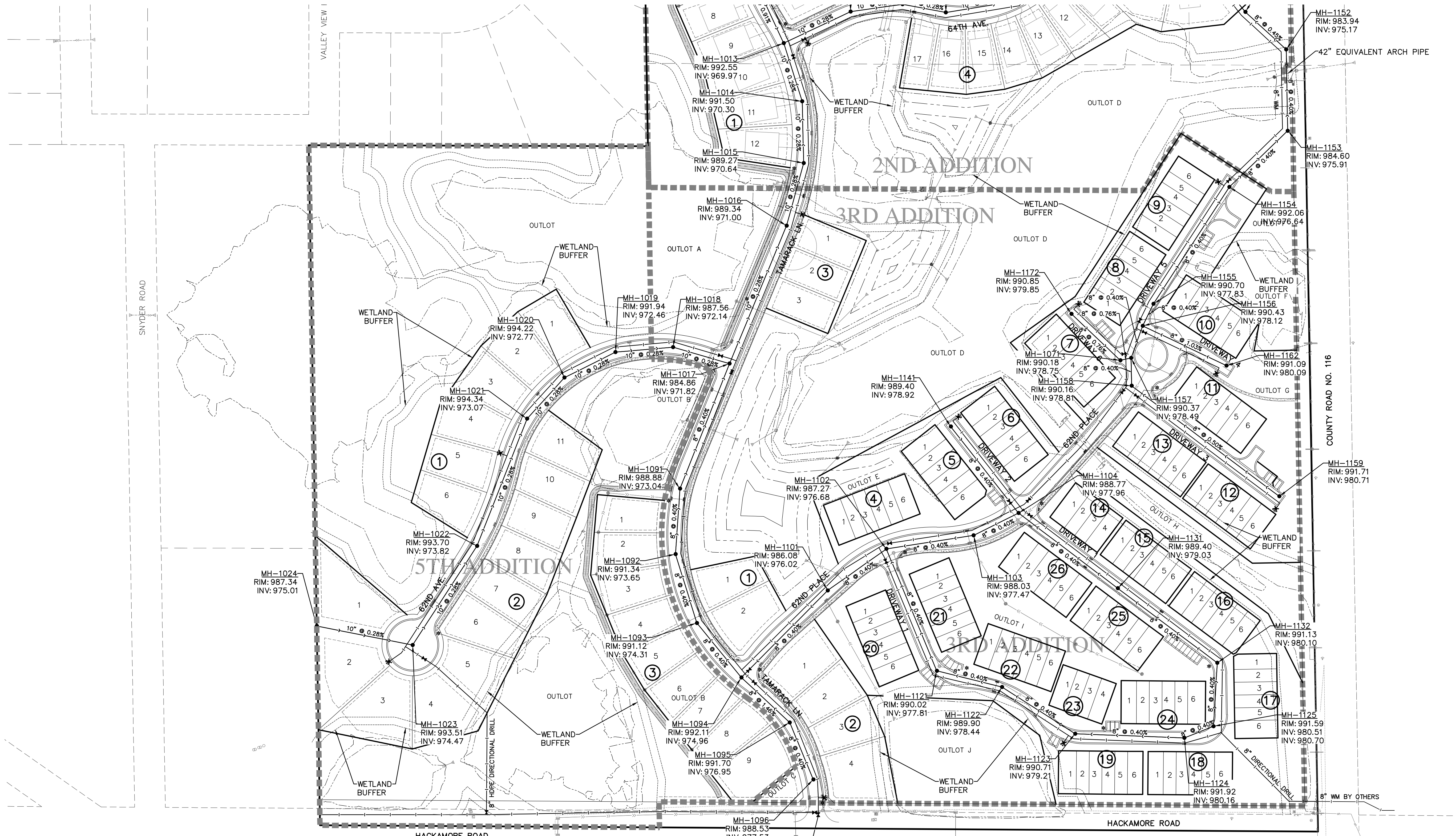
Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-18-2021 Trail L, F, B, 1 2nd Add
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 7. 07-16-2021 2nd Addition
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 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

WETLAND BUFFER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
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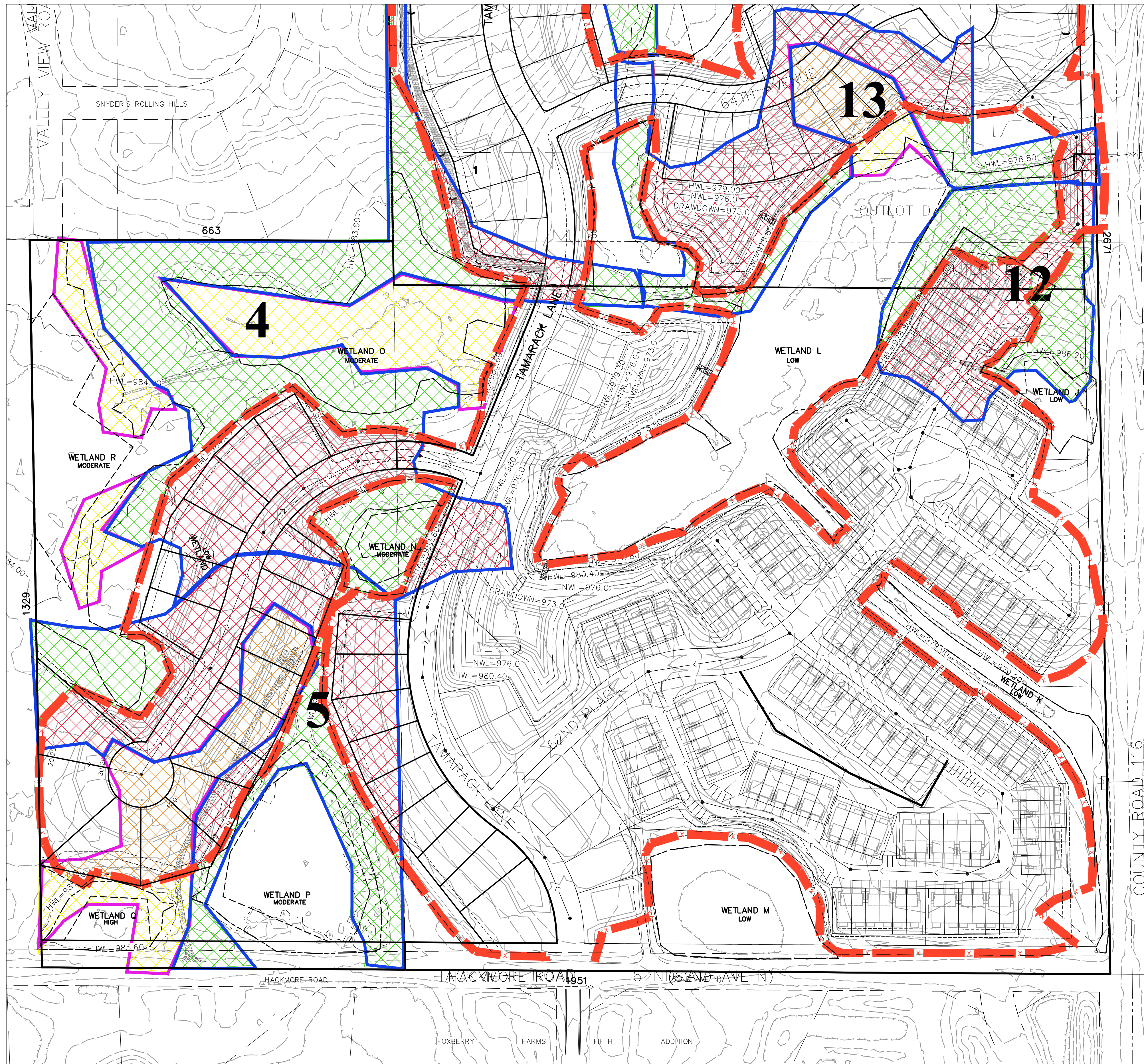
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

**SANITARY SEWER & WATERMAIN
 MASTER PLAN**

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446


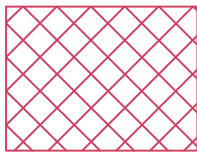
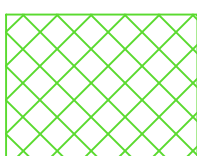

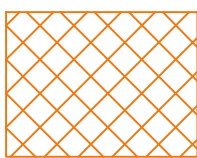
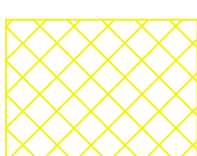

TAVERA
 CORCORAN, MINNESOTA

6.05 OF 36



TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (50.0%)

SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

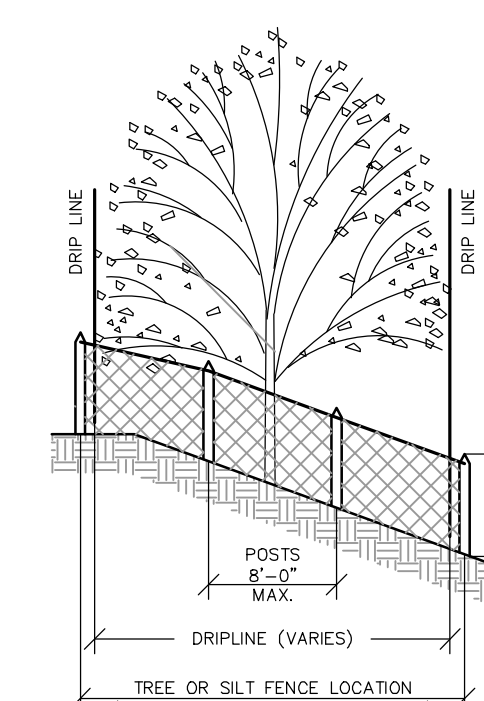
-  ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
-  REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
22.1 ACRES (56%)
-  SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.4 ACRES (44%)
-  ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
-  REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.7 ACRES (37%)
-  SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.3 ACRES (63%)
-  EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
- 2** WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

TREE PROTECTION DETAIL

NOT TO SCALE

TREES TO BE SAVED SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING OR HEAVY DUTY SILT FENCE AND STEEL STAKES AT THE DRIP LINE, OR AS DIRECTED BY THE OWNER'S CONSULTANT.

PROTECTION FENCE WILL HELP INSURE AGAINST DAMAGE BY VEHICLES, COMPACTION OF SOILS AND/OR THE CHEMICAL ALTERATION OF SOILS DUE TO CONCRETE WASHOUT, PAINTS AND LEAKAGE OR SPILLAGE OF ANY TOXIC MATERIALS.



INSTALL TREE OR SILT FENCE PRIOR TO OR AT SAME TIME AS LAND CLEARING.

PROTECTION FENCE SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

IF PROTECTION FENCE IS DAMAGED OR REMOVED, NEW FENCING MUST BE PLACED BACK IN ORIGINAL POSITION UNTIL CONSTRUCTION IS COMPLETE.

TREE OR SILT FENCE LOCATION (LIMITS OF PROTECTED ROOT ZONE)
 RADIUS = 1 - 1.5 FOOT PER INCH OF TRUNK DIAMETER

TREE PRESERVATION NOTES

BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.

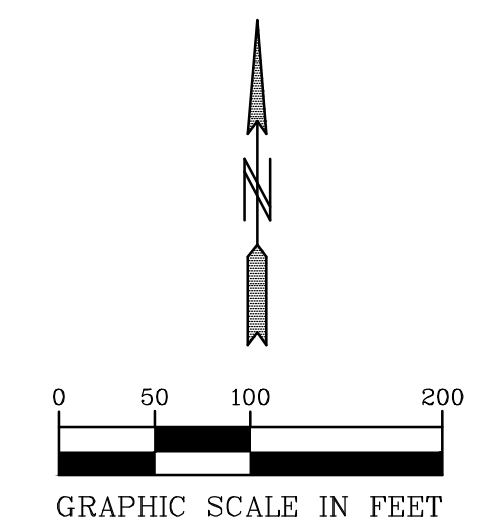
NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.

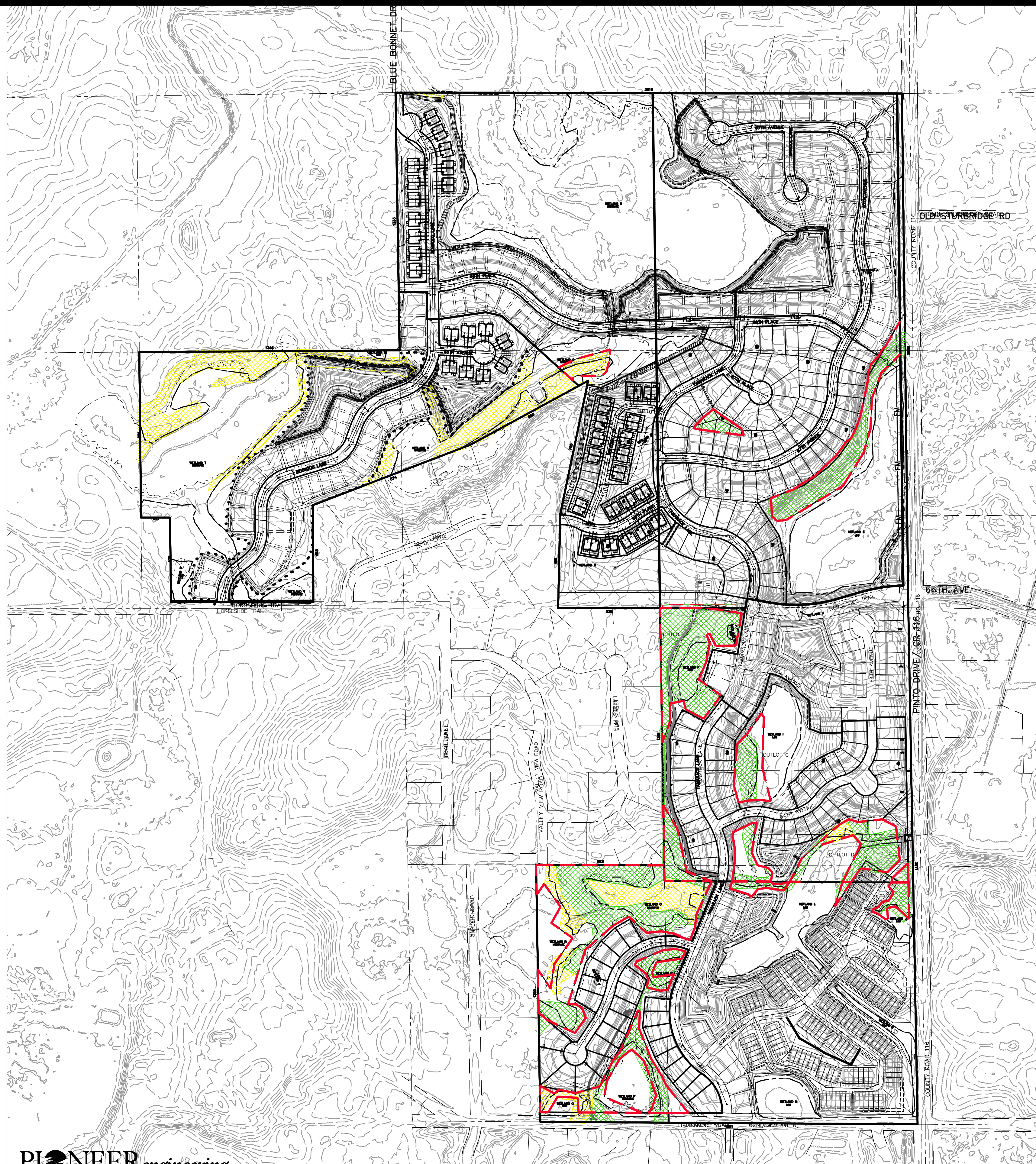
NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.

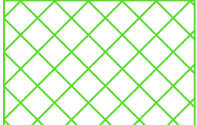
WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.

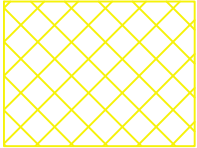
PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.


IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY, (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).

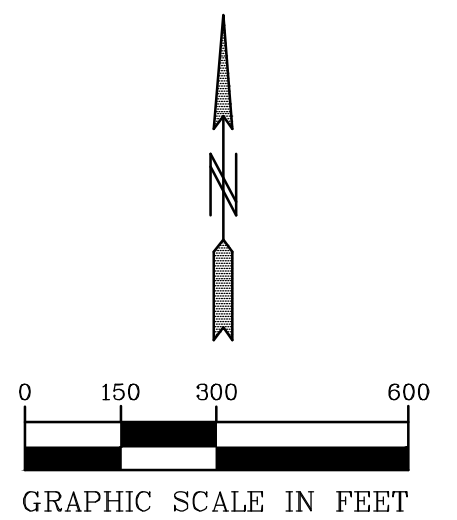


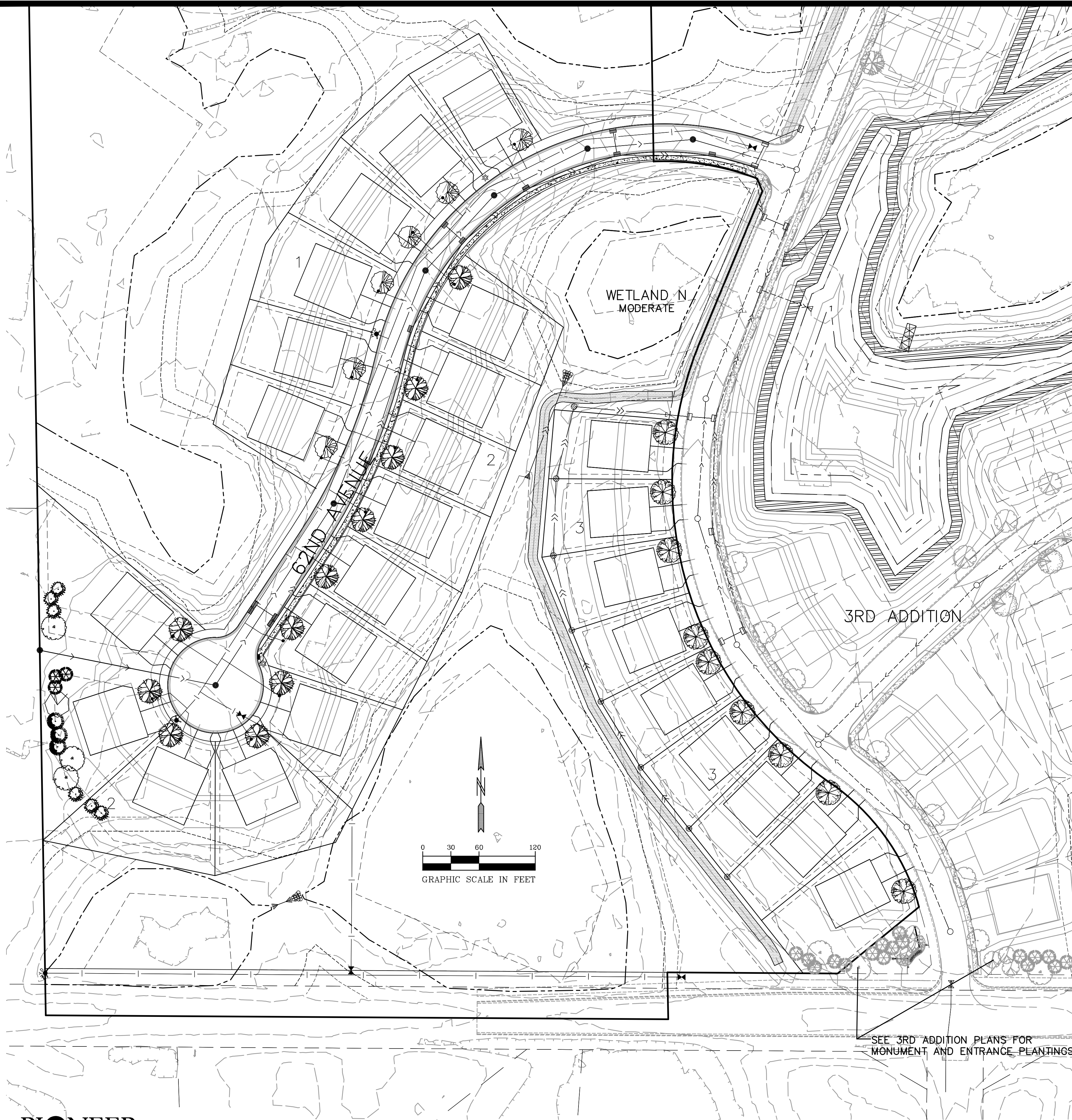


 SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.4 ACRES (44%)

 SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.3 ACRES (63%)

 TREE PRESERVATION EASEMENT
TREE PRESERVATION AREAS WILL BE PROTECTED BY A PERMANENT EASEMENT.
EACH PHASE WILL BE WRITTEN WITH EACH FINAL PLAT.
CONSERVATION EASEMENT AREAS WILL BE MANAGED BY THE HOA.





PLANTING SCHEDULE (5th ADDITION)

KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY
OVERSTORY TREES			
	RED OAK/QUERCUS RUBRA	2.5" B&B	11
	RIVER BIRCH/BETULA NIGRA 'HERITAGE' (CLUMP)	10-12' B&B	3
	NORTHWOOD MAPLE/ACER RUBRUM 'NORTHWOOD'	2.5" B&B	9
	KENTUCKY COFFEETREE/GYMNOCOLAUS DIOICUS	2.5" B&B	6
	SWAMP WHITE OAK/QUERCUS BICOLOR	2.5" B&B	1
EVERGREEN TREES			
	WHITE PINE/PINUS STROBUS	6' B&B	3
	NORWAY SPRUCE/PICEA ABIES	6' B&B	3
	BLACK HILLS SPRUCE/PICEA GLUACA VAR DENSATA	6' B&B	6

CITY LANDSCAPE REQUIREMENTS (OVERALL SITE)

ONE TREE/DWELLING UNIT (549 UNITS): 549 TREES

LANDSCAPE BUFFER ALONG COUNTY ROAD 116 (FOR SETBACK REDUCTION AREAS ENTIRE PROJECT):

A MINIMUM OF 1 OVERSTORY TREE, 1 CONIFEROUS TREE, 2 ORNAMENTAL TREES, AND 10 SHRUBS PER 100'.

2,900 LF OF BUFFER PROPOSED ALONG COUNTY ROAD 116

REQUIRED TREES:

- 29 OVERSTORY TREES
- 29 CONIFER TREES
- 58 ORNAMENTAL TREES
- 290 SHRUBS

PROPOSED TREES:

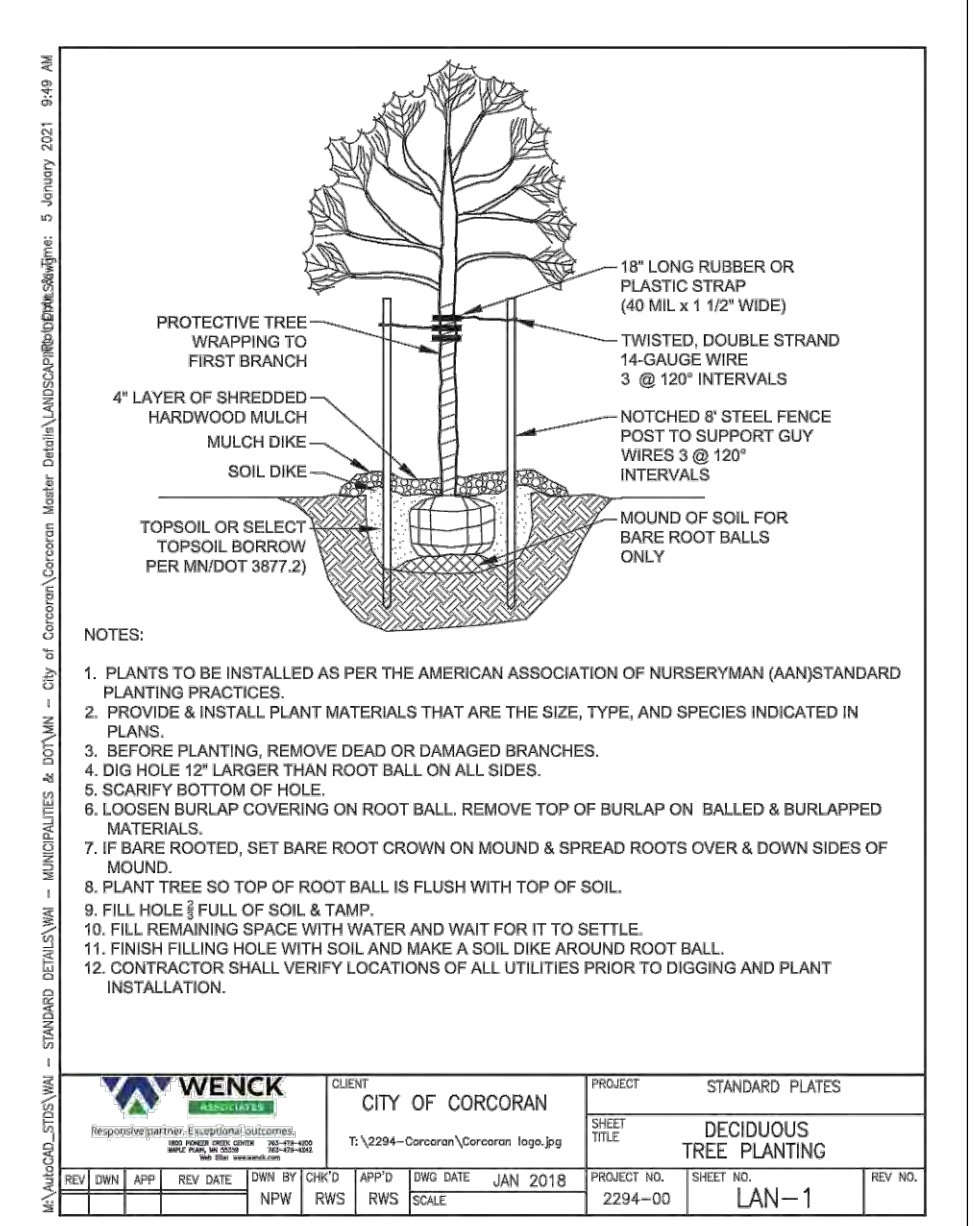
- 47 OVERSTORY TREES
- 96 CONIFER TREES
- 48 ORNAMENTAL TREES

TOTAL REQUIRED TREES: 665
 TOTAL PROPOSED TREES: 1,060
 TOTAL PROPOSED TREES FIRST ADDITION: 103
 TOTAL PROPOSED TREES SECOND ADDITION: 90
 TOTAL PROPOSED TREES THIRD ADDITION: 243
 TOTAL PROPOSED TREES FOURTH ADDITION: 166
 TOTAL PROPOSED TREES FIFTH ADDITION: 42

TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE FINAL HOME DESIGNS AND DRIVEWAY LOCATIONS.

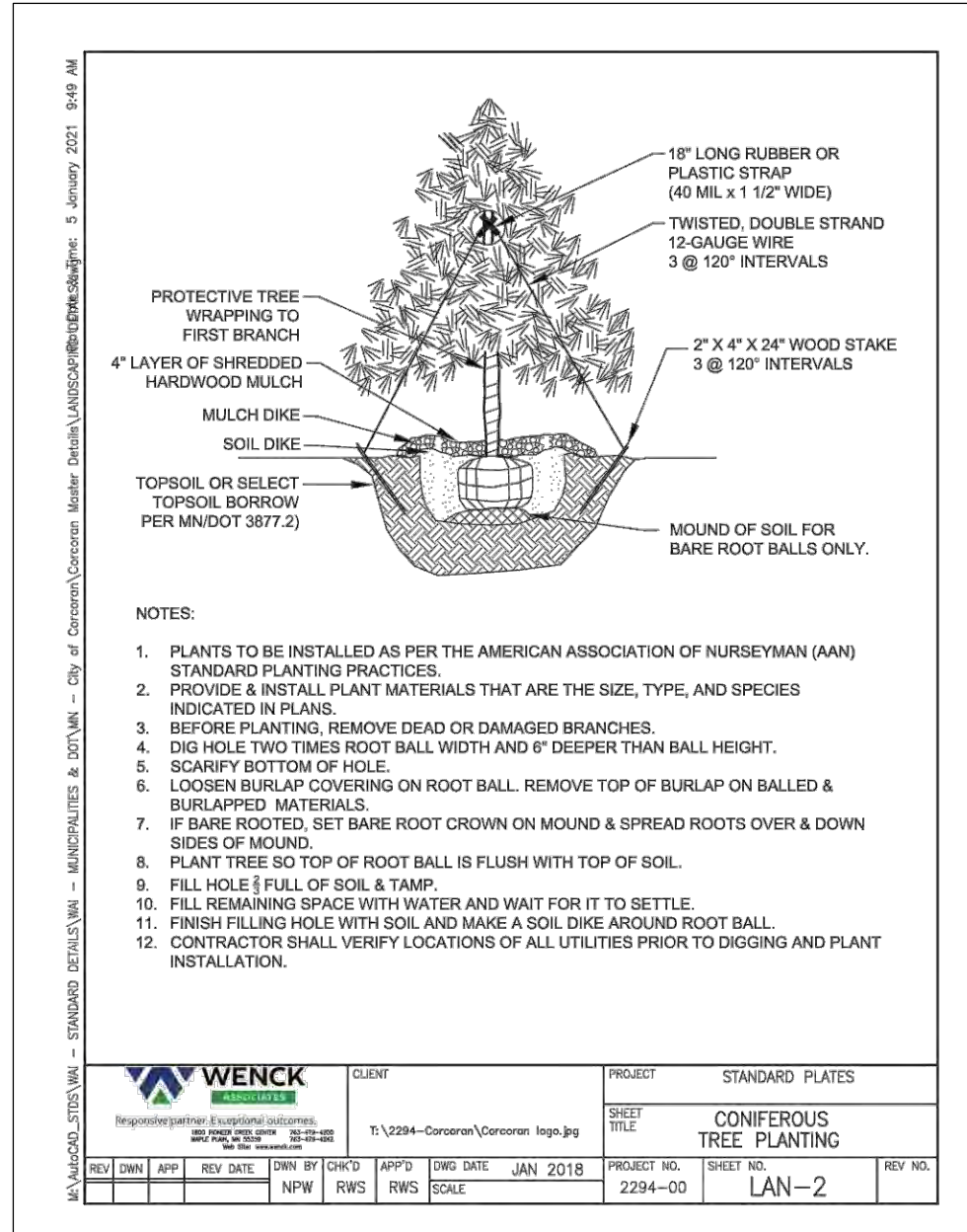
IRRIGATION AND LANDSCAPING MAINTENANCE IS THE RESPONSIBILITY OF THE HOA INCLUDING CUL DE SAC ISLANDS, COMMON AREAS, SIDEWALKS, AND WETLAND/POND BUFFER AREAS.

IRRIGATION SYSTEM SHALL HAVE RAIN SENSORS TO LIMIT UNNECESSARY WATERING.



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PLANTING START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH Gopher State One Call 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSESMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAMN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.



TAVERA 5TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That U.S. Home, LLC, a Delaware limited liability company, fee owner of the following described property:

OUTLOT A and B, TAVERA 3RD ADDITION, Hennepin County, Minnesota
and
East half of the Southwest Quarter of the Southeast Quarter, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

Has caused the same to be surveyed and platted as TAVERA 5TH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said U.S. Home, LLC, a Delaware limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: U.S. Home, LLC

By: _____, its _____.

STATE OF MINNESOTA COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by _____,
its _____ of U.S. Home, LLC, a Delaware limited liability company, on behalf of the company.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

In witness whereof said Michael Rouillard and Sharon E. Wessel, husband and wife, have hereunto set their hands this _____ day of _____, 20____.

Michael Rouillard

Sharon E. Wessel

STATE OF MINNESOTA COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by Michael Rouillard and Sharon E. Wessel.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Peter J. Hawkinson, Licensed Land Surveyor, Minnesota License No. 42299

STATE OF MINNESOTA COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____, by Peter J. Hawkinson.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

CITY COUNCIL, CITY OF CORCORAN, MINNESOTA

This plat of TAVERA 5TH ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota, at a regular meeting thereof, held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Corcoran, Minnesota

BY: _____, Mayor BY: _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this day of _____, 20____.

_____, County Auditor

By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this ____ day of _____, 20____.

Chris F. Mavis, County Surveyor

By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of TAVERA 5TH ADDITION was filed in this office this ____ day of _____, 20____, at ____ o'clock ____ .M.

Amber Bougie, Registrar of Titles

By: _____, Deputy

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of TAVERA 5TH ADDITION was recorded in this office this ____ day of _____, 20____, at ____ o'clock ____ .M.

Amber Bougie, County Recorder

By: _____, Deputy

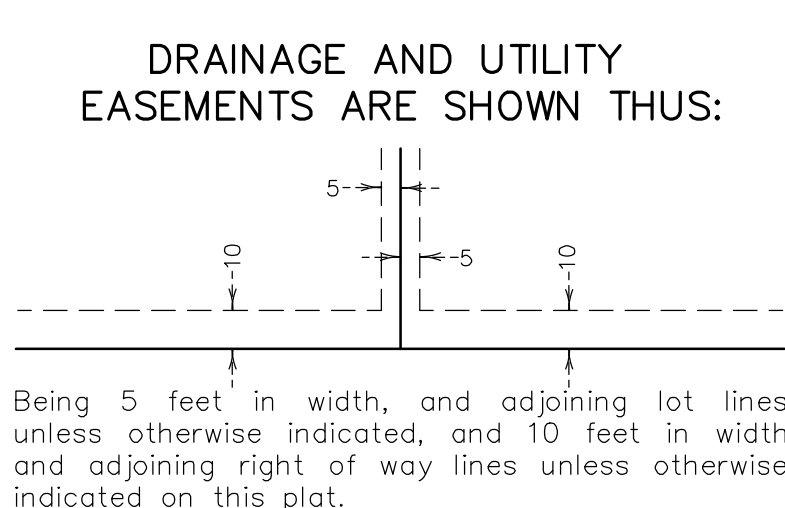
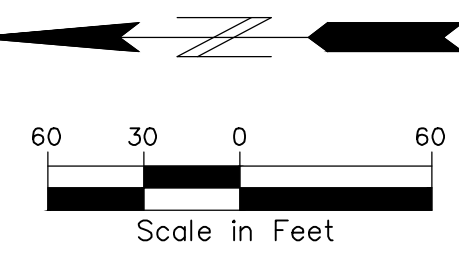
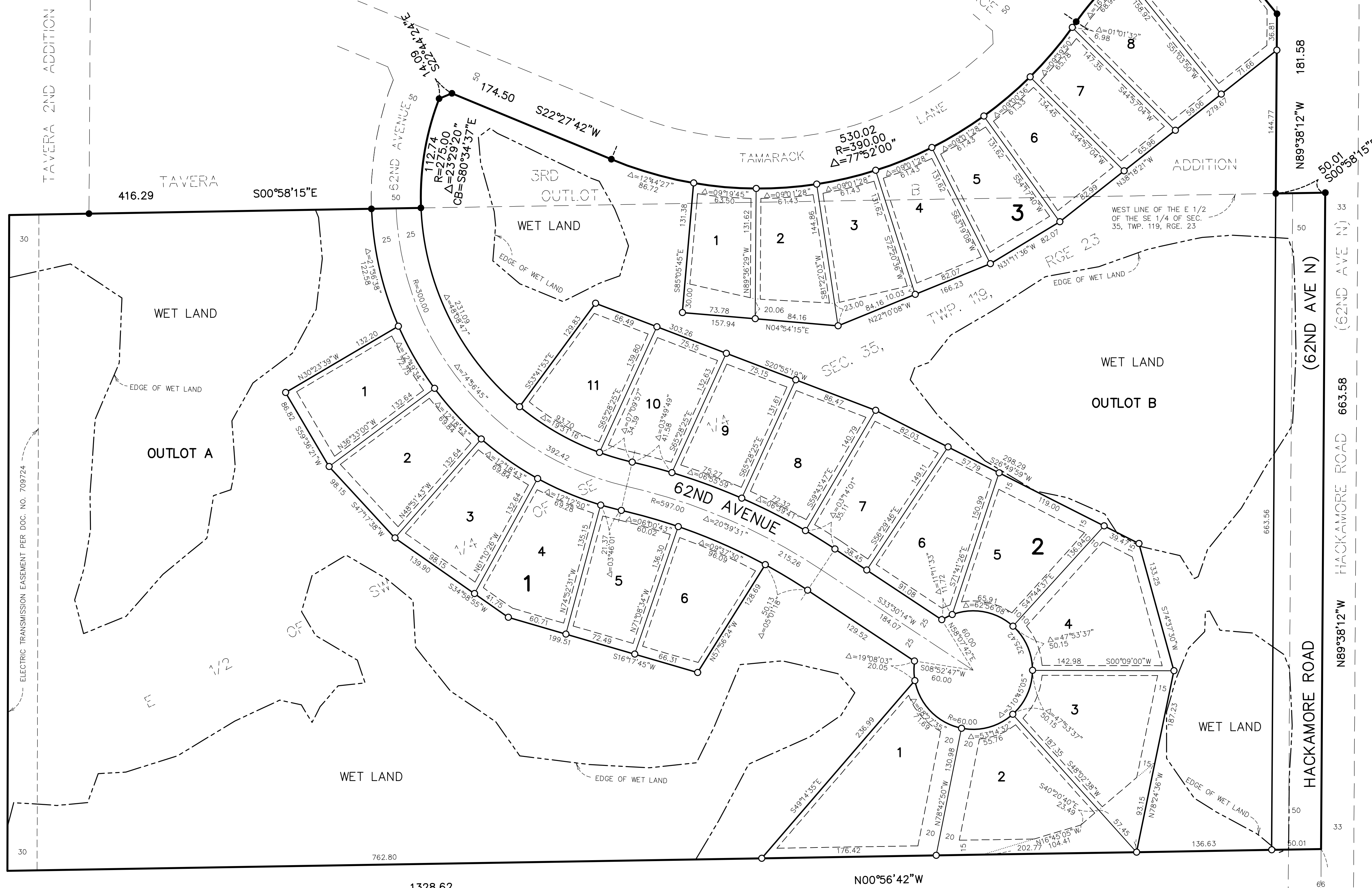
TAVERA 5TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

SNYDER'S ROLLING HILLS

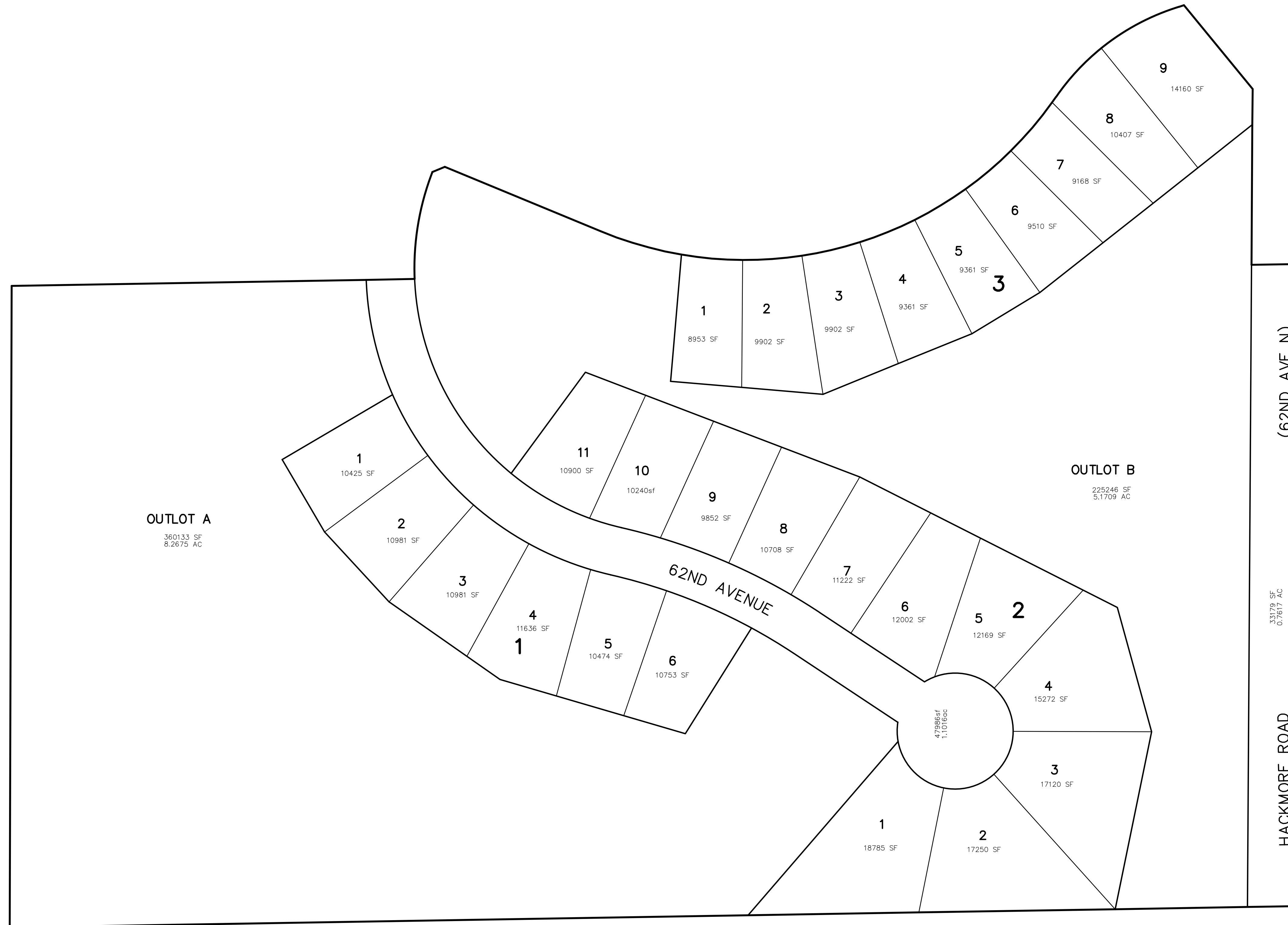
662.94

S89°50'23"E

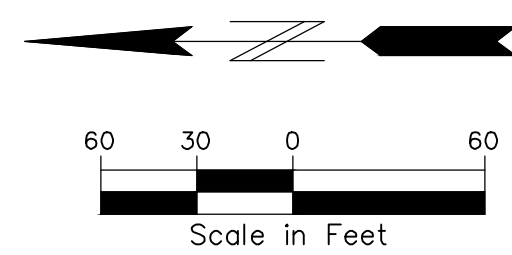


- THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE SOUTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°38'12" EAST.
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUDB. 10.
 - DENOTES FOUND HENNEPIN COUNTY CAST IRON MONUMENT
 - DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.


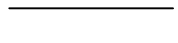


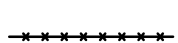
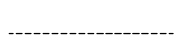
TAVERA 5TH ADDITION






AREA SUMMARY		
BLOCK 1 =	65,250 SF.	1.4979 AC.
BLOCK 2 =	145,519 SF.	3.3407 AC.
BLOCK 3 =	90,723 SF.	2.0827 AC.
TOTAL LOT AREA =	301,492 SF.	6.9213 AC.
TOTAL OUTLOT AREA =	585,379 SF.	13.4384 AC.
TOTAL R/W AREA =	81,165 SF.	1.8633 AC.
TOTAL AREA =	968,036 SF.	22.2230 AC.



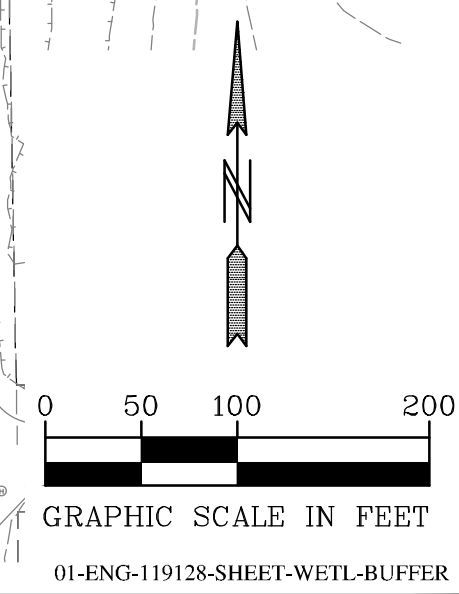
WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	179,402
WETLAND C	122,146	134,034
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK

-  A red check indicates a wetland buffer monument is needed
-  A green check indicates a correctly placed monument
-  A red X indicates an incorrectly placed monument to be removed

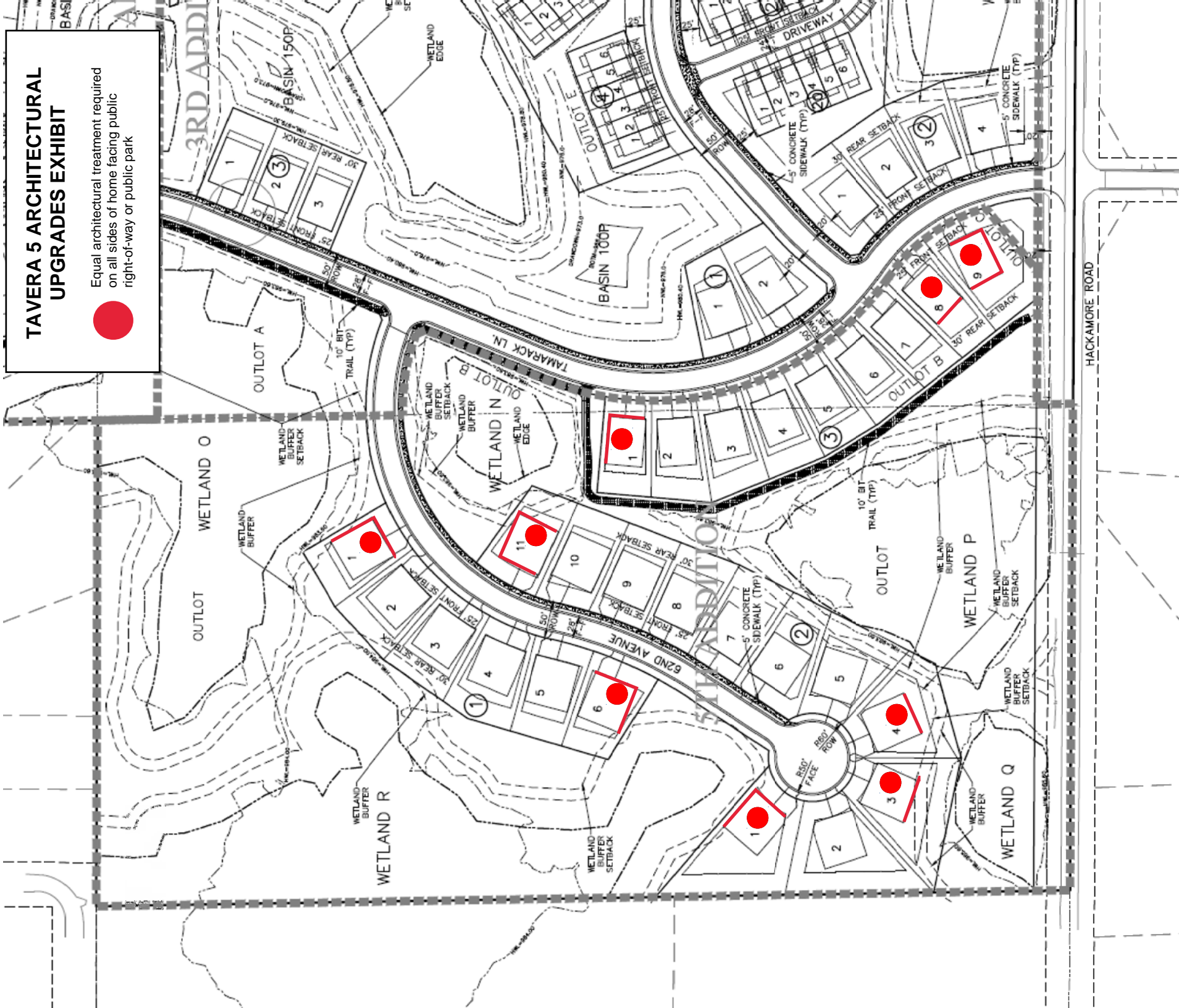
As required by Section 1050.010, wetland buffer monuments must be installed to clearly delineated where buffers exist and where the vegetation must be maintained. A wetland buffer monument is required at each lot line where it crosses a wetland buffer and where needed to indicate the contour of the buffer, with a maximum spacing of 200 feet.

Wetland buffer averaging may be used to minimize the amount of contouring along the wetland buffer edge in order to reduce the number of monuments required.



TAVERA 5 ARCHITECTURAL UPGRADES EXHIBIT

Equal architectural treatment required on all sides of home facing public right-of-way or public park



STAFF REPORT

Agenda Item: 7d.

Council Meeting: November 21, 2022	Prepared By: Maggie Ung
Topic: Liability Coverage – Waiver	Action Required: Approval

Summary:

The City is a member of the Minnesota League of Cities Insurance Trust and must decide whether to waive the statutory tort requirements for the 2023 insurance renewal. By not waiving the limits, an individual would not be able to recover more than \$500,000 on claims which tort limits apply. Waiving the limits would require extending the limits of liability coverage obtained, and the City could pay more than \$500,000 on claims which tort limits apply. In the past several years the City's policy decision has been to not waive the statutory tort limits. The City Council may choose to review the policy to waive tort limits.

Financial/Budget:

Additional liability coverage would need to be purchased if the City were to waive coverage.

Council Action:

Elect to not waive the monetary limits on municipal tort liability established by Minn. Stat. 466.04 and authorize the Mayor to sign the liability coverage waiver form.

Attachments:

1. Liability Coverage – Waiver Form

LIABILITY COVERAGE – WAIVER FORM

Members who obtain liability coverage through the League of Minnesota Cities Insurance Trust (LMCIT) must complete and return this form to LMCIT before the member's effective date of coverage. Return completed form to your underwriter or email to pstech@lmc.org.

The decision to waive or not waive the statutory tort limits must be made annually by the member's governing body, in consultation with its attorney if necessary.

Members who obtain liability coverage from LMCIT must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. The decision has the following effects:

- *If the member does not waive the statutory tort limits, an individual claimant could recover no more than \$500,000 on any claim to which the statutory tort limits apply. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would be limited to \$1,500,000. These statutory tort limits would apply regardless of whether the member purchases the optional LMCIT excess liability coverage.*
- *If the member waives the statutory tort limits and does not purchase excess liability coverage, a single claimant could recover up to \$2,000,000 for a single occurrence (under the waive option, the tort cap liability limits are only waived to the extent of the member's liability coverage limits, and the LMCIT per occurrence limit is \$2,000,000). The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to \$2,000,000, regardless of the number of claimants.*
- *If the member waives the statutory tort limits and purchases excess liability coverage, a single claimant could potentially recover an amount up to the limit of the coverage purchased. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to the amount of coverage purchased, regardless of the number of claimants.*

Claims to which the statutory municipal tort limits do not apply are not affected by this decision.

LMCIT Member Name:

Check one:

- The member **DOES NOT WAIVE** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#).
- The member **WAIVES** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#), to the extent of the limits of the liability coverage obtained from LMCIT.

Date of member's governing body meeting: _____

Signature: _____ Position: _____

RESOLUTION NO. 2022-142

Motion By:
Seconded By:

**A RESOLUTION DESIGNATING POLLING PLACE LOCATIONS
FOR 2023 ELECTIONS**

WHEREAS, Minnesota Statute Section 204B.16, subd. 1 requires the governing body of each municipality to designate by resolution a polling place by December 31 each year and no less than 90 days before an election; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Corcoran, that the following polling places are located in Corcoran and designated for each election precinct in 2023:

- Precinct 1 – St. Thomas the Apostle Church – 20000 County Road 10, Corcoran, MN 55340
- Precinct 2 – Hope Community Church – 19951 Oswald Farm Road, Corcoran, MN 55374
- Precinct 3 – Corcoran City Hall – 8200 County Road 116, Corcoran, MN 55340

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

Whereupon, said Resolution is hereby declared adopted on this 21st day of November, 2022.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

STAFF REPORT

Agenda Item 7f.

Council Meeting: November 21, 2022	Prepared By: Jessica Beise
Topic: Schedule Work Session – 2023 Fee Schedule	Action Required: Schedule Work Session

Summary:

It is recommended Council schedule a work session on December 8th to discuss the 2023 Fee Schedule. City staff anticipates receiving the results of a fee analysis and discussing potential policy changes related to City fees for 2023.

Financial/Budget:

N/A

Options:

1. Schedule a work session for 5:30 pm on December 8, 2022.
2. Schedule a work session for a different day and time.

Recommendation:

Schedule a work session for 5:30 pm on December 8, 2022.

Council Action:

Mayor to schedule a work session for 5:30 pm on December 8, 2022.

Attachments:

None

STAFF REPORT

Agenda Item: 8a.

City Council Meeting: November 21, 2022	Prepared By: Kendra Lindahl, AICP
Topic: Rezoning, Preliminary Plat and Preliminary PUD Development Plan for “Corcoran Farms Business Park” (PID 26-119-23-13-0006) (City file no. 22-044)	Action Required: Approval

120-Day Review Deadline:

December 29, 2022

1. Request

JMMK, LLC has submitted a request for review of a rezoning to PUD (planned unit development), preliminary plat and preliminary PUD development plan to develop a five-lot industrial park consisting of five buildings.

Key plan application materials are attached as part of this packet; however, due to size limitations not every item is included. The complete application is available at city hall.



Figure 1 - Location Map

2. Parks and Trails Commission Review

The Parks and Trails Commission reviewed this item at their September 15th meeting. They recommended that the trail be shifted to connect with Blue Bonnet at Larkin Road and be extended north to the gas line easement then east to the stream. The trail would then extend north as shown on the plans. This option is discussed in the Parks section of this report.

3. Planning Commission Review

The Planning Commission reviewed this item at their October 6th meeting. There were several people present to speak at the public hearing. The Planning Commission voted 3-0 to recommend denial of the request.

4. City Council Review

The City Council reviewed this item at their October 25th meeting. The applicant had submitted revised plans trying to address Planning Commission comments to City Hall on October 17th, but the plans did not get distributed and were not included in the Council packet. The Council provided feedback to the applicant on the plans in the packet and tabled the item to the November 21st Council meeting.

The applicant considered the Planning Commission and Council comments and submitted revised plans on November 7th. The staff report and resolutions have been updated to reflect these revised plans. Updates include:

- The height of buildings A and B were reduced to 30 feet. The other building are 40 feet tall where 45 feet is permitted in the I-1 district.
- The wing wall was on building A and building D was increased to 90 feet
- The drive aisle between building A and D and the drive aisle between Building B and C was removed
 - Public Safety recommended keeping this access, but City Council recommended removal
- Building A was reduced in width by 20 feet, which allowed the applicant to shift the retaining wall 20 feet east and add landscaping
- A 10-foot-high composite fence was added on the west property line to screen loading docks
- Landscape islands have been added to parking lots to allow screening outside of overhead powerline easement
- The trail was relocated as recommended by the Parks and Trails Commission
- Building C and E parking was revised to comply with 10-foot rear setback
- Additional landscaping was provided
- 16-foot-tall conifer trees are shown on the west property line
- A double staggered row of trees is planned on top of the retaining wall
- Berms were added
- Gazebo details have been provided
- Under the powerline adjacent to Larkin a 4-foot-high picket fence and 4-foot tall junipers are staggered to provide screening without creating a barrier and spirea and ornamental grasses soften the look of the fence
- Low shrubs and grasses were added in the gas line easement
- Total project square footage was reduced by 11,583 sq. ft.

5. Background

The City Council reviewed PUD sketch plan on February 24, 2022 and indicated support for the project. The current plan is consistent with that concept.

The City completed an environmental assessment worksheet (EAW) for the project. The EAW included an infrastructure feasibility component. On August 11, 2022 the City Council issued a finding of “no need” for an EIS, based on the review of the EAW dated May 11, 2022. The EAW and feasibility study are available at City Hall.

6. Context

Zoning and Land Use

The 70.36-acre site is guided Light Industrial in the Comprehensive Plan and zoned Light Industrial (I-1) district. The site has an existing farmstead in the east-central portion of the site and the land use is agricultural. The site is located within the Metropolitan Urban Service Area (MUSA) and the Southeast District.

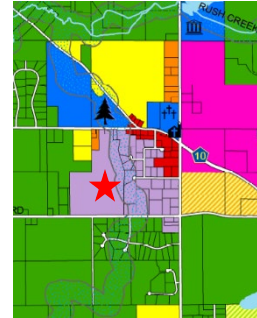


Figure 2 - Zoning Map

Surrounding Properties

All surrounding properties are located within the MUSA and Southeast District. The properties to the north, across County Road 50, are guided Parks/Open Space in the Comprehensive Plan and zoned Public/Institutional (P-I) district. Properties to the east are guided Light Industrial and zoned I-1 district. Properties to the south, located across Larkin Road, are guided Agricultural Preserve and Existing Residential and zoned Urban Reserve (UR) district. Properties to the west are guided Medium Density Residential and Low Density Residential and zoned Medium Density Residential (RMF-1), Single Family Residential 2 (RSF-2) and UR districts.

Natural Characteristics of the Site

The Natural Resources Inventory (NRI) map identifies wet prairie wetlands along the west property line, old field uplands along the north and northeast portions of the site and a stream that runs along the east property line. The wetland delineation provided by the applicant identifies seven wetlands throughout the site. The eastern portion of the site is in the Shoreland Overlay district.

7. Analysis

Staff has reviewed the application for consistency with Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

A. Level of City Discretion in Decision-Making

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning application. The Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City has a relatively high level of discretion in approving a PUD. A PUD must be consistent with the City's Comprehensive Plan. The City may impose reasonable requirements in a PUD not otherwise required if the City deems it necessary to promote the general health, safety and welfare of the community and surrounding area.

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outlined in the City's Subdivision and Zoning Ordinance and the conditions of the preliminary plat approval. If it meets these standards, the City must approve the plat.

B. Consistency with Ordinance Standards

Rezoning to PUD District

The Zoning Ordinance has established a PUD zoning district with the purpose of promoting a creative and efficient use of land by providing design flexibility in the development of residential neighborhoods and/or nonresidential areas that would not be possible under a conventional zoning district.

The intent of the district is to:

A. Provide for the establishment of PUD districts in appropriate settings and situations to create or maintain a development pattern that is consistent with the City's Comprehensive Plan.

B. Allow for the mixing of land uses within a development when such mixing of land uses could not otherwise be accomplished under the existing zoning and subdivision regulations.

C. Provide for variations to the strict application of the land use regulations to improve site design and operation, while at the same time incorporating design elements, e.g. construction materials, landscaping, lighting, etc., that exceed the City's standards to offset the effect of any variations.

D. Promote more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City.

E. Preserve and enhance natural features and open spaces.

F. Maintain or improve the efficiency of public streets and utilities.

G. Ensure appropriate transitions between differing land uses.

The applicant is requesting PUD flexibility for:

- Reduced parking setbacks along Blue Bonnet and Larkin Road
- From the standard that loading docks within 300 feet of residential be screened by a building.

In exchange for this flexibility, the applicant has stated that they will:

- Provide new industrial development in the City
- Make off-site street improvements at Larkin Road and County Road 116
- Deed a site for a future City well
- Provide additional and larger landscaping beyond ordinance requirements
- Constructing all public trails without reimbursement for paving as allowed by Section 955.020, Subd. 7(B) of the Subdivision Ordinance.

The PUD flexibility and the detailed development plan are discussed in the PUD Plan section of this report.

The City must review this request for compliance with the PUD standards as follows:

1. *The planned development is not in conflict with the Comprehensive Plan.*

The planned unit development is not in conflict with the Comprehensive plan. The proposed development is guided for industrial development as proposed. The plan incorporates the extension of municipal sewer and water, the construction of an off-road trail (Diamond Lake Regional Trail), provides street connections through the development as anticipated.

2. *The planned development is not in conflict with the intent of the underlying zoning district.*

The property is zoned Light Industrial. The proposed development is not in conflict with the intent of the zoning district.

3. *The planned development is not in conflict with other applicable provisions of the City's Zoning Ordinance.*

The planned development is not in conflict with other applicable provisions of the City's Zoning Ordinance, except that PUD flexibility is requested as noted in the staff report.

The PUD allows the applicant to request flexibility from the performance standards in the ordinance in exchange for a high-quality development than might otherwise be expected.

The City Council could find that the PUD flexibility requested by the developer results in deviations from the applicable provisions of the Zoning Ordinance that are not off set by the PUD benefits proposed by the applicant and, therefore, are in conflict with the applicable provisions of the ordinance.

4. *The planned development or unit thereof is of sufficient size, composition, and arrangement that its construction, marketing, and/or operation is feasible as a complete unit without dependence upon any other subsequent unit or phase.*

The planned development is feasible without dependence upon any other subsequent phase. However, the project will be phased generally from south to north. The developer indicates that they expect the development to be completed by 2028.

5. *The planned development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development.*

With the improvements required by the feasibility study, the development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development. The developer is providing public trails and sidewalks consistent with the City's Comprehensive Plan. The developer is constructing a new street in the development and making offsite improvement to Larkin Road. Municipal sanitary sewer and water are available to serve the site.

6. *The planned development will not have an adverse impact on the reasonable enjoyment of the neighborhood property.*

The property is zoned light industrial. The development does comply with the setback requirements for that district. The developer has provided landscaping to buffer the development from the residential properties to the west and south.

The City Council may find that additional landscaping is needed to buffer the existing homes from the new industrial buildings.

7. *The quality of the building and site design proposed by the PUD plan shall substantially enhance the aesthetics of the site, shall demonstrate higher standards, more efficient and effective uses of streets, utilities and public facilities, it shall maintain and enhance any natural resources within the development, and create a public benefit that is greater than what would be achieved through the strict application of the primary zoning regulations.*

Staff finds the developer meets the building and site standards in the ordinance except where PUD flexibility is requested. The City Council could find that the development of 685,048 sq. ft. of industrial development that can provide opportunities for new businesses, employment and increased tax base is enough of a public benefit to off-set the PUD flexibility requested.

However, the Council could find that additional benefits are needed to offset the PUD flexibility requested. Staff has identified some areas where changes could be suggested by the Council to ensure that this standard has been met.

The Zoning Ordinance states that “the rezoning of the property defined in the development plan shall not become effective until such time as the City Council approves an ordinance reflecting said amendment, which shall take place at the time that the City Council approves the final development plan.” The Council would approve the rezoning to be effective at such time as the final PUD plan is approved.

Preliminary PUD Plan

The PUD offers enhanced flexibility to develop the site through the relaxation of most typical zoning district standards. The PUD allows for a greater variety of land uses, construction phasing and a potential for lower development costs. In exchange for this flexibility, the City expects a higher level of design, more sensitive development or more significant infrastructure improvements than might otherwise be required.

As part of the 2040 Comprehensive Plan, this property was reclassified from Medium Density Residential to Light Industrial to expand the existing industrial park directly east of this site in order to provide more business and employment opportunities in the City.

The applicant indicates that the building would generally be a 20% Office and 80% Warehouse mix. However, tenants could change over time. The parking calculation will be reviewed at building permit to ensure that the proposed tenants have adequate parking on site.

Lot Standards

The development is being reviewed against the I-1 district standards. The buildings and lots comply with ordinance standard, however, the parking and drive aisles do require PUD flexibility (shown in red below):

	I-1 (Light Industrial)	Proposed
Minimum lot area	1 acre	5.77 acre
Minimum lot width	100 ft.	637 ft.
Minimum lot depth	200 ft.	394 ft.
Minimum Principal Structure Setbacks:		
Front, From Major Roadways*	N/A	N/A
Front, From all other streets	50 ft.	80 +/- ft.
Side/Rear	20 ft.	60+/- ft.
Adjacent to Residential	50 ft.	60+/- ft.
Minimum Parking Setbacks:		
Front	50 ft.	20 +/- ft.
Side/Rear	10 ft.	10 ft.
Maximum Principal Building Height	45 ft.	40 ft.
Maximum Impervious Surface	70%	57.62

*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2040 Roadway Functional Classification map in the 2040 Comprehensive Plan.

The applicant's narrative requests PUD flexibility for a 20-foot parking and drive aisle setback along both Blue Bonnet and Larkin Road where 50 feet is required. All building and parking/drive aisle setbacks should be clearly dimensioned on the plans.

Parking

Section 1060 of the Zoning Ordinance establishes the minimum number of parking spaces required based on the gross sq. ft. of floor area for each land use. The ordinance requires the following:

- Office = 1 space per 200 sq. ft. (minimum 8 spaces).
- Warehouse = 5 spaces plus 1 space for each 2 employees on the largest shift. A minimum 1 space per 1,500 sq. ft. of floor area is required.

The applicant's parking narrative indicates the proposed mix for each building is expected to be 20% office and 80% warehouse uses and provides information from their experience regarding parking demand in these types of projects. The table below shows that the applicant has provided more parking than what is required for the proposed 20/80 mix of uses. Additional parking may be required for warehouse uses based on the number of employees for the largest shift or for larger office uses.

Building	Number of Parking Stalls Provided	20% Office/80% Warehouse Required Parking Stalls	10% Office/90% Warehouse Required Parking Stalls
A	130	109	79
B	230	164	118
C	236	253	182
D	132	132	95
E	409	403	290

Loading Docks

Section 1060.060 of the Zoning Ordinance says “loading areas established after March 23, 2004 shall be prohibited within 300 feet of residentially zoned or guided property unless completely screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas.”

The plans do not comply with this requirement (as shown on Figure 3). Building A is approximately 144 feet from the residential property to the west (84 feet from the property line of Outlot B) and Building D is approximately 201 feet from the residential property to the west (141 from the property line of Outlot B). Due to the site constraints caused by the location Larkin Road, the intersection with Blue Bonnet, the gas line easement and the wetlands, the applicant indicates that the building could not be reoriented to screen the loading docks with an intervening building.

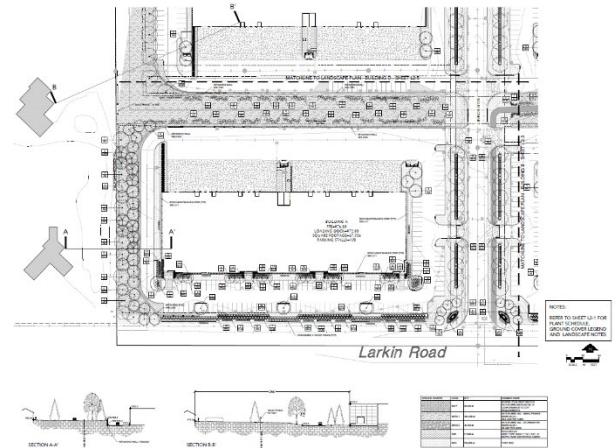


Figure 3 - Updated Landscape Plan

The plans do show a 36-foot high wing wall extending from the west elevation of Building D and a 30-foot high wing wall extending from Building A to screen the loading docks. Both walls are 90 feet long. A 10-foot tall retaining wall with a 6-foot fence is provided near Building A, a 10-foot tall screen fence between Buildings A and D on the west lot line and additional landscaping/fencing is provided along the west property line and gas line easement.

Staff notes that the 50-foot wide gas line easement adjacent to the west lot line of Building D limits the amount of landscaping that can be provided. The applicant indicates that they have preliminary approval of the plans, but are awaiting formal approval.

The City Council should discuss the PUD flexibility requested.

Design Standards

Section 1060.050 of the Zoning Ordinance provides building standards for industrial uses. However, it does not provide detailed specific design requirements like the residential districts.



VIEW 1 - PARK ENTRANCE BETWEEN BUILDINGS A AND B



VIEW 2 - BUILDING B SOUTHEAST CORNER

The applicant's plan shows buildings with smooth finish precast panels in off-white and gray with blue/gray metal canopies. The plans do not provide dimensions as required but the entries to the building are slightly recessed and finished in the gray precast with the canopy to help delineate the entrance and provide some interest in the building. The plans must be dimensioned to show the depth of the recessed areas and extension of the canopies.

There are windows at the ground level on the front of the building and clerestory windows on the sides and rear of the buildings to add some visual interest. The architecture and building materials meet ordinance standards.

However, staff notes that the side and secondary front elevations are still quite visible and recommends that those elevations be improved further to add color or other elements to break up the mass of the building.

- The City Council should discuss and could require improvements as a condition of the PUD.

Mechanical equipment must comply with the screening standards in Section 1060.030:

All rooftop and ground mounted mechanical equipment shall be designed (including exterior color) and located so to be aesthetically harmonious and compatible with the building. Screening of the equipment may be required where the design, color, and location of the equipment are found to not effectively buffer noise or provide aesthetic harmony and compatibility as observed by a 6-foot tall individual standing at ground level on the adjacent property or public right-of-way. Screening shall be constructed of durable materials which are aesthetically compatible with the structure and which may be an integral part of the structure. Applicable requirements for access to the equipment shall be observed in the design and construction of the screening.

The plans do not show any ground or roof mounted mechanical equipment, but staff fully expects that they will be required for these buildings. The plans must be updated to ensure compliance.

Trash and Recycling

The plans show exterior trash enclosures in the loading area for each of the buildings. Exterior trash enclosures are permitted by Section 1060.020 of the ordinance provided

they are fully enclosed with materials that are compatible with the building. Enclosure details must be provided for City review and approval.

Utilities

The City Engineer's memo provides detailed utility comments. Sewer and water are available to be extended to the site. The May 2022 Feasibility Study describes the improvements required to provide municipal sanitary sewer, water, stormwater and transportation improvements to serve the site. The applicant must address these conditions as well as those in the City Engineer's memo.

The existing well and septic systems must be abandoned as noted in the City Engineer's memo.

Public Streets and Access

The plans show construction of a new public street connecting through the site from Larkin Road to the northwest. The public streets will be constructed 36 ft. wide in an 80 ft. wide right-of-way. This complies with City standards and Southeast District guidelines. This public street will ultimately connect to County Road 50 when the property to the northwest develops and that will provide a secondary access to the site. A temporary cul-de-sac easement will be required. The extension of the street will impact a DNR public water wetland and will require a DNR permit for the impact prior to construction.

Hennepin County transportation did provide comments on the preliminary plat. However, they provide comments during the EAW stating that they would not support an access onto County Road 50 on the north portion of this site but would consider an emergency vehicle access. The plans do show an emergency vehicle access onto County Road 50. The plans show a gate at County Road 50 and at the north end of the Building E parking to prohibit public access. Hennepin County also requested a 60-foot ½ right-of-way. The plans must be revised to provide the additional right-of-way on County Road 50.

The Feasibility Study requires the developer to make turn lane improvements on Larkin Road at the entrance to the site at Blue Bonnet and at County Road 116.

- At Larkin/CR 116: Widen the eastbound and westbound approaches to accommodate a left turn lane and a through/right turn lane. Widen the northbound and southbound approaches to accommodate a left turn lane, through lane, and right turn lane.
- At Larkin Road/Blue Bonnet Drive: Construct westbound left turn lane and westbound right turn lane. Construct eastbound left turn lane. Construct southbound approach with a dedicated left turn lane and a through/right turn lane. These improvements are shown on the plans.

The off-site improvements will be designed, bid and managed by the City and financed by the developer.

Grading and Stormwater

The City Engineer's memo provides detailed comments on stormwater. Three stormwater are proposed with this project.

A number of retaining walls are proposed with this development. The walls on the west site of the property near buildings A and D are the largest and are 10 feet tall. The retaining wall allows the new industrial building to be lower than the homes to the west and the face of the wall will be visible from the industrial area not the residential area to the west. Screening or safety fencing will be placed on top of these walls. Retaining walls higher than four feet shall be designed by a certified engineer and plans for any retaining walls higher than four feet shall be submitted to the building permit department for permitting prior to construction.

There is an existing retaining wall in the southwest corner of the site. The grading plans show grading but the wall is not shown on the removal plan and must be updated.

Section 1050.010 requires that the wetland structure setback shall apply to all structures, except that the structure setback shall be reduced to 5 ft. for roadways, trails, and parking lots and their related walls and fences. Plans show compliance with the wetland buffer building setback of 5 ft.

Easements

A 50-foot wide gas line easement that runs east west through the south half of the site on the proposed lot line. The plans show a public street crossing the gas line easement perpendicularly and a trail that runs parallel in the easement itself. The applicant must provide proof of the easement holders approval of the proposed encroachment prior to final PUD plan submittal.

New standard drainage and utility easements will be provided with the plat around the perimeter of the lots, over stormwater management ponds and over the wetlands (wetland and wetland buffer areas).

A temporary cul-de-sac easement will be provided on the west end of the new public street.

Association

The development proposal shows a community space in the northwest portion of the site (Outlot A) and near Building E, but no details have been provided. The developer must provide information about this space and how it will be maintained.

Landscaping

Section 1060.070 of the Zoning Ordinance provides landscape standards. The ordinance requires “an emphasis upon the boundary or perimeter of the proposed site at points adjoining other property and the immediate perimeter of the structure.” This was also a comment from the City Council during sketch plan review. Staff notes that the GRE transmission line easement along Larkin Road limits the height of improvements. The applicant has worked with GRE to develop a plan with fencing and landscaping that complies with easement restrictions.

The Code requires 685 overstory trees and 2,283 shrubs. The applicant is showing 692 overstory trees, 29 ornamental trees and 2,322 shrubs. This is the equivalent of 692 trees and 2,322 shrubs and exceeds ordinance requirements.

There are areas where the parking lot does not have the required shrubs to screen the headlights along the new public street, the parking on the east side of Building B

and the west edge of the Building E parking area where the additional shrubs can be added. Staff has added this as a condition of approval.



Figure 4 - Revised Rendering

Underground irrigation with rain sensors is required on all new non-residential development where municipal water is available. The plans show compliance.

Wetlands

A wetland delineation report was submitted and approved. Section 1050.010 of the Zoning Ordinance establishes standards for the Wetland Overlay District. This includes the establishment of wetland buffer strips with an average width of 25 ft. plus a 15 ft. structure setback from the buffer. Wetland buffer signs are required to be installed at each lot/outlot line where it crosses a wetland buffer, and where needed to indicate the contour of a buffer, with a maximum spacing of 200 ft. along the buffer edge. The plans must be revised to show the wetland buffer, buffer setback and monument signs on all plan sheets.

The wetland buffer and buffer setbacks are not shown on the eastern wetland and the plans have been revised to show that the trail complies with these requirements.

Wetland buffer signs are not shown in this area but have been added in other locations. Buffer sign locations will be finalized with the final PUD development plan application.

The plans show 0.66 acres of wetland impacts for the buildings, new public street and the emergency access and wetland mitigation in the northeast portion of the site. The applicant is responsible for preparing a wetland mitigation plan and obtaining approval prior to submittal of a final plat application.

Shoreland

The eastern portion of the site is in the Shoreland Overlay District for the creek. The overlay boundaries extend 300 feet from the creek and are shown on the plans. The shoreland overlay district requires a 25-foot average buffer with a 50-foot structure setback from the buffer. The plans comply. The trail should be constructed to minimize erosion. An undisturbed area of vegetative buffer at least 10 feet in width should remain between the trail and the wetland edge or the top of the stream bank.

Signage

The plans suggest entrance monuments at both sides of the Blue Bonnet entrance. The architectural plans show a multi-tenant sign at the entrance but no details are provided. The sign ordinance requires PUD signage to comply with the underlying zoning district unless PUD flexibility is requested. No PUD flexibility has been requested.

The ordinance allows one freestanding sign per lot up to 64 sq. ft. in area and up to 16 feet high. Wall signage is limited to one sign at the primary entrance of each tenant space, not to exceed 10% of the primary building face of the related tenant space.

The applicant must apply for sign permits prior to installation of any signage to ensure compliance with Chapter 84 of the City Code.

Lighting

The applicant has not provided a lighting plan or light details. Staff has included a condition the applicant provide proposed lighting locations on revised plans for building, parking lot and street lighting to ensure compliance with the standards in Section 1060.040 of the ordinance.

Parks and Trails

The Parks and Trails plan shows an off-road trail running along the creek on the east side of the property and a future on-road trail on Larkin Road. The off-road trail is part of the Three Rivers Park District Diamond Lake Regional trail that crosses through this site. The plans have been shared with Three Rivers Regional Park District staff and they have provided a comment letter which is attached to this staff report.

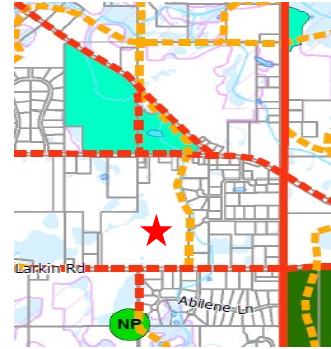


Figure 5-Parks and Trails Plan

The City normally requires construction of an 8-foot wide bituminous trail in a 20-foot easement. As part of a regional trail, Three Rivers typically asks the City to require a 10-foot wide bituminous trail. The plans have been revised to comply with the Parks and Trails Commission recommendations.

Additionally, the City requires a sidewalk on one side of all public streets. The sidewalk shall remain on the west side of the new public street (opposite the trail).

Under the current ordinance (which is being updated), park dedication of land is required at 3% of the net pre-development area for Commercial/Industrial land. The ordinance would require 1.98 net acres of park dedication for the 66.15 net acres (70.36 gross acres) being platted.



Figure 6 - Diamond Lake Regional Trail

Park dedication credits would be given for any trail easements taken for off-road trails shown on the Comprehensive Plan. Only the new north/south trail easement for this plat would receive credit towards park dedication requirements. The applicant has not yet provided a net area for the trail easement area, but if the dedication of the easement does not satisfy the park dedication standards the remainder shall be cash-in-lieu of land. The final dedication shall be determined with the final plat.

Preliminary Plat

The preliminary plat requests approval of 5 lots and two outlots. Outlot A would be retained by the association for a community space and Outlot B would be deeded to the City for a potential wells site.

The applicant has indicated this project phased starting with Building B and expects the project to be completed in 2028 depending on market conditions.

Summary

Staff finds that the proposed plan is generally consistent with the Comprehensive Plan and Zoning Ordinance. The plan for the new industrial park on this site meets the four economic competitiveness goals of the Comprehensive Plan:

- Promote cooperative efforts and utilize existing resources for economic growth in the City.
- Promote economic stability and diversity to provide job opportunities to residents.
- Promote efficient, planned commercial and industrial development.
- Enhance the character of the City's commercial and industrial development.

The applicant is requesting PUD flexibility for:

- Reduced parking setbacks along Blue Bonnet and Larkin Road
- From the standard that loading docks within 300 feet of residential be screened by a building.

In exchange for this flexibility, the applicant has stated that they will:

- Provide new industrial development in the City
- Make off-site street improvements at Larkin Road and County Road 116
- Deed a site for a future City well
- Provide additional and larger landscaping beyond ordinance requirements
- Constructing all public trails without reimbursement for paving as allowed by Section 955.020, Subd. 7(B) of the Subdivision Ordinance.

Staff has reviewed the plan for consistency with the applicant standards outlined in the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance. Staff noted in the staff report the outstanding issues that must be addressed and we have included conditions in the attached draft resolutions to address these issues. The City Council may modify these conditions.

However, the City has discretion when reviewing a PUD and the City Council may find that:

1. Additional improvements are needed and make those conditions or
2. the PUD standards have not been met and may deny the request as recommended by the Planning Commission.

The City of Corcoran reclassified this property from residential to industrial as part of the 2040 Comprehensive Plan update in order to provide more opportunities for industrial land in the City, which will provide jobs and tax base. However, the City must balance these desires with other development standards adopted by the City. It may be that there is simply too much development proposed for the site and that reducing the size of the buildings could reduce the need.

Options

- a. If the City Council finds that the PUD standards have not been met, they should deny the request, as recommended by the Planning Commission.
- b. If the City Council finds that the PUD standards have been met, they should move to approve. Staff has prepared draft resolutions for approval as a starting point for discussion.
- c. If the City Council finds that the PUD standards have not been met, but could be with changes, they could modify the draft PUD resolution. For example:
 - Does the plan provide adequate screening to the west?
 - Does the building architecture meet the intent of the PUD or are improvements needed, such as better articulation on the sides/secondary front?
- d. If the Council finds that more information is required, they could table the item and ask for additional information.

8. Action

Option A:

Move to adopt Resolution 2022-119 denying the request for rezoning, preliminary PUD development plan and preliminary plat, as recommended by the Planning Commission

or

Option B:

Move to adopt the following to approve the request:

- a. Ordinance 2022-469 approving rezoning
- b. Resolution 2022-119 with findings of fact for rezoning
- c. Resolution 2022-120 approving preliminary PUD
- d. Resolution 2022-121 approving preliminary plat

Attachments

1. Resolution 2022-119 denying the request
2. Ordinance 2022-469 approving rezoning
3. Resolution 2022-119 with findings of fact for rezoning
4. Resolution 2022-120 approving preliminary PUD
5. Resolution 2022-121 approving preliminary plat
6. Location Map
7. City Engineer's Memo dated November 15, 2022
8. Public Safety Memo dated September 27, 2022
9. Public Safety Memo dated November 2, 2022

10. Applicant Narrative dated November 7, 2022
11. Applicant Parking Narrative and exhibit received August 30, 2022
12. Preliminary Plat dated November 7, 2022
13. Site Plan dated November 7, 2022
14. Grading Plan dated November 7, 2022
15. Landscape Plan dated November 7, 2022
16. Architectural plans dated November 7, 2022
17. Renderings dated November 7, 2022
18. Renderings dated November 7, 2022 – Optional Screening
19. Blue Bonnet Road Extension Concept dated August 30, 2022
20. Three Rivers Park District Memo dated September 15, 2022
21. Tom Feehan comments received September 27, 2022
22. Tom Feehan comments received November 14, 2022

RESOLUTION NO. 2022-119

Motion By:
Seconded By:

DENYING THE REQUEST FOR A REZONING, PRELIMINARY PLAT AND PRELIMINARY PUD DEVELOPMENT PLAN FOR “CORCORAN FARMS BUSINESS PARK” ON THE PROPERTY LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)

WHEREAS, JMMK, LLC (the “applicant”) has requested approval of a Rezoning, Preliminary Plat and Preliminary PUD Development Plan for “Corcoran Farms Business Park” on 70.36 acres legally described as follows:

See Attachment A

WHEREAS, the Planning Commission has reviewed the request at a duly called Public Hearing and recommends denial, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does deny the request, based on the following findings and conditions:

1. The PUD flexibility requested by the developer results in deviations from the applicable provisions of the Zoning Ordinance that are not off set by the PUD benefits proposed by the applicant and, therefore, are in conflict with the applicable PUD provisions of the ordinance.
2. The development does not comply with the loading dock requirements in Section 1060.060 of the City and does not provide adequate screening to off-set the requested PUD flexibility for the loading dock location.
3. The plan does not adequately screen the industrial uses from the surrounding residential properties.
4. The planned development will have an adverse impact on the reasonable enjoyment of the neighborhood property. The property is zoned light industrial. The developer has not provided adequate landscaping to buffer the development from the residential properties to the west and south.
5. The quality of the building and site design proposed by the PUD plan does not substantially enhance the aesthetics of the site, demonstrate higher standards, more efficient and effective uses of streets, utilities and public facilities and create a public benefit that is greater than what would be achieved through the strict application of the primary zoning regulations.

RESOLUTION NO. 2022-119

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal

RESOLUTION NO. 2022-119

ATTACHMENT A

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

ORDINANCE NO. 2022-469

**Motion By:
Seconded By:**

AN ORDINANCE AMENDING TITLE X (ZONING ORDINANCE) OF THE CITY CODE TO CLASSIFY CERTAIN LAND LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)

THE CITY OF CORCORAN ORDAINS:

Section 1. Amendment of the City Code. Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended by changing the classification of the City of Corcoran Zoning Map from Light Industrial (I-1) to Planned Unit Development (PUD), legal described as follows:

See Attachment A

Section 2. This amendment shall take effect upon adoption of the resolution approving the final PUD development plan for this project.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal

ORDINANCE NO. 2022-469

ATTACHMENT A

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

RESOLUTION NO. 2022-119

Motion By:
Seconded By:

**APPROVING FINDINGS OF FACT FOR REZONING FOR THE PROPERTY LOCATED AT
20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)**

WHEREAS, JMMK, LLC (the “applicant”) has requested approval to rezone 70.36 acres legally described as follows:

See Attachment A

WHEREAS, the Planning Commission has reviewed the request at a duly called Public Hearing, and;

WHEREAS, the City Council has adopted an ordinance rezoning the affected parcels from Light Industrial (I-1) to Planned Unit Development (PUD);

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does support the request for the reclassification of the property, based on the following findings and conditions:

1. The planned unit development is not in conflict with the Comprehensive Plan. The proposed development is guided for industrial development as proposed. The plan incorporates the extension of municipal sewer and water, the construction of an off-road trail (Diamond Lake Regional Trail), provides street connections through the development as anticipated.
2. The planned development is not in conflict with the intent of the underlying zoning district. The property is zoned Light Industrial. The proposed development is not in conflict with the intent of the zoning district.
3. The planned development is not in conflict with other applicable provisions of the City’s Zoning Ordinance.
4. The planned development or unit thereof is of sufficient size, composition, and arrangement that its construction, marketing, and/or operation is feasible as a complete unit without dependence upon any other subsequent unit or phase. The planned development is feasible without dependence upon any other subsequent phase. However, the project will be phased generally from south to north. The developer indicates that they expect the development to be completed by 2028.
5. The planned development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development. With the improvements required by the feasibility study, the development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development. The developer is providing public trails and sidewalks consistent with the City’s Comprehensive Plan. The developer is constructing a new street in the development

RESOLUTION NO. 2022-119

and making offsite improvements to Larkin Road. Municipal sanitary sewer and water are available to serve the site.

6. The planned development will not have an adverse impact on the reasonable enjoyment of the neighborhood property. The property is zoned light industrial. The development does comply with the permitted uses, building height and setback requirements for that district. The developer has provided landscaping and fencing to buffer the development from the residential properties to the west and south.
7. The quality of the building and site design proposed by the PUD plan shall substantially enhance the aesthetics of the site, shall demonstrate higher standards, more efficient and effective uses of streets, utilities and public facilities, it shall maintain and enhance any natural resources within the development, and create a public benefit that is greater than what would be achieved through the strict application of the primary zoning regulations. The developer meets this standard with a new industrial development that will meet the Comprehensive Plan economic competitiveness goals and expand infrastructure.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal

RESOLUTION NO. 2022-119

ATTACHMENT A

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

RESOLUTION NO. 2022-120

Motion By:
Seconded By:

APPROVING PRELIMINARY PLANNED UNIT DEVELOPMENT PLAN FOR “CORCORAN FARMS BUSINESS PARK” LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)

WHEREAS, JMMK, LLC (the “applicant”) has requested approval of “Corcoran Farms Business Park” an industrial subdivision on property legal described as follows:

See Attachment A

WHEREAS, the Planning Commission has reviewed the plan at a duly called Public Hearing, and;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that the Corcoran City Council hereby approves the request for preliminary PUD plan, subject to the following conditions:

1. A preliminary PUD plan is approved for “Corcoran Farms Business Park”, in accordance with the plans and application received by the City on July 15, 2022 and revisions received on August 30, 2022 and November 7, 2022, except as amended by this resolution.
2. The preliminary PUD plan is approved based on the finding that the proposed project is consistent with the City’s Comprehensive Plan and the PUD standards in the ordinance.
3. All uses allowed in the I-1 zoning district shall be permitted in this PUD except:
 - a. Outside Storage
 - b. Mini Storage / Self Storage Facilities
 - c. Motor Vehicle, Boat or Equipment Sales or Repair
4. The development must comply with I-1 district standards except that the following PUD flexibility is approved:
 - a. To allow a 20-foot parking setback along Blue Bonnet and Larkin Road where 50 feet is typically required.
 - b. To allow within 300 feet of residential property that are to be screened by landscaping, retaining walls, fencing and building wing walls where they are typically required to be screened by an intervening building.
5. Approval is contingent upon City Council approval of the requested rezoning and preliminary plat (Ordinance 2022-119 and Resolution 2022-121).
6. The applicant shall comply with all requirements of the Public Safety Memo dated September 27, 2022.
7. The applicant shall comply with all requirements of the City Engineer’s memo, dated November 15, 2022.

RESOLUTION NO. 2022-120

8. The applicant shall comply with all requirements of the Feasibility Study dated May 2022.
9. The applicant shall comply with all requirements of the August 11, 2022 EAW Record of Decision.
10. The applicant is subject to review and approval by Hennepin County. The applicant is required to secure all permits and approvals from the County.
11. PUD flexibility is granted for the following:
 - a. To allow a 20-foot parking setback along Blue Bonnet and Larkin Road where 50 feet is typically required.
 - b. To allow loading docks within 300 feet of residential be screened by a wing wall, retaining wall and landscaping instead of an intervening building.
12. Park dedication shall be satisfied by a combination of land and cash-in-lieu of land for the industrial park.
 - a. Park dedication shall be subject to park dedication fees in place when the final plat is approved.
 - b. A 20 ft. wide trail easement must be deeded to the City for the trail as shown on the plans.
 - c. The paved trail will be part of the Diamond Lake Regional Trail Corridor and must be 10-feet wide.
 - d. The applicant should comply with the Three Rivers Park District trail design standards to the extent possible.
 - e. The trail must be located outside of the wetland buffer.
 - f. Park dedication credit shall be given for the net acreage of the trail easement.
 - i. The applicant shall provide a trail exhibit with gross and net easement acreage calculations.
 - ii. No credit shall be given for construction/paving of the trail. This shall be considered a benefit of the PUD.
 - g. Park dedication not satisfied by the trail easement shall be cash-in-lieu of land.
 - h. The City has established park dedication fees based on the adopted 2040 Comprehensive Plan.
 - i. The applicant's tenant will benefit from the public trail and access to the City park facilities, including the community park located north of County Road 50.
 - j. The applicant must provide a public sidewalk on the west side of the new public street (opposite the trail).
13. The 6-foot wide trail shown north of Building C will connect the public trail to Blue Bonnet and provide access to the private amenity. This trail shall be privately owned and maintained as a PUD benefit.
14. The plans must be revised to show a 60-foot ½ right-of-way for County Road 50.
15. The applicant must provide written proof of the gas line easement holder's approval of all proposed encroachments.

RESOLUTION NO. 2022-120

16. The applicant must provide written proof of the GRE's approval of all proposed encroachments in the transmission line easement, including parking, fences and landscaping along Larkin Road.
17. The final PUD plans must be revised to clearly dimension all building and parking setbacks.
18. Plans must be revised to show the location of all rooftop and ground mounted mechanical equipment. Plans must show compliance with Section 1060.030 of the Zoning Ordinance.
19. Plans must be revised to show details for the trash enclosures to ensure compliance with Section 1060.020 of the Zoning Ordinance. The trash enclosures must be clearly shown on the site plans.
20. Building plans must be revised to show dimensions on the building recesses and canopies to ensure that articulation is appropriate to the mass of the building and provides visual relief.
21. A lighting plan must be provided to show compliance with the standards in Section 1060 of the Zoning Ordinance. The location of lights, pole height and fixture details must be provided for freestanding and building lighting.
22. The landscape plan dated November 7, 2022 provides a total of 2,322 shrubs and 712 overstory trees.
 - a. The code requires 685 trees and the additional trees are a PUD benefit.
 - b. The plans show 31 trees that will be planted at 16-feet high, where the code requires 4-6 feet at planting. This is a PUD benefit.
 - c. Fence details must be provided for review and approval by the City Council with the PUD final plan application.
 - d. The final landscape details shall be provided with PUD final plan application.
 - e. Landscaping 3 ft. high shall be provided for parking areas with four or more stalls to screen vehicle headlights from adjacent residential and public streets. The plans must be revised to provide shrubs for all parking along Larkin Road and the new public street, on the north and west sides of the Building E parking lot and the parking on the east side of Building B.
23. The applicant shall provide an additional plan sheet showing the planned grading, utilities and landscaping on a single sheet to ensure no conflicts.
24. A sign permit is required for any signage. All signage must comply with Chapter 84 of the City Code.
25. Well and septic system abandonment shall be completed as noted in the City Engineer's memo.
26. The plans must be revised to show the shoreland buffer, setbacks and monuments in compliance with Section 1050 of the City Code.

RESOLUTION NO. 2022-120

27. The plans must be revised to show wetlands, wetland buffers, wetland buffer setbacks and wetland buffer signage in compliance with Section 1050 of the City Code.
28. A wetland buffer planting plan and maintenance plan must be submitted for review and approval by the City.
29. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. The applicant shall work with City staff to finalize the location of wetland buffer monuments.
 - b. Wetland signs shall be purchased from the City.
 - c. The final locations must be inspected and approved by City staff.
 - d. Monument signs shall be installed prior to approval of the building permit.
30. Drainage and utility easements must be provided over all wetlands, wetland buffers and ponds.
31. Drainage and utility easements shall be provided along the perimeter of all lots.
32. The applicant must enter into a stormwater maintenance agreement prior to release of final plat.
33. The association or building owner is responsible for ensuring sidewalks in the development area are shoveled and maintained.
34. The association or building owner is responsible for the maintenance of Outlot A and any proposed amenity.
35. Final details for the Outlot A amenity and employee amenity north of Building E must be provided for city review and approval with the PUD final plan.
36. All utility facilities shall be located underground, except that the existing transmission line along Larkin Road may remain.
37. The development shall comply with the City's requirements regarding fire access, fire protection and fire flow calculations, the location of fire hydrants, fire department connections and fire lane signage.
38. Parking shall be reviewed with building permit and must comply with ordinance standards for the proposed use.
39. The developer must provide a temporary cul-de-sac easement for the new public street. This must be shown on the preliminary plans.
40. Snow storage areas must be clearly shown on the plans.
41. A chloride management plan should be provided.

RESOLUTION NO. 2022-120

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal

RESOLUTION NO. 2022-120

ATTACHMENT A

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

RESOLUTION NO. 2022-121

Motion By:
Seconded By:

**APPROVING PRELIMINARY PLAT FOR “CORCORAN FARMS BUSINESS PARK”
LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)**

WHEREAS, JMMK, LLC (the “applicant”) has requested approval of “Corcoran Farms Business Park” an industrial subdivision on property legal described as follows:

See Attachment A

WHEREAS, the Planning Commission has reviewed the plan at a duly called Public Hearing, and;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that the Corcoran City Council hereby approves the request for preliminary plat, subject to the following conditions:

1. A preliminary plat is approved to create five lots and two outlots “Corcoran Farms Business Park”, in accordance with the plans and application received by the City on July 15, 2022 and revisions received on August 30, 2022 and November 7, 2022, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the preliminary PUD plan for “Corcoran Farms Business Park.” The applicant shall comply with all conditions of the preliminary PUD plan approval (Resolution 2022-120).
3. Park dedication is due as required by the PUD approvals, prior to the release of final plat for recording.
4. The applicant shall comply with all requirements of the City Engineer’s memo, dated November 15, 2022.
5. The preliminary plat zoning table shall be updated to note the current zoning is I-1 not BP.
6. Approval shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of the final plat.

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

RESOLUTION NO. 2022-121

Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal

RESOLUTION NO. 2022-121

ATTACHMENT A

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

To: Kevin Mattson, City of Corcoran From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Corcoran Farm Business Park Date: November 15, 2022

Exhibits:

This Memorandum is based on a review of the following documents:

1. Corcoran Farms Business Park Preliminary Plat Drawings, Prepared by Loucks, Dated August 30th, 2022.
2. Preliminary Plat for Corcoran Farms Business Park, Prepared by Loucks, Dated August 30th,
3. Hydrology Report, Prepared by Loucks, Dated August 30th, 2022.
4. Supplemental Corcoran Farms Business Park Preliminary Plat Drawings, Prepared by Loucks, Revision Dated November 4th, 2022

General:

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City.
3. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
4. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of Larkin Road without the City's permission. Should any lane restrictions be necessary, the Contractor shall notify the City a minimum of seven day in advance and provide a Traffic Control Plan.
5. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.
6. The site demolition plans shall identify any wells or septic systems to be abandoned. Any such systems shall be abandoned by the applicant in accordance with all regulatory requirements. Applicant shall provide documentation to city of well and septic abandonment and permitting once it has been completed.
7. Applicant shall be responsible for ensure all permits are in place for wetland impacts prior to any disturbances. Includes a DNR permit as noted in Grading section.

Site Plan:

1. The emergency access drive to the north should be encompassed within an easement to ensure the City has right to access and ensure it remains in place as shown.
2. Location and type of emergency access gates shall be reviewed and approved by public safety.
3. At the time of final plat, pedestrian ramp details shall be included in plan sets including detailed spot elevations at all landings and ramps.
4. Pedestrian landings shall be added at all locations where sidewalks or trails are directed into the roadway including at the trail or sidewalk on the receiving side of the pedestrian route.

5. Site plans note B612 curb and gutter in public streets which should be B618. Note all curb and pavement within the public ROW shall be per the city standard details.
6. An electric line easement exists through the southern portion of the site. Applicant shall provide a copy of the easement documents to the city and ensure the easement allows for the public infrastructure as shown within the proposed development.
7. A gas easement exists through the middle of the site. Applicant shall provide a copy of the easement document to the city and ensure the easement allows for the public and private infrastructure shown within the proposed development.
8. Southbound left and right turn lane striping should be added on Blue Bonnet Drive onto Larkin Road.
9. Monument signs at entrance shall require encroachment agreements.
10. The proposed trail which extends to the SE corner of the development shall be extended to the intersection of Blue Bonnet Drive and Larkin Road.
11. The site plans indicate a 10' D&U easement labeled along the south of the development but a 20' easement is shown. Update notes to match the proposed easement widths.
12. Applicant shall confirm that a trail will be allowed through the existing gas line easement.

Grading

1. All maintainable slopes including pond slopes above the safety bench shall be 4:1.
2. The detailed grading plan shall include the NW Blue Bonnet extension.
3. The grading of the Blue Bonnet Drive extension will require a work in public water permit through the Minnesota DNR. The applicant shall be responsible for submitting and obtaining this permit before the grading work in this area can commence. This may require additional coordination with Hennepin County and the City as part of the application to verify acceptable roadway network and connections.
4. The applicant shall verify that the grading and roadway construction through the existing gas easement will be approved by the easement holder.
5. There appears to be trapped drainage west of Blue Bonnet Drive and the gas easement.
6. Along the SE corner of the site, it appears that drainage is being routed onto the adjacent property owner where drainage currently does not flow. Grading plan shall maintain existing grading patterns and not impact adjacent properties.
7. There appear to be several locations along Larkin Road which may trap drainage. Additional spot elevations and grading modifications may be necessary to ensure areas drain properly.
8. Internal drainage to each lot was not reviewed with this application. At the time of building permit, each individual lot shall meet all City drainage and building separation requirements.
9. EOF's shall be labeled by the applicant for all drainage routes to ensure separation requirements are met for all buildings.
10. An existing retaining wall exists in the SW corner of the site. Plans indicate grading in this area but removal of wall is not shown on removals plan. Verify the plan for the retaining wall.
11. Several retaining walls are shown on the grading plan. All walls 4' or higher shall be designed and certified by a professional engineer.
12. At time of final plat, plans shall indicate if retaining walls will be installed with mass grading or if not, an interim grading plan for these areas may be necessary.

Transportation

1. A temporary access easement shall be provided for turnaround on Blue Bonnet Drive
2. The applicant shall be responsible for all offsite improvements as outlined in the Feasibility Study dated May of 2022. The City typically leads offsite transportation improvements with the applicant providing a financial surety to finance the improvements.
3. Plan and profiles for all roadways shall be provided at the time of final plat.

Stormwater

1. All access routes for maintenance shall be encompassed by an easement.
2. Stormwater access routes shall be sufficient to support equipment for routine maintenance. If trails or other features are used for access, additional structural improvements may be necessary to ensure it properly supports the equipment.
3. Provide labels for all stormwater structures and pipes including inverts, slopes, and sizes.
4. At the time of final plat, plans and profiles shall be provided for all pipe networks.
5. At the time of final plat Rational Method calculations shall be provided for all catch basin and pipe networks to ensure that adequate capacity exists.
6. All storm sewer shall be designed in accordance with the City Guidelines.
7. A stormwater maintenance agreement will be required with this development. The agreement shall provide the City the right to enter and maintain any unmaintained infrastructure or easements shall be provided over all storm sewer.
8. All storm sewer shall be RCP.
9. The applicant is proposing storm sewer crossings of the existing gas easement. The existing gas line location shall be verified and storm crossings approved by the gas company. Potholing may be necessary to confirm stormwater management system is feasible, include the City on communication with gas company.
10. The condition of the existing pipe across Larkin Road should be approved by the City prior to final plat approval. City may require that entire line be removed and replaced by applicant if condition is not adequate for proposed connection.

Model Inputs

1. Submit electronic HydroCAD model with future submittals.
 - a. Ensure that model and plans correspond.
 - b. Provide individual detail plates for each outlet control structure (OCS). Identify inverts on individual plates.
2. Calculate Time of Concentration (Tc) based on actual site conditions to support the "direct entry" value included in the model. Use a series of sheet flow (maximum 100 feet) and shallow concentrated flow.
 - a. This is not a comprehensive list, but for example: Subcatchment E has an over estimated Tc of 20.6 minutes. The length of flow path is modeled as 420 feet, but the longest possible flow path seems to be less than 300 feet. Slope used for sheet flow and shallow concentrated flow was 1.4% in the model. The plans show this area has no less than a 7:1 slope (14%). Use short grass in the model.
3. Update drainage figures to be consistent with the grading plans.
 - a. This is not a comprehensive list, however Subcatchment E seems to show an impervious pad in the Drainage figure and not on the grading plans. Pond 2 has a different design in the drainage figure compared to the grading plans.
4. Wetlands, filtration basins and ponds shall be modeled at CN=98.
 - a. Wetland 7 is not modeled accordingly.

Discharge Points

1. Provide drainage maps consistent with HydroCAD models for existing and proposed conditions.
2. Provide energy dissipation or a stilling basin at outflow of Ponds 1, 2 & 3 before entering the unnamed ditch on the east side and the wetland on the west side. City will provide stilling basin dimensions based on discharge pipe diameter.
3. Review flow and runoff volume to Wetland 5. Decrease may cause secondary wetland impacts, to be reviewed also with WCA process.

November 15, 2022

Corcoran Farms Business Park

Kevin Mattson

Page 4 of 4

4. Adjust pipe outlets to ditch to minimize bank erosion. Provide discharge velocity analysis to ensure bank erosion is manageable.

Construction Plans

1. Provide permanently reinforced EOF for the infiltration/filtration basin. The 100-yr HWL shall be one foot below the EOF and the EOF shall be at least 1.0' below top of berm. Reinforced EOF shall extend to the toe of the slope to prevent erosion.
2. Show wetland buffer on plans.
3. Provide information showing how roof drains connect to the underground filtration system.
4. Provide rims, invert elevations, pipe sizes and materials for all stormwater utilities on the stormwater utilities plan sheets.
5. All slopes shall be 4:1 or flatter.
6. Show wetland impacts on grading plan.
7. Rear parking pad of Building E appears to discharge directly to the ditch. Runoff shall be captured and routed to treatment.

Utilities/Watermain/Sanitary Sewer

1. Complete plan and profiles shall be provided for all sanitary sewer and water lines at the time of final plat.
2. The proposed easement over the 18" trunk sanitary sewer and trunk water needs to be expanded to provide for adequate access to the pipes to be maintained and replaced. The city requires at a minimum 1:1 slopes out from the limits of the pipe trench or more if deemed necessary for maintenance and replacement access..
3. The city recommends the trunk sanitary sewer be shifted west as it runs adjacent to Building E. replacement of this pipe would eliminate the ability to use the parking lot which would impact the ability for a company to operate during these times.
4. The 12" sanitary sewer stub should be moved to the NW Bluebonnet Drive extension. The current stub location is directed to a pocket of high ground which could interfere with the ability to develop that site.
5. All watermain loops around the buildings are assumed to be private. Valves shall be located at connection points to public system so the system can be isolated.
6. The trunk watermain along Larkin Road should be 16"
7. The sewer stub provided to the SE corner of the site should be located at Larkin Road so it can be extended along the roadway in the future.
8. The utility plans note 8" watermain stubs both east of building B and west of Building D but watermain is not shown in these locations on the plans. Please clarify.
9. Temporary hydrants shall be shown on the ends of all water stubs.
10. The applicant is proposing to connect to the existing watermain in 75th Ave north to complete the looping requirements for the site. The applicant shall be responsible for all work to make this connection and shall restore all impacted areas to their existing conditions after work is completed.
11. The applicant shall be responsible for obtaining all necessary easements to install the sewer and water utilities as shown in the proposed plans or required of the development.

Erosion Control/SWPPP

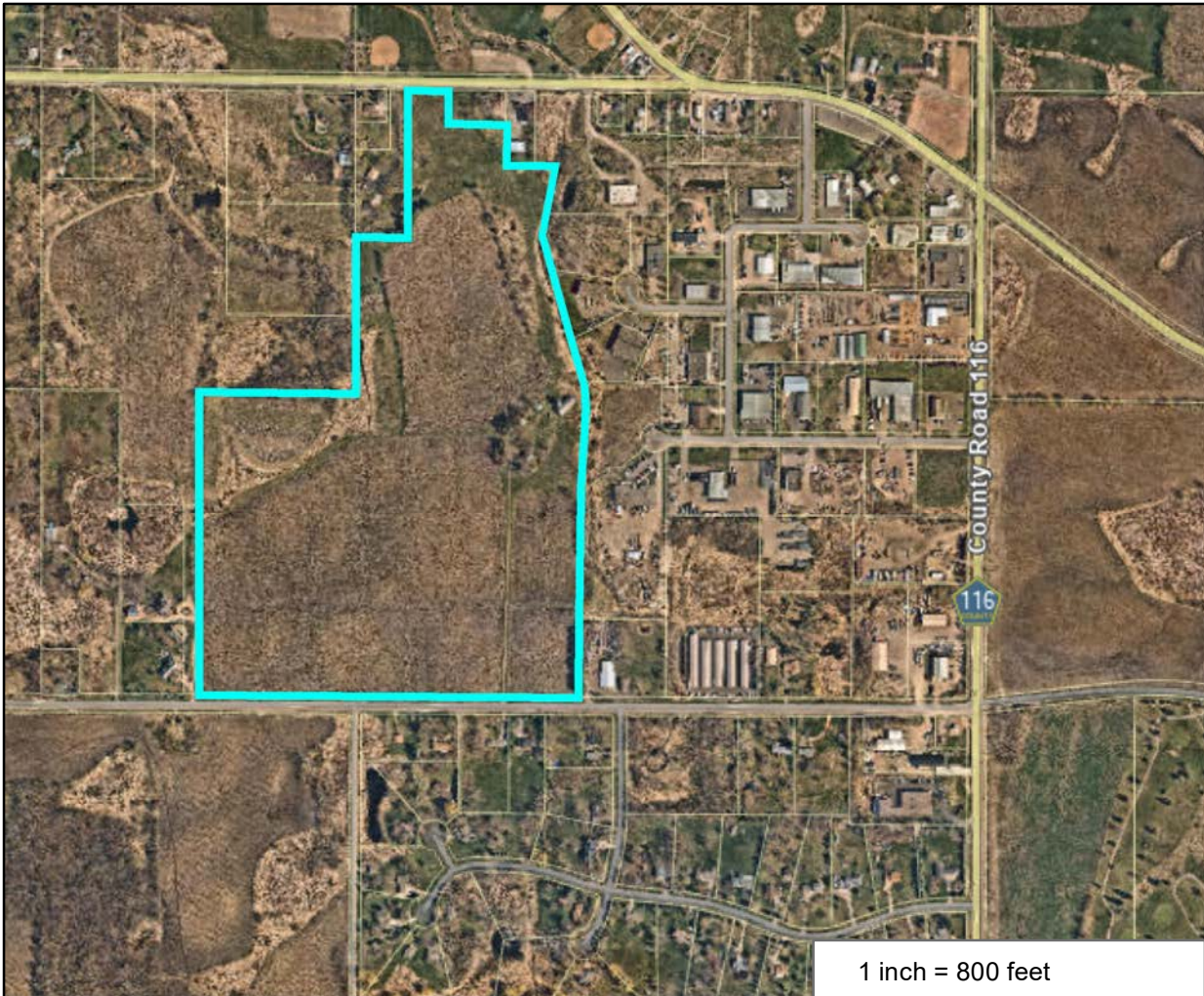
1. Preparation of and compliance with a SWPPP shall be required for construction.

End of Comments



Hennepin County Property Map

Date: 9/9/2022



PARCEL ID: 2611923130006

OWNER NAME: Gary D Schutte Et Al

PARCEL ADDRESS: 20130 Larkin Rd, Corcoran MN 55340

PARCEL AREA: 68.68 acres, 2,991,888 sq ft

A-T-B: Torrens

SALE PRICE:

SALE DATE:

SALE CODE:

ASSESSED 2021, PAYABLE 2022
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$631,200
TAX TOTAL: \$7,301.68

ASSESSED 2022, PAYABLE 2023
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$697,600

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2022

To:	Kevin Mattson, City of Corcoran	From:	Kent Torve, City Engineer Steve Hegland, PE
Project:	Corcoran Farm Business Park Transportation Supplement	Date:	November 16, 2022

A letter was sent to the Corcoran City Council on November 14th, 2022 from Thomas C Feehan and David M. Feehan with several questions and concerns related to the Feasibility Study completed for the Corcoran Farms Business Park dated May of 2022.

As part of the Feasibility Study, a Traffic Study was performed to review the impacts the proposed development will have on the roadway system and intersections.

The letter previously referenced included several specific questions which are answered/clarified below as it directly related to the Traffic Study which was performed. For the purpose of this memo, the question/comment included in the letter addressed to the City Council is provided and shown in *italics* with an answer provided below.

Page 1

Q: What consideration has been given to the increased level of industrial traffic which will pass by our homes on Larkin Road?

A: The traffic study was performed to understand the development impacts on the roadway system and identify any offsite improvements necessary to mitigate these impacts.

Q: Has the Council considered the increased traffic which will undoubtedly pose safety concerns especially given we have school children loading and unloading school buses twice daily?

A: Larkin Road is a two-lane facility designed to accommodate all types of traffic, including residential and commercial users. Larkin Road is a collector roadway and is designated as a Municipal State Aid Street (MSAS) by the City of Corcoran. With this designation comes requirements that the roadway be designed in accordance with state safety guidelines. By designing the roadways follow these defined standards they ensure they can be driven on safely and then we rely on the laws and enforcement to ensure that the motorist/pedestrians follow these laws.

Page 2

Q: The Stantec report appears to have been completed using standard / required guidelines. However, it appears to be much more of a "boiler plate" analysis leaving out the very real concerns of the neighborhood. Can the consultant discuss in detail the methodology of the report, and to what extent Stantec made on-site observations and interviewed neighbors and other users of Larkin Road?

This report makes no mention of residential properties as a preexisting condition directly across from the development on the south side of Larkin Road. Should not the report address these community concerns?

November 16, 2022

Corcoran Farms Business Park

Kevin Mattson

Page 2 of 2

A: The traffic study was performed using AASHTO Guidelines which included monitoring and collecting data at existing intersections. Traffic volume data was collected in March of 2022. The existing residential properties and preexisting conditions were captured during the data period at these intersections.

Q: The table below is an excerpt from the Stantec report. It uses standard practice (assuming AASHTO standards, which admittedly can be flawed) for calculating office and warehouse weekday trip (traffic) generated by the proposed development based on square footage of buildings. This indicates that there will be 2072 total weekday trips entering one intersection – Larkin Road & Blue Bonnet. Given that many of these vehicles will be large trucks, does this not cause concern?

A: The trip generation data was developed using data published by the Institute of Transportation Engineers (ITE). The intersection analysis results indicate the Larkin Road/Blue Bonnet Drive intersection has adequate capacity to accommodate the proposed development with the turn lanes into the development as required per the Feasibility Study.

Page 3

Q: This also begs the question; what if the largest building is occupied by a distribution company (a likely possibility) which could greatly exceed standard practice calculation?

A: The most current land use information was used to develop the traffic forecasts. If the land uses change, the traffic study should be updated accordingly.

Q: The following table, also an excerpt from the Stantec report, showing the distribution of “trips” broken down by surrounding intersections. Note that the intersection of Larkin Road & Blue Bonnet is only allowed 10% of the number of trips.

A: The statement that only 10% of the trips were assigned to the Larkin Road/Blue Bonnet Drive intersection is inaccurate. As shown in the report, all trips generated by the developed were assigned to the sole development access, which is located at Blue Bonnet Drive. 10% of the trips were assumed to be to/from the west at this intersection as shown in the table that was referenced.

Page 4

Q: Lastly, there are a couple of instances where the requirements for the intersection of Larkin & Blue Bonnet are referred to as complying with “city practice”. See insert shown below: There is no reference in the report to indicate the source of what “city practice” Stantec is applying.

A: The City Practice referenced is that the improvements along Larkin including the Blue Bonnet and County Road 116 intersections will be designed and constructed as a public improvement project to ensure the City is able to ensure the quality and construction of the project.

End of Comments



PROJECT: Corcoran Farms Business Park

TO: Kendra Lindahl, AICP, City Planner
FROM: Jeffrey A. Shopek, PE, fNPSE, Loucks
CEO, Principal Civil Engineer
Jon Knutson, EIT, Loucks

DATE: 11/07/22

SUBJECT: Plan Updates per City Comments
Loucks Project #: 21442

Based on Planning Commission Meeting, Engineering Review Comments, and City Council Comments, we have coordinated with Ed Farr and Jeff Minea to update the site, building, and landscaping plans to address the concerns raised at the meeting, and coordination with staff.

1. Site plan updates- C2-1 to C2-4

a. Building A

- i. The drive isle in the northwest corner was reduced to 24 feet wide to reduce the opening to the loading dock area. Turning radius was reduce to 30 ft.
- ii. The reduced drive isle allowed the wing wall island to be extended 90 feet from the building.
- iii. Loading Dock entrance drive turning radius reduced to 30ft.
- iv. Cross access loading dock drive removed between Buildings A & D.
- v. Building A reduced by 20 feet in length allowing retaining wall to move 20 feet east. Additional landscaping added in the green space.
- vi. 10 foot high composite fence added to west property line to provide screening to loading docks. Fence is proposed to be installed 1 foot inside the gas line easement. Initial discussion with gas company has occurred, but will require corporate approval.
- vii. Landscaping islands added in south parking lot to allow for planting of trees to avoid the overhead power line.

b. Building B

- i. The Regional Trail was removed at the east property line, and relocated to the east side of Blue Bonnet Road.
- ii. Loading Dock entrance drive turning radius reduced to 30 ft.
- iii. Cross access loading dock drive removed between Buildings B & C.
- iv. Landscaping islands added in south parking lot to allow for planting of trees to avoid the overhead power line.

c. Building C

- i. Dimensions added to north parking setback of Buildings C & E to show compliance with rear parking setback requirement of 10 feet.

- ii. Loading dock entrance turning radius reduced to 30 ft.

d. Building D

- i. The southwest corner of the parking lot removed several parking stalls in order to install additional landscape screening in the corner. The site still meets the 80-20 office/warehouse parking requirements.
- ii. The drive isle in the southwest corner was reduced to 24 feet wide to reduce the opening to the loading dock area.
- iii. The reduced drive isle allowed the wing wall island to be extended **90** feet from the building.
- iv. Dimensions & Notes added to show 5 feet wetland structure setback along parking lot retaining wall.
- v. Cross access loading dock drive removed between Buildings A & D.
- vi. Loading Dock entrance drive turning radius reduced to 30ft.

e. Building E

- i. Dimensions added to south parking setback between Building C & E to show compliance with rear parking setback requirement of 10 feet.

f. Overall Site Information

- i. Dimension and notes added to Indicate buffer and setbacks to ditch area and shoreland zones.

2. Landscape Plan Updates L1-1 to L3-1

- i. The Landscape Plan was modified to increase the number of trees, and initial size of trees to be planted.
- ii. Along the west property line, Building A was reduced by 20' to allow for additional trees and landscaping. The coniferous trees are to be 16 foot high at the time of installation.
- iii. Berms were created where possible to increase the height in relationship with Larkin Road.
- iv. Added a typical gazebo to be installed in park area.
- v. Wetland buffer planting was added to the landscape plans and wetland buffer signs were added to the plans.
- vi. Larkin Road boulevard – Mugo Pines are moved to within 10' of the parking curb.
- vii. Junipers (4' hgt) have been added below the power lines.
- viii. Staggered 4'hgt picket fence has been added – final color to be determined.
- ix. Spirea shrubs and ornamental grasses have been placed in front of the picket fence.
- x. East boundary – existing coniferous tree screening on adjacent property is shown on plans.

- xi. West boundary – A double staggered row of trees has been placed on top of the wall.
- xii. Gas line easement – low shrubs and grasses have been added along trail on the east side and along the easement line on the west side.
- xiii. Shelter Area – trees have been added around the shelter.
- xiv. Blue Bonnet - boulevard trees extend north to the cul-de-sac and shrubs have been added between the trees.

Corcoran Farms Parking Narrative

The proposed site plan is anticipated to be a highly successful plan that will accommodate the largest variety of industrial companies in the near future and for many years to come. Many of the industrial parks that have been built across the Twin Cities are consistently near full occupancy today in part due to a very strong industrial market of only 3.5% vacancy, but also due to their design which incorporates building depths and parking ratios very similar to what is proposed at Corcoran Farms. An example of successful design is Plymouth Ponds in Plymouth a 700,000 square foot industrial park built on 60.05 acres, the park has been consistently fully leased over it's time, and design has helped it succeed.

The land at Corcoran Farms has unique challenges that heavily influenced the outcome of the buildings that are being presented and planned. First, the natural gas pipeline that hugs the west property line and then cuts across the entire site from west to east, defined the depth of the sites south of this easement. Second, the required alignment of Blue Bonnet Drive created a north south definition of the road which created a limit to the width of Buildings A and D, which resulted in the depth and width of Building C. The 4 southerly buildings (A-D) fit in the southern main rectangle of the site so that the land is fully utilized. Site E to the north is also designed to create an optimal fit for the shape of the land that is buildable while preserving the wetlands and the significant slopes that drop to them.

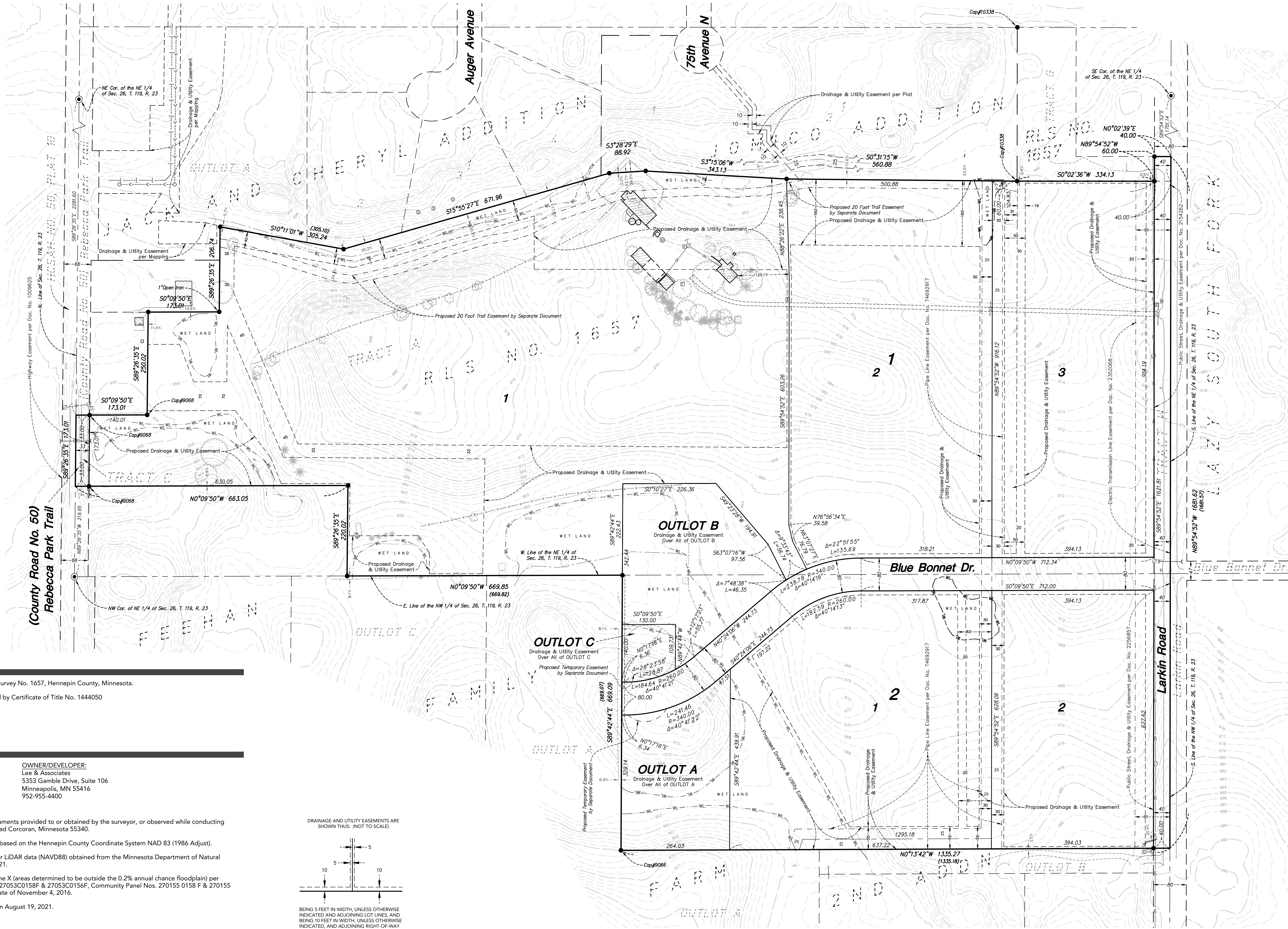
Ed Farr Architects, our architect for the project, has designed numerous industrial parks over the years and is currently working on several new parks around the Twin Cities, and Ed feels the optimal ratio of parking stalls per 1,000 square feet of space is 1.5 stalls.

All buildings shown on the revised plans meet or exceed 20% office ratios and are improved over the earlier design. Buildings A-D ratios range from 23.6% up to 27%.

Buildings A and B as conceptually drawn for this PUD are at 2.1/1000 which is well in excess of the standard, Building C is 1.8/1,000, Building D is 1.9/1,000, and Building E is at 1.56/1,000. We are also showing an example of how a building can be modified to support a company that may need 50% office finish or greater (see included attachment). These types of companies represent a small sub-set of users, and they need very little shipping access and by reducing the back areas for trucks and replacing it with parking, this has proven to be a solution at other business parks.

Designing buildings the way we have designed Corcoran Farms will be the most successful, as compared to designing to accommodate only one subset of the market such as high tech or medical manufacturing which are classified as "office showroom", and offer larger parking fields but lose functionality due to their shallow building depths, will only serve that one segment and therefore, is not a highest and best use of the property.

In summary, the buildings are designed with parking and other features to offer flexibility to accommodate higher finish users if needed, and will be highly desirable to the widest variety of companies across the market spectrum so that they fill faster, stay occupied longer, and prove to be a great asset to the City of Corcoran long term.



LEGAL DESCRIPTION

Tracts A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota.

Being registered land as is evidenced by Certificate of Title No. 1444050

Torrens Property

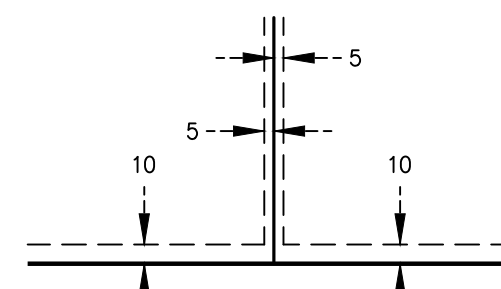
GENERAL NOTES

SURVEYOR:
Loucks
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763-424-5505

OWNER/DEVELOPER:
Lee & Associates
5353 Gamble Drive, Suite 106
Minneapolis, MN 55416
952-955-4400

- Prepared August 30, 2022.
- The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 20130 Larkin Road Corcoran, Minnesota 55340.
- The bearings for this survey are based on the Hennepin County Coordinate System NAD 83 (1986 Adjust).
- Topography shown hereon is per LIDAR data (NAVD88) obtained from the Minnesota Department of Natural Resources on September 24, 2021.
- This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map Nos. 27053C0158F & 27053C0156F, Community Panel Nos. 270155 0156 F & 270155 0156 F, respectively, effective date of November 4, 2016.
- The field work was completed on August 19, 2021.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED AND ADJOINING LOT LINES, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THE PLAT.

ZONING INFORMATION

Zoning: BP (Business Park)

Minimum lot area	1 acre
Minimum lot width	100 feet
Minimum lot depth	200 feet
Minimum Principal Structure Setbacks:	
Front, From Major Roadways*	100 feet
Front, From all other streets	50 feet
Side	20 feet
Rear	20 feet
Adjacent to Residential	50 feet
Maximum Principal Building Height	45 feet
Maximum Impervious Surface Coverage	70%

LEGEND

- FOUND 1/2 INCH OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- SET 1/2 INCH X 1/4 INCH IRON MONUMENT, MARKED "LS 3842"
- FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- ▭ FLARED END SECTION
- ⌋ FUEL TANK/PUMP
- ⌋ GUARD POST
- ⌋ GUY WIRE
- ⌋ MAILBOX
- ⊙ MONITORING WELL
- ⊙ POWER POLE
- ⊙ SERVICE CLEANOUT
- ⊙ SIGN
- ⊙ TELEPHONE PEDESTAL
- ⊙ UTILITY MANHOLE
- ⊙ YARD LIGHT
- STORM SEWER
- MAPPED SANITARY SEWER
- MAPPED WATERMAIN
- OVERHEAD UTILITY
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- SPLIT RAIL FENCE
- WATER LINE
- WETLAND AS DELINEATED BY KJOLHAUG ON AUGUST 26, 2021.
- RETAINING WALL
- CONCRETE
- PAVERS
- EXISTING BUILDING
- CONTOUR

SITE DATA

Overall Areas:

County Road No. 50 = 5,709 +/- square feet or 0.13 +/- acres
 Larkin Road = 67,268 +/- square feet or 1.54 +/- acres
 Blue Bonnet Dr. = 110,957 +/- square feet or 2.54 +/- acres
 Total Right of Way Dedication = 183,934 +/- square feet or 4.21 +/- acres

Lot Areas:

Lot 1, Block 1 = 1,207,868 +/- square feet or 27.73 +/- acres
 Lot 2, Block 1 = 455,195 +/- square feet or 10.44 +/- acres
 Lot 3, Block 1 = 360,605 +/- square feet or 8.28 +/- acres
 Lot 1, Block 2 = 377,688 +/- square feet or 8.68 +/- acres
 Lot 2, Block 2 = 247,448 +/- square feet or 5.69 +/- acres
 Outlot A = 95,835 +/- square feet or 2.20 +/- acres
 Outlot B = 119,254 +/- square feet or 2.74 +/- acres
 Outlot C = 17,010 +/- square feet or 0.39 +/- acres

Total Property = 3,064,837 +/- square feet or 70.36 +/- acres
 Net Property = 2,880,903 +/- square feet or 66.15 +/- acres

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, with the exception of the project or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD files for information and reference only. All intended or unintended revisions, additions, or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and the party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTALS/REVISIONS

08/30/22 SURVEY ISSUED

PROFESSIONAL SIGNATURE

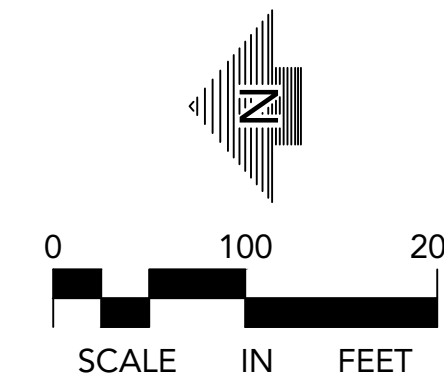
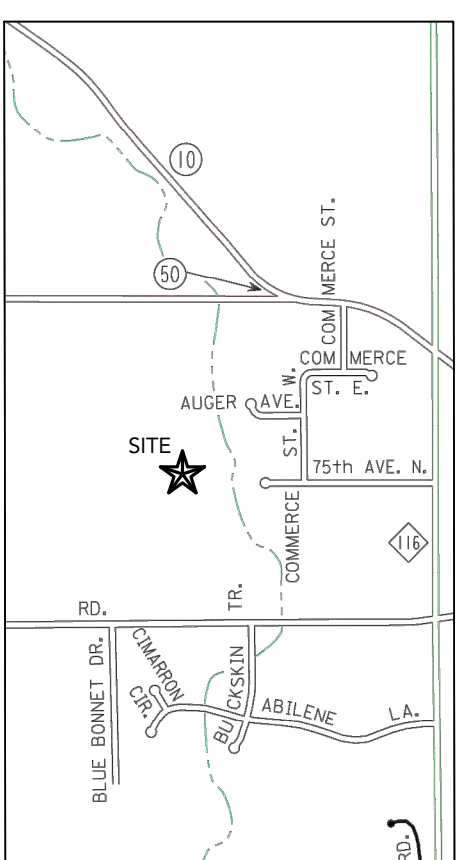
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Jared J. Avebeck
 Jared J. Avebeck - PLS
 License No. 53642
 Date 08/29/22

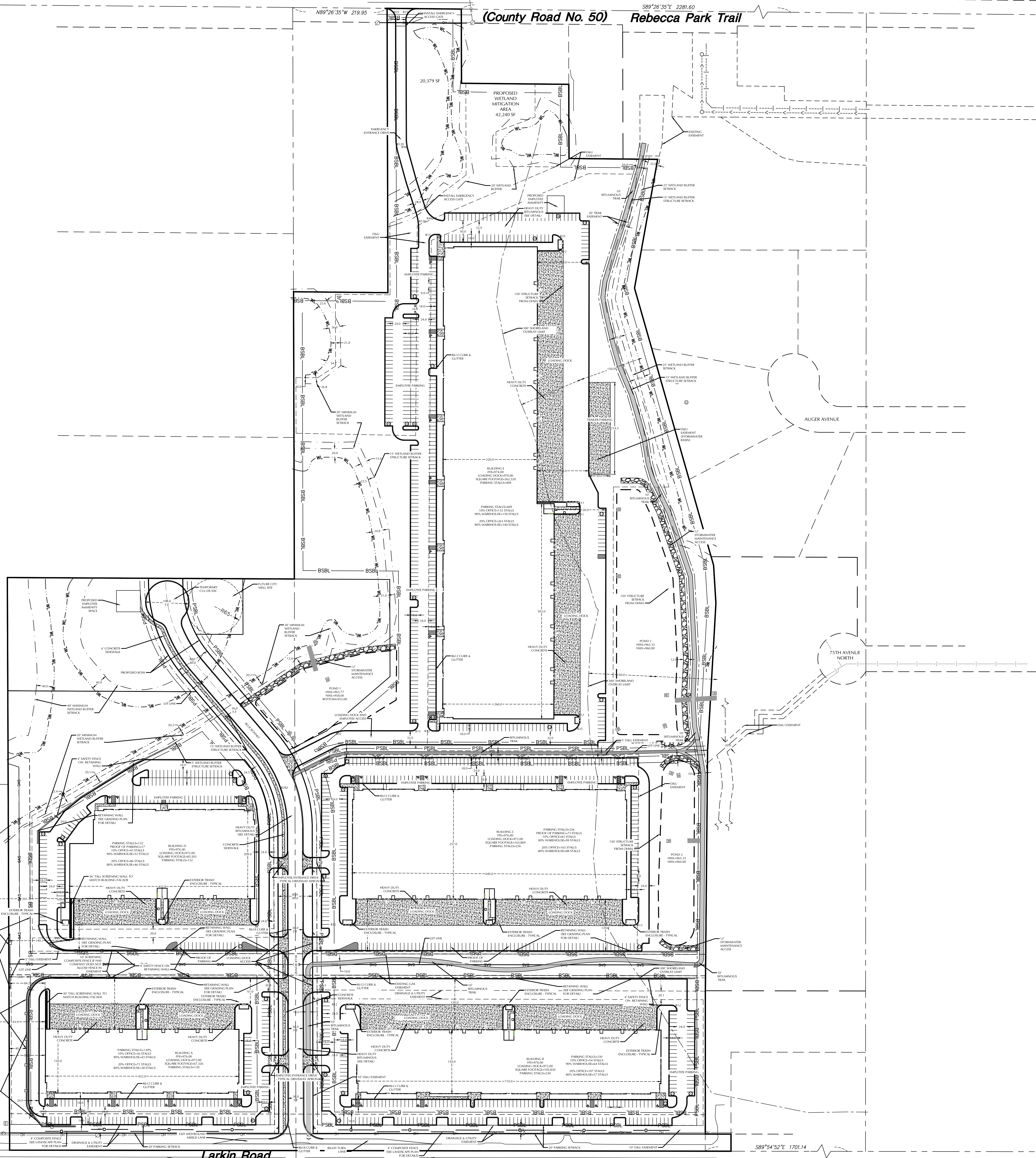
QUALITY CONTROL

Loucks Project No. 21442
 Project Lead JJA
 Drawn By KMM
 Checked By JJA
 Field Crew CMS

VICINITY MAP



Rebecca Park Trail (County Road No. 50)



SITE DATA

ZONING:	PUD
PROPERTY AREA:	70.36 AC
DISTURBED AREA:	36.89 AC
EXISTING IMPERVIOUS AREA:	7.205 AC (10.20%)
EXISTING IMPERVIOUS AREA (EXCLUDING WETLANDS):	1.024 AC (1.45%)
PROPOSED IMPERVIOUS AREA:	52.041 AC (73.96%)
PROPOSED IMPERVIOUS AREA (EXCLUDING WETLANDS & PONDS):	41.538 AC (57.62%)

PAVEMENT TYPES

- CONCRETE PAVEMENTS
- HEAVY DUTY CONCRETE PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT

NOTE: SEE PAVEMENT SECTIONS ON SHEET C8.1 FOR TYPE AND DEPTH INFORMATION.

CIVIL LEGEND

EXISTING	PROPOSED
SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE
CATCH BASIN	CATCH BASIN
CULVERT	CULVERT
HYDRANT	HYDRANT
GATEVALVE	GATEVALVE
POST INDICATOR VALVE	POST INDICATOR VALVE
LIGHT POLE	LIGHT POLE
POWER POLE	POWER POLE
SIEN	SIEN
BENCHMARK	BENCHMARK
SOIL BORINGS	SOIL BORINGS
WATER MANHOLE	WATER MANHOLE
TELEPHONE MANHOLE	TELEPHONE MANHOLE
UTILITY MANHOLE	UTILITY MANHOLE
ELECTRIC MANHOLE	ELECTRIC MANHOLE
WATER SERVICE	WATER SERVICE
SANITARY SERVICE	SANITARY SERVICE
DIRECTION OF FLOW	DIRECTION OF FLOW
SPOT ELEVATION	SPOT ELEVATION
CONTOURS	CONTOURS
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
WETLAND	WETLAND
FORECRAIN	FORECRAIN
DRAINAGE	DRAINAGE
SILT FENCE	SILT FENCE
CURB & GUTTER	CURB & GUTTER
RETAINING WALL	RETAINING WALL
TREELINE	TREELINE
EASEMENT LINE	EASEMENT LINE
SETBACK LINE	SETBACK LINE
FENCE LINE	FENCE LINE
UNDERGROUND TELE	UNDERGROUND TELE
UNDERGROUND GAS	UNDERGROUND GAS
OVERHEAD UTILITY	OVERHEAD UTILITY
UNDERGROUND FIBER OPTIC	UNDERGROUND FIBER OPTIC
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND CABLE TV	UNDERGROUND CABLE TV
PROPERTY LINE	PROPERTY LINE
DECIDUOUS TREE	DECIDUOUS TREE
PARKING COUNTS	PARKING COUNTS

SITE NOTES

- ALL PAVING, AND CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

GENERAL NOTES

- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, STATE AND LOCAL REQUIREMENTS AND THE DETAILS SHOWN ON THE DETAIL SHEETS) OF THE PROJECT PLANS.
- ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ENTRANCES AND CONNECTIONS TO CITY STREETS SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND NOTIFICATIONS AS REQUIRED.
- SUBGRADE PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH MNDOT 211.2. THE TOP 3 FEET SHALL BE COMPACTED TO 100% OF THE STANDARD PROCTOR DENSITY.
- AGGREGATE BASE SHALL BE MNDOT 221.1 CLASS 5. COMPACTION SHALL BE BY THE QUALITY COMPACTION METHOD.

CORCORAN FARMS BUSINESS PARK CORCORAN, MN

LEE & ASSOCIATES

5353 GAMBLE DRIVE, SUITE 106 MINNEAPOLIS, MN 55416

LOUCKS CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.louckscinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are the property of the Consultant and shall not be used for any other project without the written approval of the Consultant.

SUBMITTALS/REVISIONS

07/19/22	PRELIM PLAT APPLICATION
08/30/22	PRELIM PLAT RESUBMITTAL
10/17/22	PRELIM PLAT RESUBMITTAL
11/04/22	PRELIM PLAT RESUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

License No. 19624 Date 08/31/22

QUALITY CONTROL

Project No.	21442
Project Lead	JAS
Drawn By	JDK
Checked By	JAS
Review Date	08/31/22

SHEET INDEX

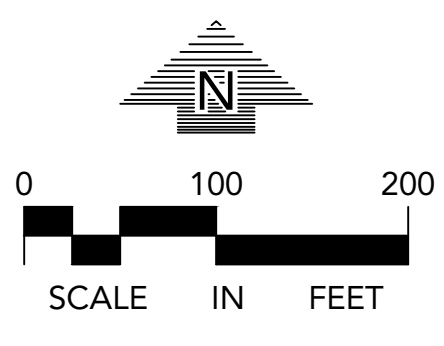
SEE TITLE SHEET

OVERALL SITE PLAN C2-1

CALL BEFORE YOU DIG! Gopher State One Call TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

WARNING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



(County Road No. 50) Rebecca Park Trail

GRADING & DRAINAGE NOTES

SEE STORMWATER POLLUTION PREVENTION PLAN FOR SOIL STABILIZATION INFORMATION.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON THE CIVIL DETAILS SHEETS OF THESE PLANS.

ALL CURB SPOT ELEVATIONS ARE TO GUTTER LINE UNLESS NOTED OTHERWISE.

GRADING, DRAINAGE & EROSION CONTROL SPECIFICATIONS

- 1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN CUTTERS SHALL BE SUMPED 0.10 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
3. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF PREMIUM TOP SOIL AND SEED/MULCH OR SOID. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. VERIFY WITH LANDSCAPE PLAN.
4. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL). "CW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
5. REFER TO THE PRELIMINARY REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. B2110565), DATED 01/17/22 AS PREPARED BY BRAUN INTERTEC FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
6. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDE FOR WEEKENDS AND HOLIDAYS, OR AS DIRECTED BY CITY. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
7. DUST MUST BE ADEQUATELY CONTROLLED.
8. SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
9. SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
10. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
11. A STREET SWEEPER MUST BE AVAILABLE WITHIN 3 HOURS UPON NOTICE FROM THE CITY THAT THE STREETS NEED TO BE SWEEPED.
12. THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT FROM THE MPCA.
13. INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. SOME EROSION CONTROLS SUCH AS BALE CHECKS AND TEMPORARY SILT PONDS MAY BE INSTALLED AS GRADING OCCURS IN SPECIFIC AREAS. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
14. THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE MPCA NPDES PERMIT. THE AREA TO BE DISTURBED SHALL BE MINIMIZED AND TURF SHALL BE ESTABLISHED WITHIN THE TIME REQUIRED.
15. GRADES SHOWN ARE FINISHED GRADES.
16. FINAL GRADING TOLERANCES ARE +/-0.1 FEET TO FINISH GRADES.
17. UNDER PAVEMENTS COMPACT THE UPPER 3 FEET OF SUBGRADE TO 100% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT AND 95% STANDARD PROCTOR DENSITY BLOW THE UPPER 3 FEET OF SUBGRADE. OUTSIDE PAVEMENT AREAS COMPACT EMBANKMENTS TO 95% STANDARD PROCTOR DENSITY.
18. WORKING HOURS ARE 7:00 AM - 10:00 PM, MONDAY - SATURDAY. A 48 HOUR NOTICED IS REQUIRED FOR SATURDAY WORK.
19. THE CONTRACTOR MUST HAVE A CITY LICENSE.
20. A CITY RIGHT-OF-WAY PERMIT IS REQUIRED PRIOR TO WORKING WITHIN CITY ROW.
21. STRUCTURAL RETAINING WALL, FENCING AND HANDRAIL DESIGN BY OTHERS. REFER TO ARCHITECTURAL PLANS.

CIVIL LEGEND

Table with columns for EXISTING and PROPOSED symbols. Includes symbols for SANITARY MANHOLE, STORM MANHOLE, CATCH BASIN, CULVERT, HYDRANT, GATE VALVE, POST INDICATOR VALVE, LIGHT POLE, POWER POLE, SIGN, BENCHMARK, SOL BORINGS, WATER MANHOLE, TELEPHONE MANHOLE, UTILITY MANHOLE, ELECTRIC MANHOLE, WATER SERVICE, SANITARY SERVICE, HANDICAP PARKING, DIRECTION OF FLOW, SPOT ELEVATION, CONTOURS, SANITARY SEWER, STORM SEWER, WATERMAIN, FORCE MAIN, BRANTLE, SILT FENCE, CURB & GUTTER, RETAINING WALL, TIE LINE, EASEMENT LINE, SETBACK LINE, FENCE LINE, UNDERGROUND TELE, UNDERGROUND GAS, UNDERGROUND UTILITY, UNDERGROUND FIBER OPTIC, UNDERGROUND ELECTRIC, UNDERGROUND CABLE TV, PROPERTY LINE, CONIFEROUS TREE, DECIDUOUS TREE, PARKING COUNTS.

CORCORAN FARMS BUSINESS PARK CORCORAN, MN

LEE & ASSOCIATES 5353 GAMBLE DRIVE, SUITE 106 MINNEAPOLIS, MN 55416

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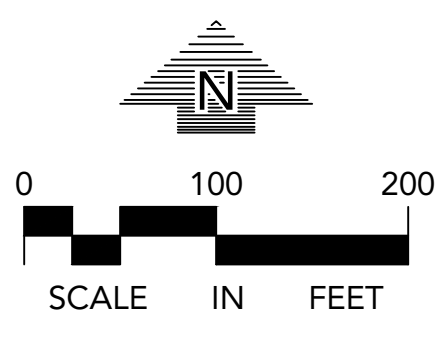
CADD QUALIFICATION CADW files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects. In addition to this project, or for completion of this project, by others without written approval by the Consultant, with the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for reference and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and the party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities. SUBMITTALS/REVISIONS 07/19/22 PRELIM PLAT APPLICATION 08/30/22 PRELIM PLAT RESUBMITTAL 10/17/22 PRELIM PLAT RESUBMITTAL 11/04/22 PRELIM PLAT RESUBMITTAL

PROFESSIONAL SIGNATURE I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota. License No. 19624 Date 08/31/22 QUALITY CONTROL Project No. 21442 Project Lead JAS Drawn By JOK Checked By JAS Review Date 08/31/22 SHEET INDEX SEE TITLE SHEET

OVERALL GRADING PLAN C3-1



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GENERAL NOTES:
 CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
 VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.
 ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.
 CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS / GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.
 CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES. CONTRACTOR TO PROVIDE THE NECESSARY PROTECTION FOR THE UTILITIES BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS. CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY CONCERNS PRIOR TO INSTALLATION OF PLANTINGS.
 EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
 THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

IRRIGATION NOTES:
 CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND / OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED / SEEDING AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
 THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.
 IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT NOR SHALL THE SYSTEM SPRINKLE THE BUILDING.
 THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.
 PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING / SOD / SEED HAS BEEN ESTABLISHED.

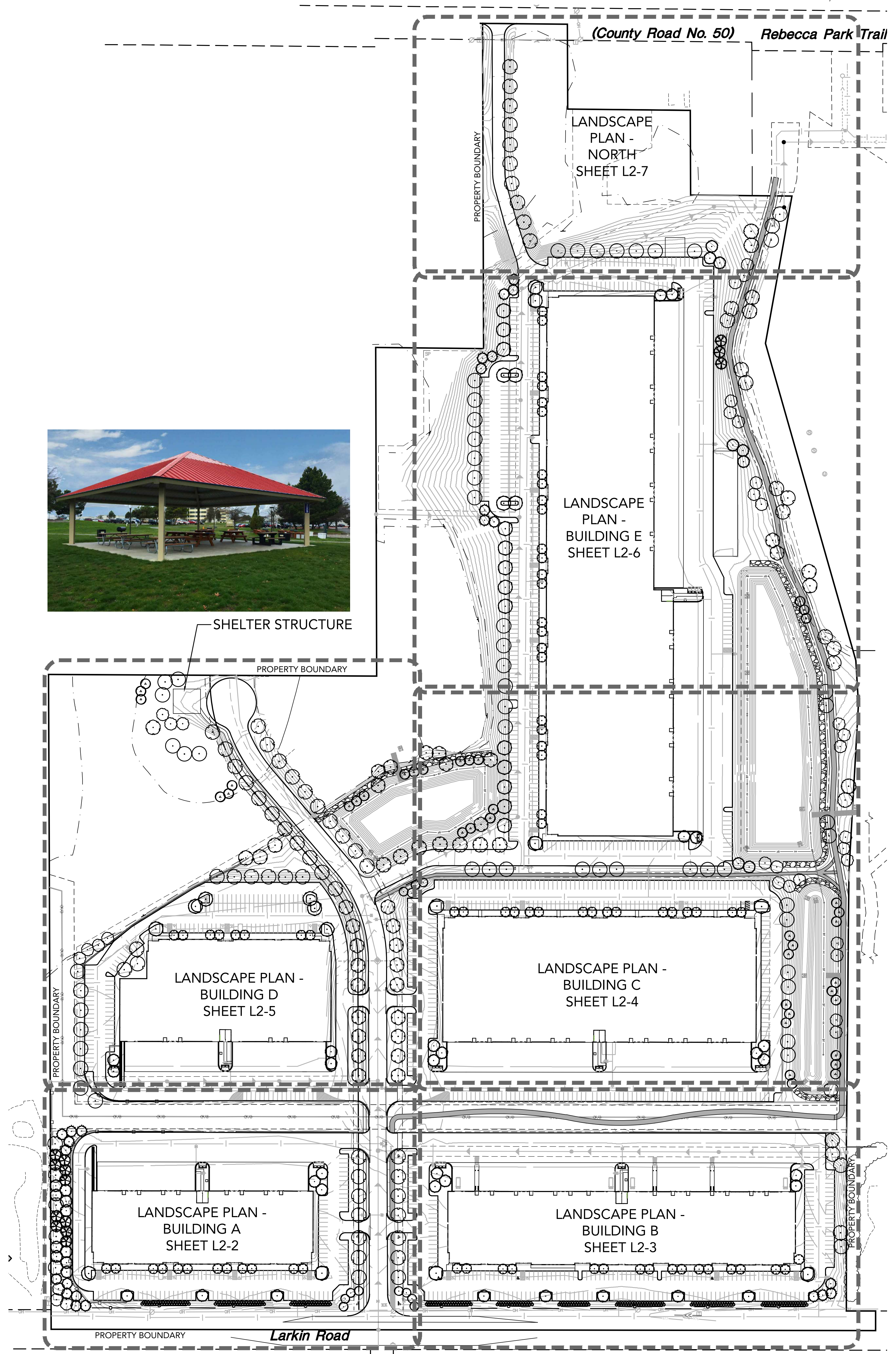
GENERAL NOTES:
 COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
 NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.
 IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND / OR INSTALLATION.
 PROTECT ALL EXISTING TREES ON SITE SCHEDULED TO REMAIN. IF EXISTING TREES ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING.
SOIL & GROUND COVER:
 ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND / OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.
 WHERE SOD / SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD / SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.
 SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS, ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.
 LANDSCAPE CONTRACTOR SHALL VERIFY THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.
PLANTINGS INFO
 ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN, UNLESS NOTED OTHERWISE. ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.
 ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.
 PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR / ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR / ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR / ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
 ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.
 PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.
 NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND / OR QUOTATION.

FERTILIZER
 ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 0.2 PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.
EDGING FOR PLANTING BEDS
 BLACK METAL EDGING TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD UNLESS NOTED OTHERWISE.
PLANTING BED PREPARATION
 ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.
 ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.
 ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
 SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.
MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED / INDICATED ON DRAWING OR IN SPECIFICATION.
INSPECTION AND WARRANTY
 CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.
 CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE / PEST CONTROL.
 CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.
WARRANTY (ONE (1) FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
TIMING OF INSTALLATION
 UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED / SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
 FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15. DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
 TREES ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

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SHELTER STRUCTURE



PLANT SCHEDULE - BASE						
DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
AB	74	AUTUMN BLAZE MAPLE	Acer freemanii 'Autumn Blaze'	B & B	2.5" Cal	
BO	4	BURR OAK	Quercus macrocarpa	B & B	2.5" Cal	
CH	8	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5" Cal	
GL	7	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	B & B	2.5" Cal	
HP	32	IMPERIAL HONEYLOCUST	Gleditsia triacanthos 'Imperial' TM	B & B	2.5" Cal	
NP	18	NORTHERN PIN OAK	Quercus ellipsoidalis	B & B	2.5" Cal	
QA	34	QUAKING ASPEN	Populus tremuloides	25 gal		
RB	39	RIVER BIRCH CLUMP CLUMP	Betula nigra	B & B	8' HGT	
SGM	56	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5" Cal	
QB	11	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal	
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
AP3	11	AUSTRIAN PINE - 16' FULL FORM	Pinus nigra	B & B	16' HGT	
AP	13	AUSTRIAN PINE - 6' FULL FORM	Pinus nigra	B & B	6' HGT	
BS	30	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT	
BS2	8	BLACK HILLS SPRUCE - 10' FULL FORM	Picea glauca 'Densata'	B & B	10' HGT.	
BS3	10	BLACK HILLS SPRUCE - 16' FULL FORM	Picea glauca 'Densata'	B & B	16' HGT	
CSP3	10	COLORADO SPRUCE - 16'	Picea pungens	B & B	16' HGT	
CSP	3	COLORADO SPRUCE - 6'	Picea pungens	B & B	6' HGT	
MTP	315	MUGO TANNENBAUM PINE FULL FORM	Pinus mugo 'Tannenbaum'	B & B	7' HGT	
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
PRC	77	PRAIRIE ROSE CRABAPPLE	Malus x 'Prairie Rose'	B & B	1.5" Cal	
SSC	12	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5" Cal	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
AS	73	ALPINE SPIREA	Spiraea japonica 'Alpine'	2 gal		36" o.c.
BLS	574	BIRCH-LEAF SPIREA	Spiraea x betulifolia 'Tor'	5 gal	24" HGT	36" o.c.
DLH	154	DWARF BUSH HONEYSUCKLE	Diervilla leionera	5 gal		36" o.c.
GF	407	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal		72" o.c.
ID	235	ISANTI DOGWOOD	Cornus sericea 'Isanti'	5 gal	24" HGT	60" o.c.
LPS	292	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	5 gal		36" o.c.
HD	136	MUSKINGUM DOGWOOD	Cornus racemosa 'Muzani'	5 gal		48" o.c.
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
FG	389	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal		24" o.c.
FLM	149	FLAME MISCANTHUS	Miscanthus sinensis 'Purpurascens'	1 gal		36" o.c.
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
MAJ	205	MANEY JUNIPER	Juniperus chinensis 'Maney'	5 gal		60" o.c.
SJ	404	SCANDIA JUNIPER	Juniperus sabinia 'Scandia'	5 gal	18" SPRD	48" o.c.
TEA	18	TECHNITO ARBORVITAE	Thuja occidentalis 'Balljohn'	B & B	6' HGT	48" o.c.
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
PHO	156	PATRIOT HOSTA	Hosta x 'Patriot'	1 gal		24" o.c.
SSD	341	STELLA SUPREME DAYLILY	Hemerocallis x 'Stella Supreme'	1 gal		24" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME		
	BUFF	38,432 sf	BUFFER ZONE RESTORATION NATIVE SPECIES PLANTED IN CONFORMANCE TO CITY REQUIREMENTS			
	SEED 1	434,063 sf	NATIVE SEED MIX - MESIC PRAIRIE BWSR 35-241 - 26 S LBS PER ACRE			
	SEED 2	40,003 sf	NATIVE SEED MIX - STORMWATER BWSR 33-261 - 35 LBS PER ACRE			
	RM1	17,838 sf	ROCK MULCH GREY TRAP ROCK 1" TO 1-1/2" - 4" DEPTH OVER GEOTEXTILE FABRIC			
	SOD	150,205 sf	TURF SOD			

PLANT REQUIREMENTS / QUANTITIES	
REQUIRED OVERSTORY TREES: 1 TREE / 1,000 SF OF FLOOR AREA 696,613 / 1,000	697
TOTAL PROPOSED OVERSTORY TREES	283
TOTAL PROPOSED CONIFEROUS TREES	400
TOTAL PROPOSED ORNAMENTAL TREES (3 ORNAMENTAL = 1 OVERSTORY)	29
TOTAL PROPOSED TREES	712

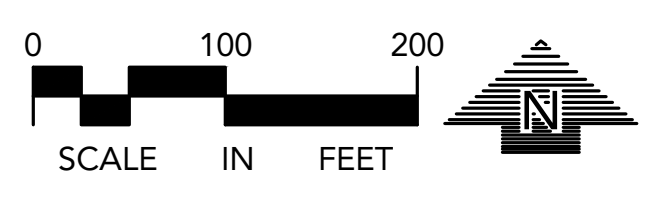
REQUIRED SHRUBS 1 SHRUB PER 1,000 SF OF FLOOR AREA 696,613 / 300	2,322
TOTAL PROPOSED SHRUBS -	2,322
DETAILED SHRUB PLANTINGS FOR EACH BUILDING TO BE PROVIDED IN FINAL PUD SUBMITTAL. NOT ALL SHRUBS ARE SHOWN ON PLAN	

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PROFESSIONAL SIGNATURE
 I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer of the State of Florida.
 License No. LA 24610
 Date 08/31/22
QUALITY CONTROL
 Project No. 21442
 Project Lead JAS
 Drawn By GAJ
 Checked By JAS
 Review Date 08/31/22
SHEET INDEX
 SEE TITLE SHEET

LANDSCAPE PLAN OVERALL L2-1

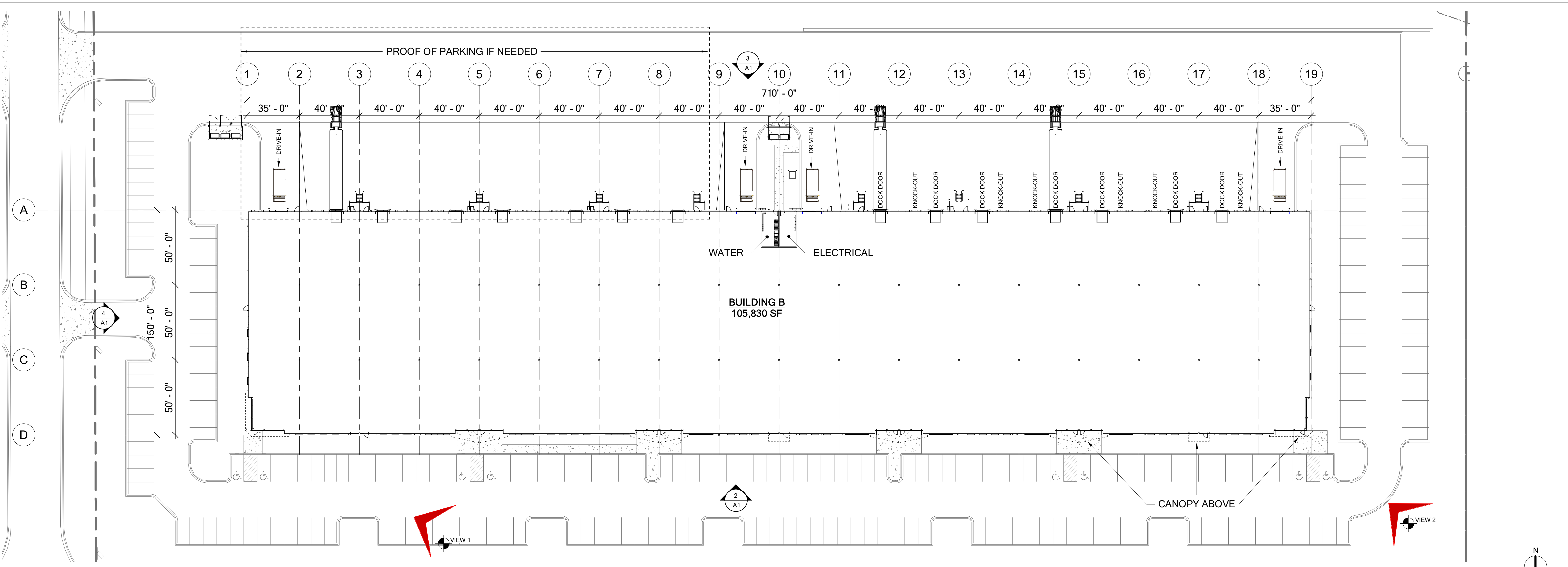


WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
 THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

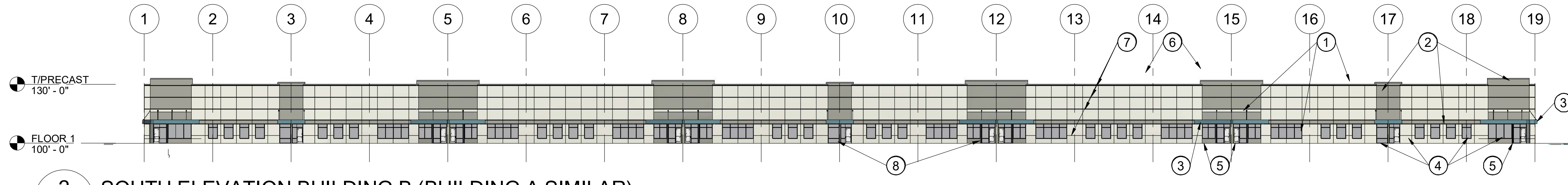


I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

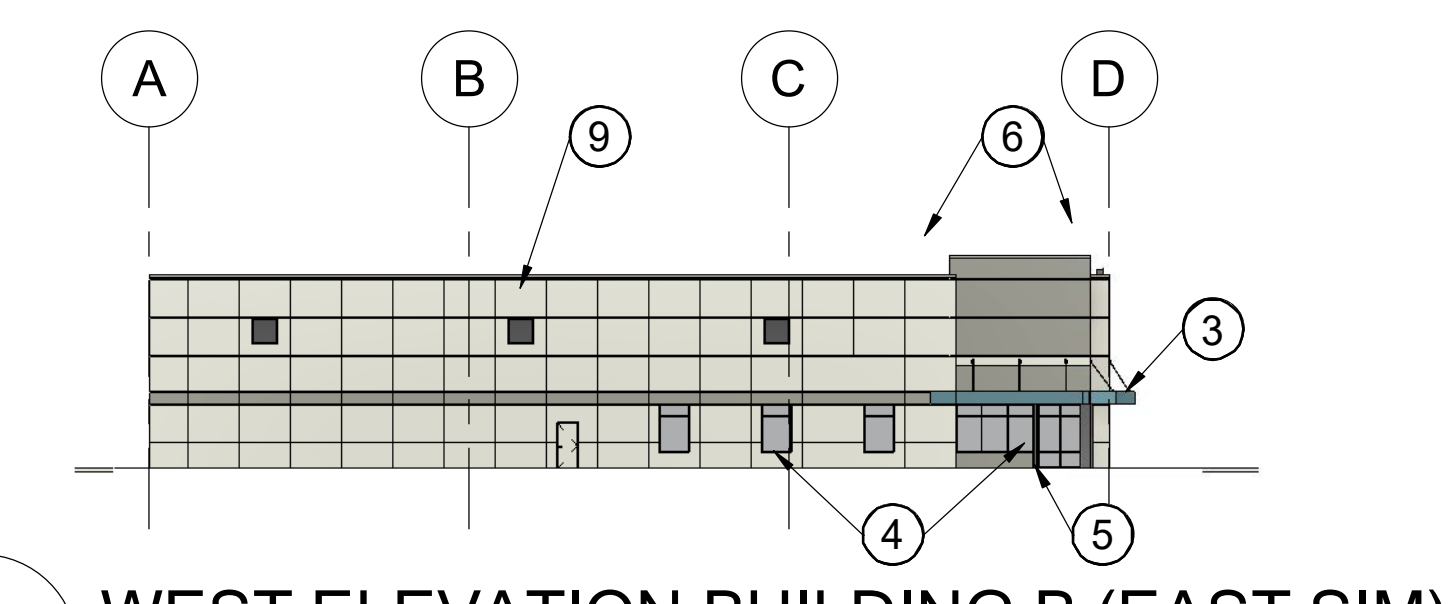
Edward A. Farr
 Date: _____ Reg. No. 16362
 Project Manager
 XXX
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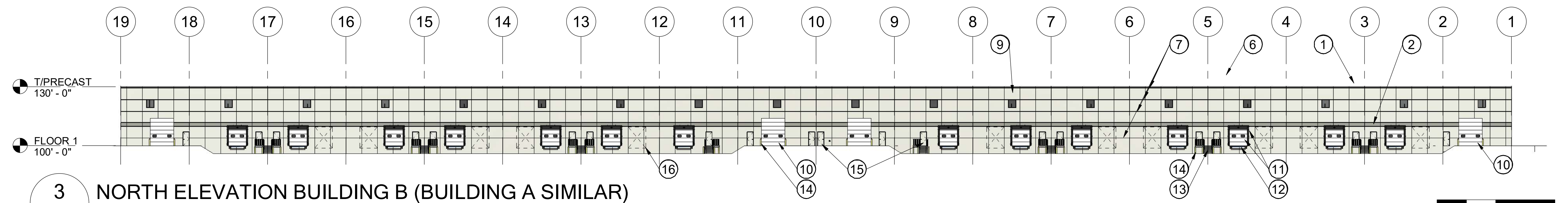
1 FLOOR PLAN BUILDING B
 A1 SCALE: 1" = 30'-0"



2 SOUTH ELEVATION BUILDING B (BUILDING A SIMILAR)
 A1 SCALE: 1" = 30'-0"



4 WEST ELEVATION BUILDING B (EAST SIM)
 A1 SCALE: 1" = 30'-0"



3 NORTH ELEVATION BUILDING B (BUILDING A SIMILAR)
 A1 SCALE: 1" = 30'-0"

ELEVATION NOTES

- 1 PRECAST PANELS SMOOTH PAINTED - OFF WHITE
- 2 PRECAST PANELS SMOOTH PAINTED - MEDIUM GRAY
- 3 METAL CANOPY
- 4 ALUMINUM STOREFRONT FRAMING
- 5 DOWNSPOUT
- 6 PREFINISHED METAL COPING
- 7 REVEALS
- 8 ALUMINUM GLASS ENTRY DOORS

ELEVATION NOTES

- 9 CLERESTORY WINDOW
- 10 12' x 14' SECTIONAL DRIVE-IN DOOR
- 11 9' x 10' SECTIONAL DOCK DOOR WITH DOCK SEAL
- 12 DOCK LEVELER
- 13 METAL DOCK STAIRS
- 14 BOLLARD
- 15 HOLLOW METAL DOOR AND FRAME
- 16 KNOCK-OUT PANEL



Client
 Lee & Associates
 5335 Gamble Dr,
 Suite 106
 Minneapolis, MN 55416
 Project
 Corcoran Farms
 Business Park
 Buildings A & B

Location
 Corcoran, MN

Issued For	Date
PLO	08/30/2022
RESUBMITTAL	10/14/2022
RESUBMITTAL	11/07/2022

Sheet Title
 Building B

Project Number _____ Sheet Number _____
 22.054 A1



VIEW 1 - PARK ENTRANCE BETWEEN BUILDINGS A AND B

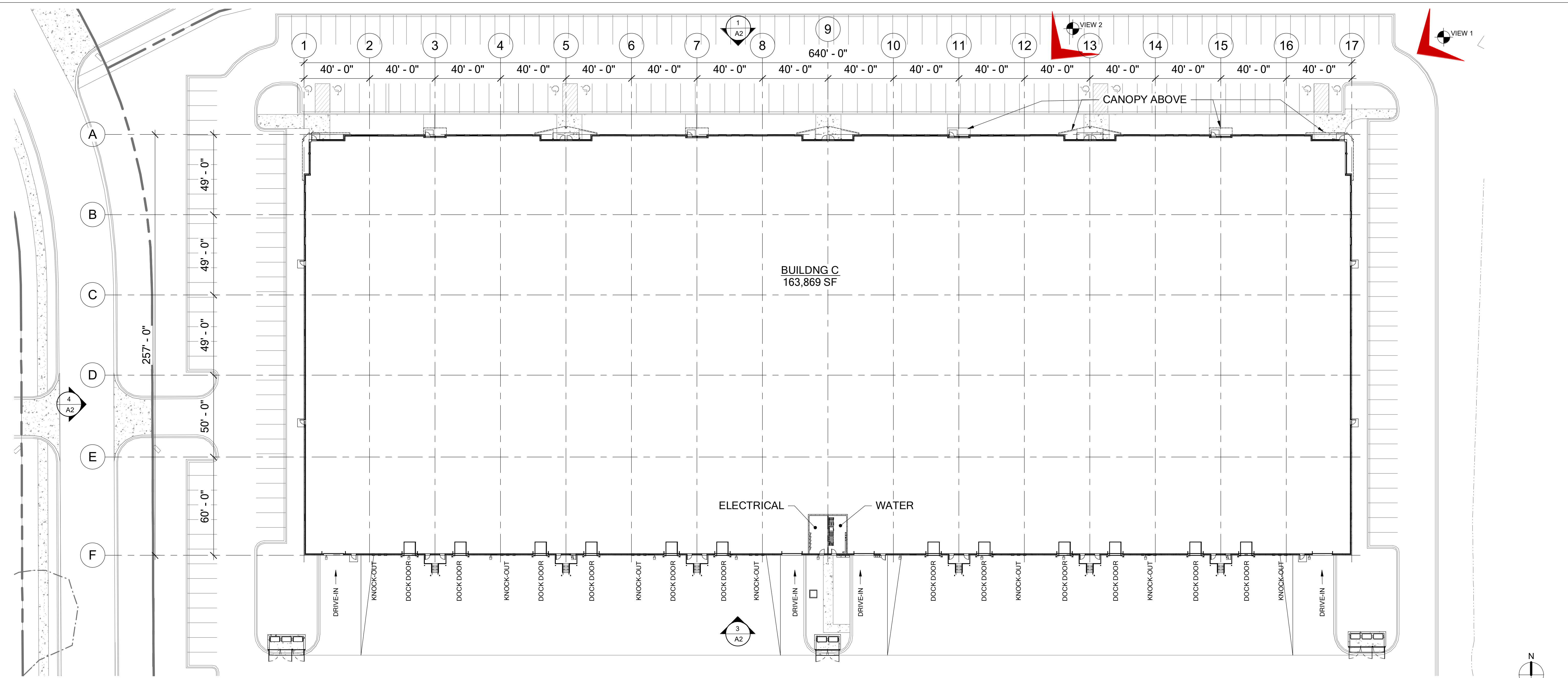


VIEW 2 - BUILDING B SOUTHEAST CORNER

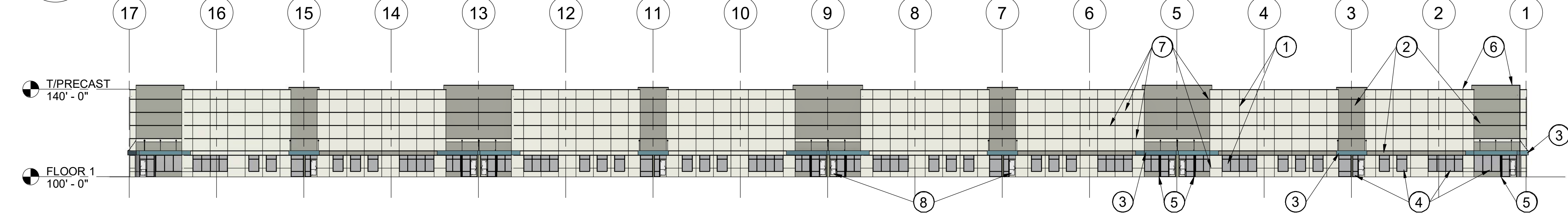
11/7/2022 2:43:11 PM

I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

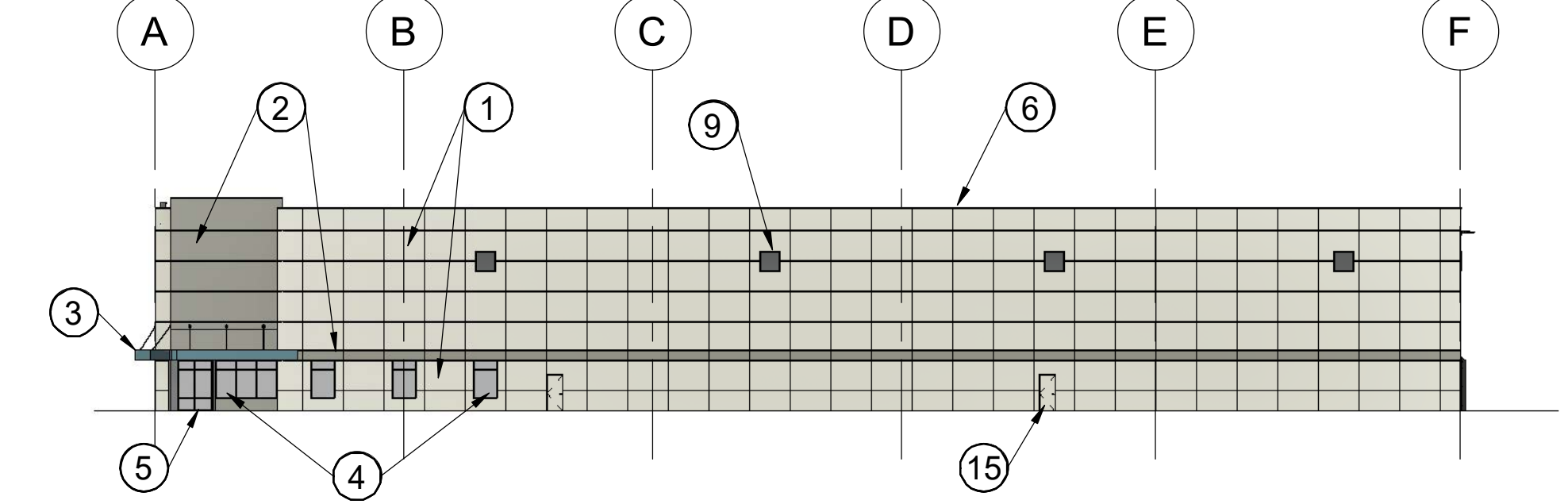
Edward A. Farr
 Date: _____ Reg. No. 16362
 Project Manager
 EAF
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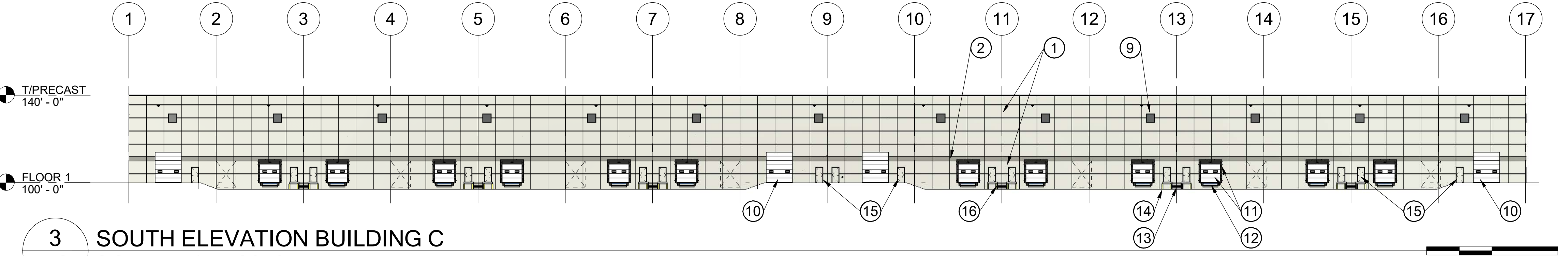
2 FLOOR PLAN BUILDING C
 A2 SCALE: 1" = 30'-0"



1 NORTH ELEVATION BUILDING C
 A2 SCALE: 1" = 30'-0"



4 WEST ELEVATION BUILDING C (EAST SIM)
 A2 SCALE: 1" = 30'-0"



3 SOUTH ELEVATION BUILDING C
 A2 SCALE: 1" = 30'-0"

ELEVATION NOTES

- 1 PRECAST PANELS SMOOTH PAINTED - OFF WHITE
- 2 PRECAST PANELS SMOOTH PAINTED - MEDIUM GRAY
- 3 METAL CANOPY
- 4 ALUMINUM STOREFRONT FRAMING
- 5 DOWNSPOUT
- 6 PREFINISHED METAL COPING
- 7 PRECAST REVEALS
- 8 ALUMINUM GLASS ENTRY DOORS

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- 12 DOCK LEVELER
- 13 METAL DOCK STAIRS
- 14 BOLLARD
- 15 HOLLOW METAL DOOR AND FRAME
- 16 KNOCK-OUT PANEL



VIEW 1 - BUILDING C TENANT ENTRY



VIEW 2 - BUILDING C NORTHEAST CORNER

EDWARD FARR ARCHITECTS INC
 7710 Golden Triangle Drive Eden Prairie, Minnesota 55344 Tel: 952.943.8660 www.edfarrarch.com

Client
 Lee & Associates
 5335 Gamble Dr., Suite 106
 Minneapolis, MN 55416
 Project
 Corcoran Farms Business Park Building C

Location
 Corcoran, MN

Issued For	Date
PUD	08/30/2022
RESUBMITTAL	11/07/2022

Sheet Title
 Building C

Project Number _____ Sheet Number _____
 22.055 A2

LEGEND:

- 1. BUILDING A
- 2. BUILDING B
- 3. BUILDING C
- 4. BUILDING D
- 5. BUILDING E
- 6. ENTRY DRIVE AT LARKIN ROAD
- 7. TRAIL
- 8. STORMWATER PONDS
- 9. EMPLOYEE AMENITY SPACE
- 10. PERIMETER SCREENS















LEGEND:

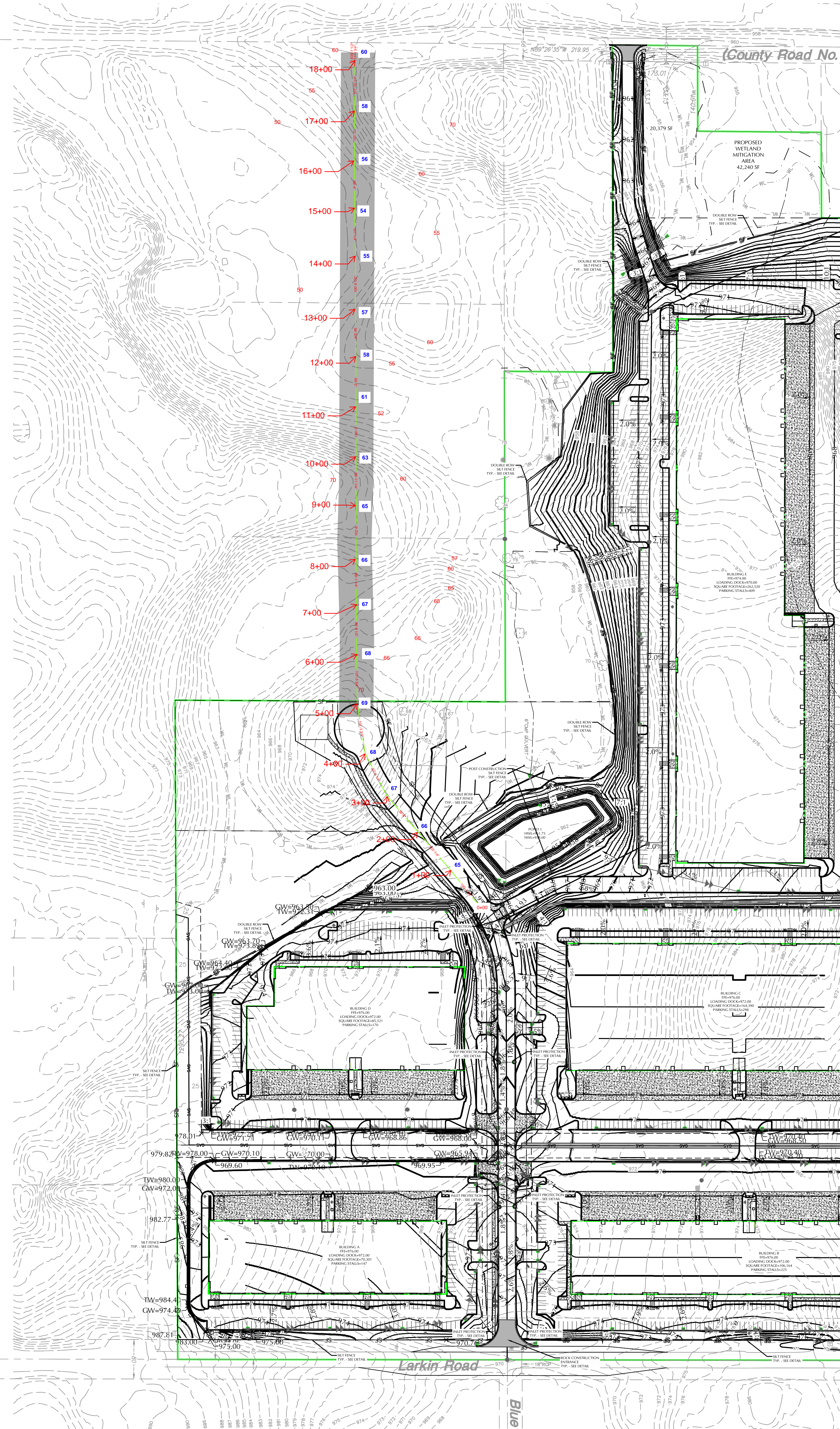
- 1. BUILDING A
- 2. BUILDING B
- 3. BUILDING C
- 4. BUILDING D
- 5. BUILDING E
- 6. ENTRY DRIVE AT LARKIN ROAD
- 7. TRAIL
- 8. STORMWATER PONDS
- 9. EMPLOYEE AMENITY SPACE
- 10. PERIMETER SCREENS











SWPPP LEGEND

	SILT FENCE
	INLET PROTECTION
	ROCK CONSTRUCTION ENTRANCE

CIVIL LEGEND

EXISTING	PROPOSED

CORCORAN FARMS BUSINESS PARK
CORCORAN, MN

LEE & ASSOCIATES
5353 GAMBLE DRIVE, SUITE 106
MINNEAPOLIS, MN 55416

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

GRADING, DRAINAGE & EROSION CONTROL SPECIFICATIONS

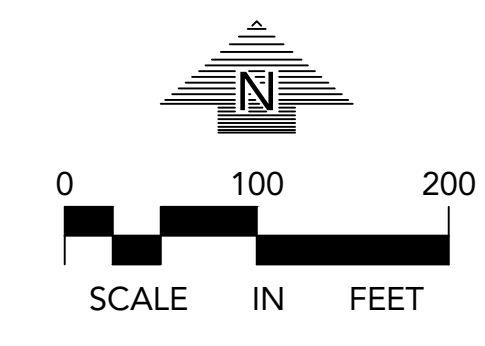
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF PREMIUM TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. VERIFY WITH LANDSCAPE PLAN.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT FROM THE MPCA.
- INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
- GRADES SHOWN ARE FINISHED GRADES.
- FINAL GRADING TOLERANCES ARE +/-0.1 FEET TO FINISH GRADES.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- PER NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM (NPDES/SDS) REQUIREMENTS, THE WASHOUT AND CLEANOUT OF STUCCO, PAINT, CONCRETE, FORM RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS SHALL BE PROPERLY CONTAINED AND DISPOSED OF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND USING APPROVED METHODS OF CONTAINMENT SUCH AS PRE-FABRICATED WASHOUT CONTAINERS, CONCRETE WASHOUT TOTE, READY MIX TRUCKS WITH SELF CONTAINED CHUTE CLEANOUT, ETC.
- ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT EXCEEDING 2% AND A RUNNING SLOPE NOT EXCEEDING 5%.
- AT TURNING POINTS ALONG THE ACCESSIBLE ROUTE THE PAVEMENT SHALL NOT EXCEED 2% IN ANY DIRECTION FOR AN AREA 60" IN DIAMETER.

CADD QUALIFICATION
CADD files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, in addition to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for reference and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and the party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTALS/REVISIONS
07/19/22 - PRELIM PLAT APPLICATION

PROFESSIONAL SIGNATURE
I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
License No. 19624
Date 8/30/22
QUALITY CONTROL
Project No. 21442
Project Lead JAS
Drawn By JOK
Checked By JAS
Review Date 8/30/22

SHEET INDEX
SEE TITLE SHEET



BLUE BONNET CONCEPT EXTENSION TO COUNTY ROAD 50

September 15, 2022

Jessica Christensen Buck
City of Corcoran Recreation Supervisor
8200 County Rd 116
Corcoran, MN 55340

RE: Corcoran Farms Business Park preliminary plat review comments

Jessica,

Thank you for the opportunity to review the preliminary plat for the Corcoran Farms Business Park development.

A 20' wide easement for the future Diamond Lake Regional Trail corridor is noted along the eastern boundary of the site. Many tree plantings are also noted along the trail corridor. The trail corridor width is sufficient for the future trail development and the plantings along the sides of the trail corridor will enhance the trail user experience and add a buffer to the surrounding industrial site.

The following are a few questions and comments regarding the proposed plat:

1. At the north end of the trail corridor, it appears that the trail will cross another adjacent property before reaching the CR 50 right-of-way and cross highway into the Corcoran Community Park. What is the status of this adjacent property, what is the likelihood of an easement through the western portion of the parcel?
2. At the south end of the trail corridor, the trail ends at the road ditch of Larkin Road. Across the road are a number of single family homes. The Diamond Lake Master Plan route is intended to cross Larkin Road further west near the development entrance or a point further west. In order to keep the trail corridor on the approved route, Three Rivers would like to see the trail corridor easement extend to the development entrance drive on Larkin Road, or a point further west of the entrance. The existing and proposed grades and infrastructure along the Larkin Road right-of-way, and planned improvements along the southern parking lot, do not look conducive for a trail without some other changes. Though not preferred, Three Rivers would consider a route partially through the middle of the development.
3. Maintain a maximum 5% running slope and minimum 100' horizontal radius along the trail corridor.

Please let me know if you have any questions or would like to discuss these comments in person.

Thank you again for the opportunity and your continued cooperation and partnership regarding regional trails in Corcoran.

Sincerely,



Stephen Shurson, Landscape Architect

To: City of Corcoran – Staff, Planning Commission, & City Council & Residence of the City of Corcoran.

My name is Tom Feehan, my address is 20410 Larkin Road, located next door to the Schutte property. My wife Diane and I have lived at this address for about 15 years. Prior to that we lived on County Road 50 for about 15 years so, we have been Corcoran residents for about 30 years. We are also blessed to live on part of the original 50 acres my great grandparents John & Ellen Feehan homesteaded in the 1850s. My brother Dave, the family historian, believes my great grandparents found their way to what is now Corcoran because of a letter written by his sister (my great aunt) Ann Feehan Corcoran, wife of Patrick B. Corcoran, my great uncle.

Professionally, I am a licensed builder and home designer of 45 years.

I am here tonight primarily for personal reasons but also because of my family's history and interest in how Corcoran is developed specifically around my family's original homestead.



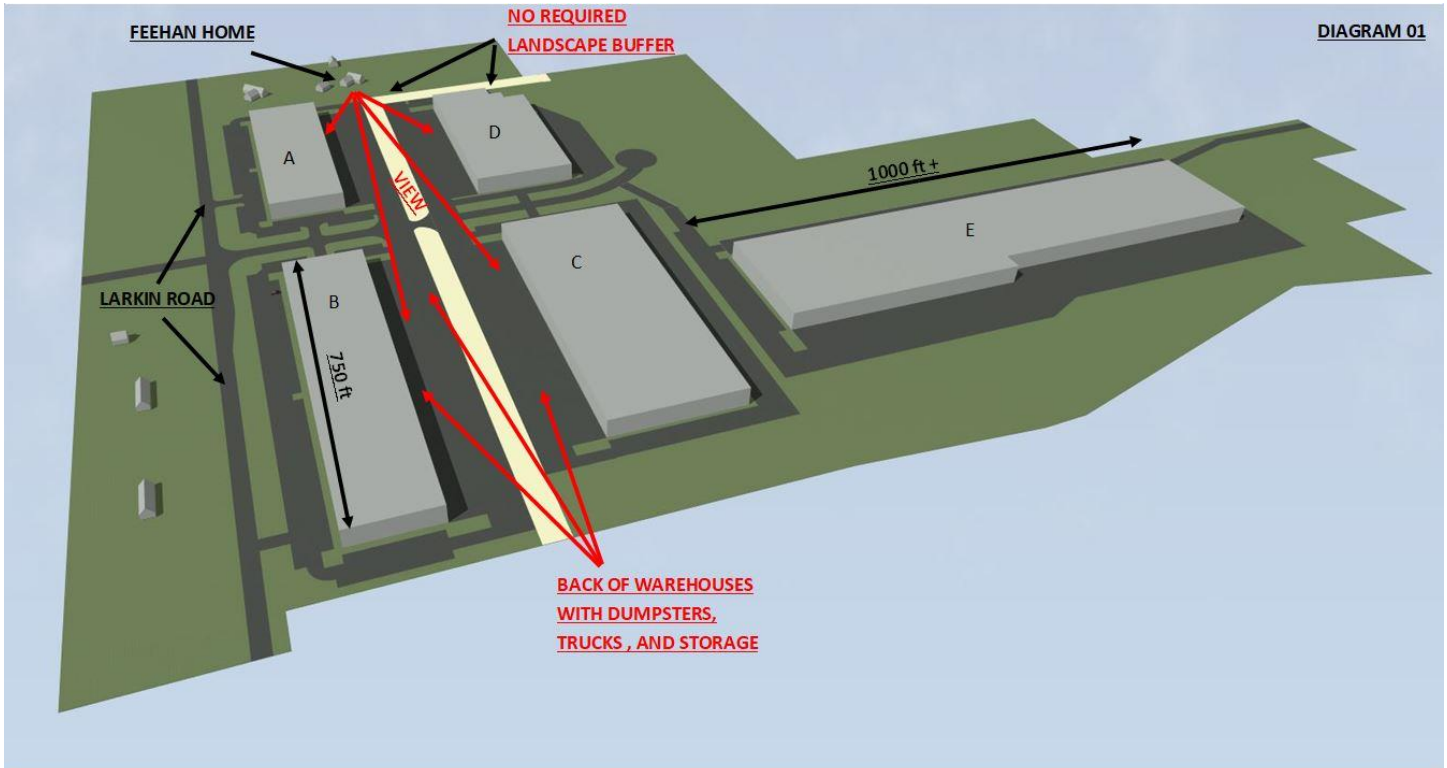
JOHN & ELLEN FEEHAN – FARMHOUSE – CTY RD 50

Regarding my personal interest:

I am not happy with this massive warehouse proposal for the Schutte property. For several years I have gone online to check the cities development plan, every time I checked, the Schutte property was listed as residential. However, recently a neighbor said he learned it had been re-zoned light industrial.

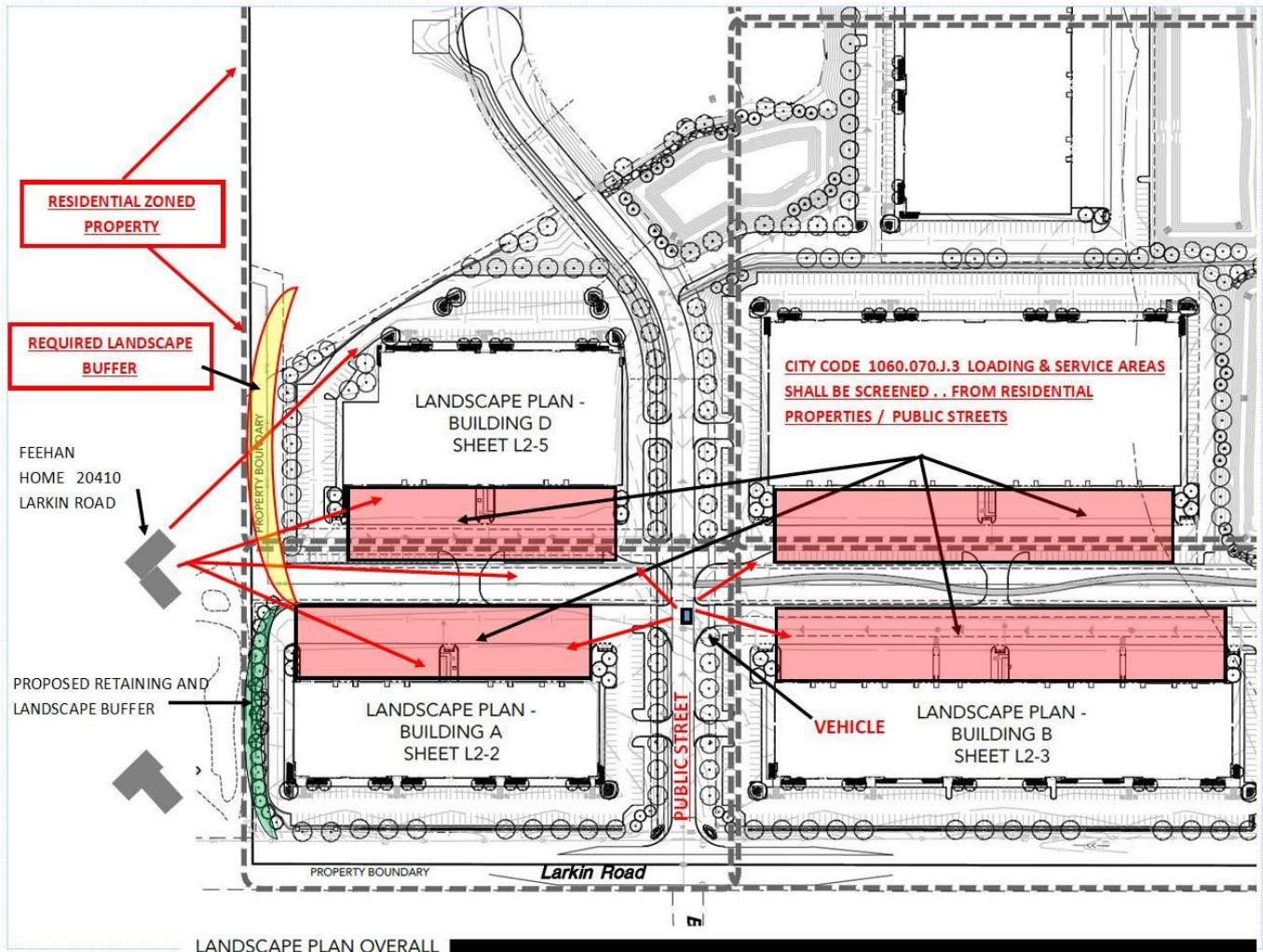
After speaking with the city and a member of the Schutte family, I learned this was being “guided” light industrial . . . and discussions between “the city” and the developer have been taking place for many months. As a resident and neighbor to the Schutte property it seems unfair that a major rezoning (re-guiding) of a large piece of property along with the co-planning of this development can occur without having to notify residents until just a few days ago. That however, isn't to say I am necessarily opposed to the new classification. What I am opposed to is 5 massive concrete boxes as a transition between the existing downtown and the residentially zoned land to the west and south.

Regarding my personal home and property, please see diagrams 01 & 02 below showing a perspective and overhead of the proposed development along with my home and my neighbor's home. Please note just how small our homes look in comparison to these huge structures.



PERSPECTIVE VIEW— SCHUTTE PROPERTY
EAST TO WEST

The proposed layout is flawed and results in my home looking down the “backside” of the warehouses where you typically see dumpsters, trucks, and storage.



Given the gas line and the fact that building labeled "D" is maxed out in size, (The entire proposed development is maxed out in size to the entire benefit of the developer) the developer is not allowing for any required landscape buffer to shield our home & residentially zoned property from this unsightly view. City Code 1060.070 J. 3. (attached) requires that all loading and service areas are to be screened from residential property and public streets. I'm not sure why there is a distinction between gravel surfaces and bituminous, but if surfaces were gravel, screening of 100 % opacity would be required. In my case, there are sections of my view where there is zero percent opacity. If this development proceeds in any form, this must be addressed.



BACKSIDE OF MAPLE GROVE WAREHOUSE

This development “as proposed” will clearly hurt my property value as well as my neighbors –

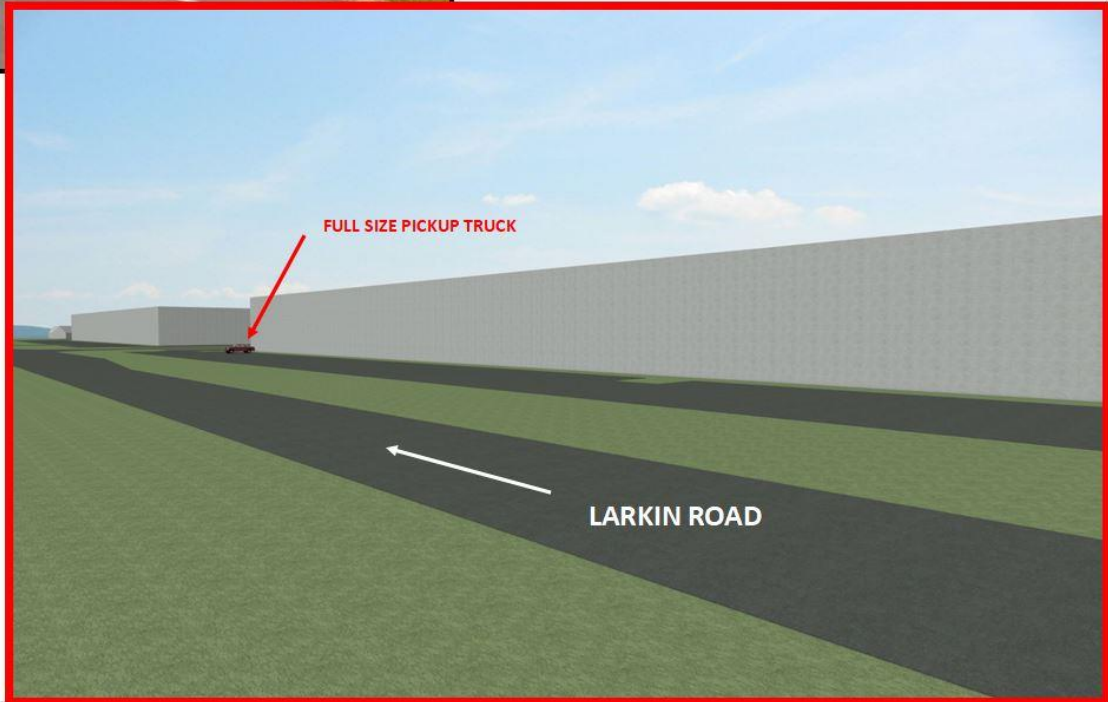
Regarding my neighbors: Please see Diagram the below.

Imagine having the view in the top left for 45 years and having that change to the view in the lower right. There must be a better answer. The view on the lower right was created to help understand the scale of these buildings.



VIEW FROM LARKIN ROAD LOOKING NORTHWEST

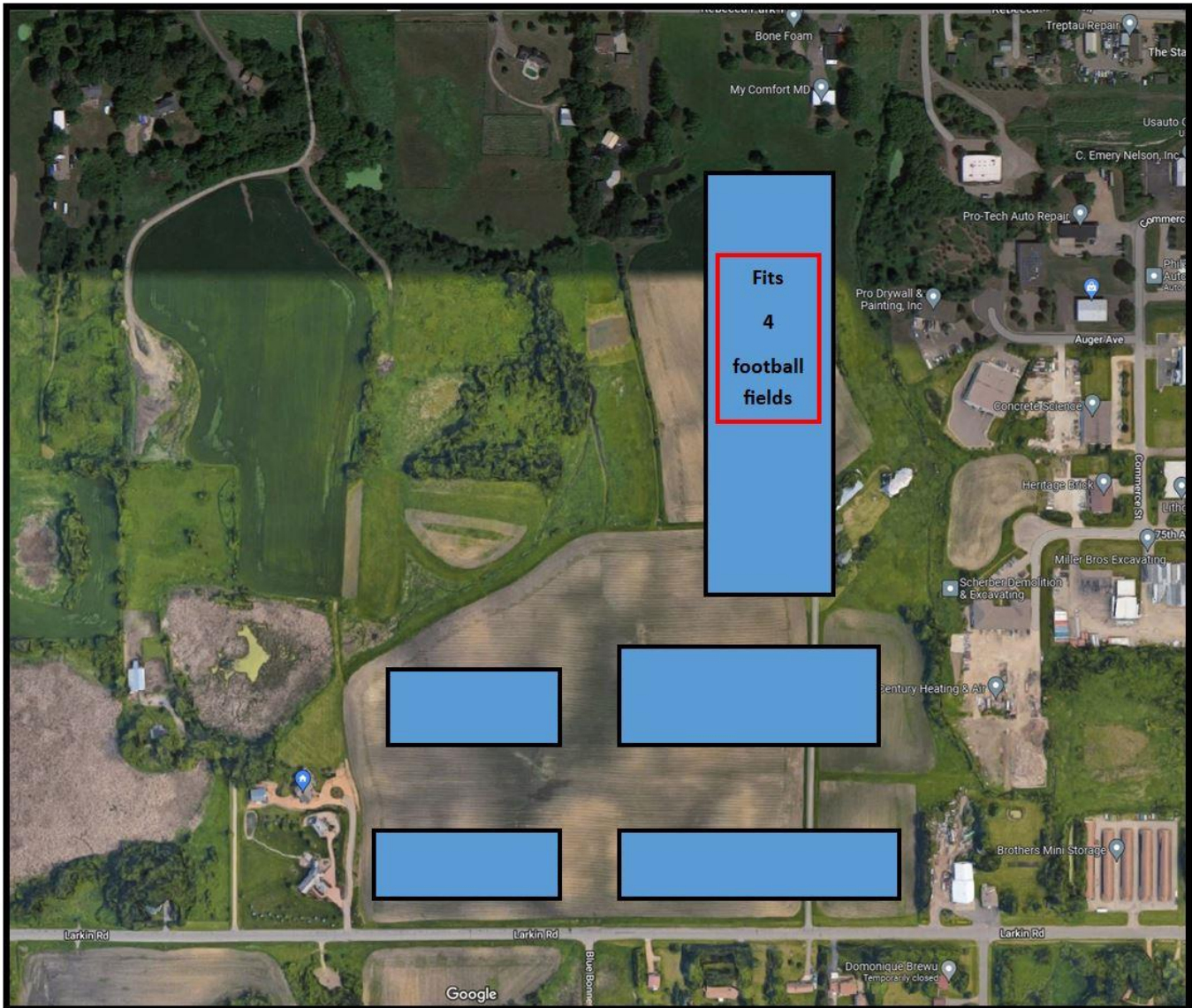
DIAGRAM 02



As for my general critiques:

Setting aside the Architects nice pictures for a moment, I'd like to help everyone get a better idea of the massive size and scale of these buildings.

The diagram below hopefully illustrates the huge differences between the existing buildings surrounding this site and what is being proposed. The largest proposed building could fit 4 football fields inside it . . .



OVERHEAD VIEW

NO SCALE

The largest building, as you know, is over 1000 feet long. Below is what 1000 feet looks like in real life. This is a building currently located just north in Rogers – also about 1000 feet long. How would you like this next to “your” home?



**OFFICE / WAREHOUSE LOCATED AT INTERSECTION OF
BROCKTON LANE & SOUTH DIAMOND LAKE ROAD
ROGERS MINNESOTA**

It is important to note that the Rogers warehouse shown above as well as the other warehouse buildings around it are accessible from new 4 lane roads unlike the JMMK proposal which uses Larkin Road, an existing 2 lane residential road. To be clear, the proposed extension of Blue Bonnet which is also a 2 lane public road will only serve the proposed development, most likely for the next 15 years, based on the 2040 Comp plan. Meaning for the next decade or more, Larkin Road serves as the approach road, not Blue Bonnet.

With Larkin Road essentially acting as the main access road for all intent and purposes, it will direct all future traffic including large trucks directly past existing homes with children who use school buses twice a day. As city staff noted, there is a potential access from 75th which currently comes through the existing commercial district. I believe this would be a far better option and it would also take the pressure off the intersection of Larkin and 116 – known to be a dangerous, even deadly intersection. Lastly, in reference to Larkin Road and in light of what I’ve already mentioned, it seems terribly unwise to be considering relaxing setback standards on the Larkin Road side of this development. This seems to only add insult to injury to the existing homes on the south side of Larkin Road.

Regarding the esthetics of these buildings:

There are many other options other than huge concrete boxes. Below are some suggestions:



Maple Grove office / warehouse 01



Plymouth office / warehouse 01



Maple Grove office / warehouse 02 front



Maple Grove office / warehouse 02 overhead / back

I believe these suggestions show how office / warehouse buildings can have a comparatively low profile and aesthetically offer a much better blend and transition between the existing Corcoran commercial district (downtown) and the residential areas to the south and west.

In Summary and final thoughts/questions:

- City Code requires residential properties and public streets to be screened from loading and service areas. My personal home has a clear view of the loading and services areas of the proposed development. And, as Blue Bonnet is a public street, passing cars will look directly at the “backsides” / loading & service areas of these buildings. It is not the responsibility of the city or me to determine how to accomplish full screening, it is the developers.
- Regardless of city code, setbacks, heights of buildings, etc., it seems wrong to allow these huge concrete structures to be built directly across Larkin Road from existing homes that have been there for over 40 years. There are much better options if this site is to be rezoned to light industrial.
- The general design of this development seems to max out every advantage for the developer. Specifically . . .
 - The building design is completely utilitarian – giant rectangular boxes which are oversized for the property not allowing for proper setbacks and required landscaping.
 - The utilitarian design is intended to maximize the number of warehouse companies rather than companies needing offices. This is accomplished by means of the giant box design and it’s important to recognize that 100 percent of the façade facing Larkin Road could be straight up warehouse with no office as depicted in the Architects rendering.
 - Regardless of initial city analysis of street access, this development proposes the easiest and cheapest solution directing potential large and numerous trucks down a residential road when access makes much more sense coming through the existing commercial district where no school buses travel.
 - Increased heavy traffic on Larkin Road will accelerate wear and tear likely leaving the cost of future upgrades of the road to taxpayers, not the developer. And, who pays for a new traffic light at the intersection of Larkin and 116 if that happens later. (hopefully not following a tragic accident)
 - As this proposed development is essentially a commercial HOA with the developer moving on following all sales, the cost to police this development will be left to taxpayers if/when owners don’t maintain buildings, landscaping, trash & litter, etc.?
- Question. Has the developer address all the concerns in the initial staff analysis report, e.g. reduced building size to account for required easements
- While the developer suggests that the lower grade elevation on the west side of the development will help shield the view of these huge buildings, this is only the case for the first 200 feet or so. In the case of my personal home, as proposed, I am simply being given a wide open perch from which to look down on the loading and service areas.
- Where does all the snow go?

Lastly, I understand that everyone is doing their best. Developers want to develop, and they do their best to offer presentations that depict their proposal in the best light possible. The City of Corcoran has a wide range of duties and responsibilities, not the least of which is developing a good tax base making projects like JMMK's likely seem very desirable. Of course, this is usually juxtaposed to cares and concerns of existing property owners and I believe the staff and elected officials care deeply about that as well. But, none of this should overshadow the serious deficiencies in this proposal in terms of what we all should want and hope for in regards to Corcoran's future. I believe we are all counting on our city staff and elected officials to hold to the highest standards and demand "nothing but the best" for residents of Corcoran.

My hope is that this packet will be helpful and allow everyone to see a complete picture of what is being proposed . . .

. and please don't make me this guy in the process . . .

Mr. Fredrickson from the movie - UP



- I. Landscape Guarantee. All new plants shall be guaranteed for 2 full years from the time planting has been completed. All plants shall be alive and in satisfactory growth at the end of the guarantee period or be replaced per the approved plan. Security in the form of letter of credit or cash shall be provided to guarantee the installation per the approved plan.
- J. Required Screening and Buffering.
 - 1. Screening with the use of landscaping, fencing and walls should be accomplished with the existing topography where possible. When the existing topography prohibits effective screening, berming may be used.
 - a. Planting screens are the preferred method of screening. The planting screen shall consist of hardy trees that will provide a minimum of 80 percent opacity year-round. Planting screens shall contain a mix of overstory and understory plantings and a mix of deciduous and coniferous materials.
 - b. Fences or walls may be used in conjunction with landscaping to provide screening. When required for screening, minimum of 80 percent opacity shall be provided. No landscaping or screening shall interfere with driver or pedestrian visibility for vehicles entering or exiting the premises.
 - c. Earth berms may be used for screening when topography requires the earth berm to adequately screen the property. Berms shall not exceed 3:1 slope.
 - 2. Parking areas with 4 or more stalls shall be screened from properties guided or zoned residential and from public streets. Screening to a height of at least 3 feet shall be provided to screen vehicle headlights.
 - 3. Loading and service areas shall be screened from properties guided or zoned residential and from public streets.
- K. Building Setback Flexibility through Additional Landscaping. A reduction in the required front setback adjacent to arterial streets may be approved by the City Council if the applicant provides landscaping beyond the minimum requirements or preserves significant landscaping in this area. The required setback may be reduced up to 40 percent if the applicant provides a minimum of one overstory deciduous tree, one overstory coniferous tree, 2 ornamental trees and 10 understory shrubs per 100 feet of the length of the property line where the flexibility is requested, or preserves the equivalent amount of existing trees and shrubs. These

entire parking lot and shall be surfaced with asphalt, concrete, or other surface as approved by the City Engineer. Such areas shall be graded and drained to dispose of all surface water without damage to adjoining property. These requirements shall also apply to open sales lots.

- B. Gravel Parking Lots. Gravel parking lots shall be prohibited in all areas of the City except in the Rural Commercial (CR) zoning district. Gravel parking lots may be provided in the CR district, if all of the following standards are met:
1. The City Engineer has reviewed the grading plan and finds that surface water is managed in compliance with City and State requirements.
 2. A dust control program is provided by the landowner and approved by the City Council.
 3. Handicapped accessible routes are provided on site in compliance with State and Federal requirements.
 4. The gravel parking areas are fully screened to a height of 3 feet from the public streets and adjoining properties.
 5. The commercial development requiring the parking is seasonal in nature (operates 9 months or less per calendar year).
 6. Landscaped areas equal to 10 percent of the lot area shall be provided in parking lots that contain space for 50 or more cars.
 7. When an existing business expands its structure by 10 percent or more or a change in use creates the need for additional parking spaces, the entire parking area shall be upgraded to meet the provisions contained within this subdivision.
 8. Areas designed for storage purposes only, which are fenced and properly screened, may be permitted to utilize other durable and dustless surface materials subject to the approval of the City Council.
 9. Off-Street Loading Areas. Loading areas established after March 23, 2004 shall be prohibited within 300 feet of residentially zoned or guided property unless completely screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas.

November 14, 2022

To: Members of Corcoran City Council

From: Thomas C Feehan, David M. Feehan

Subj: JMMK Corcoran Farms Business Park

Dear Council Members:

Regarding the transportation section of the EAW

I am asking the City Council to take a critical look at the traffic study performed by Stantec for the proposed Corcoran Farms Business Park. Although I am not a traffic engineer, I believe the study does not present a true picture of the impact traffic will have on the surrounding neighborhood.

To quote a Sage Publication examining AASHTO methodologies, "Traffic volume, often measured in relation to annual average daily traffic (AADT), is a fundamental output of traffic monitoring programs. At continuous count sites, **unusual events** or counter malfunctions periodically cause data loss, which influences AADT accuracy and precision. The Stantec study did not address whether numbers were obtained from actual traffic counts, comparable projects, or simple formulas. This may explain some of the inconsistencies in the study.

Several of our neighbors have spoken at the commission and council meetings raising concerns regarding increased traffic in front of our homes on Larkin Road.

I am emailing you because I don't believe our questions have been adequately addressed to date, possibly due to time constraints. To address these concerns, I have personally reviewed the report on transportation provided by Stantec as a part of the EAW. A copy of the report is attached for your convenience. I have also reached out informally to an acquaintance who is regarded as an international expert on parking and traffic projects as a sounding board.

Questions raised by my neighbors are as follows:

1. What consideration has been given to the increased level of industrial traffic which will pass by our homes on Larkin Road?
2. Has the Council considered the increased traffic which will undoubtedly pose safety concerns especially given we have school children loading and unloading school buses twice daily?

In reviewing the Stantec report, I would like to make a few observations and raise more questions.

The Stantec report appears to have been completed using standard / required guidelines. However, it appears to be much more of a “boiler plate” analysis leaving out the very real concerns of the neighborhood. Can the consultant discuss in detail the methodology of the report, and to what extent Stantec made on-site observations and interviewed neighbors and other users of Larkin Road?

This report makes no mention of residential properties as a preexisting condition directly across from the development on the south side of Larkin Road. Should not the report address these community concerns? Here is a quote from the Stantec website:

Communities are fundamental. Whether around the corner or across the globe, they provide a foundation, a sense of place and of belonging. That's why at Stantec, we always design with community in mind.

We care about the communities we serve—because they're our communities too. This allows us to assess what's needed and connect our expertise, to appreciate nuances and envision what's never been considered, to bring together diverse perspectives so we can collaborate toward a shared success. We're designers, engineers, scientists, and project managers, innovating together at the intersection of community, creativity, and client relationships. Balancing these priorities results in projects that advance the quality of life in communities across the globe.

This report makes no mention of the typical uses of Larkin Road by neighbors, including adults and children biking, walking dogs, and school bus pickups and drop-offs. If Stantec believes what it states on its website, why were these issues not addressed?

In terms of questions:

The table below is an excerpt from the Stantec report. It uses standard practice (assuming AASHTO standards, which admittedly can be flawed) for calculating office and warehouse weekday trip (traffic) generated by the proposed development based on square footage of buildings. This indicates that there will be 2072 total weekday trips entering one intersection – **Larkin Road & Blue Bonnet**. Given that many of these vehicles will be large trucks, does this not cause concern?

Table 1: Weekday Trip Generation for Proposed Project

Land Use	Size	Weekday AM Peak Hour			Weekday PM Peak Hour			Weekday Daily
		In	Out	Total	In	Out	Total	Total
Office	145,278 SF	194	27	221	35	174	209	1575
Warehouse	581,118 SF	76	23	99	29	76	105	497
Totals		270	50	320	64	250	314	2072

Note: SF=square feet

Trip distribution percentages for the subject development trips were established based on the nearby roadway network, existing and expected future traffic patterns, and location of the subject development in relation to major attractions and population concentrations.

This also begs the question; what if the largest building is occupied by a distribution company (a likely possibility) which **could greatly exceed standard practice calculation?**

The following table, also an excerpt from the Stantec report, showing the distribution of “trips” broken down by surrounding intersections. **Note that the intersection of Larkin Road & Blue Bonnet is only allowed 10% of the number of trips.**

**CORCORAN FARMS PARK
FEASIBILITY STUDY
2.0 Transportation
MAY 2022**

The distribution percentages for trips generated by the proposed development are described below:

- 30 percent to/from the east on CSAH 10
- 30 percent to/from the south on CR 116
- 20 percent to/from the north on CR 116
- 10 percent to/from the west on CSAH 10
- 10 percent to/from the west on Larkin Road

The intersection of Larkin Road and Blue Bonnet will be impacted by 100% of the number of trips.

This percentage is then used in the following table which would appear to show the intersection of Larkin Road and Blue Bonnet **as the “least” impacted intersection** by increased traffic.

Development trips from Table 1 were assigned to the surrounding roadway network using the preceding trip distribution percentages. Traffic volumes were established for all the forecasting scenarios described earlier during the weekday a.m. and p.m. peak hours. The resultant peak hour volumes are shown in Tables 2 and 3.

Table 2: Weekday A.M. Peak Hour Traffic Volumes

CSAH 10/CR 116	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
2022 Existing	19	205	93	16	65	37	22	87	26	56	269	30
2027 No-Build	21	232	105	18	74	42	25	76	29	63	304	34
2027 Build	21	232	131	23	74	42	29	86	31	63	358	34
2040 No-Build	30	320	145	25	101	58	34	104	41	87	420	47
2040 Build	30	320	171	30	101	58	38	114	43	87	474	47
CSAH 10/CSAH 50	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
2022 Existing	1	-	167	-	-	-	72	40	-	-	191	1
2027 No-Build	1	-	189	-	-	-	81	45	-	-	216	1
2027 Build	1	-	189	-	-	-	81	49	-	-	242	1
2040 No-Build	2	-	260	-	-	-	112	62	-	-	298	2
2040 Build	2	-	260	-	-	-	112	66	-	-	324	2
CR 116/Larkin Road	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
2022 Existing	10	17	4	20	4	10	1	103	9	0	354	7
2027 No-Build	11	19	5	23	5	11	1	117	10	0	401	8
2027 Build	27	33	20	23	81	11	82	117	10	0	401	93
2040 No-Build	16	27	6	31	6	16	2	161	14	0	552	11
2040 Build	32	41	21	31	82	16	83	161	14	0	552	96
Larkin Rd/Blue Bonnet Dr/access	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
2022 Existing	-	31	0	0	12	-	0	-	0	-	-	-
2027 No-Build	-	35	0	0	14	-	0	-	0	-	-	-
2027 Build	23	35	0	0	14	200	0	0	0	92	0	11
2040 No-Build	-	48	0	0	19	-	0	-	0	-	-	-
2040 Build	23	48	0	0	19	200	0	0	0	92	0	11

- As I stated earlier, this is a question of fairness. Clearly as I stated earlier, I am not a traffic expert, although I did get guidance from someone who is. I don't think it takes a traffic expert to see the problems inherent in these data.
- I would like to formally request that the following questions be asked of Stantec:
- **What consideration was given to the use of Larkin Road by the existing residential properties adjacent this proposed development?**
- **Why was a value of 10% distribution given to the intersection of Larkin Road & Blue Bonnet when 100% of the trips will enter and exit the intersection?**
- **What would the impact be on these numbers should a distribution company occupy one or two of the largest buildings, causing a much higher number of trips than the report typically plans for.**

Lastly, there are a couple of instances where the requirements for the intersection of Larkin & Blue Bonnet are referred to as complying with "city practice". See insert shown below: **There is no reference in the report to indicate the source of what "city practice" Stantec is applying.** This raises more questions as to why we are no longer using national guidelines with respect to this intersection.

Summary

- The City of Corcoran Planning Commission voted unanimously to deny permission for the project to proceed.
- The Stantec study appears to be flawed as we have pointed out.
- The study apparently did not interview residents and consider alternate (non-motorized) uses of Larkin Road (e.g., bike riders, hikers, children, the elderly.)
- The proposed masking of the out-of-scale building is inadequate.
- The project itself is in the wrong place and could adversely affect more desirable uses in the future, particularly given the City comp plan's town center.

Note

This memorandum is from Thomas Feehan, a resident of Corcoran and a property owner on Larkin Road, and David Feehan, his brother and a concerned citizen. Dave is an internationally known community development consultant, former president of the International Downtown Association, and a participant in many traffic and parking studies. He is a member of the International Parking and Mobility Institute. His bio is attached.

Civitas Consultants LLC

David M. Feehan
President

Summary

Civitas Consultants LLC is a Maryland-based consulting corporation formed in 2009 by David Feehan, a world-recognized expert in downtown revitalization. For more than fifty years, Feehan has provided leadership and management to successful downtown and business district organizations, founded and directed a technical assistance center for community development organizations and a public policy organization, authored numerous books and articles, and taught at two universities. He is often quoted by news media throughout North America and elsewhere. He is a frequent speaker at conferences and meetings, recently speaking in Chicago, Philadelphia, Atlanta, Turin, Quebec, and Taipei, and has provided consulting services to many government agencies, organizations and associations. He has served on numerous boards of directors, and has chaired the boards of the International Downtown Association, the Responsible Hospitality Institute, Preserve Historic Dinkytown, and other organizations.

As the chief executive of three downtown organizations and two community development corporations, Feehan managed major real estate and infrastructure projects, successful business attraction and retention programs, major events, and an award-winning parking system.

As the chief executive of two technical assistance centers, he provided organizational development, marketing, fundraising and other management support to more than 500 nonprofit organizations.

As a consultant, Feehan has helped downtown and business district organizations as well as units of government develop visions and missions, strategic plans, innovative programs, and transformational processes.

As an author and professor, he co-edited and wrote the most recognized textbook on downtown management, *Making Business Districts Work*, and a new publication, *Design Downtown for Women – Men Will Follow*. He is a frequent writer for journals and trade publications.

Management and Leadership

- 2001 – 2009 President and CEO -- International Downtown Association, Washington DC
- 2006 – 2008 Interim Executive Director – Downtown Columbia Partnership, Columbia MD
- 2005 – 2006 Interim Executive Director – Bloomfield Development Corporation, Pittsburgh PA
- 1996 – 2001 President and CEO – Downtown Community Alliance, Des Moines, IA
- 1994 – 1996 Executive Director, Downtown and Community Development – Detroit Renaissance, Detroit, MI
- 1989 – 1994 President and CEO – Downtown Kalamazoo, Inc., Kalamazoo MI
- 1988 – 1989 Executive Director – Citizens League of Southwestern PA, Pittsburgh, PA

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- 1989 – 1994 President and CEO – Downtown Kalamazoo, Inc., Kalamazoo MI
- 1988 – 1989 Executive Director – Citizens League of Southwestern PA, Pittsburgh, PA

- Based on the traffic forecasts and operations analysis for each intersection, the following mitigation measures are recommended:
 - CSAH 10/CR 116
 - Short term – No improvements needed.
 - Long term – No improvements needed.
 - CSAH 10/CSAH 50
 - Short term – No improvements needed.
 - Long term – No improvements needed.
 - CR 116/Larkin Road
 - Short term – Widen the eastbound and westbound approaches to accommodate a left turn lane and a through/right turn lane. Widen the northbound and southbound approaches to accommodate a left turn lane, through lane, and right turn lane.
 - Long term – Monitor traffic volumes to determine when signal control is warranted.
 - Larkin Road/Blue Bonnet Drive/development access
 - Short term – Intersection should be constructed as required per City practice for new development projects. Construct westbound left turn lane and westbound right turn lane. Construct eastbound left turn lane. Construct southbound approach with a dedicated left turn lane and a through/right turn lane.
 - Long term – Construct eastbound right turn lane with additional development to the south.

STAFF REPORT

Agenda Item: 8b.

City Council Meeting: November 21, 2022	Prepared By: Chris Hong through Kendra Lindahl, AICP
Topic: PUBLIC HEARING. Easement Vacation for Walcott Glen (City File No. 22-072)	Action Required: Approval

Review Deadline: January 3, 2023

1. Request

The applicant, Pulte Homes of Minnesota, LLC, requests approval to vacate drainage and utility easements established over all of Outlot B, Outlot C, Outlot D, Outlot E and parts under and across Lot 1, Block 3 of Ravinia 11th Addition. The easements are no longer needed as new easements were provided with the new plats.

2. Background

On August 25, 2022, Council approved the final plat and final planned unit development (PUD) plan for Walcott Glen, which replatted Outlot B, Outlot C, Outlot D and Outlot E of Ravinia 11th Addition.

3. Context

As part of the Ravinia subdivision, blanket drainage and utility easements were provided over all outlots. Pulte purchased the four outlots and replatted them as part of the Walcott Glen development. The existing easements are no longer needed because new easements are being dedicated with the Walcott Glen plat. The easement vacations will be recorded at the County with the Walcott Glen plat.

Level of City Discretion in Decision-Making

The City has a relatively high level of discretion in approving the vacation. If the City finds that the drainage and utility easement is no longer needed, the City may vacate the easement.

4. Analysis

Staff has reviewed the vacation request and finds that the drainage and utility easements are no longer required and have no objection to the vacation. New drainage and utility easements are provided to the City with newly platted lots and outlots within each addition.

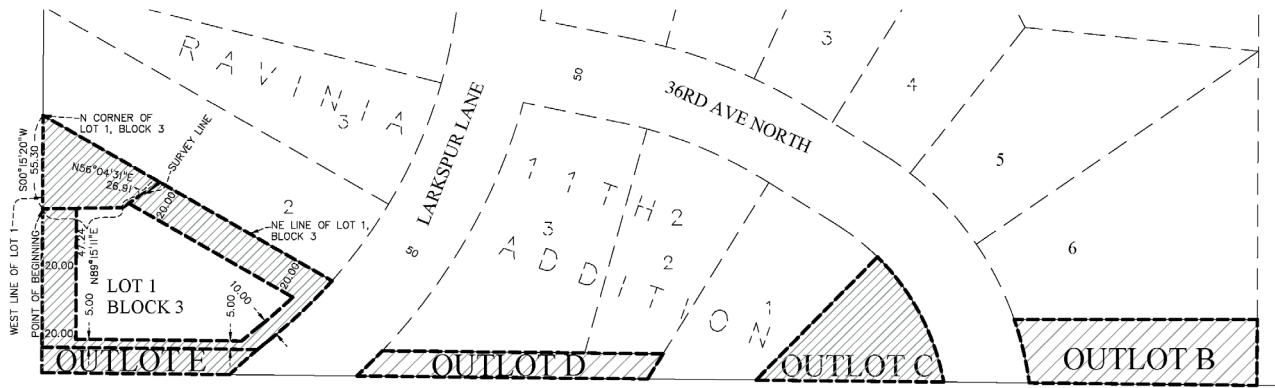


Figure 1. Ravinia 11th vacation areas

5. Recommendation

Move to adopt Resolution 2022-140 approving the easement vacations.

Attachments

1. Resolution 2022-140 approving the vacation
2. Site Location Map
3. Engineer's memo dated November 15, 2022
4. Vacation Exhibit dated November 14, 2022

RESOLUTION NO. 2022-140

**Motion By:
Seconded By:**

A RESOLUTION APPROVING VACATION OF DRAINAGE AND UTILITY EASEMENT IN RAVINIA 11TH ADDITION (PID 36-119-23-44-0030, 36-119-23-44-0031, 36-119-23-44-0032, 36-119-23-44-0033 AND 36-119-23-44-0024) (CITY FILE NO. 22-072)

WHEREAS, Pulte Homes of Minnesota, LLC (the “applicant”) has requested approval of easement vacations, and;

WHEREAS, the applicant has requested vacation of the existing easements legally described as follows:

See Attachment A

WHEREAS, the Corcoran City Council reviewed the vacation at a duly called public hearing, and;

WHEREAS, notice of the public hearing was published in the official newspaper, and;

WHEREAS, notice of the public hearing was mailed to all landowners of property directly abutting the area to be vacated and all utility companies serving the area, and;

WHEREAS, the City finds that the existing drainage and utility easements are no longer required as new easements were dedicated with the Walcott Glen plat, and;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the vacation, subject to the following conditions:

1. The applicant must record the resolution approving the vacation at Hennepin County and provide the City of Corcoran with proof of recording.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

RESOLUTION NO. 2022-140

Whereupon, said Resolution is hereby declared adopted on this 21st day of November 2022.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal



Hennepin County Property Map

Date: 11/14/2022



PARCEL ID: 3611923440014

OWNER NAME: Pulte Homes Of Minnesota Llc

PARCEL ADDRESS: 19200 Hackamore Rd, Corcoran MN 55340

PARCEL AREA: 6.85 acres, 298,457 sq ft

A-T-B: Abstract

SALE PRICE: \$1,640,020

SALE DATE: 07/2022

SALE CODE: Vacant Land

ASSESSED 2021, PAYABLE 2022
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$594,000
TAX TOTAL: \$8,395.52

ASSESSED 2022, PAYABLE 2023
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$722,000

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, PE Public Works
Director

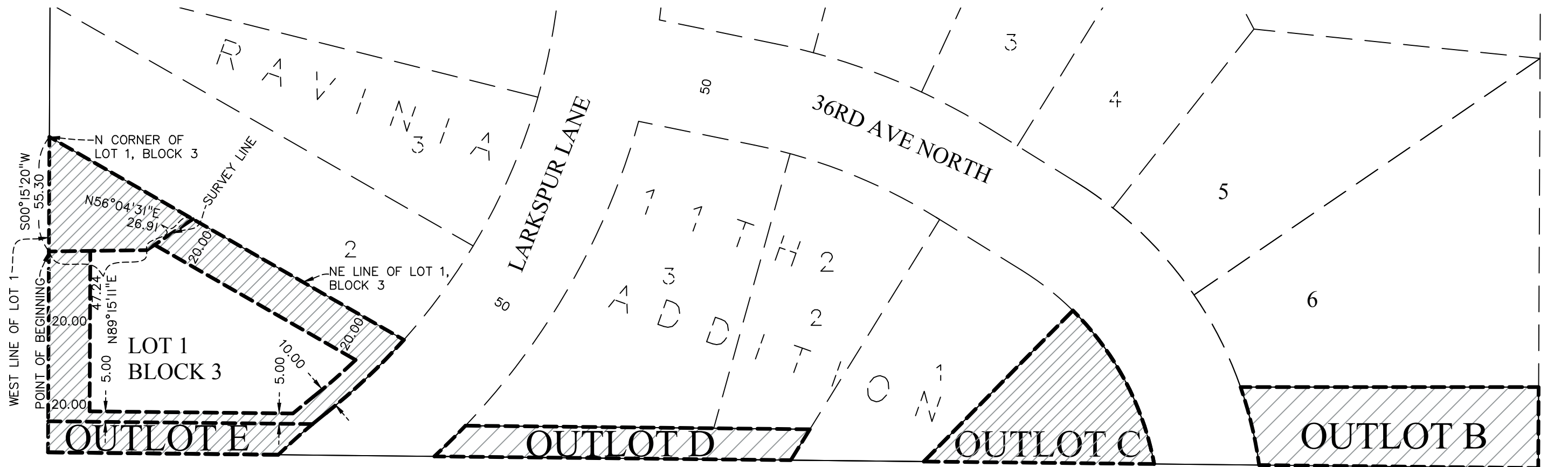
From: Kent Torve, PE City Engineer

Project: Walcott Glenn Easement Vacation

Date: November 15, 2022

Summary

The vacation of the existing easement for Walcott Glen has no impact on city infrastructure.



EASEMENT VACATION DESCRIPTION

A drainage and utility easement over all of OUTLOT B, RAVINIA 11TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Easement Area: 5,323 sq. ft.

AND

A drainage and utility easement over all of OUTLOT C, RAVINIA 11TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Easement Area: 4,460 sq. ft.

AND

A drainage and utility easement over all of OUTLOT D, RAVINIA 11TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Easement Area: 2,538 sq. ft.

AND

A drainage and utility easement over all of OUTLOT E, RAVINIA 11TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

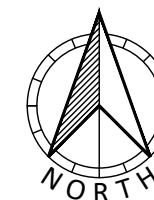
Easement Area: 1,790 sq. ft.


AND

The drainage and utility easements as dedicated over, under and across Lot 1, Block 3, Ravinia 11th Addition, according to the recorded plat thereof, Hennepin County, Minnesota, being the west 20.00 feet thereof, the south 5.00 feet thereof, the southeast 10.00 feet thereof, the northeast 20.00 feet thereof and that part of said Lot 1 lying north and west of a line described as follows:

Commencing at the north corner of said Lot 1; thence on an assumed bearing of South 00 degrees 15 minutes 20 seconds West along the west line of said Lot 1, a distance of 55.30 feet to the actual point of beginning; thence North 89 degrees 15 minutes 11 seconds East along the survey line, a distance of 47.24 feet; thence continuing along the survey line North 56 degrees 04 minutes 31 seconds East, a distance of 26.91 feet to the northeast line of said Lot 1 and there terminating.

Easement Area: 7,225 sq. ft.



 Easement Vacation Area

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 13th day of October, 2022.

Daniel L. Schmidt

Daniel L. Schmidt, PLS
schmidt@sathre.com

Minnesota License No. 26147

LAYOUT SHEET: DRAINAGE AND EASEMENT VACATION	
JOB #: 72905-639	REVISIONS
DRAWN BY: JPM	ADDED OUTLOTS B & D - CMT 11/14/22
CHECKED BY: DLS	
DATE: 10/06/22	



SATHRE-BERGQUIST, INC.

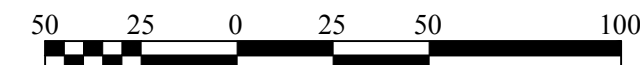
14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

VACATION EASEMENT

PREPARED FOR

PULTE HOMES OF MINNESOTA, LLC

Section 36 - Township 119 - Range 23



SCALE IN FEET

STAFF REPORT

Agenda Item: 8c.

City Council Meeting: November 21, 2022	Prepared By: Kevin Shay through Kendra Lindahl
Topic: Development Rights Appeal for 22101 County Road 30 (city file 22-067)	Action Required: Denial

Review Deadline: December 12, 2022

1. Request

The applicant, Gerald Paulsen, requests the City Council review a development rights appeal for their property at 22101 County Road 30.

2. Background

The development rights (or building rights) program was developed for Corcoran in the early 1980s. The original program granted one development right per 30 acres on a gravel road and one development right per 10 acres on a paved road. The program was modified in the early 1990s. The Development Rights Map reflects the number of development rights remaining on properties and is intended to show the maximum number of residential units that may be developed per individual property. Prior to 2003, this map was updated by hand. In 2003, this map was digitized based on the existing map. In 2019, the ordinance was revised and the map was updated to grant development rights on a 1 per 10 basis regardless of paved or unpaved access. Parcels with previous subdivision actions were researched and remained at the development rights that were established through the subdivision process. Lots with zero development rights and access onto a paved road were not included in the development rights update as this would have required individual evaluation of every parcel outside the MUSA.

3. Analysis

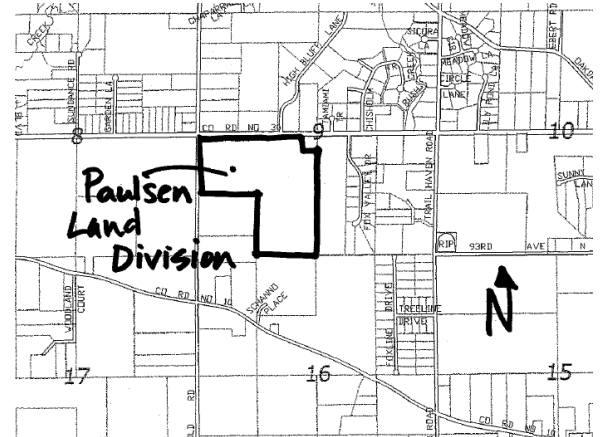
Section 1070.070, Subd. 3 of the City Code allows for appeals to the Development Rights Map:

“Should an objection to the number of development rights remaining on a particular property arise, the property owner may file an appeal to be heard by the City Council. All appeals should be submitted in writing to the Zoning Administrator and should state the calculation error or other justification for the objection. The Council may decide the matter at any regularly scheduled meeting. A property owner may only file a second appeal for the same property if the justification has changed.”

The City has a high level of discretion in reviewing this application. The burden of proof is on the applicant to show the Development Rights Map is in error.

Mr. Paulsen submitted an application indicating he wished to know how many building entitlements he has on his property and is looking to sell some parcels of land. He submitted a copy of Resolution 2000-88 with his application.

In 2000, the 113.5-acre Paulsen farm had 11 development rights (including the existing farmstead). Resolution 2000-88 approved the subdivision of the Paulsen farm in 2000 to split off the 25-acre existing home from the existing 113.5-acre farm. This created a 25-acre parcel and left the remaining 88.5-acre farm parcel. The resolution is silent on assigning the development rights to the parcels, however through the history of the development rights map staff is able to determine that 10 were assigned to the farm parcel and zero to the 22101 County Road 30 parcel.



The parcel has past subdivision action that was identified as part of the development rights update in 2019 and the development rights that were established through the subdivision action were not changed as directed by Council for the development rights update.

The City practice has been to require the applicant to choose how to assign development rights as part of a subdivision. There are a number of previous subdivisions where development rights are not reassigned based on the acreage of the new lots because a landowner wishes to preserve more on one of the lots. While the applicant could have assigned two development rights to the 22101 County Road 30 property and only nine development rights to the farm parcel, that did not happen. The development rights were assigned following the subdivision action. Proof would need to be provided that they were assigned incorrectly at that time. No documentation has been submitted that would indicate the development rights were assigned in error at that time.

Since the 2000 subdivision, the farm property has been sold with the assumption of 10 development rights; therefore, the City cannot simply shift the development rights from that parcel to this parcel. Granting an additional development right to this parcel would simply be creating a development right where one did not previously exist.

Staff must base recommendations on the City records, unless legal proof of additional building rights not captured by the Development Rights Map is provided. This appeal does not provide evidence or justification of an error in the calculation of development rights assigned to 22101 County Road 101. The portions of the City Code that discuss

the Development Rights Program, Development Rights Map and Development Rights Appeal process do not provide a mechanism for the City to grant a development right based on the discretion of the City Council. In order to grant a development right in this instance, the City will need to amend the Development Rights Program in a way that all similarly situated lots are treated the same.

4. Recommendation

Staff recommends denying the request for a development rights map amendment on 22101 County Road 30.

- Move to adopt Resolution 2022-137 Denying an amendment to the Development Rights Map.

Attachments

1. Resolution 2022-137 Denying an amendment to the Development Rights Map.
2. Site Aerial Location Map
3. Applicant's Narrative
4. "Original" Development Rights Map
5. Current Development Rights Map

RESOLUTION NO. 2022-137

Motion By:
Seconded By:

A RESOLUTION DENYING AN AMENDMENT TO THE DEVELOPMENT RIGHTS MAP FOR PROPERTY AT 22101 COUNTY ROAD 30 (PID 09-119-23-32-0002) (CITY FILE 22-067)

WHEREAS, the City of Corcoran initiated the development rights program in the early 1980s;

WHEREAS, the Gerald Paulsen filed an appeal and objection to the number of development rights remaining on the subject property;

WHEREAS, the City has a record of a subdivision on the property in 2000;

WHEREAS, the development rights map following the subdivision shows zero development rights remaining on the parcel (one being used by the existing home) and all remaining development rights assigned to the larger of the two parcels created in the subdivision;

WHEREAS, the Development Rights Map shows zero development rights remaining;

WHEREAS, the City Council finds that the applicant has not provided facts to support the finding that the Development Rights Map is in error;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does deny the appeal and request to modify the Development Rights Map.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

RESOLUTION NO. 2022-137

Whereupon, said Resolution is hereby declared adopted on this 21st day of November, 2022.

_ Tom McKee - Mayor

ATTEST:

Michelle Friedrich -- City Clerk

City Seal



Hennepin County Property Map

Date: 11/15/2022



PARCEL ID: 0911923320002

OWNER NAME: Gerald M Paulsen Rev Trust

PARCEL ADDRESS: 22101 Co Rd No 30, Corcoran MN 55374

PARCEL AREA: 25.04 acres, 1,090,914 sq ft

A-T-B: Abstract

SALE PRICE: \$440,000

SALE DATE: 10/2003

SALE CODE: Excluded From Ratio Studies

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Farm
HOMESTEAD: Homestead
MARKET VALUE: \$474,900
TAX TOTAL: \$3,499.47

ASSESSED 2022, PAYABLE 2023

PROPERTY TYPE: Farm
HOMESTEAD: Homestead
MARKET VALUE: \$551,200

Comments:

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Please attach a brief description of your project/reason for your request.

I WANT TO KNOW HOW MANY BUILDING ENTITLEMENTS I HAVE ON MY LAND/PROPERTY. I WOULD LIKE TO SELL SOME PARCELS OF LAND, AND ALSO POSSIBLY BUILD A NEW HOME.

CITY OF CORCORAN

COUNTY OF HENNEPIN

STATE OF MINNESOTA

The undersigned duly qualified and City Clerk of the City of Corcoran hereby certifies that attached hereto is a copy of the original Resolution No. 2000-88 on file in the office of the City Clerk, City of Corcoran.

Further be it certified that Resolution No. 2000-88 hereto attached identifies the address of PID #09-119-23-32-0001 as 10420 County Road 19, which is incorrect. The correct address should be 22101 County Road 30.

Dated this 31st day of January 2003.

Kary Tillmann
Kary Tillmann, City Clerk/Treasurer

City of Corcoran
County of Hennepin
State of Minnesota

RESOLUTION 2000-88
A RESOLUTION TO APPROVE A LAND DIVISION FOR GERALD PAULSEN
FOR LAND LOCATED AT THE SOUTHEAST CORNER OF BECHTOLD
ROAD AND COUNTY ROAD 30, PID # 09-119-23-32-0001

WHEREAS, Gerald Paulsen, on behalf of the owner of the property located at
22101 COUNTY ROAD 30
~~10420 County Road 19~~, City of Corcoran, has requested a land division; and

WHEREAS, The Corcoran Planning Commission reviewed the request on
December 7, 2000; and

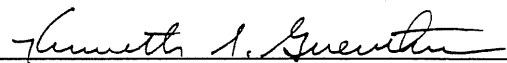
WHEREAS, the Planning Commission voted 6-0 to recommend the Council
approve the request; and

WHEREAS, The Corcoran City Council considers public testimony and the
recommendation of the Planning Commission in making a decision.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Corcoran
that the land division for Gerald Paulsen for PID# 09-119-23-32-0001 be and hereby is
approved with the following conditions:

1. The septic system design is subject to the review and approval of the Building Inspector or the existing system shall be certified as working.
2. Park dedication shall be paid for one additional parcel.

Motion: Lindsley and Second by: Thomas
The following voted in favor of said resolution: Lindsley, Thomas, Guenther, Bucher
and Gmach.
The following voted against the same: None
Whereupon said Resolution was declared carried.
Dated this 20th day of December 2000.

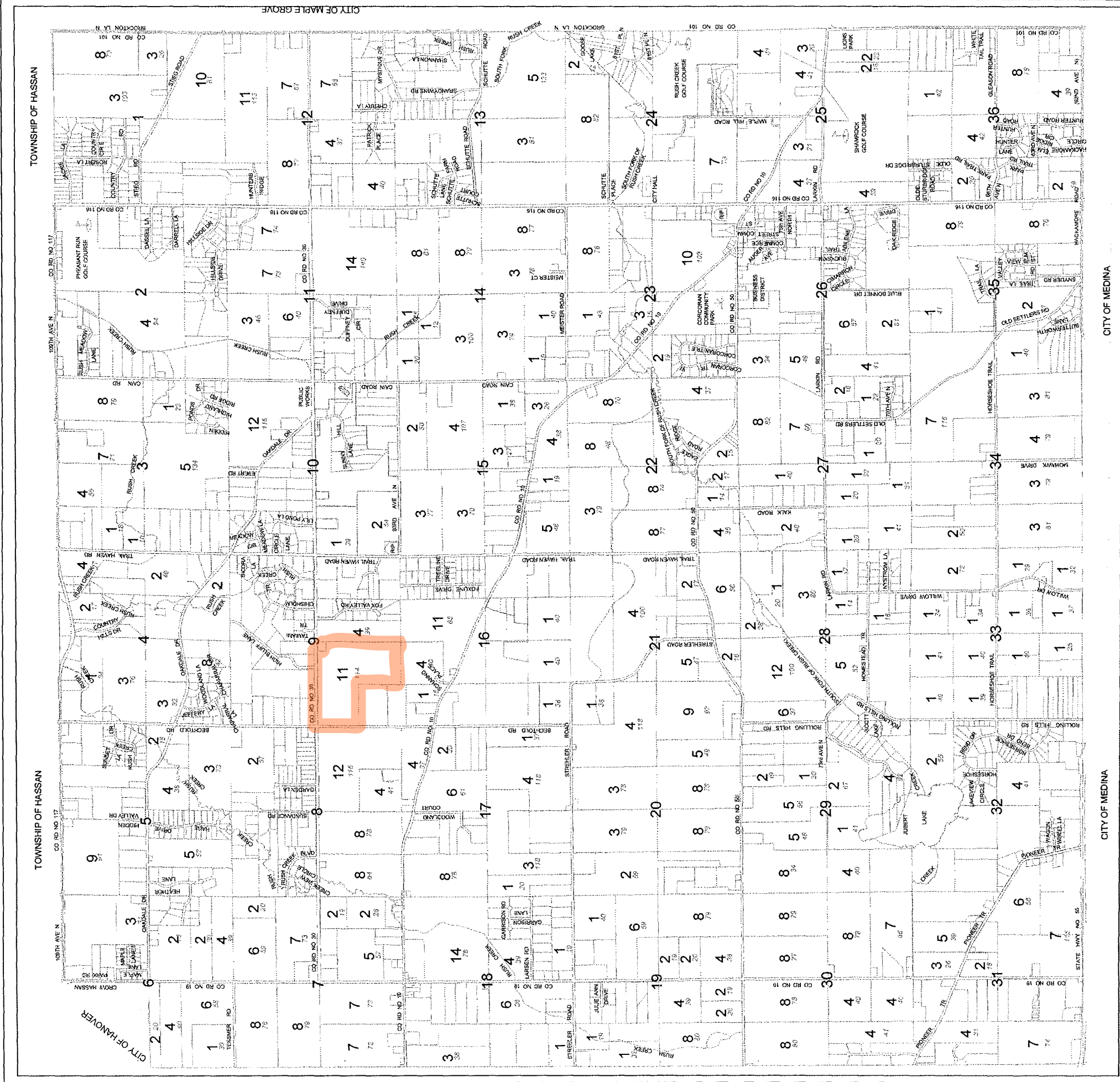


Ken Guenther, Mayor

ATTEST:



Roberta Colotti, City Administrator

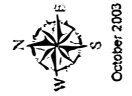
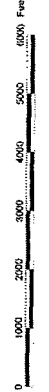



 Parcels
 4 Building Rights
 3/5 Acres



Building Rights

NOTE: Building Rights and Acres Information is not guaranteed and may vary. Please verify with the City Planner.



October 2003



Bonestro
Rosene
Anderlik &
Associates
 Engineers & Architects

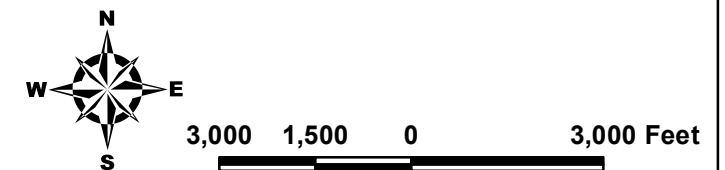
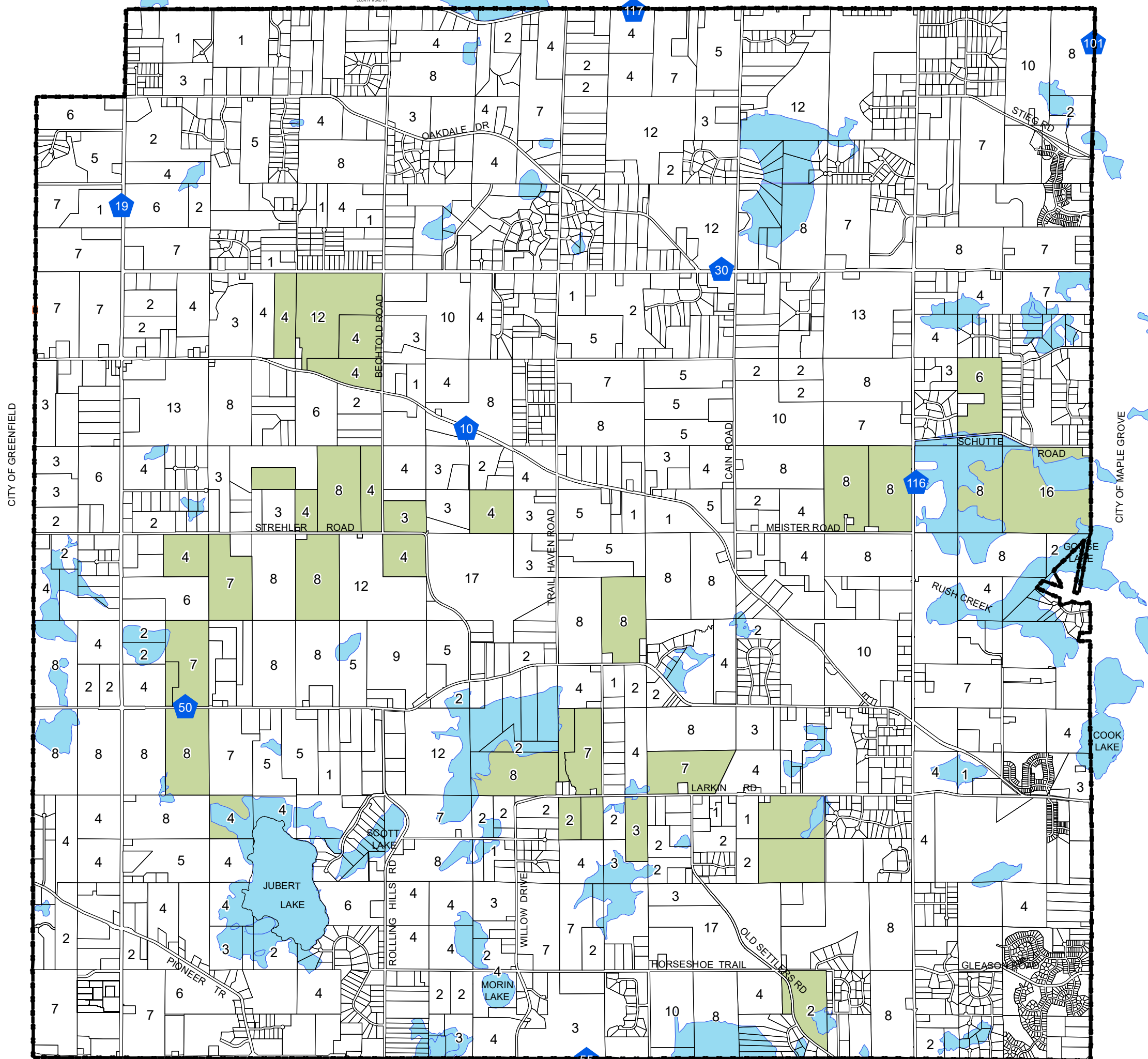


City of
CORCORAN

Development Rights Map⁺*

Current as of June 16, 2020

-  Parcels
-  Parcels Enrolled in the Metropolitan Agricultural Preserve Program



*Building rights shown do not account for any existing homes on the lot. Existing homes will count toward the allowed development rights.

*Existing vacant lots of record which show no building rights may have one building right remaining. Please confer with the City Planner to confirm the actual number of building rights.

STAFF REPORT

Agenda Item: 8d.

City Council Meeting: November 21, 2022	Prepared By: Kendra Lindahl, AICP
Topic: O'Brien Sketch Plan Review for 22320 Highway 55 (PID 32-119-23-44-0003) (City File 22-049)	Action Required: Review and Comment

Review Deadline: December 23, 2022

1. Request

The applicant has submitted an updated request for review of a sketch plan for a new 17,000 sq. ft. office showroom building with shop for the corporate offices of Crystal Distribution Inc. (CDI) and other O'Brien family businesses on 9.13 acres north of Highway 55 and west of Rolling Hills Road. The property is currently vacant. The new sketch plan has been updated to incorporate the preferred street alignment from the feasibility study.

2. Background

The City of Corcoran completed an AUAR for Southwest Corcoran in 2005. The AUAR included this site, but the AUAR was not updated as required and has since expired.

A similar sketch plan was reviewed at the August 25, 2022 Council meeting. At that meeting the Council had questions about the location of the frontage road. The Public Works director noted that sight lines and wetland impacts would likely determine where the street must be located. Council indicated support for the project but wanted to minimize impacts to existing residents if possible.

On October 18, 2022 the infrastructure feasibility study for this project was completed. The study is attached for reference.

3. Context

Zoning and Land Use

The property is guided Light Industrial and zoned Light Industrial. The property is located in the Southwest District.

The site is located in the 2040 Metropolitan Urban Service Area (MUSA) boundary. It is in the 2030-2035 staging area but is in the "Future Study Area". The 2040 Comprehensive Plan notes that the method and timing of regional wastewater service in this area will be determined through a study that is to be initiated prior to the 2050 Comprehensive Plan update (in 2028).

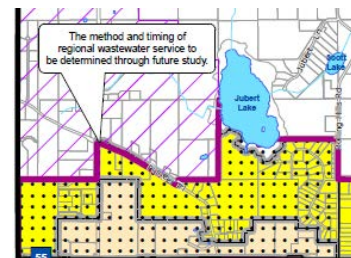


Figure 1 - 2040 Staging Plan

Surrounding Properties

The properties to the north and east (across Rolling Hills Road) are guided Existing Residential and zoned Urban Reserve. The property to the west is guided and zoned Light Industrial. The property to the south is in the City of Medina.



Figure 2 -Southeast District Plan

Natural Characteristics of the Site

Neither the Natural Resources Inventory Areas map nor the Ecologically Significant Areas map in the 2040 Comprehensive Plan identify any significant natural plant communities within the proposed site.

The Hennepin County Natural Resources Map identifies potential and probable wetlands.

4. Analysis

Sketch Plan

The sketch plan shows a 17,200 sq. ft. building with room for future expansion. The current sketch plan includes:

- 5,000 sq. ft. office
- 6,000 sq. ft. showroom and
- 6,000 sq. ft. shop



Figure 3 - Sketch Plan

The I-1 (Light Industrial) district allows these uses as a permitted use, but states that “New development within this district will be allowed only when a full range of municipal services and facilities are available to serve the area.” Sewer and water are not yet available in this area and the applicant would be requesting a variance to allow development on well and septic. A similar request has been made for the Garages Too (approved) and Pioneer Trail Industrial Park (pending) developments to the west.

Lot Standards and Setbacks

A comparison of the lot standards for the I-1 district and the concept plan is shown in the table below:

	Required	Proposed (estimated)
Minimum lot area	1 acre	9.13 acres
Building Setbacks		
Front, from major roadways	100 ft.	N/A
Front, from all other streets		400 ft. (east) 170 ft. (north)
Side	20 ft.	150 ft. (west)
Rear	20 ft.	170 ft. (south)
Adjacent to residential	50 ft.	250 ft. (north)
Parking Setbacks		
Front	50 ft.	150 ft.
Side / Rear	10 ft.	50 ft.
Maximum Principal Building Height	45 ft.	Unknown
Maximum impervious surface coverage	70%	Unknown

It appears that the sketch plan meets all I-1 lot standards.

Buildings/Architecture

No detailed information has been provided regarding building architecture at this time. Section 1060.050 Subd. 1(C) of the Zoning Ordinance, which requires buildings in this district to be finished with:

- a. face brick;
- b. natural stone or cultured stone;
- c. decorative concrete block or integral colored block;
- d. cast in place concrete or pre-cast concrete panels;
- e. wood, provided the surfaces are finished for exterior use and wood of proven exterior durability is used, such as cedar, redwood, cypress;
- f. curtain wall panels of steel, fiberglass and aluminum (nonstructural, non-load bearing), provided such panels are factory fabricated and finished with a durable non-fade surface and their fasteners are of a corrosion resistant design. Up to 20% of any wall surface may consist of the materials outlined herein (excludes overhead doors);
- g. glass curtain wall panels;
- h. stucco or EIFS;
- i. fiber cement siding and
- j. other materials deemed appropriate and subject to approval by the Zoning Administrator.

The applicant has verbally indicated that they will comply with these standards by using tip up concrete panels. Staff notes that the architecture standards in Appendix A (Design Guidelines) of the Zoning Ordinance will also apply. Buildings should be designed with quality materials on all sides; all facades shall be articulated with a variety of materials, glazing or other details to add visual interest, although the front façade may have a unique design or more significant glazing; long blank exterior surfaces shall be avoided.

Parking and Loading

The mix of uses shown on the concept plan would require 30 parking stalls. The plans show 41. All parking and drive aisles must be paved with curb and gutter.

At this sketch plan level it is not clear whether the showroom or shop will have loading area with overhead doors, but it is fairly typical. Loading areas are prohibited within 300 feet of residentially zoned or guided property unless completely screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas. The applicant should be aware of these conditions as the final site plan is prepared.

Utilities

As noted earlier, the application will require a variance to allow development with well and septic in the MUSA. Utility corridors must be preserved to allow for municipal sanitary sewer and water when available to the site.

The City has completed a feasibility study on the public infrastructure needs for the development and it has found that a minimum right-of-way (ROW) width of 80-feet will be required to allow for both the utility corridor and future turn lanes. The street should be designed to minimize disturbance to the street when utilities are provided in the future.

Stormwater

The concept plan shows a stormwater pond on the east side of the site. The City's feasibility study notes that additional stormwater improvements may be necessary to accommodate the public street.

Wetlands

As noted previously, the Hennepin County Natural Resources Map identifies several areas probable wetlands on the east side of the site near Rolling Hills Road. A wetland delineation will be required to confirm the location and quality of the wetlands throughout the entire site. Wetland buffers, buffer setbacks and wetland monuments must be provided adjacent to any wetlands.

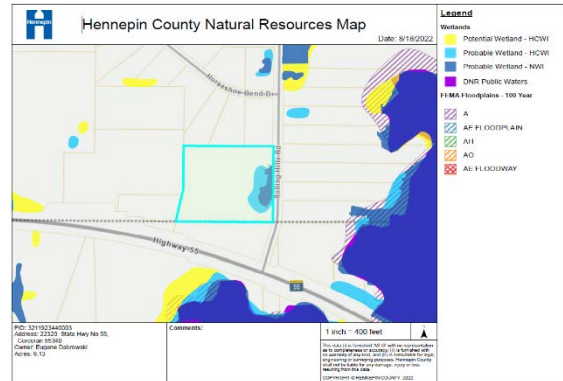


Figure 4-Wetland Map

Landscaping

The City does not have a tree preservation ordinance, but the applicant is trying to preserve existing trees where possible. Additionally, Section 1060.070 of the Zoning Ordinance requires landscaping to meet the following minimum requirements:

- a. One overstory tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater.
- b. One understory shrub for each 300 square feet of building or one tree per 30 lineal feet of site perimeter, whichever is greater.

This section of the ordinance also requires:

- Parking areas with 4 or more stalls shall be screened from properties guided or zoned residential and from public streets. Screening to a height of at least 3 feet shall be provided to screen vehicle headlights.
- Loading and service areas shall be screened from properties guided or zoned residential and from public streets.

There appears to be adequate space on site to meet these standards.

Transportation and Access

The Southwest District plan has long envisioned a Highway 55 frontage road between Pioneer Trail and Rolling Hills Road. The west half of this street will be deeded with the Pioneer Trail Industrial Park project. This project will provide the east portion leaving only a section across the Medina Electric property at 22510 Highway 55 to be completed in the future.

This street will be an 80-foot right-of-way and will be built to the City standards for a commercial collector street.

The City's feasibility study found that the surrounding roadway system has adequate capacity to accommodate the expected number of trips generated by the proposed project. The feasibility study recommends that the centerline of the new street be

located 40 feet south of the north property line as it is the top of the hill and will allow for the best visibility and the least wetland impact. Turn lanes on Rolling Hills Road would not be required at this time.

As noted in the engineer's memo, the street location as shown would cause a significant amount of fill to be placed at the entrance to accommodate the elevation changes to the west. This would likely require grading impacts onto the adjacent property or a retaining wall to be constructed on or near the lot line to allow for construction of the access.

Parks and Trails

The 2040 Comprehensive Plan does not show any parks or trails on this property but does show a future on-road trail on Rolling Hills Road. Additionally, sidewalks and trails would be constructed on the new public street.

The applicant would be required to provide cash-in-lieu of land for park dedication based on the fee schedule in place at the time the property is platted.

Subdivision

The applicant would be required to plat the property to dedicate the public street. This would deed the public street and create one lot for the new CDI corporate headquarters building.

Next Steps

If the applicant chooses to proceed with the application, they will need to submit applications:

1. Preliminary plat
2. Site plan
3. Variance and
4. Final plat

The final plat could be processed currently with the other applications or as a second step.

Summary

1. Does the Council support the variance to allow development in the MUSA without municipal sanitary sewer and water?
2. The feasibility study recommends the street be constructed as shown on the plans. Shifting the road 220 feet would require changes to this sketch plan and it is not clear whether development would still be feasible for the developer or whether the required wetland fill could be approved. The Council should provide feedback on these options.

- a. Does the Council support the street location as shown? It provides the best sight lines, least wetland impact and provides maximum flexibility for development. It keeps the industrial building away from the existing residential area but would require grading on those properties or a retaining wall adjacent those properties.
3. Does the Council have any input regarding the mix of uses or the site layout?

5. Recommendation

The applicant requests comments on this concept plan. Any comments given by the City Council are advisory in nature and non-binding.

While the comments are non-binding, the applicant will consider the comments from the City Council when they prepare their formal submittal. The Council should provide as detailed feedback as possible about expectations so that the applicant can decide whether or not to proceed with the project.

Attachments

1. Site Location Map
2. City Engineer's memo dated August 17, 2022
3. Applicant Narrative received August 9, 2022
4. Sketch Plan received October 24, 2022
5. Hennepin County Natural Resources Map
6. 2040 Land Use Map
7. 2040 Staging Plan
8. Zoning Map
9. O'Brien Development Feasibility Study dated October 18, 2022



Hennepin County Property Map

Date: 8/18/2022



PARCEL ID: 3211923440003

OWNER NAME: Eugene Dabrowski

PARCEL ADDRESS: 22320 State Hwy No 55, Corcoran MN 55340

PARCEL AREA: 9.13 acres, 397,667 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATE:

SALE CODE:

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Vacant Land-Residential

HOMESTEAD: Non-Homestead

MARKET VALUE: \$486,000

TAX TOTAL: \$8,337.54

ASSESSED 2022, PAYABLE 2023

PROPERTY TYPE: Vacant Land-Residential

HOMESTEAD: Non-Homestead

MARKET VALUE: \$608,000

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran From: Kent Torve, City Engineer
Steve Hegland, PE

Project: CDI Development Plan Date: August 17, 2022

Exhibits:

This Memorandum is based on a review of the following documents:

1. CDI Development Plan By Inside Outside Architecture Inc Dated May 31, 2022

Comments:General:

1. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Corcoran.
2. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
3. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of Rolling Hills Road without the City's permission.
4. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.

Plat:

1. The applicant shall have all drainage and utility easements provided and shown and all platting requirements met per the City Code. Drainage and utility easements (5' – 10') shall be provided along property lines, as standard per City requirements.
2. Utility corridors will need to be identified for future corridors for water and sanitary sewer once they become available to the site. This may require additional drainage and utility easements outside of the Right of Way.

Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction.

Transportation

1. Roadway shall be constructed to City Standards for commercial collector roadways.
2. All parking areas shall have concrete curbing and a paved surface.
3. The location of the new road right of way onto existing Rolling Hills Road will need to be finalized based on safe site lines for the intersection. The intersection location as shown would be preferred from a traffic safety standpoint as it is located on the top of a hill and has adequate site lines in either direction. If the location of the access road is shifted south, it will need to be moved approximately 200' or more to the south to ensure that safe site lines exist. The final access location would need to

be evaluated fully based on the site conditions. There are likely wetlands to the south that would need to be avoided or impacts permitted if impacted by entrance if it were shifted south.

4. The roadway location as shown would likely cause a significant amount of fill to be placed at the entrance to accommodate the elevation changes to the west. This would likely require grading impacts onto the adjacent property or a retaining wall to be constructed on or near the lot line to allow for construction of the access.
5. It is assumed that an eastbound right and left turn lane will be necessary for vehicles from the new roadway turning onto Rolling Hills Road.
6. Turn Lanes on Rolling Hills Road onto the new access road are anticipated to be necessary in the future. The necessity and timing of these improvements will be further evaluated with the feasibility study for the development.

Grading /Stormwater

1. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
2. Reference the City of Corcoran Stormwater Guidelines for Development Review for standards for stormwater systems and modeling.
3. Provide P8 or a similar calculation to demonstrate that the site meets the total phosphorous and total suspended solids reduction standards for all treatment practices.
4. The wetland buffer zones and wetland buffer signage shall also be clearly identified and labeled.
5. All pedestrian ramps shall be ADA compliant and detailed designs shall be provided for all landings showing elevations in compliance with those requirements.
6. Easements shall be provided over all storm sewer pipes. Easements shall be shown on the utility plan to ensure they are adequate.
7. Sumps will be required in all storm structures with drops in of 18" or greater as well as the last accessible structures prior to stormwater basins.
8. Label clearly on plans EOF's for all areas where water will be collected including all low areas in roadways and greenspaces.
9. All drainage swales shall maintain a minimum of 2% slope and all slope should be 4:1 or flatter unless approved by the city engineer.
10. All walls higher than 4' shall be designed by a certified engineer and the design and certification of those walls shall be provided to the city.
11. The proposed road location may impact a small drainage area from the existing home which drains south through the site. Applicant shall be responsible for ensuring that development does not impact any offsite drainage.
12. Stormwater ponding for the site shall account for all runoff from the site and associated roadway improvements.

Watermain/Sanitary Sewer

1. Gas, electric, and other private and public utilities for the site shall be coordinated by the applicant.. Preservation of existing easements and coordination with all public and private utilities must be conducted prior to commencing any grading or construction.
2. Plan and profiles for all utilities shall be provided at the time of final plat submittals.

August 17, 2022

CDI Development Concept Plan

Kevin Mattson

Page 3 of 3

3. Valve locations to be reviewed at time of final plat. Generally valves shall be located at all intersection as one less valve than the number of legs. Valves should typically be located out from the end radius points unless specific circumstances don't allow.
4. The city may require that a parcel be provided for a future well site at the time of final plat. City shall work with the applicant to determine if appropriate site is available with the proposed development.

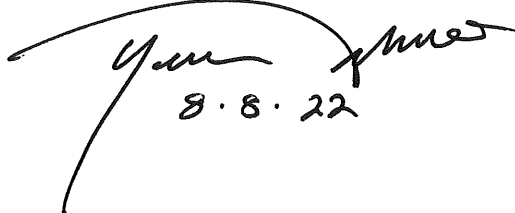
Other Comments:

1. The applicant shall provide the City a detailed work schedule. The City shall be provided at least 48 hours notice prior to any work commencing, including grading and utility work.

End of Comments

Please attach a brief description of your project/reason for your request.

I EUGENE DABROWSKI GIVE PERMISSION
TO: DANA ERDAHL, PAT O'BRIEN TO APPLY
FOR SKETCH PLAN REVIEW. INCLUDING
FEZABILITY STUDY FOR NEW ROAD
22320 HWY 55.


8.8.22

June 30,2022

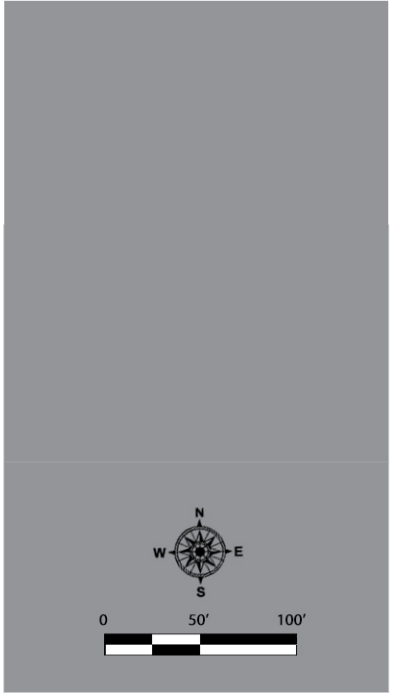
City of Corcoran (Land Use Application form)

PROPOSED LAND USE

The proposed use will be for the Corporate offices of CDI (Crystal Distribution Inc) & the Obrien family businesses, currently located in Maple Grove, MN . Office staff is between 20-25 employees. This site will have an office space area of 5,000 Sq ft, Shop area of 5,000 sq ft, show room area 5,000 sq ft for a total office complex of 15,000 sq ft +/- . The type of building we are thinking of building is a tip up concrete wall panel system. We like the setting of the trees, and we are intending to replant as many trees as possible to maintain the look and feel this lot provides.

LAND DEVELOPMENT & REASON FOR OUR REQUEST

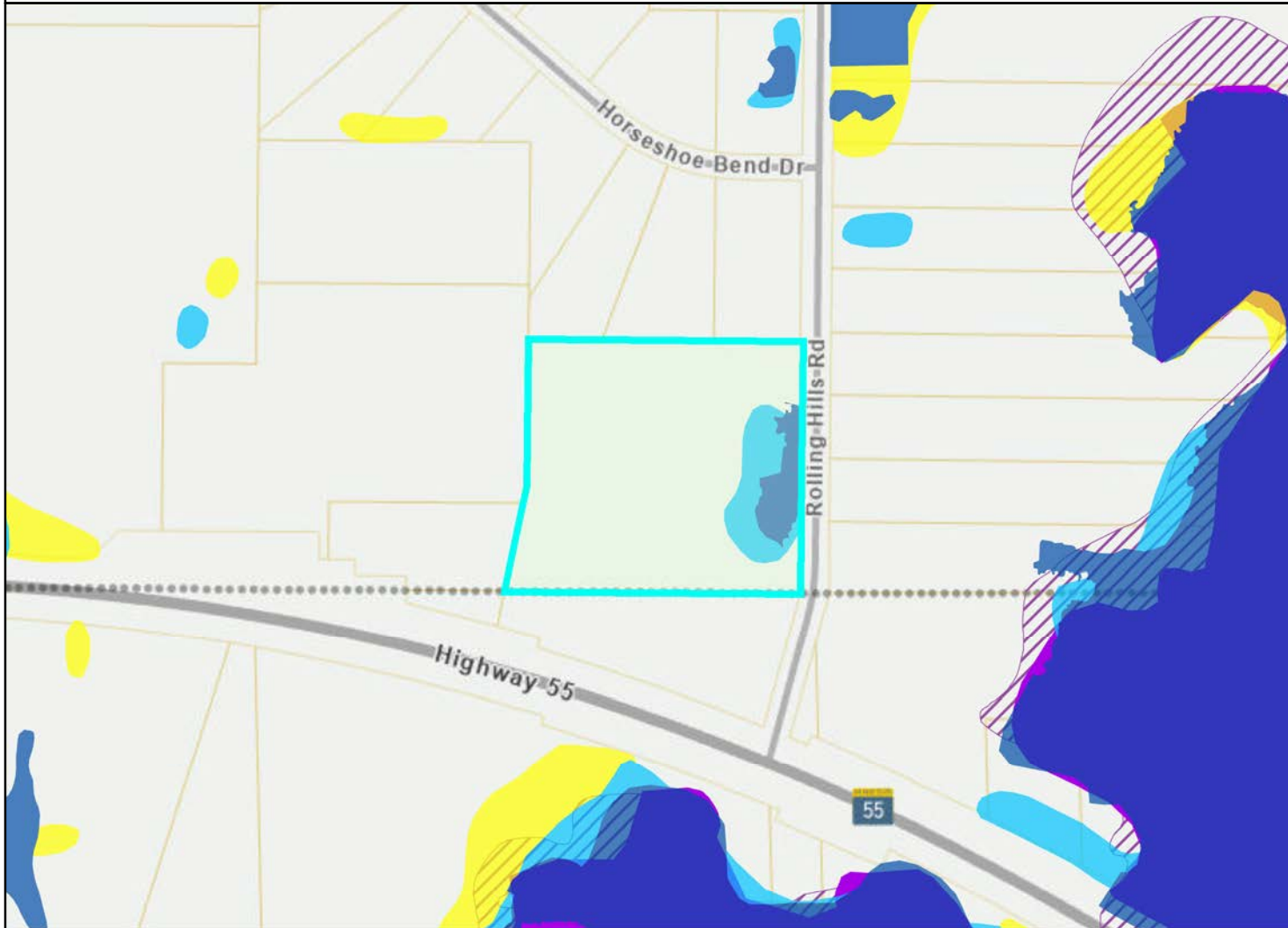
It is our understanding that for us to develop this property for our Corporate office site, the City of Corcoran is requiring us to donate and develop a road in an 80' easement along the North end of this property. This new road would then connect to the new development coming in from the West per the city's long range development plans. We are in the process of purchasing this property and need to know the location of this road as soon as possible so we can proceed with our site development plans. Our intention is not to split this property at any time, but to use it solely for our corporate office site. See our concept drawing for the site attached.





Hennepin County Natural Resources Map

Date: 8/18/2022



Legend

Wetlands

- Potential Wetland - HCWI
- Probable Wetland - HCWI
- Probable Wetland - NWI
- DNR Public Waters

FEMA Floodplains - 100 Year

- A
- AE FLOODPLAIN
- AH
- AO
- AE FLOODWAY

PID: 3211923440003
 Address: 22320 State Hwy No 55,
 Corcoran 55340
 Owner: Eugene Dabrowski
 Acres: 9.13

Comments:

1 inch = 400 feet



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CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 2-1 2040 Future Land Use

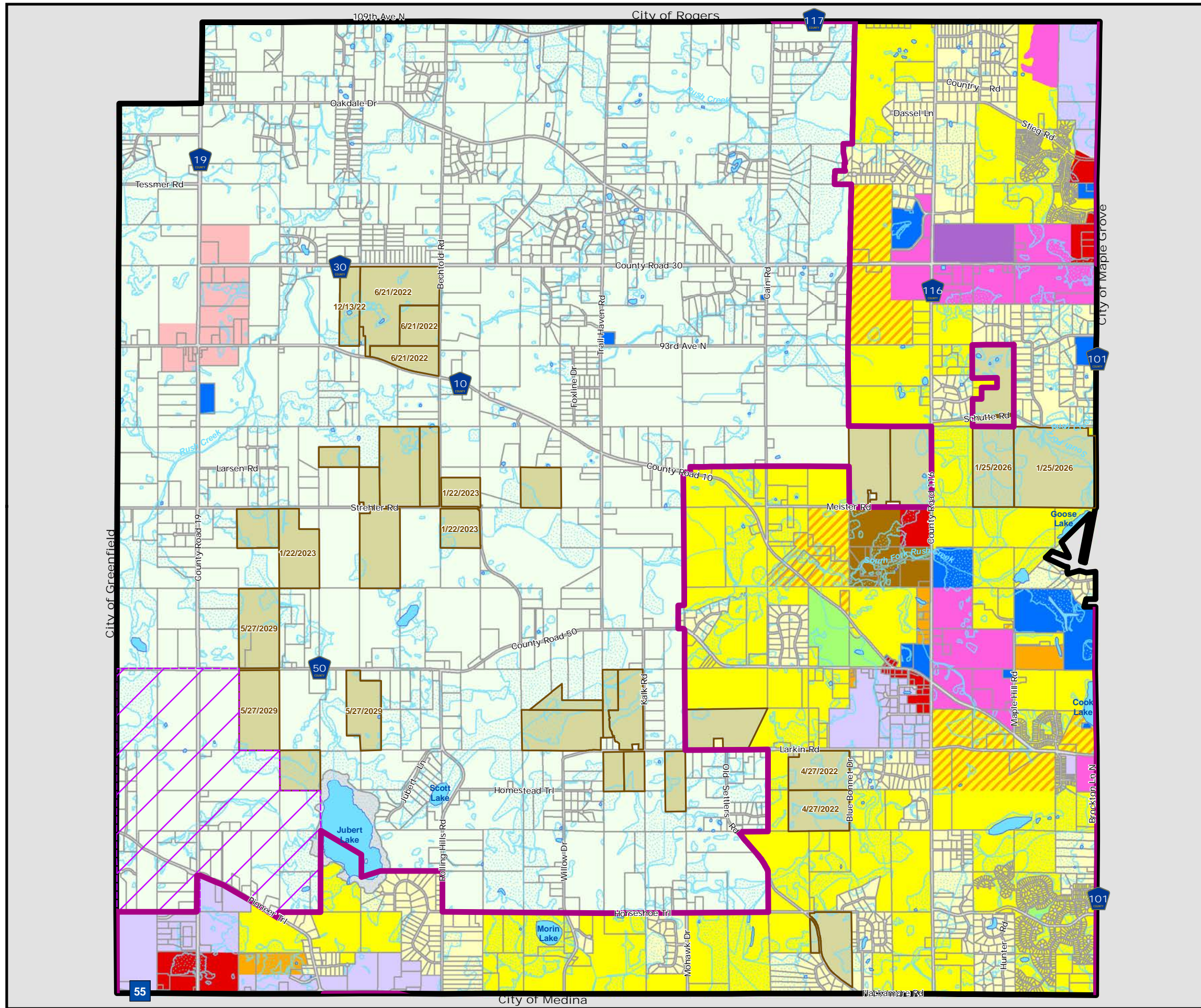
- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



Feet















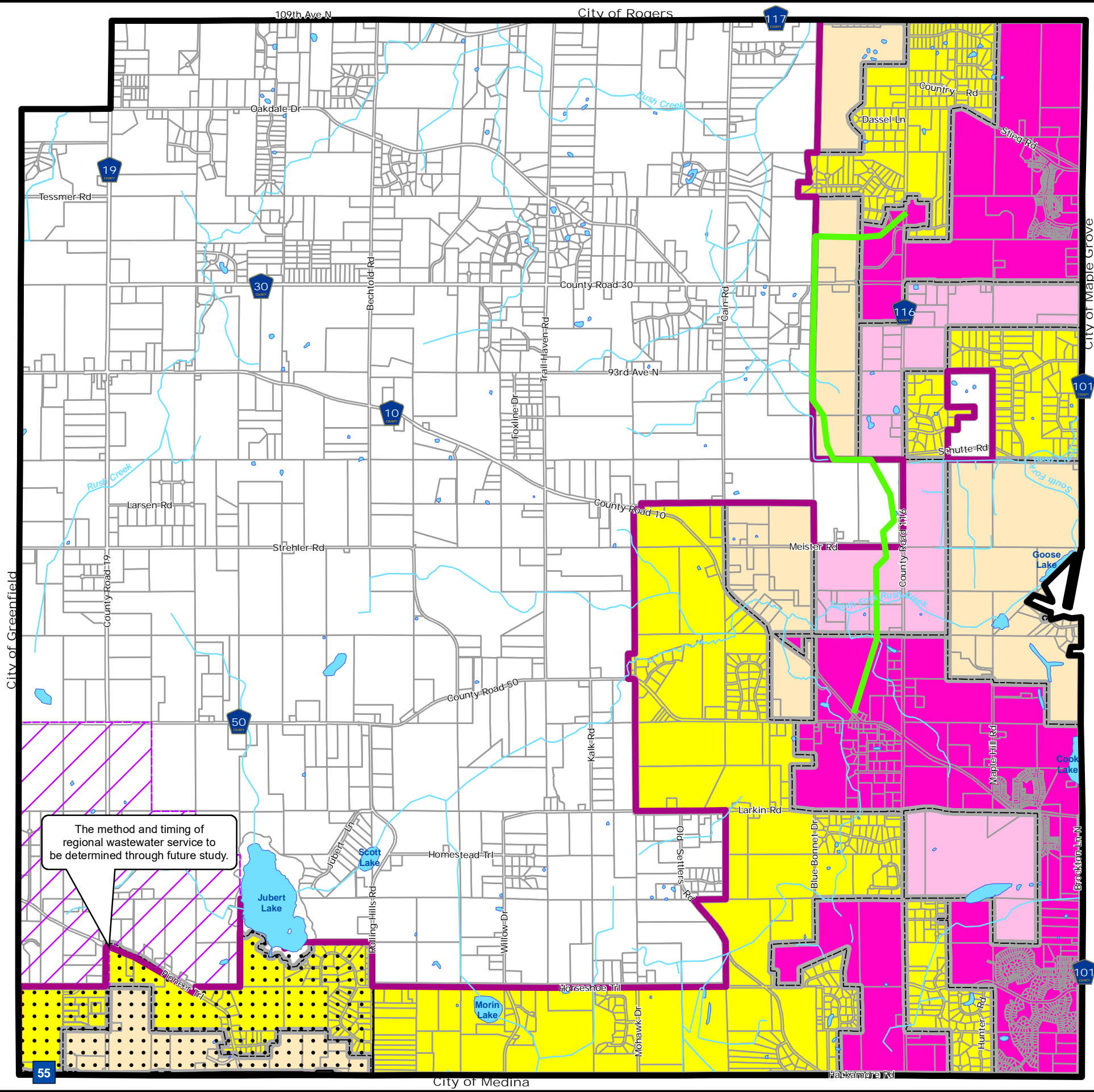


CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 2-2
2040 Staging Plan

-  2020-2025
-  2025-2030
-  2030-2035
-  2035-2040
-  SE/NE District Gravity Connector Trunk
-  Municipal Boundary
-  2040 MUSA
-  Future MUSA Expansion Area
-  Future Study Area
-  Parcel Boundaries
-  Streams
-  Lake/Open Water

































CITY OF CORCORAN

Official Zoning Map

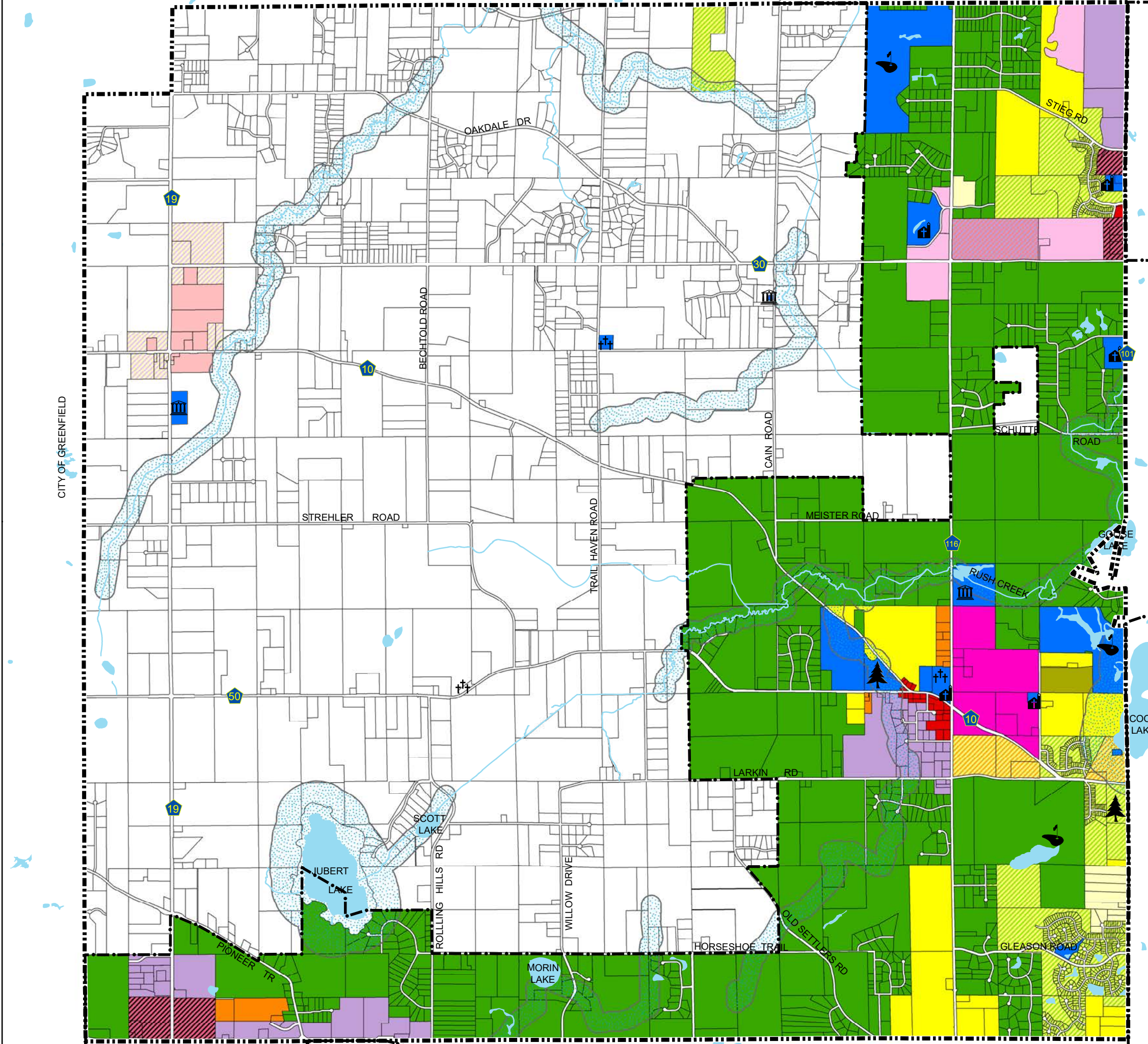
Zoning Districts:

-  UR Urban Reserve
-  RR Rural Residential
-  RSF-1 Single Family Residential 1
-  RSF-2 Single Family Residential 2
-  RSF-3 Single and Two Family Residential 3
-  RMF-1 Medium Density Residential
-  RMF-2 Mixed Residential
-  RMF-3 High Density Residential
-  MP Manufactured Home Park
-  P-1 Public / Institutional
-  TCR Transitional Rural Commercial
-  CR Rural Commercial
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  DMU Downtown Mixed Use
-  GMU General Mixed Use
-  BP Business District
-  I-1 Light Industrial
-  PUD Planned Unit Development
-  Cemetery
-  Church
-  Golf Course
-  Government Building
-  Public Park
-  2040 Metropolitan Urban Service Area
-  City Limit
-  Open Water
-  Shoreland Overlay District

3,000 1,500 0 3,000 Feet




Updated September 2020
Adopted June 2011



CITY OF GREENFIELD



**O'BRIEN DEVELOPMENT FEASIBILITY
STUDY**

Draft

October 2022

Prepared for:

City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340

Prepared by:

Stantec Consulting Services Inc.
1800 Pioneer Creek Center
Maple Plain, MN 55359

Project Number: 227705416



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6.0	CONCLUSIONS AND RECOMMENDATIONS.....	6-1
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FIGURES

Figure 1 Concept Site Plan

APPENDICES

- Appendix A Road Alignment Figures
- Appendix B Comprehensive Plan (Sewer)
- Appendix C Comprehensive Plan (Water)
- Appendix D Watershed and City Stormwater Guidelines



O'BRIEN DEVELOPMENT FEASIBILITY STUDY

CITY OF CORCORAN, MN

Introduction

October 2022

1.0 Introduction

CDI is a local (Rogers) company interested in developing a site in Corcoran for corporate headquarters. Inside/Outside Architecture Firm has provided a concept plan for review and was presented to Council. The site is in Southwest Corcoran adjacent to Rolling Hills Road nearby other recent developments of Garages Too and Pioneer Trail Industrial Park. The site is projected to contain commercial/industrial on a rural development pattern of well and septic.

This Draft Feasibility Study is the basis for reviewing any public infrastructure needs for the site and outcomes are incorporated into future reviews and documents. Figure 1 shows the site concept, road alignments, water, wastewater and water resource information are provided in the Appendices.



2.0 Transportation

2.1 Proposed Development Characteristics

For purpose of the traffic impact analysis, the proposed development is assumed to consist of a 15,000 square foot office building with 25 employees. The project will have one access point to Rolling Hills Road north of Truck Highway (TH) 55.

2.2 Existing Conditions

The proposed project site is currently vacant. The site is bounded by TH 55 on the south, Rolling Hills Road on the east, and existing residential and commercial uses on the west and north.

Near the site location, TH 55 is a two-lane undivided roadway with turn lanes and traffic signal control at major intersections. Rolling Hills Road is a local two-lane roadway.

TH 55/Rolling Hills Road - This is a three-way intersection controlled with a stop sign on the southbound approach. The eastbound approach provides one left turn lane and one through lane. The westbound approach provides one through lane and one right turn lane. The southbound approach provides one shared lane for left turn and right turn movements.

2.3 Traffic Impacts

The existing traffic volume on Rolling Hills Road north of TH 55 is approximately 450 vehicles per day. Based on data presented in "Trip Generation", Eleventh Edition, published by the Institute of Transportation Engineers, the proposed project is estimated to generate 23 trips during the a.m. peak hour, 22 trips during the p.m. peak hour, and 163 daily trips. The surrounding roadway system has adequate capacity to accommodate the expected number of trips generated by the proposed project.

The intersection and stopping sight distances on Rolling Hills Road were reviewed to determine acceptable access locations. It was assumed the access would consist of a new public street with an 80-foot right-of-way. The design speed on Rolling Hills Road is 30 miles per hour.

Information presented in "A Policy on Geometric Design of Highways and Streets", 7th Edition, published by the American Association of State Highway and Transportation Officials indicates a stopping sight distance of 200 feet and an intersection sight distance of 335 feet are required for a 30 mile per hour roadway. Based on these requirements, the centerline of the access roadway could be placed 40 feet south of the north property line. The centerline of the roadway could also be placed at a point 220 feet south of the north property line to a point 40 feet north of the south property line. The roadway should not be placed in the space located 40 feet to 220 feet south of the north property line.

Layouts for the access roadway are shown in Exhibits 1 and 2 in Appendix A. These layouts show that although grading is conceptually shown on adjacent property for the north route, it is likely a significant



O'BRIEN DEVELOPMENT FEASIBILITY STUDY

CITY OF CORCORAN, MN

Transportation

October 2022

retaining wall will be constructed. The challenger of the southern route is the impact to a large wetland and therefore is uncertain on the outcome of WCA permitting.

2.4 Findings

The following conclusions were made;

- The proposed project is estimated to generate 23 trips during the a.m. peak hour, 22 trips during the p.m. peak hour, and 163 daily trips.
- The surrounding roadway system has adequate capacity to accommodate the expected number of trips generated by the proposed project. Turn lanes are not warranted at this time, but when the frontage road is completed to Pioneer Trail turn lanes would be considered for the contributing properties.
- Based on sight distance requirements, the centerline of the access roadway could be placed 40 feet south of the north property line. The centerline of the roadway could also be placed at a point 220 feet south of the north property line to a point 40 feet north of the south property line. The roadway should not be placed in the space located 40 feet to 220 feet south of the north property line.



3.0 Sewer and Water

3.1 Wastewater

Sewer from MCES is not currently available, therefore the development is proceeding under rural development (well/septic) infrastructure. Background for the regional setting is discussed below.

- The closest existing City of Corcoran sanitary sewer is located approximately 3 miles east of this proposed development and eventually discharges to L80 near the Maple Grove border. The distance alone would render connection to this system impractical and not cost effective. Furthermore, the sewer system at that location was not designed to include wastewater from this area.
- The site is shown being serviced to the northwest according to the 2040 Comprehensive Plan (Appendix B), however service for the area will be determined through a future MCES study. The potential options for regional service would be longer-term (over 10 years) and very high-cost. Although MCES undertook a recent upgrade to Loretto's system (a four-city system) this Quad City system was not designed to include significant future growth for surrounding area such as Corcoran. Also, the infrastructure needed to reach the Loretto lift station would not be cost effective. Therefore, due to the unavailability of urban sewer, the most viable option is what is currently being proposed by the developer: Installation of an individual subsurface sewage treatment system (SSTS).
- At some point in the future, when Corcoran sewer and water systems are extended into this area, the City will require all of the lots to connect to City water and sewer systems. With this in mind, the developer must coordinate with the City during the platting and construction plan process to show access to potential future sewer routes. Utility corridor shall be identified that does not impact the road network and topographically a lift station may be required.

3.2 Water

- The closest existing City of Corcoran potable watermain is also located approximately 3 miles east of this proposed development (Appendix C). The distance renders connection to this system impractical, and service would be substandard for pressure and fire flow. Neighboring homes and businesses utilize private wells, and likewise, a private well is the most viable option for the development. Analysis for the nearby Pioneer Trail industrial development using a review of well logs suggest that a well would be completed in the quaternary buried aquifer. These wells are typically 4-inch diameter wells, completed in sand layers on the order of 150 to 200 feet.
- The developer will need to install fire protection systems in accordance with public safety requirements, as determined by the City's designated fire marshal. This may require installation of water storage tank that would serve as a reservoir to supply a building's fire suppression system.



O'BRIEN DEVELOPMENT FEASIBILITY STUDY

CITY OF CORCORAN, MN

Sewer and Water

October 2022

- Corcoran's 2040 Comprehensive Plan or the more recent SE Water Supply study (2022) did not identify this parcel for municipal supply wells (Appendix C).

3.3 Findings

The sewer and water review shows the following significant findings.

- Future connections to urban sewer and water requires a corridor and necessary easements that shall be coordinated with construction plans and platting.
- A minimum of an 80-foot ROW along "New Road" shall allow for a future utility corridor although the corridor shall be planned to not require road disturbance for connection. The ROW shall be sufficient to allow for both the utility corridor and future turn lanes.
- The site was not identified for a well search area in the 2040 Comprehensive Plan or the 2022 SE Water Study.



4.0 Water Resources

4.1 Regulatory Overview

Stormwater management regulations in the proposed project area would be guided or directed by Corcoran's Local Surface Water Management Plan (Local Plan) the City's Guidelines, Stormwater Pollution Prevention Plan (SWPPP) and MS4 requirements. Each of these documents has a larger regulatory context:

- The Local Plan reflects the goals, policies and rules of the Elm Creek Watershed Management Commission's Third Generation Watershed Management Plan (Commission's WMP).
- The SWPPP is a requirement of the City's stormwater permit, also known as the Municipal Separate Storm Sewer System (MS4) permit. The MS4 permit is issued by the Minnesota Pollution Control Agency (MPCA) which was reissued in October of 2021.
- Among other goals, both documents include plans to meet pollutant load reductions calculated in the Elm Creek Watershed (WMO) Total Maximum Daily Load (TMDL) study. TMDL studies are required for surface waters that are designated as impaired – in other words, those that do not meet one or more state water quality standards.
- City Guidelines lay out the required modeling parameters, preferred BMPs and some construction materials. City approval is required prior to application for the WMO approval process. Further detailed City review occurs with construction plan approval process.

4.2 Watershed Setting and Land Use

The proposed development is situated in the Lake Peter (Medina) watershed and drains south under HWY 55.

Existing land use in the proposed development is majority wooded, brush, wetlands and topography varies significantly. The developing areas of Corcoran have ongoing changes from underdeveloped to land use that presents both challenges and also opportunities to better manage stormwater runoff. Stormwater Best Management Practices (BMPs) installed during construction will maintain or improve water quality towards Lake Peter and manage runoff rates to equal or less than existing conditions per both WMO and City standards.

4.3 Stormwater Management

The development on the parcel converts the wooded/brush/wetland to a single corporate facility with land use categorized as commercial. Development replaces some of the pervious open land cover with impervious surfaces that will impact stormwater runoff.



O'BRIEN DEVELOPMENT FEASIBILITY STUDY

CITY OF CORCORAN, MN

Water Resources

October 2022

Although some development can benefit water quality by reducing export of nutrients and sediments through onsite ponding and filtration (Best Management Practices or BMPs), construction of additional impervious surfaces, such as the roads, driveways, rooftops, and sidewalks increase the volume to nearby surface waters. Turn lane improvements to Rolling Hills Road would also increase impervious surface area and would require practices to mitigate the impacts.

Mitigation is accomplished by aligning development plans with City requirements and WMO/MS4 stormwater regulations. Corcoran's Local Plan, in agreement with the Commission's WMP, requires that development plans over 1-acre disturbed area be submitted to the City and the Commission for review. The purpose of the review is to ensure that the developer's plans for stormwater management during and after construction meet the Commission's rules regarding the rate, volume and pollutant load of stormwater runoff, along with other rules regarding wetland alteration, erosion and sediment control and other aspects of surface water protection. The City focuses on rates of discharge, downstream impacts and long-term construction sustainability.

This adherence to Commission rules on water quality (BMPs) is one of the strategies Corcoran has chosen to also meet its TMDL obligations to reduce nutrients. The implementation plan calls on Corcoran to apply these standards when land use changes, a strategy that is predicted to have the net result of improving, or not further degrading, the water quality of stormwater runoff. Stormwater modeling guidelines are in Appendix D and may be updated prior to development's final construction plan approval.

Complementing the Local Plan, Corcoran's SWPPP requires plan review, construction site erosion and sediment control, and post-construction stormwater management. Construction site inspections by the City's consultant will begin with land-disturbing activity and end with final stabilization of exposed soils and City acceptance of the development. After construction, the Stormwater Operation and Maintenance Plan would identify the responsible party to ensure that stormwater Best Management Practices continue to function and are maintained as intended.

4.4 Findings

Onsite

- Stormwater improvements are necessary within the development to meet City guidelines and in accordance with regulations of the WMO and NPDES.
- To move towards meeting load reduction goals, the City's Local Surface Water Plan identifies that improvements to water resources will occur with development.
- City may require an onsite easement area for future turn lane improvement BMPs.

Offsite

Offsite conveyance impacts for the development will be further explored as follows:

- Conveyance and drainage paths under HWY 55, would be reviewed and may need MnDOT approval prior to flowing into Medina.



O'BRIEN DEVELOPMENT FEASIBILITY STUDY
CITY OF CORCORAN, MN
Water Resources
October 2022

The City is exploring a stormwater fee that may be incorporated in 2023 and due at the time of platting.



5.0 Financing

5.1 Summary

Financing options of the development necessary for infrastructure and to mitigate impacts typically follow the approach of:

- On-site infrastructure is managed by the developer
- Although not currently available, all trunk sewer, water fees (TLAC), will be due at time services are made available to the site.
- Stormwater fee may be implemented by City prior to final platting.

The financial package will be further detailed as the project moves forward and culminates in the overall Developer Agreement with the overall preliminary plat approval which is updated for each phase of the development.



6.0 Conclusions and Recommendations

The following infrastructure improvements are feasible and necessary to manage the development. These improvements are consistent with similar requirements for other developments in Corcoran, and have shown to be necessary for managing the additional population:

Transportation

- The proposed project is estimated to generate 23 trips during the a.m. peak hour, 22 trips during the p.m. peak hour, and 163 daily trips.
- The surrounding roadway system has adequate capacity to accommodate the expected number of trips generated by the proposed project. Turn lanes are not warranted at this time, but when the frontage road is completed to Pioneer Trail turn lanes would be considered for the contributing properties.
- Based on sight distance requirements, the centerline of the access roadway could be placed 40 feet south of the north property line. The centerline of the roadway could also be placed at a point 220 feet south of the north property line to a point 40 feet north of the south property line. The roadway should not be placed in the space located 40 feet to 220 feet south of the north property line.

Sewer and Water

- Future connections to urban sewer and water requires a corridor and necessary easements that shall be coordinated with construction plans and platting.
- A minimum of an 80-foot ROW along "New Road" shall allow for a future utility corridor although the corridor shall be planned to not require road disturbance for connection. The ROW shall be sufficient to allow for both the utility corridor and future turn lanes.
- The site was not identified for a well search area in the 2040 Comprehensive Plan or the 2022 SE Water Study.

Water Resources

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- Stormwater improvements are necessary within the development to meet City guidelines and in accordance with regulations of the WMO and NPDES.
- To move towards meeting load reduction goals, the City's Local Surface Water Plan identifies that improvements to water resources will occur with development.
- City may require an onsite easement area for future turn lane improvement BMPs.



O'BRIEN DEVELOPMENT FEASIBILITY STUDY
CITY OF CORCORAN, MN
Conclusions and Recommendations
October 2022

Offsite

Offsite conveyance impacts for the development will be further explored as follows:

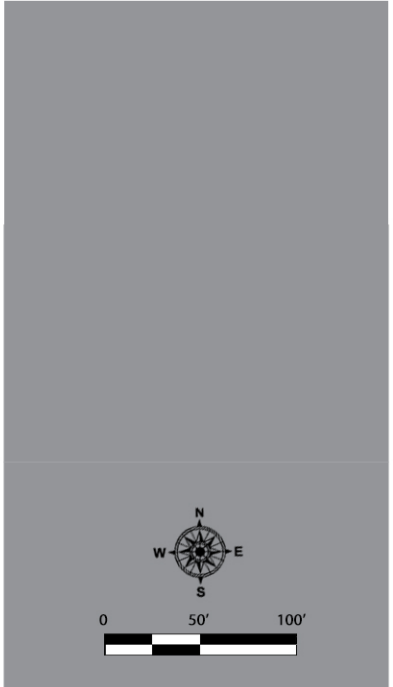
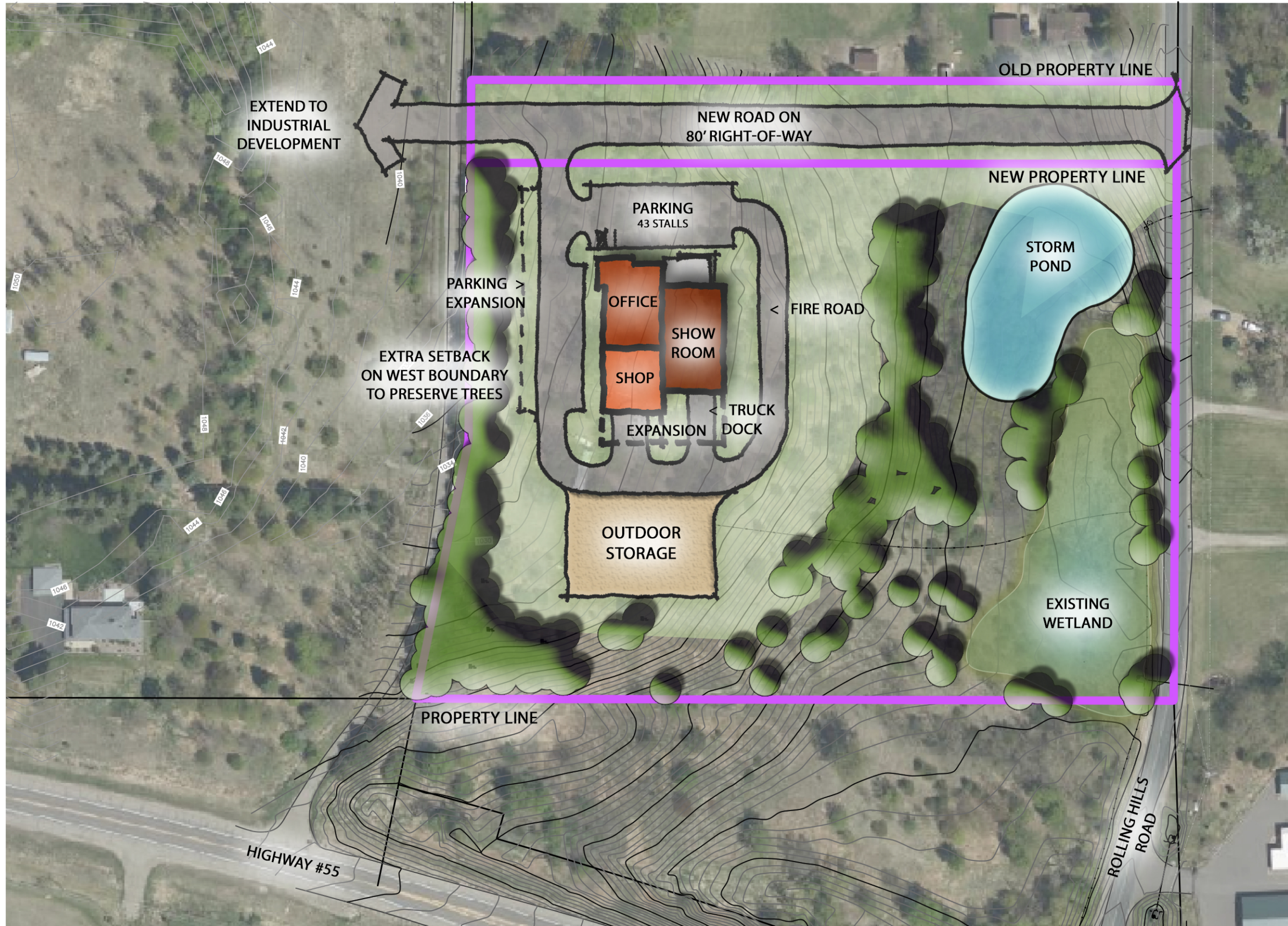
- Conveyance and drainage paths under HWY 55, would be reviewed and may need MnDOT approval prior to flowing into Medina.

The City is exploring a stormwater fee that may be incorporated in 2023 and due at the time of platting.



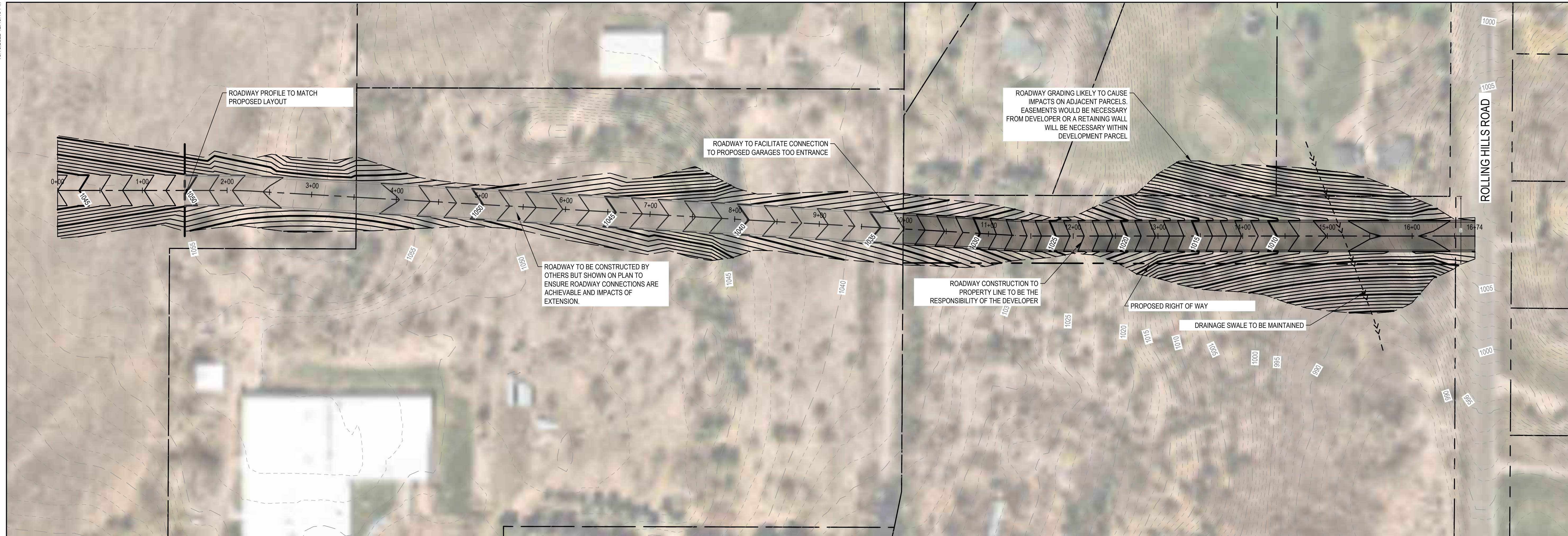
FIGURE

Concept Site Plan

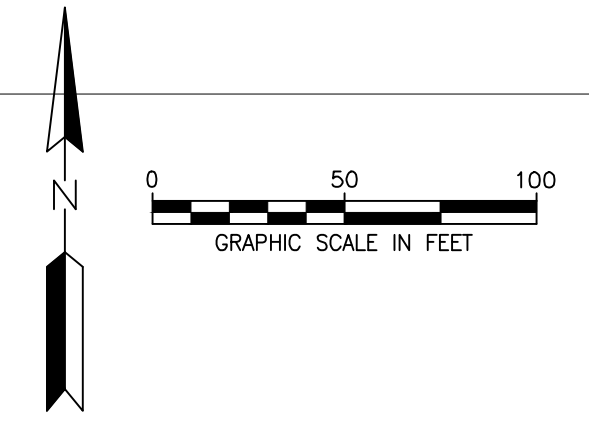
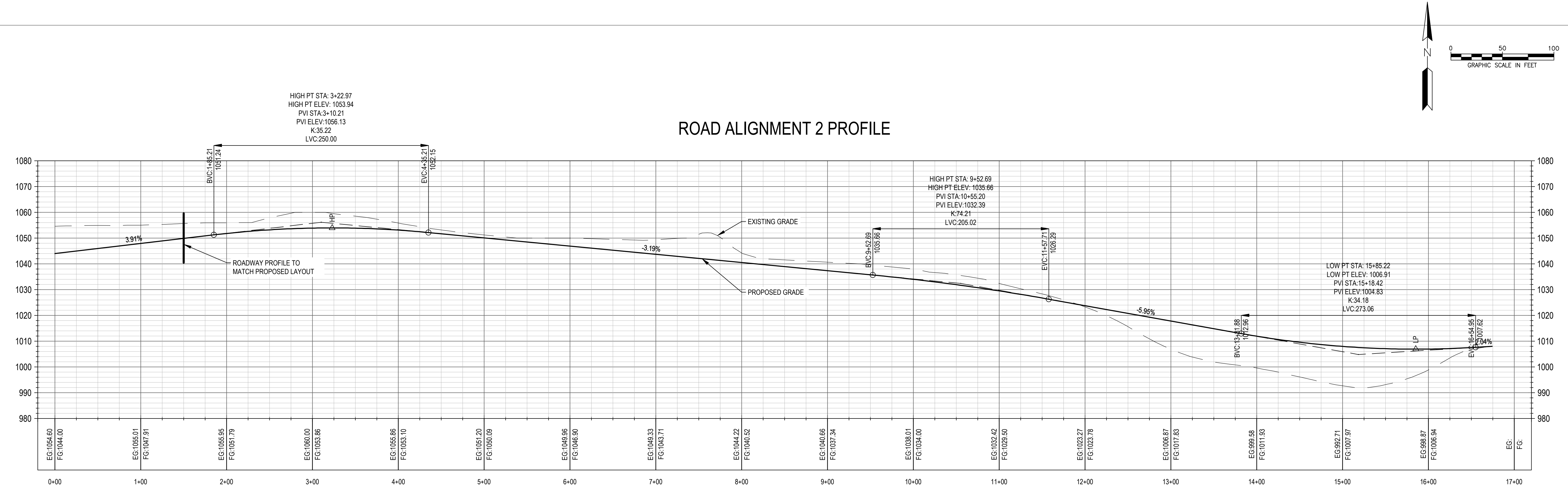


APPENDIX A

Road Alignment Figures



ROAD ALIGNMENT 2 PROFILE



PROJECT TITLE	O'BRIEN DEVELOPMENT FEASIBILITY		
ISSUE NO.			
DESCRIPTION			
DATE			
CERTIFICATION:	I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		
USE NO.			
DATE			
PROJECT NO.:	227705416		
DWN BY:	NPW	CHK'D BY:	NPW
APPD BY:	KCT		
ISSUE DATE:	OCT 2022		
ISSUE NO.:	0		
SHEET TITLE:	ALIGNMENT 2 PLAN & PROFILE		
SHEET NO.:	EXHIBIT 2		

APPENDIX B

Comprehensive Plan System (Sewer)

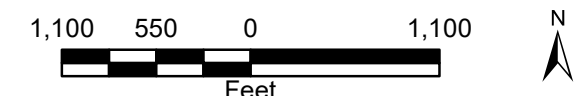
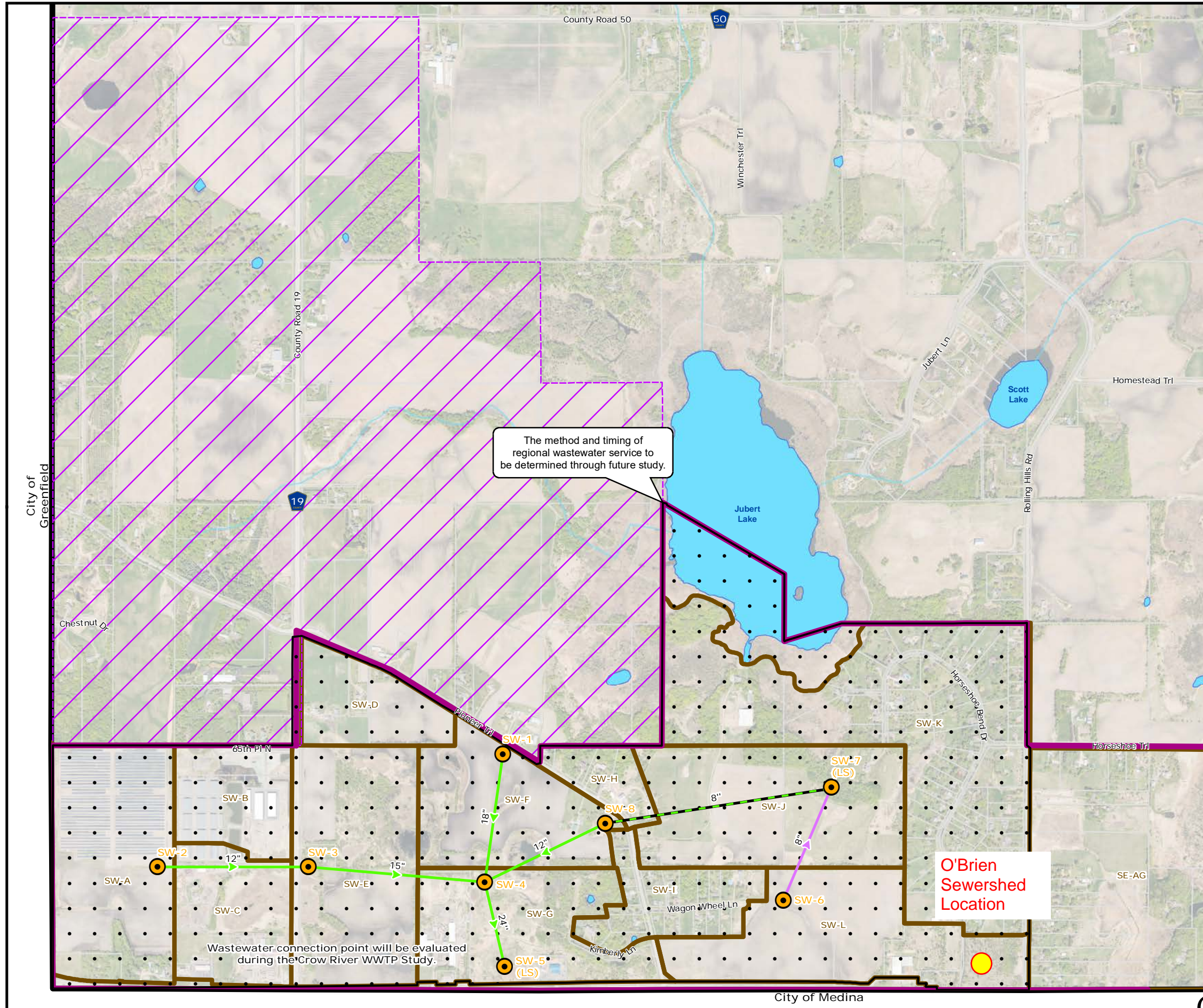


CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 7-4 Proposed Trunk Sanitary Sewer System - SW District

- Proposed Gravity
- Proposed Gravity (Lateral)
- Proposed Forcemain
- Sewer Nodes (LS) = Lift Station
- Sewer Subdistricts
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Future Study Area
- Parcel Boundaries
- Streams
- Lake/Open Water



Path: L:\22941100\2040CompPlan\SW Proposed Trunk Sanitary Sewer.mxd
 Date: 8/7/2019 Time: 8:15:33 AM User: ShuJC0243

APPENDIX C

Comprehensive Plan System (Water)



CITY OF CORCORAN

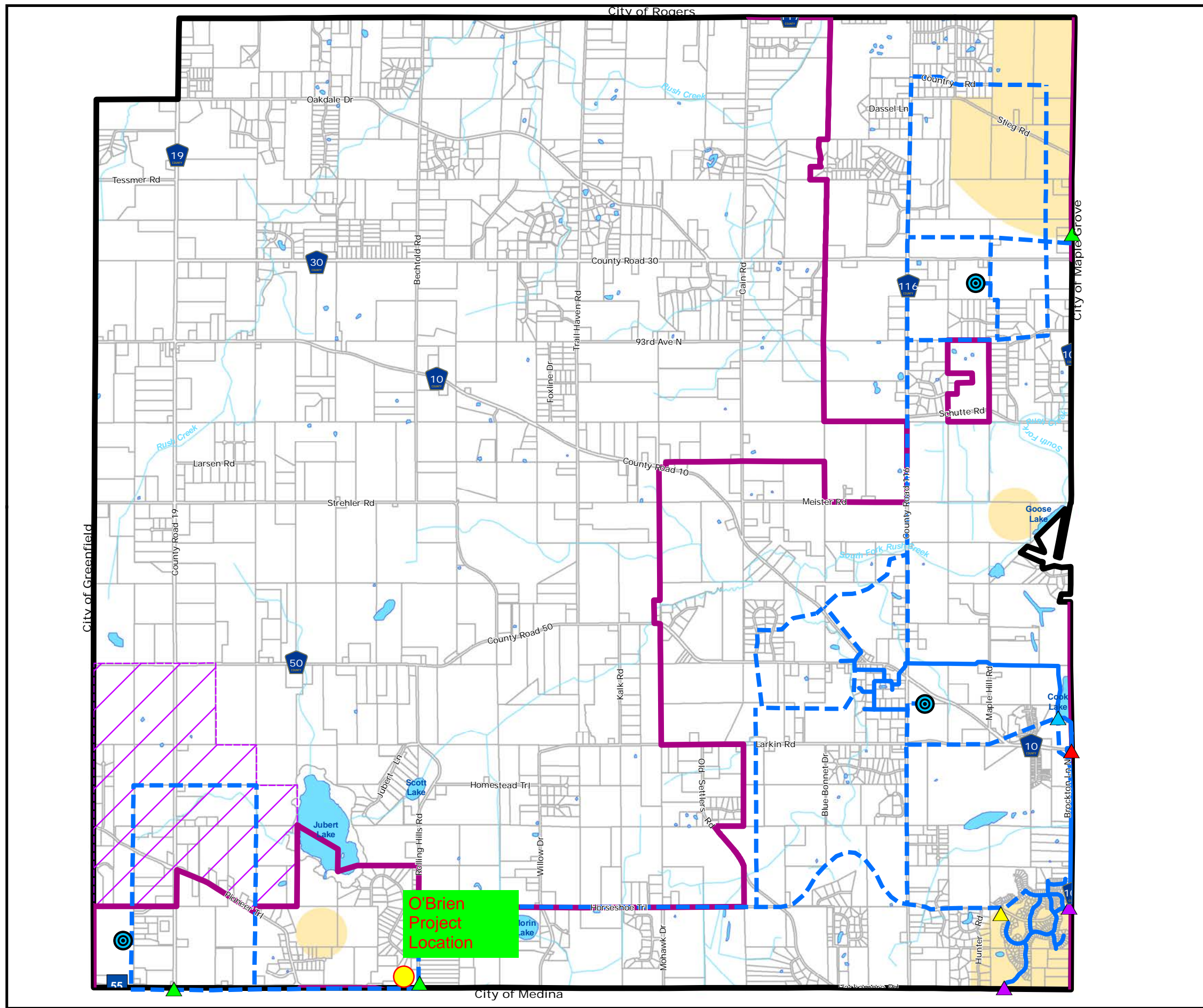
2040 COMPREHENSIVE PLAN

Map 9-2 Trunk Water System

- Existing Watermain
- Proposed Watermain
- Potential Water Tower Locations
- Existing Supply Connection with Neighboring Communities
- Proposed Supply Connection with Neighboring Communities
- Emergency Connection with Neighboring Communities (Normally Closed)
- Potential Water Storage
- Potential Booster Station
- Potential Future Well Exploration Areas
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water



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Date: 1/15/2019 Time: 1:38:40 PM User: ShujC0243



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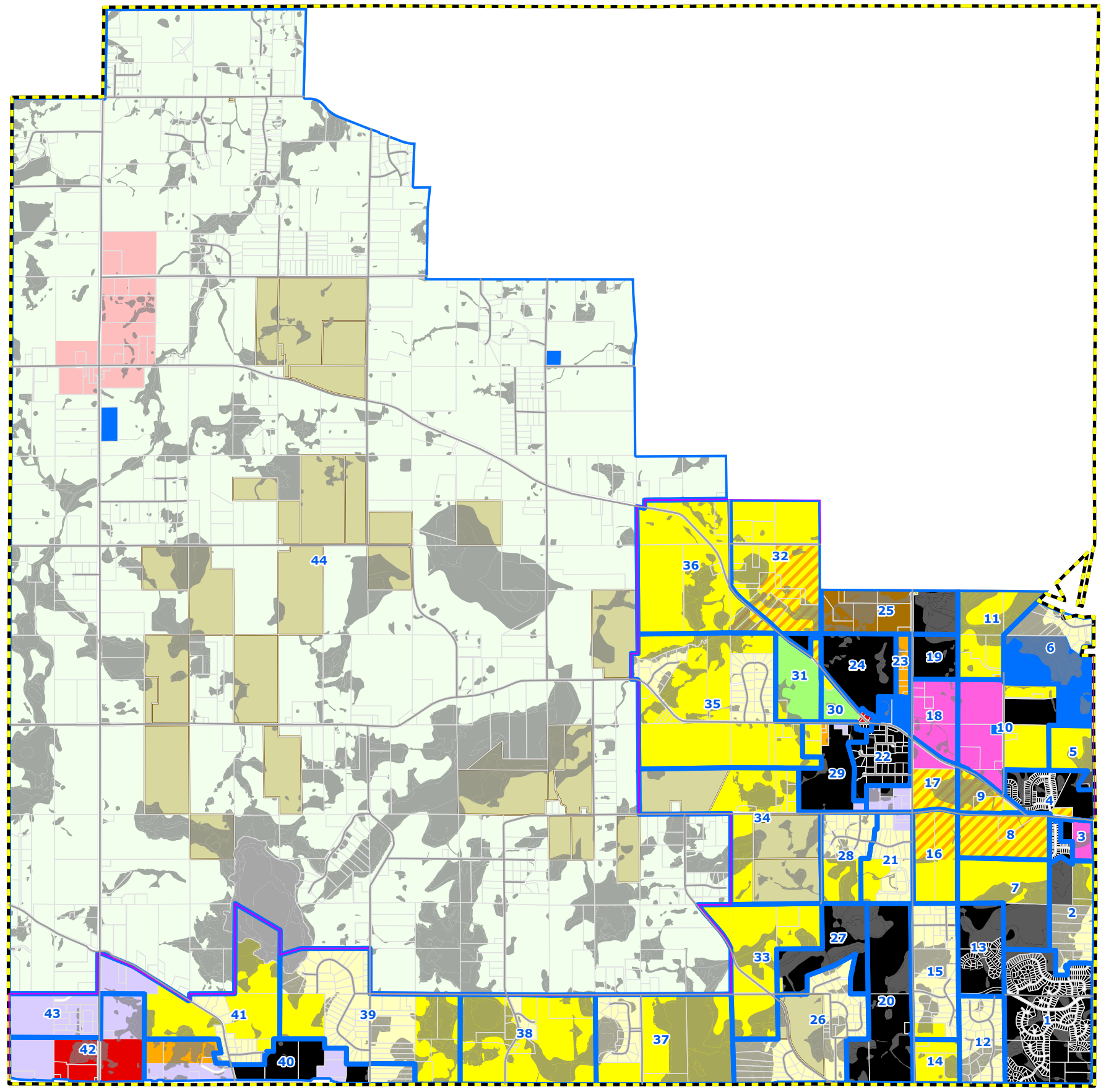


Figure No.

1

Title

SE Water System Node Boundaries

Client/Project
City of Corcoran
Buildable Acres Analysis

227704423

Project Location
Corcoran, Hennepin Co., MN

Prepared by KJM on 2022-04-01



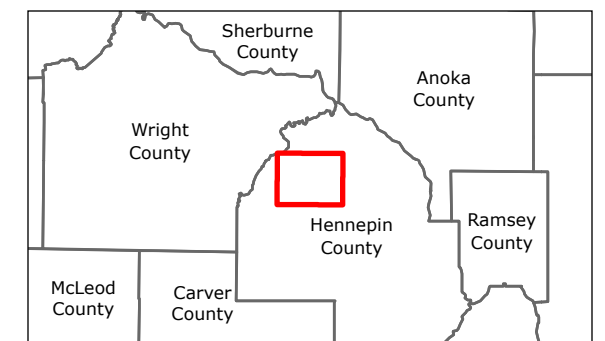
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Legend

- Municipal Boundary
- MUSA 2040
- Water Node Boundaries
- Parcels
- Unbuildable

Future Land Use 2040

- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Developed/Developing



Notes
 1. Coordinate System: NAD 1983 HARN Adj MN Hennepin Feet
 2. Data Sources: Hennepin County, MNDNR



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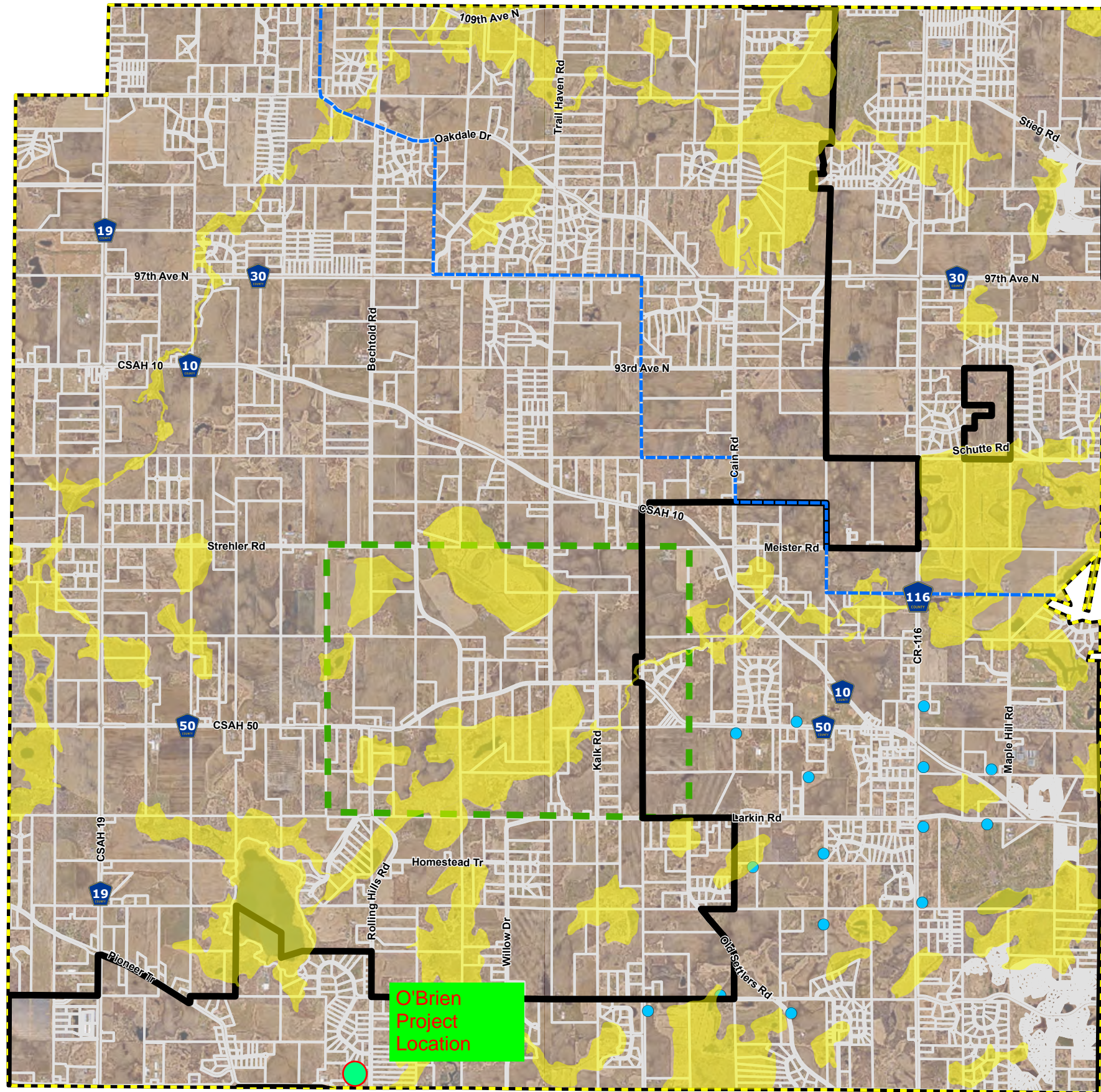


Figure No.

4

Title

Target Area for Siting Future SE Corcoran Water Treatment Plant

Client/Project
City of Corcoran
SE Water System

227704423

Project Location
Corcoran, Hennepin Co., MN

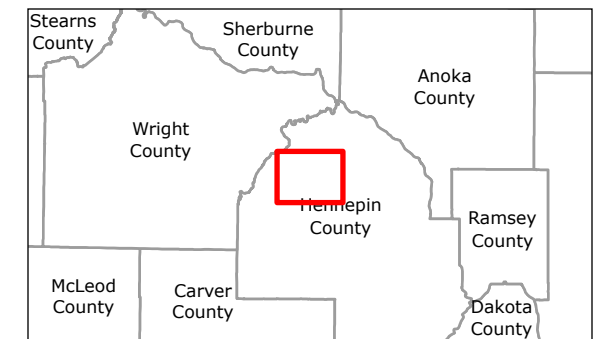
Prepared by JCS on 2022-04-20



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Legend

- Municipal Boundary
- MUSA 2040
- Parcels
- Target Area for Siting Future SE Corcoran WTP
- Approximate Boundary between NE and SE Pressure zones
- Potential Municipal Well Locations
- 100 Year Floodplain



Notes

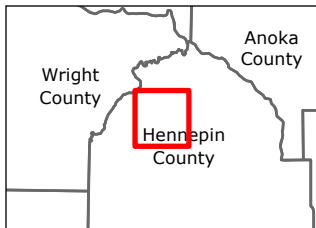
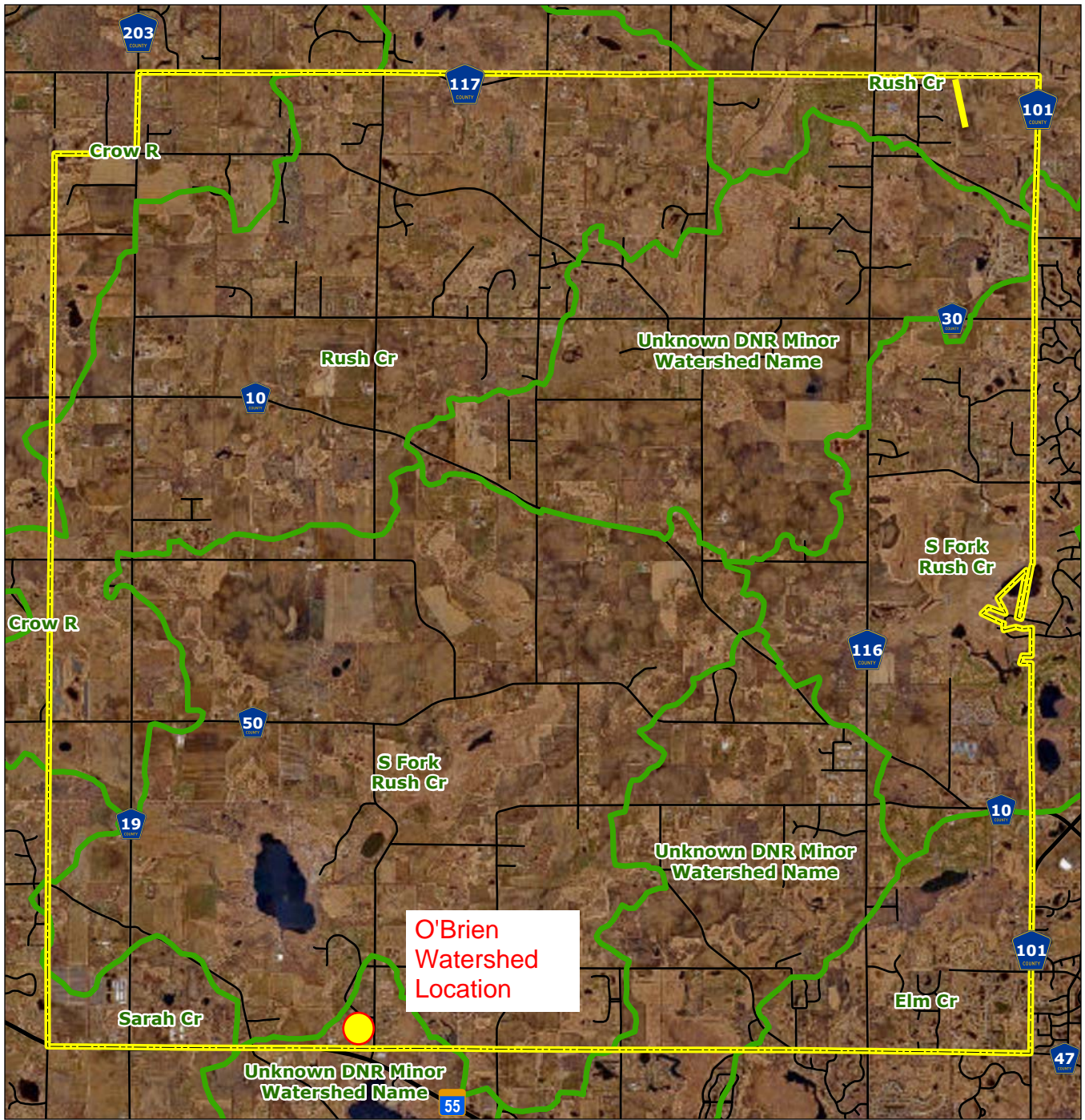
1. Coordinate System: NAD 1983 UTM Zone 15N
2. Data Sources: University of Minnesota/Minnesota Geologic Society
3. Background: 2020 Hennepin Co. Aerial



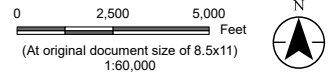
APPENDIX D

Watershed and Stormwater Guidelines

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- Legend**
- Corcoran Boundary
 - DNR Level 07 - Minors



Project Location
Corcoran, Hennepin Co., MN

Prepared by JCS on 2022-02-09

Client/Project
City of Corcoran
MN DNR Minor Watersheds

227704423

Figure No.
1

Title
MN DNR Minor Watersheds

- Notes**
1. Coordinate System: NAD 1983 UTM Zone 15N
 2. Data Sources: Hennepin County, MN DNR
 3. Background: 2020 Aerial Photograph

Disclaimer: This document has been prepared based on information provided by others as cited in the Notes section. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Stantec assumes no responsibility for data supplied in electronic format, and the recipient accepts full responsibility for verifying the accuracy and completeness of the data.

Stormwater Guidelines for Development March 2019

Issue

Cities changing from rural to urban development are challenged by the additional stormwater generated due to construction of impervious surfaces, along with the offsite infrastructure, or lack thereof, to manage effectively. To standardize the modeling and review process, the guidelines below were created for efficiency.

Note: A watershed approval is required per Elm Creek WMO rules, which also reviews flow rates, water quality and volume management.

Modeling

Watershed Information

- Provide an aerial photo of the development that includes the overall watershed and subwatershed boundaries
- Provide a summary of the acreage to each discharge point leaving the site. Any increase (or decrease) shall be identified.
- Show any floodplain adjacent to project or within the project
- Show downstream water bodies and flow paths
 - Downstream flow paths and water bodies typically need to have elevations, inverts, and condition identified.

Subwatersheds

A HydroCAD model (typically used) has inputs that can vary by user. To minimize resubmittals, review time and effort, the following data shall be utilized.

- Electronic model shall be submitted
- Hydrologic Soil Group (HSG) shall be lowered one category due to the mass grading and compaction of the soils. For example, an existing B soil, shall be modeled as a proposed C soil (unless it remains undisturbed)
- Wetlands, filtration basins, and ponds shall be modeled at CN of 98
- Identify peak rates for storm events and proposed shall be equal or less than existing rates.
 - Note: There are certain conditions where at City's discretion the off-site conditions require a reduction in flow rate from existing rates.
- SWMM (i.e. EPA-, XP-, or PC-) models can be submitted for review, however these increase review time.

Model Setup for Outlet Control Structures, NWLs and Infiltration

- The model's flow control structures (OCS, culverts, etc.) shall match the construction plan information. During the plan and model review both may be modified and revised
- Individual detail plates are required for each OCS, and individual plates shall have inverts identified
- A pond or wetland NWL (and model starting elevation) shall be set at the constructed outlet control elevation.
 - No live storage shall be utilized below the controlling OCS elevation.
 - No live storage shall be used for filtration shelves on ponds below controlling OCS elevation
- If a pond or wetland has an NWL (wet surface), infiltration shall not be used in flood routing.
- If a pond has filtration BMP causing drawdown below the NWL, this drawdown elevation shall not be used as the NWL for flood routing. (Filtration has a slower release time and during wet periods is not available as live storage).

Construction Plans

Catch Basins

- Street drainage shall be sufficient to manage the 10-year event

- Typical a CB inlet capacity is 2 to 2.5 CFS, and CBs shall be spaced accordingly
- Three inches (0.25 feet) of head on a CB will inundate a street centerline (2% slope).
- Spacing is 200 to 250 feet using longitudinal street dimensions of 40 feet from road centerline to half the house footprint (assumes rear half of house drains to rear yard). Dimensions equal 10,000 SF.
- CBs may be required on both sides of ped ramps to capture flows

Natural Drainage Features

- Waterbodies receiving urban drainage (wetlands, ditches, gullies) may need to have OCS installed, erosion protection, or reduced flow rates to allow the feature to function over the long term due to more consistent flows from increased impervious via development
- Offsite work may be necessary and City will assist with coordination, easements, etc.

HWLs and EOFs

- The freeboard requirements are:
 - Low Opening is a minimum of two feet above the HWL
 - Low Opening is a minimum of two feet above the EOF
- EOFs shall be accurately shown and as built are required. The highest point shall be the EOF (for example top of curb) since this is the controlling elevation
 - In certain instances, channel calculations of the swale may be required to show the EOF has capacity to manage estimated flow
- Overland EOFs are preferred, however if a second pipe serves as an EOF then modeling will include a 100-year event using the second pipe (EOF) as the only outlet (primary outlet plugged).

Rear Yards

- Rear yards or swales less than 2% shall have draintile. Typically, every two to three lots will require rear yard CBs.

Sump Connections

- Houses adjoining a wetland or pond do not need individual sump connection
- Others will have access to rear yard stormsewer.

Offsite Impacts

Adjacent Parcels

- City will review adjacent parcels (downstream and upstream) for impacts from volume, point discharge, etc. and may require off site improvements. City will assist in coordination of any off site work.
- Off site water quality improvement projects may be determined by the City for assistance with compliance with City's TMDL approach of implementing improvements upon development.
- FEMA modifications may be necessary due to development and implemented by City.



STAFF REPORT

Agenda Item 8e.

City Council Meeting: November 21, 2022	Prepared By: Chris Hong through Kendra Lindahl, AICP
Topic: Sketch Plan Review for “Ebert/McCormick Master Plan & Springs at Brockton Lane” located at 19330 County Road 30 (PID 12-119-23-130-007) (City File No. 22-070)	Action Required: Review and Provide Comments

60-Day Review Deadline: December 20, 2022

1. Request

The applicant, Continental 592 Fund LLC, is requesting an opportunity to appear before the City Council to solicit informal comments on a sketch plan for a proposed subdivision at 19330 County Road 30. The proposal includes 49 single family homes, a 300-unit market-rate apartment complex and a 1.8-acre commercial lot.

2. Context

The site is a 67.21-acre parcel and is currently being used for agriculture. The entire site is located within the 2040 MUSA (Metropolitan Urban Service Area) and the Northeast District.

Zoning and Land Use

The parcel is guided Mixed Use and Commercial in the Comprehensive Plan and is zoned GMU (General Mixed Use) and C-2 (Community Commercial).

Surrounding Properties

The parcel wraps around two properties to the east that are guided Commercial, zoned C-2 and currently a sports bar and vacant land. The residential properties to the east of Brockton Lane are in the City of Maple Grove. The property to the south is guided Mixed Use, zoned UR (Urban Reserve) and is used for agriculture. The properties to the west are guided Business Park, zoned BP (Business District) and currently being used for single family homes and agriculture. The properties to the north are guided for Low Density Residential, zoned PUD (Planned Unit Development) and are part of the Bellwether single family home development.



Figure 1 - Official Zoning Map

Natural Characteristics of the Site

There are a number of natural resources on site that would be defined as part of the survey and platting processing, including the exact locations of the floodplain areas and the wetland buffers/setbacks. A wetland delineation has been completed but has not yet been approved. The wetlands are also shown on the City's Wetland Locations and Classifications Map. Some wetland impact and mitigation would be required for development to occur as designed.

The City's Natural Resource Inventory Areas map and Ecologically Significant Natural Areas map both show the northwest wetland as significant. The Hennepin County's Natural Resources Map identifies the disturbed woodland area as an ecologically significant area. Additionally, there is a 100-year FEMA floodplain (Zone A – 1% annual chance of flooding) on the west half of the parcel.

3. Analysis

The request for development of one 1.8-acre commercial lot, 300 multi-family units and 49 single family units on 67.13-acres should be reviewed and the Council should provide detailed feedback to help the applicant decide how to proceed.

Comprehensive Plan Amendment

The east portion of the site is guided Commercial and the west $\frac{3}{4}$ of the site is guided Mixed Use. The Comprehensive Plan describes these districts as follows:

Commercial

The areas are intended for development only when sanitary sewer and water are available. In addition to this land use category, additional commercial opportunities will be available within Rural Service/Commercial Mixed Use and Business Park districts.

Development of Commercial areas should include architectural themes and high-quality designs that reflect the rural character of the City as defined by the adopted Design Guidelines. Building designs and materials promoting this aesthetic, and details such as planting beds, ornamental fencing, decorative lighting, and sidewalks, will be required in Commercial areas.

Mixed Use

The intent of the Mixed Use district is to allow for developments that combine residential and commercial uses into a coordinated, planned development project. Typically, mixed use developments will include townhomes, low- and high-rise apartments, retail buildings, and offices. Development may be stacked, with office or housing units located above main floor retail space.

Residential density is planned at 8-30 units per acre. Not all mixed-use developments will be required to incorporate residential units. Mixed use developments will be oriented around pedestrians rather than automobiles. By providing walkable mixed-use areas, stress on the transportation system is reduced and a “sense of place” is created.

The applicant is proposing a 1.8-acre commercial lot in the northeast corner of the site, the 25-35 acres in the center of the site would be reguided to High Density Residential and the western 25-35 acres would be reguided to Low Density Residential.

This is a significant policy change for the City. The Comprehensive Plan Amendment is the area where the City has the most discretion in decision-making.

The area along this section of County Road 30 was guided Mixed Use because it was seen by City Council as an opportunity for business development and jobs creation driven in part by the construction of the Dayton Interchange and the Highway 610 extension, which will connect to County Road 30. Both of these transportation improvements will ultimately increase traffic in this area of the City.

The existing land use designation helps the City meet several Comprehensive Plan goals, including:

Goal 3 in the land use chapter of the Comprehensive Plan is to

“Create new land use opportunities to expand and diversify the City’s tax base by encouraging new commercial development.”

Goal 4 in the land use chapter of the Comprehensive Plan is to

“Attract and encourage new light industrial, office-industrial, high tech and professional services, and maintain and expand existing businesses in Corcoran.”

Goal 3 in the economic competitiveness chapter of the Comprehensive Plan is to

“Promote efficient, planned commercial and industrial development.

Policy 1: Identify key commercial and industrial development opportunities in planned growth areas at locations with access to major transportation systems.

Policy 2: Encourage and facilitate infill development on vacant parcels to ensure maximum efficiency of land use.

Policy 3: Encourage compact commercial developments that will make efficient use of infrastructure and resources.

Policy 4: Encourage industrial, office, business and commercial development to locate within master planned industrial parks, business parks, or in the Town Center area.”

Staff notes that the pandemic has changed the retail and office environments and the future of those types of uses is still evolving. If the Council believes that office and commercial uses are not likely to be built in the future, they could support the requested rezoning. However, if the Council continues to believe that because of the location and transportation improvements the Comprehensive Plan identified this as an appropriate location for Commercial and Mixed Use (Mix of residential, retail and office uses either within one building or one development. Residential development at 8 to 30 units per acre), they should not support the rezoning.

Rezoning

The project as proposed would require a zoning map amendment. The applicant is requesting that the parcel be rezoned from GMU and C-2 to RSF-3 (Single and Two-Family Residential), GMU and C-2.

The applicant has requested to build the apartment complex in the GMU district. While this district allows multi-family dwellings, the nature of a gated apartment complex is in conflict with the purpose of the GMU district which is to

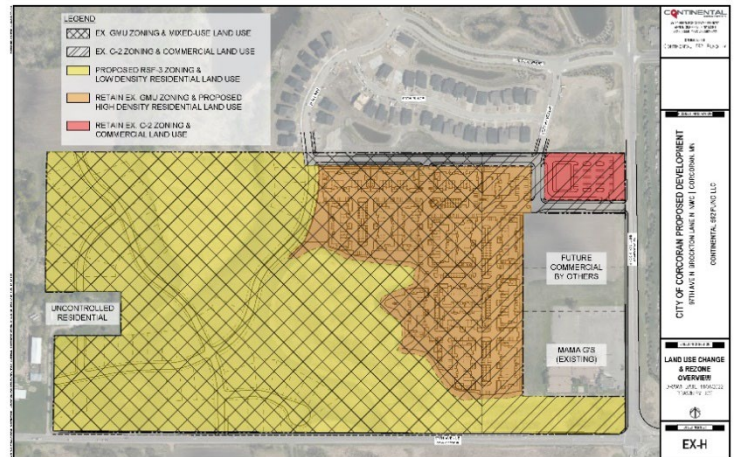


Figure 2 - Requested Zoning Change

“provide an area for compact, inter-connected, walkable, mixed-use development along key community corridors and to support high quality development and site flexibility due to the unique site conditions in these areas. The mixture of land uses within the district is essential to establishing the level of vitality and intensity needed to support retail and service uses.”

Furthermore, the GMU zoning district is inconsistent with the High Density Residential land use designation. Land zoned GMU should be guided Mixed Use for consistency.

If the City Council supports the Comprehensive Plan Amendment, then they should rezone the property to be consistent with the Land Use Map: The land guided high-density residential should be zoned RMF-3 and the land guided low-density residential should be zoned RSF-3.

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning must be consistent with the comprehensive plan. The zoning ordinance and zoning map are the enforcement tools used to implement the goals and standards set by the comprehensive plan.

Site Plan

The sketch plan appears to show compliance with the district standards, except as otherwise noted below:

	RSF-3	GMU	RMF-3	C-2
Minimum Lot Area	7,500 square feet	25,000 square feet	1 acre	1 acre
Minimum Lot Width	65 feet	150 feet	150 feet	100 feet
Minimum Lot Depth	n/a	n/a	n/a	200 feet
Minimum Principal Structure Setbacks:				
Front, From Major Roadways*	100 feet	100 feet	100 feet	100 feet
Front, From all other streets	20 feet	25 feet	50 feet (does not appear to comply)	25 feet
Front Porch (≤ 120 square feet)	15 feet	n/a	n/a	n/a
Side	10 feet (living), 5 feet (garage)	n/a	25 feet	20 feet
Rear	30 feet	n/a	25 feet	20 feet
Adjacent to Residential	n/a	35 feet	n/a	50 feet
Maximum Principal Building Height	35 feet	35 ft at minimum setbacks**	35 feet or three stories	35 feet
Maximum Impervious Surface Coverage	n/a	80%	n/a	80%

*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2040 Roadway Functional Classification map in the 2040 Comprehensive Plan.

**May be increased up to a maximum of 50 feet with increased setbacks at a rate of 1 foot additional height for every 5 feet in additional setback.

Staff notes that the code requires a 100-foot setback from County Road 101 and 30. The 100-foot setback from a major roadway is intended to maintain green corridors throughout the City. The ordinance allows a structure setback reduction to 60 feet and a parking setback consistent with the setback from other streets if significant additional landscaping is provided adjacent to the roadway. There is not enough detail on the concept plan to confirm compliance, but it appears that the commercial lot adjacent to Brockton Lane and the single family homes along County Road 30 could comply with these setbacks. The wetland adjacent to County Road 30 ensures compliance for the multi-family portion.

There are multiple wetlands on the parcel and the applicant will need to abide by the wetland buffer and setback requirements.

	Wetland Quality		
	High	Medium	Low
Wetland Buffer Average Width:	50 feet	25 feet	15 feet
Wetland Buffer Width (Min):	40 feet	20 feet	10 feet
Wetland Buffer Width (Max):*	60 feet	40 feet	20 feet
Structure Setback (from Buffer):**	15 feet	15 feet	15 feet
Total Buffer and Setback (Average):	65 feet	40 feet	30 feet

**Buffer widths in excess of the listed maximums shall not be used in calculating average buffer width.*

***These setbacks shall take precedence over other setbacks required in this Chapter. These setbacks apply to structures only – a 5-foot setback is required for roads and parking lots. Trails that serve an interpretive function may be exempted from buffer and setback requirements.*

Environmental Review

Under Minnesota Environmental Review Program rules, the City is the governmental unit responsible for preparing Environmental Assessment Worksheets (EAW) and determining whether the project has the potential for significant environmental effects. The rules establish thresholds for number of units and area of commercial/industrial to require an environmental review. The applicant did not provide a square footage of the commercial space, but if the building exceeds 2,500 sq. ft. a mandatory EAW will be required. The applicant could revise the plans to reduce the commercial square footage or eliminate residential units to bring the total under the thresholds established in MN Rules §4410.4300. At this time, it is not clear whether or not an EAW will be required. If the project moves forward, staff will work with the applicant to determine the EAW requirements.

The purpose of the environmental review process is to provide usable information to the project proposer, governmental decision-makers, and the public concerning the primary environmental effects of a proposed project. The EAW should identify measures to protect the environment that can later be imposed as conditions of approval in future development applications. Furthermore, an EAW is not a means to approve or deny a project but is an additional source of information to guide decisions.

Floodplain

The site has a floodplain in the western half of the parcel. The applicant will need to comply with the requirements in Section 1050.030 of the Zoning Ordinance.

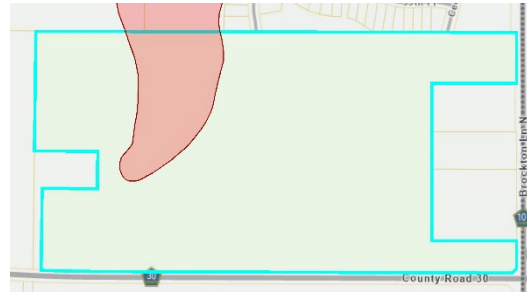


Figure 3. FEMA Floodplain - 100 Year

Stormwater

The City Engineer has determined that the first phase of development will require significant stormwater management and that additional stormwater treatment capacity may be necessary. No stormwater ponds are shown for the apartment or commercial portions of the site and adding stormwater treatment will likely result in a loss of units.

Landscaping

No landscape plan was provided with the concept plan, but the applicant will need to submit a landscape plan for the apartment complex in the future that complies with the ordinance requirements. For residential developments of four units or more, the ordinance requires one overstory tree per dwelling unit. Up to 50% of the required overstory trees may be substituted with understory trees in combination with other design elements. No more than 1/3 of the required trees may be of one species. Underground irrigation shall also be required.

No landscape plan or underground irrigation is needed for the single family homes, but the requirement of one overstory tree per dwelling unit still applies.

The commercial lot requires one overstory tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater. Additionally, the commercial lot requires one understory shrub for each 300 square feet of building or one tree per 30 lineal feet of site perimeter, whichever is greater.

We will review the landscape plan with the development plan submittal for compliance with the ordinance standards. It appears that portion of the maple-basswood forest identified as a high-quality natural community on the Natural Resources Map is located in the Northwest corner of the parcel. The City does not have a tree preservation ordinance, but the City encourages preservation of this wooded area. A tree survey is required with a preliminary plat application, which will help to better identify this area.

Additionally, all new development must comply with landscaping and resiliency standards in the Northeast District Plan and Design Guidelines. The applicant's narrative indicates that they will comply.

Access

The concept plan includes 2.3 acres of right-of-way dedication. The applicant will be required to connect to Cedar Avenue and Elm Lane from the Bellwether subdivision

north of the project parcel and will be required to dedicate right-of-way for Brockton Lane and County Road 30.

The street connection through the site does not align with the Northeast District plan, which has a public street generally running east-west through the site and providing access to the adjacent properties. The applicant's plan moves this street to the north lot line, which will directly abut homes in Bellwether. Staff believes that this is a significant departure from the street plan and Council should review and discuss.



Figure 4. NE District Classifications

Additionally, the applicant is proposing a stub road on the west side of the parcel. The City Engineer recommends that the area be ghost platted to ensure appropriate to the west. The proposed road layout is not ideal for larger lots in the business park district west of the parcel along County Road 30.

The applicant is proposing one access on County Road 30 and one access on County Road 101. The access to County Road 30 is generally consistent but the access to Brockton Lane is north of the planned location approved as part of the Northeast District Plan. The City Engineer anticipates turn lanes being needed at both entrances from the County Road System, but a feasibility study will need to be conducted to determine potential impacts. All access locations and required improvements (including potential turn lanes) are subject to Hennepin County review and approval.

The City Engineer anticipates a traffic study being necessary to understand the direct traffic impacts and necessary improvements of the development.

The applicant is proposing a gated community with private drives serving the units in the development. The proposed multi-family apartment complex has a five-foot decorative fence around the perimeter. City Code does not allow fences adjacent to a ROW to exceed four feet in height. The applicant will need to apply for a variance to build the proposed fence.

When Bellwether development was proposed, they also requested a fence to surround the property. The City Council did believe that was consistent with Corcoran's character or vision for the future and did not approve that fence as part of the PUD. The Council should provide feedback on the proposed gated community in this location.

Parking and Drive Aisles

The applicant will be requesting a variance to allow 1.75 stalls per dwelling unit where the City Code requires 2 spaces per unit plus 1 space for each 5 units in an apartment or townhome complex. For the 300 dwelling units, 259 covered and 265 surface parking stalls will be provided. It does not appear that each unit will have a dedicated parking space. Additionally, staff believes that there is a need for designated guest parking. The applicant will need to document the reduced parking need and apply for a variance.

Additionally, the concept plan utilizes parking stalls with a depth of 18'-0" and a width of 24'-0", which is smaller than what is required by the City (18'-6" x 26'-0"). The applicant will also need to apply for a variance to allow for the smaller parking stalls.

The Council should provide feedback on these variance requests.

Buildings and Architecture

If the Council allows the apartment complex to be built in the GMU district rather than rezoning to RMF-3 to be consist with the requested land use designation, the applicant will need to comply with the Northeast Area Design Guidelines in Mixed Use districts. They require that 60% of exterior materials be Class I, which includes brick, natural stone, fiber-reinforced cement board siding, and others. The exterior materials of the proposed apartment complex would be 60% fiber cement lap siding and vertical siding and 15% brick masonry, which complies with the requirement.

If, instead, the area is rezoned to RMF-3, the combined area of all apartment building facades must be at least 50% brick, clay faced tile, or stone masonry. Fiber-reinforced cement siding may only be used as an accent material. The applicant will either need to revise their plans or apply for a variance from the standards in Section 1040.070, Subd. 8 to keep the building materials as proposed.

The application does not specify what building materials will be used for the single family homes. If that area is rezoned to RSF-2, the City Code requires the entire front elevation be made of at least two materials (such as brick, stone, stucco, fiber cement board, redwood, cedar, etc.), except for brick which may be used for the entire elevation. The applicant must provide percentage of materials in future plans.

Sidewalks and Trails

The 2040 Comprehensive Plan has a proposed off-road trail shown running through the parcel, which will connect through Bellwether and to the community and neighborhood parks. The Code requires 5-foot-wide sidewalks on one side of all public streets. Future site plans will need to show the required sidewalks and trail connections.

There is a trail on the west side of Cedar Avenue in the Bellwether development that must be continued through this project to connect down to County Road 30 in a convenient manner. The plans must be revised to show this trail connection.

There is another trail connection from Bellwether 8th into the property to the west. The single family home neighborhood should plan for a trail connection to the west for a future connection.

Utilities

The parcel is not currently serviced by sewer or water. The proposed development would connect to the existing sanitary sewer from the Bellwether subdivision just north of the parcel. Because the City is currently obtaining water from the City of Maple Grove, approval from the City of Maple Grove would be necessary to authorize water to the proposed development. The applicant is prepared to pay impact fees to both municipalities. The City is bidding a water treatment system, which may be available in late 2024 to serve the development.

A feasibility study will need to be conducted for water modeling and to review the layout of the trunk watermain system.

Public Safety

The Public Safety Committee reviewed the plans and provided a memo dated November 2, 2022. The memo notes that additional information is required to ensure turning radiuses and access is provided per City standards. Additionally, they note concerns about the street design and the limitations in providing the planned through route from Bellwether.

Conclusion

The sketch plan process provides an opportunity for the applicant to get information from the City that can be incorporated into a formal development application. If the Council supports the concept, the next steps would be:

1. Environmental Assessment Worksheets (EAW) if necessary or an independent feasibility if an EAW is not required
2. Application for Comprehensive Plan Amendment, Rezoning, Preliminary Plat and Variances
3. Application for Final Plat

4. Recommendation

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.

Attachments

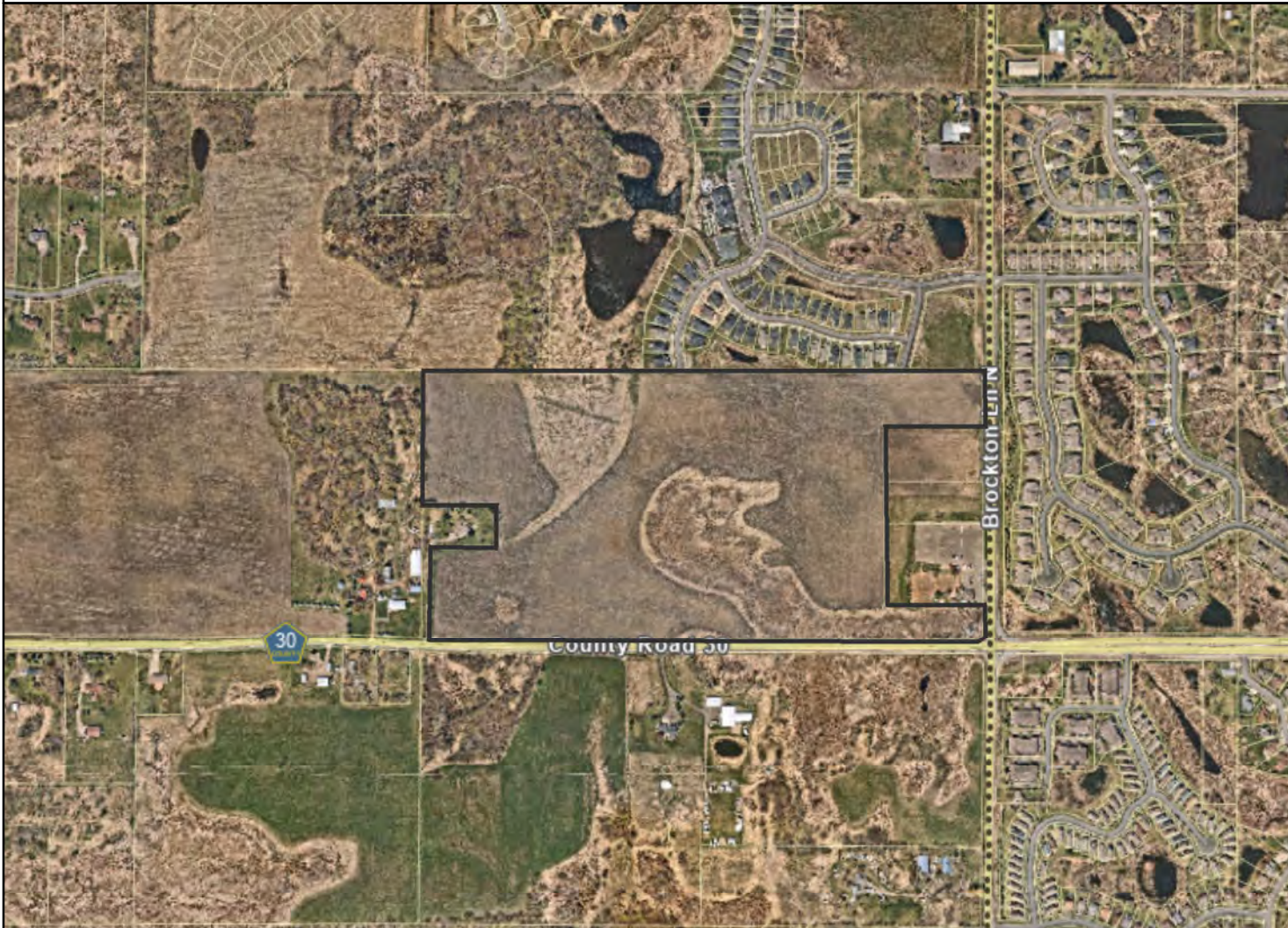
1. Site Location Maps
2. Applicant Sketch Plan Submittal dated November 3, 2022
3. Official Zoning Map
4. 2040 Future Land Use Map
5. Parks and Trails Plan Map
6. Natural Resource Inventory Areas Map
7. Wetland Locations and Classifications Map
8. Ecologically Significant Natural Areas Map
9. Public Safety Memo dated November 2, 2022
10. City Engineer's Memo dated November 16, 2022
11. Applicant Concept Presentation dated November 14, 2022



Hennepin County Natural Resources Map

Date: 11/8/2022

Legend



PID: 1711922220039
Address: 17470 91St Pl N,
Maple Grove 55311
Owner: Hpa Borrower 2016-2
MI Llc
Acres: 0.75

Comments:

1 inch = 800 feet



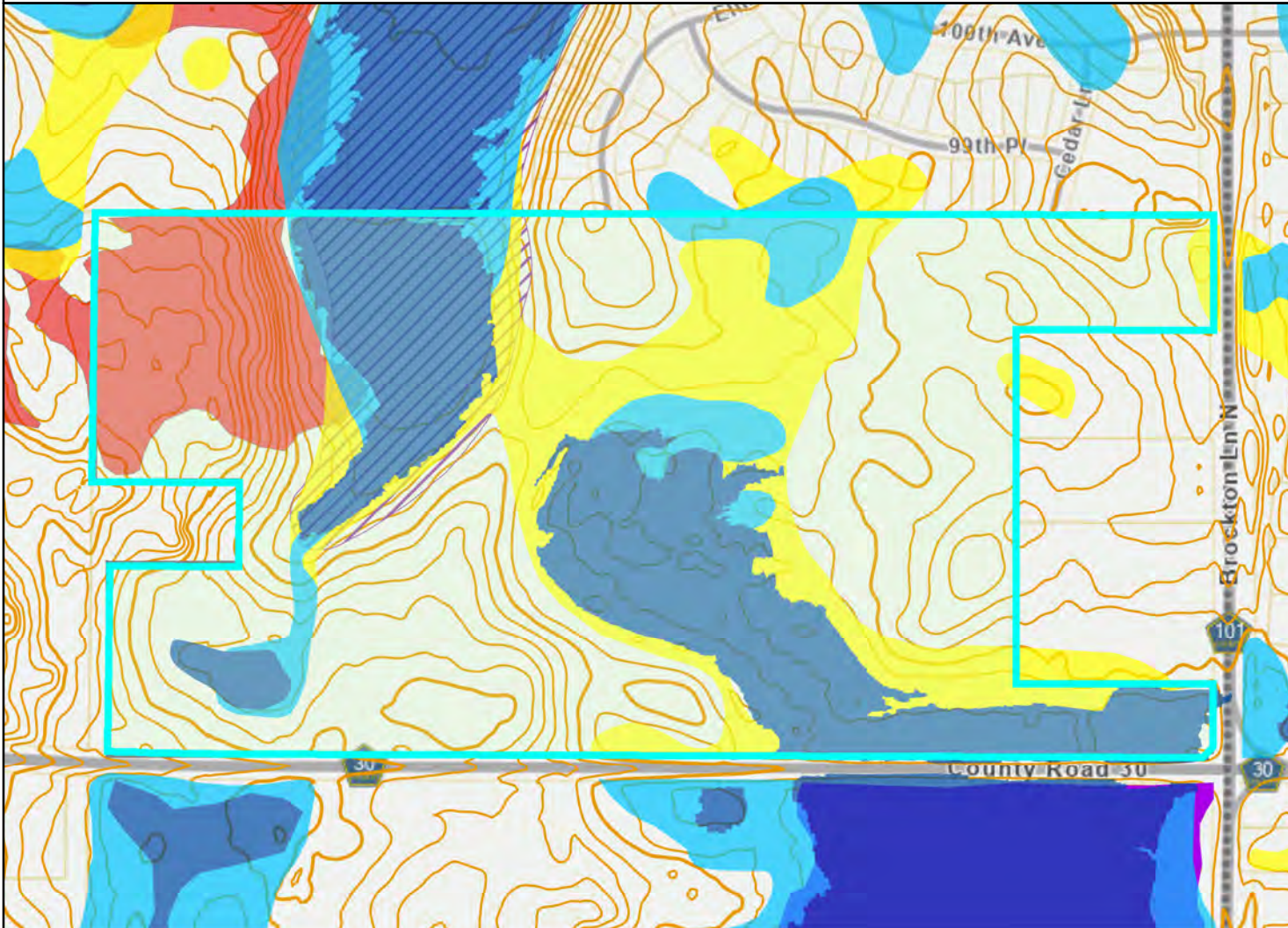
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Hennepin County Natural Resources Map

Date: 11/8/2022



Legend

Wetlands

- Potential Wetland - HCWI
- Probable Wetland - HCWI
- Probable Wetland - NWI

DNR Buffer Protection - Public Ditches

- Ditch (16.5 ft)
- Natural (50 ft)
- DNR Public Waters
- Streams

FEMA Floodplains - 100 Year

- A
- AE FLOODPLAIN
- AH
- AO
- AE FLOODWAY
- Ecologically Significant Areas

2 Foot Elevation Contours

- Index
- Intermediate

PID: 1211923130007
 Address: 19330 Co Rd No 30,
 Corcoran 55340
 Owner: G R Ebert &
 D A McCormick
 Acres: 67.21

Comments:

1 inch = 400 feet



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11/03/2022

VIA Email

Ms. Kendra Lindahl, AICP
Corcoran City Planner
8200 County Road 116
Corcoran, MN 55340

RE: Continental 592 Fund LLC
Corcoran, MN

Dear Ms. Lindahl:

Per your request on October 28, 2022, as a requirement to appear before Corcoran City Council on November 21, 2022, the following information has been included in the enclosed submittal package to supplement the materials originally submitted to the City of Corcoran on October 21, 2022.

1. The project narrative has been updated to specify desired zoning changes.
 - a. Text highlighted in the 'Zoning Change & Comprehensive Plan Amendment' section on pages 7 & 8 of the narrative provides detail on the requested zoning change and comprehensive plan amendment.
 - b. Exhibit H illustrates boundaries of the requested zoning change and land use change.
2. Information about the Maintenance & Car Care Center shown on EX-C is highlighted in yellow in the 'Site & Community Overview' section on page 6 of the enclosed narrative.
3. Specifications for the entire parcel listed below have been revised.
 - a. Site acreage calculations have been added to EX-B for the low density housing portion of the site.
 - b. The concept layout shown in EX-D has been revised to meet setback requirements per the existing C-2 zoning designation.

If you have any questions, please contact me at 262.290.0034 or jteichen@cproperties.com.

Sincerely,

CONTINENTAL PROPERTIES COMPANY, INC.

A handwritten signature in black ink that reads "Jordan Teichen".

Jordan Teichen
Development Associate

Enclosures: City of Corcoran Sketch Plan Submittal Package

CONCEPT SUBMITTAL

EBERT/MCCORMICK MASTER PLAN
& SPRINGS AT BROCKTON LANE

Corcoran, MN



NTINENTAL 592 Fund LLC

W134N8675 EXECUTIVE PARKWAY | MENOMONEE FALLS, WI 53051

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EXHIBITS

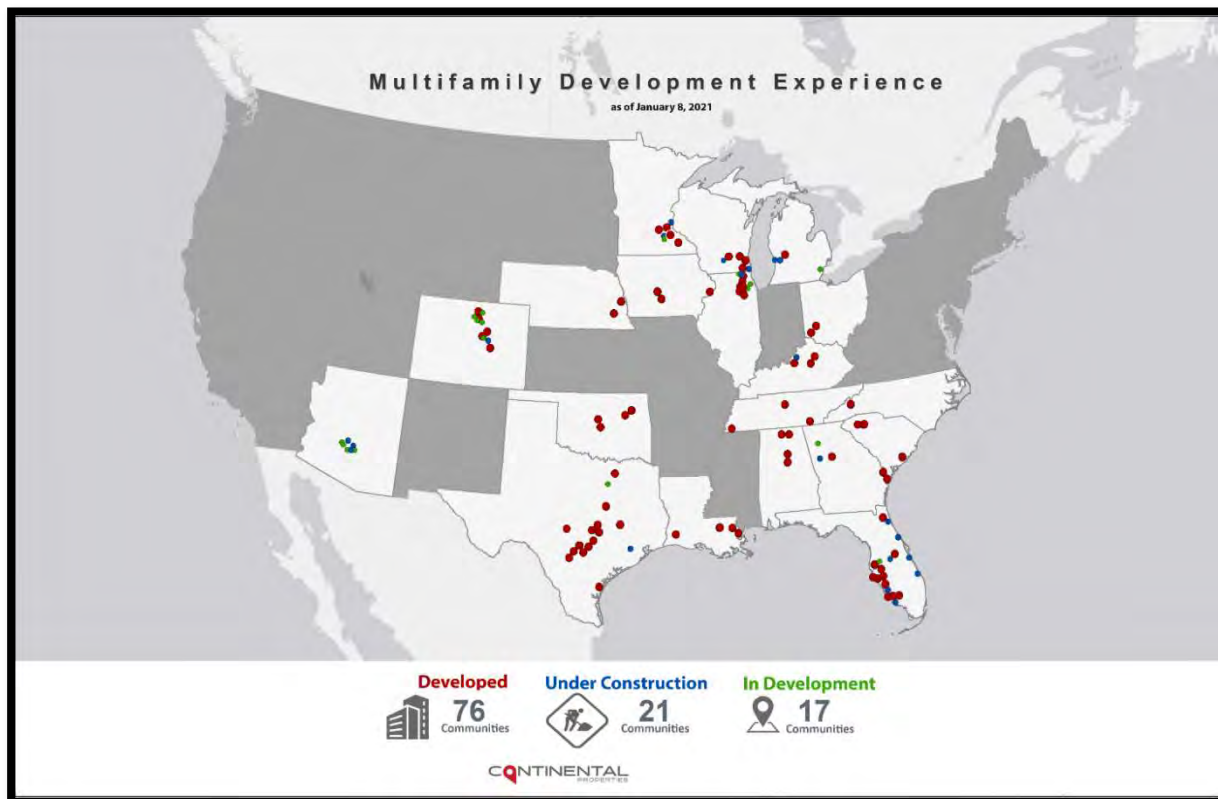
- Exhibit A – Location Map
Exhibit B – Master Plan Development
Exhibit C – Springs at Brockton Lane Proposed Plan
Exhibit D – Existing Natural Resource Inventory
Exhibit D.1 – National Flood Hazard Layer FIRMette
Exhibit D.2 – Wetland Inventory Map
Exhibit E – Propsoed Utilities and Stormwater Plan
Exhibit F.1 – Clubhouse Elevations
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Exhibit F.5 – Floor Plans
Exhibit G – Estimated Resident Spending
Exhibit H – Land Use Change & Rezone Overview

CONTINENTAL PROPERTIES INTRODUCTION

DEVELOPMENT EXPERIENCE

Continental Properties Company, Inc.'s ("Continental") portfolio currently includes over 70 Communities across 19 states. Continental owns and operates all our multifamily communities to ensure the on-site Property Management is first-class. To date, Continental has developed more than 26,000 homes, including 5 communities in Minnesota alone, the two most recent of which are currently under construction in Oakdale and Chaska.

Continental's multi-family development emphasizes meeting housing needs through the implementation of suburban modern multifamily communities on the best sites, in the strongest sub-markets within markets with excellent supply and demand characteristics. Continental's portfolio of projects reflects that in its various communities throughout the US, *Multifamily Executive* ranked Continental among the Top 10 Division III (10,000-19,999 units) management companies.



PROJECT INTRODUCTION

Continental is a national developer, owner, and operator of Class-A, market rate rental housing communities. Continental 592 Fund LLC (a subsidiary of Continental) has an agreement in place with Gregory R. Ebert and Debra A. McCormick to purchase a portion of the site at the northwest quadrant of 97th Avenue (County Road 30) and Brockton Lane (County Road 101) with intent to build a 300-unit market-rate suburban apartment community known as Springs at Brockton Lane. See **Exhibit A – Location Map** for the project site’s location within the City of Corcoran.

As part of the approval process for the Springs at Brockton Lane development, Continental will be applying for a comprehensive plan amendment and rezoning of the parcels that incorporate future phases of the proposed master plan development for the entire Ebert/McCormick property and the commercial lot along Brockton Lane. An adjunct single-family builder is yet to be selected to develop the single-family portion of the proposed master plan development. See **Exhibit B – Master Plan Development**.

The 67.13-acre master plan development at 19330 Co Rd No 30 (PID 1211923130007) includes approximately 1.90 acres of commercial frontage along Brockton Lane North, north of the existing Mama G’s sports bar, the 17.15 acre Springs at Brockton Lane development (See **Exhibit C – Springs at Brockton Lane Proposed Plan**), and approximately 26.88 acres zoned for approximately 49 future single-family homes. The remaining land is planned for dedicated right-of-way for the proposed local street network and preservation of existing natural resources. The Springs project is expected to be developed first starting in the third quarter of 2023 followed by the commercial parcel and single-family parcels as those specific developers are identified.

A thorough review of Corcoran’s Northeast District Plan and Design Guidelines, and 2040 Comprehensive Plan was conducted in preparation of this narrative. The goal of this narrative is to demonstrate how these guiding principles have shaped the master planned development and Springs proposal, with goals of, in turn, benefitting the surrounding community.

EXISTING CONDITIONS

Surrounding Land Uses

The existing 67.13 acre subject property is bounded by 97th Avenue (County Road 30) to the south, commercial lots and Brockton Lane North (County Road 101) to the east, an age-restricted community to the north (Bellwether by Dell Web) and existing agricultural land zoned for a future business park to the west.

The subject property occupies the northernly and southernly-most portions of the frontage along Brockton Lane North. The northernly most portion of this frontage will be reserved for future commercial development and a new local road and ROW that will provide the master plan development with access from Brockton Lane North. The southernly most portion of the frontage is an existing wetland that will be preserved. The remaining commercial frontage along Brockton Lane North consists of two vacant parcels (approximately 4.9 total acres), and one 4.07 acre parcel currently occupied by a sports bar, Mama G's.

Continental has had preliminary discussions with Kwik Trip regarding their proposed development in the two existing vacant parcels north of Mama G's. Our intention is to cooperate with Kwik Trip, the City of Corcoran, and Hennepin County to coordinate site access and other necessary accommodations for neighboring development as more details are shared.

Existing Access

The site currently is not serviced by any driveways or connections to surrounding roadways. Cedar Avenue and Elm Lane in the existing Bellwether subdivision to the North truncate at the northern edge of the subject property. The proposed local roadway network through the subject property would connect to Elm Lane and Cedar Avenue and would extend east to connect to the proposed future single-family housing development, and west to extend to the primary Springs at Brockton Lane entrance and commercial frontage along Brockton Lane.

The master plan is serviced by access from the aforementioned connections to the Bellwether subdivision to the north, the new local roadway ROW connection along Brockton Lane North, and future local roadways that would connect to the future business park to the west and 97th Avenue (CR 30) to the south.

Existing Natural Resources

Kjolhaug Environmental Services investigated the subject property on September 14, 2022 for the presence and extent of wetlands. Six (6) wetlands are delineated within the site boundaries. The delineated wetland boundaries are enclosed on **Exhibit D – Existing Natural Resource Inventory**. Proposed development would impact wetland 6 (W6) and a portion of wetland 1 (W1).

Existing Wet Utilities

The subject property is currently not serviced by sanitary sewer or water. The proposed development would connect to existing sanitary sewer from the Bellwether subdivision to the north. For water, the development would need to temporarily tie into Maple Grove water prior to the completion of the new Corcoran water tower. An amendment to the existing water agreement between the City of Corcoran and City of Maple Grove is required to permit the initial water connections. See **Exhibit E – Concept Utilities and Stormwater Management Plan** for more details, including phasing of proposed utility infrastructure.

THE MASTER PLAN

Development of the McCormick/Ebert Property:

The vision of the Northeast Area Design Guidelines is to *'encourage sustainable development that meets public demand.'* Based on its location in the northwest path-of-growth and overall desirability of the area and corridor, there are many supporting indicators of the need for housing in Corcoran, including the following:

- Stable community with median household incomes of \$118,400 on the higher end of the scale in the metro-area.
- Residents of the proposed master plan area will have great access to employment in the area, with 896,000 jobs within the average commute.
- Corcoran is poised for growth with the addition of new commuter routes including the new I-94 interchange and additional/improved arterial roadway routes.

New High-Density Multifamily Development:

The proposed Springs at Brockton Lane community is classified as high-density residential development (10-30 Units/Acre) according to density range classifications set by the Minneapolis Metropolitan Urban Service Area (MUSA). Net density of the proposed Springs development is 17.53 dwelling units per acre.

The development type and density align with Corcoran's existing zoning, design guidelines, and future land use designation in the 2040 comprehensive plan. The existing zoning is General Mixed-Use (GMU). High density multifamily development is permitted within the GMU district, at a minimum density of 10 dwelling units/acre.

Additionally, Corcoran has a growing need for multifamily development. Due to a marked lack of long-term supply, significant pent-up demand exists for multifamily rental housing. Currently, just 6.4% of households in Corcoran are rental households, versus 28.1% in the overall Minneapolis metropolitan area.

New Single-Family Residential Development:

The proposed single-family portion of the master plan development will require a rezone from GMU to RSF-3 Zoning District. The proposed single family residential will *create a transition from the rural environment to a more urbanized land use pattern*, as described in the 2040 Comprehensive Plan. The proposed single-family development will address the housing demand mentioned above, and closely align with the existing character of the Bellwether subdivision to the north.

New Commercial Development:

A commercial outlot is proposed for future commercial development along Brockton Lane. This aligns with both the existing zoning, C-2 (Community Commercial), and the proposed land use designation in the NE Area District Plan and 2040 Comprehensive Plan.

New Street Network and Site Access

The proposed street network aligns with the local roadway network shown in the NE District Plan and Design Guidelines, including all connections to surrounding roadways and neighboring properties.

THE SPRINGS COMMUNITY

Site & Community Overview

Continental’s proposed apartment community includes 300 homes within 15 residential buildings. The development is enclosed and secured by a perimeter fence and automatic vehicular gates at the community entry, leading to a private integral street network. Buildings feature private, ground-level entrances to each home. All buildings are two-stories in height or less. Residents have a choice between attached, direct-access garages, detached garages or ample surface parking to best fit their needs. Springs at Brockton Lane offers a variety of home types including 30 studio homes, 120 one-bedroom, 120 two-bedroom, and 30 three-bedroom homes, as detailed in the table inset at right.

Type	#	%
Studio	30	10
1-Bedroom	120	40
2-Bedroom	120	40
3-Bedroom	30	10

Resident facilities include a 4,630 square foot clubhouse and leasing center, car care area, picnic areas, and storage lockers. The clubhouse is open 7 days a week and includes a large gathering room which can be reserved by residents for private events, 24-hour fitness center, kitchen area, coffee bar, and office space for Continental’s on-site property management team. A pool and sun deck for the residents are provided behind the clubhouse along with an outdoor grilling area. The fitness room features a large garage-style door which may be opened during warmer months for an open-air workout area. The clubhouse and pool area are served by wireless internet service. All Springs communities include concierge trash pick-up and a centralized trash compacter. Residents will place their trash outside of their entryways and our on-site management team will pick it up and take it to our trash compacter located in a centralized area of the site.

The car care center denoted on the plan provides residents with a covered car wash station. This structure also houses a dog wash station that is conveniently located adjacent to one of the two dog park amenity areas. Additionally, the building serves as a maintenance garage that provides on-site maintenance staff with a convenient location to store needed maintenance supplies and equipment for the Springs community. The structure prohibits on-site car maintenance.

Pedestrian connectivity among buildings and tenant amenities is provided through an internal sidewalk network. The unique site design creates great open spaces, natural landscaping, and a courtyard approach to building layout. This provides resident access throughout the site to promote further neighbor interaction. The Springs community also offers several pet friendly amenities including a pet wash station, enclosed yards for several of our ground level units, and two fenced pet playgrounds available for every resident.

Architectural Overview

Springs exterior elevations feature high-quality, durable materials and provide architectural interest through varied rooflines, covered entries, unit projections, and private balconies. These high-quality finishes continue inside, providing our residents with a thoughtfully designed place to call home. With high architectural detail in mind, industry-leading composite siding and trim, durable masonry, and a variety of roofing selections ensure stunning visual interest in every community. No matter the geographic location, Springs communities are known for their visually diverse and complementary building design. See **Exhibit F – Architectural Elevations**, for example elevations of the proposed clubhouse and residential buildings.

Impact on Surrounding Community

The Springs community creates housing opportunities that are near local businesses and retail. The Springs resident's spending power will help support local businesses and retailers, fostering future economic and employment growth. Resident spending analysis of 300 households generates \$23.2MM in annual expenditures. See **Exhibit G – Estimated Annual Spending by Residents**. Additionally, the development would provide the City of Corcoran with a real estate tax contribution of over \$800,000.

DEVELOPMENT CONSIDERATIONS

Continental Properties has reviewed applicable planning documents and code for the proposed Springs at Brockton Lane development and will be seeking City cooperation and variance requests on the items outlined below.

Northeast District Plan and Design Guidelines Concurrence

The proposed master plan and Springs at Brockton Lane community align the NE District Plan and Design Guidelines in several ways outlined below:

- Land Use Map: The proposed commercial and mixed-use portions of the master plan development align the with the Land Use Map. The proposed single family area differs, but provides *a transition from the rural environment' to the west and north, 'to a more urbanized land use pattern'* to the east along Brockton Lane.
- Street Hierarchy: The proposed street network in the master plan aligns with the local street network shown on the subject property in the NE District Street Classification Map.
- Sustainable Design: The proposed plan would not adversely impact the areas identified as wet prairie in the NE District Analysis Map.
- Parking Design: Landscape islands are provided in the proposed plan in accordance with the design guidelines.
- Resiliency: The proposed development will include at least three of the resiliency options listed in the design guidelines.
- Open Space: Private open space is provided in the multifamily residential development area and will be designed and landscaped for outdoor recreation.

Zoning Change and Comprehensive Plan Amendment:

The proposed development will require a zoning change and amendment to the land use designations in the comprehensive plan. The subject property is currently a mix of C-2 (Community Commercial) and GMU (General Mixed-Use) zoning. The boundaries of the C-2 and GMU zoning areas will need to be changed to reflect the proposed development, and a new zoning designation, RSF-3 will need to be introduced to the western half of the subject property. See **Exhibit H - Land Use Change & Rezone Overview**, for the boundaries of the proposed land use changes and zoning changes.

The existing GMU zoning designation allows for multifamily housing and can accommodate the proposed Springs at Brockton Lane development. The depth of the C-2 zoning along Brockton Lane will need to be reduced to align with existing lot lines of properties along Brockton Lane and the western portion of the master plan development will need to be rezoned to RSF-3 to accommodate future single-family residential development.

Per Section 1040.050 of the City of Corcoran Code, RSF-3 zoning is intended to be the primary single-family

zoning district for future residential developments. The proposed layout of the RSF-3 lots would not meet the minimum density required in the RSF-3 zoning district (3 Units/Acre), however, as the City code suggests, the smaller lot area will make efficient use of the City’s land supply and investment in public utilities and allow the City to efficiently protect and preserve its natural resources. The layout and density currently proposed allow adequate space for a new local roadway network, and protection of the existing wetlands.

Maple Grove and Corcoran Water Agreement Amendment:

The proposed development needs to connect to Maple Grove water prior to the new Corcoran water tower going online in Spring of 2025. Continental is prepared to pay impact fees to both municipalities. To connect to Maple Grove Water the existing water agreement between the City of Corcoran and the City of Maple Grove must be amended.

To withstand current market volatility and ensure the project remains feasible, Continental Properties is projecting a fall of 2023 groundbreaking on the project. Due to increases in interest rates and construction costs Continental Properties needs assurances that the City of Corcoran is willing to work with Maple Grove to amend the agreement. Our understanding is the amendment process takes approximately 3 months to complete. To gain amendment approval from Corcoran Council and Maple Grove Council in March of 2023, the process would need to start in January of 2023.

Total Parking Stall Counts

Per code, the proposed Springs community is required to provide parking at a ratio of 2.2 stalls per 1 dwelling unit, of which, 50% must be covered. The proposed plan provides 50% coverage of parking stalls, however, accommodates parking at a ratio of 1.75 stalls per 1 dwelling unit. This ratio is customary of our other Springs developments, and adequately provides parking for residents and guests given the proposed unit mix and density, and still provides adequate space for snow storage. See **Exhibit C** for designated snow storage areas.

Several of our Springs communities approved in Minnesota with similar densities provide parking at a ratio similar to the parking ratio being proposed for Springs at Brockton Lane. Information on these properties is provided in the table inset below:

Community	Municipality	Parking/DU Ratio
Springs at Cobblestone Lake	Apple Valley	1.66
Springs at Lakeville	Lakeville	1.87
Springs at Lake Elmo	Lake Elmo	1.83
Springs at Willowbrooke	Oakdale	1.78

Parking Stall & Drive Aisle Dimensions

To accommodate as much parking on-site as possible, the site plan varies from the code required 18’-6” parking stall depth and 26’-0” drive aisle width for 90-degree parking. The proposed site plan in **Exhibit C** indicates parking stalls with 18’-0” depth and internal drive aisles with 24’-0” width. These dimensions are typical across all our communities and accommodate resident vehicles and emergency vehicle traffic.

Building Material Deviations

According to the NE Area Design Guidelines, exterior building materials shall be classified as either primary, secondary, or accent materials. Primary materials shall cover at least 60% of the facade of a building. Secondary materials may cover no more than 30% of the facade. Accent materials may include door and window frames, lintels, cornices, and other minor elements, and may cover no more than 10% of the facade.

- Primary exterior building materials may be brick, stone (natural or cultured) EIFS, stucco, architectural precast concrete, or glass. Bronze tinted or mirror glass are prohibited as exterior materials.
- Secondary exterior building materials may be any of the primary building materials above or decorative block, integrally colored stucco, or fiber cement siding (color impregnated or painted) in vertical panel design only with hidden seams.
- Accent materials may be wood, metal or fiber cement when used in trim, fascia or soffit if appropriately integrated into the overall building design and not situated in areas which will be subject to physical or environmental damage.

The elevations shown in **Exhibit F** show the proposed exterior materials for our Springs development. Fiber cement lap siding, and vertical siding make up approximately 60% of the exterior of the buildings, and brick masonry makes up 15% of the exterior of the buildings. The remaining portions of the building are comprised of windows, doors, garage doors, and shutters.

While these proposed materials do not meet required percentage minimums, they are tastefully incorporated into the building elevation design adding visual interest that promotes a sustainable approach through more durable maintenance-free building materials. Alongside a carefully selected color palette, roof accents over unit entries bring additional articulation and a sense of place to the buildings and homes within the community.

Fence Height Adjacent to Right of Way

City of Corcoran code indicates fence heights adjacent to a ROW cannot exceed 4' in height. The proposed Springs at Brockton Lane community is gated, and therefore requires a fence height that is adequate to provide security for the community. The desired fence height along the new dedicated ROW is 5'-0". This will be a decorative black aluminum picket fence that can meet all other fence opacity requirements.

CONCLUSION

Continental respectfully requests the City's consideration of the master plan and Springs at Brockton Lane development proposal with specifications as demonstrated in the accompanying information and exhibits. Continental strives to live by a specific culture pledge, "Better than anywhere else and better than we have ever done it before." Much like the City of Corcoran's Comprehensive Plan and NE Area District Plan and Design Guidelines, Continental's culture pledge is a demand for us to develop communities that strive to create the best quality construction, amenities, and quality of living for our residents. Continental looks to reflect the City of Corcoran's unique qualities in every aspect of the proposed master plan development and our Springs at Brockton Lane community.



PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

LOCATION MAP

DRAWN DATE: 10/18/2022
DRAWN BY: BDB



SHEET NUMBER

EX-A

CONCEPT DATA

COMMERCIAL PARCEL	1.80 ACRES+/-
HIGH DENSITY MULTI-FAMILY	17.11 ACRES+/- (300 UNITS)
LOW DENSITY SINGLE-FAMILY	26.88 ACRES+/- (49 LOTS)
ROW DEDICATION	2.33 ACRES +/-
WETLANDS	19.01 ACRES +/-
TOTAL	67.13 ACRES+/-

PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT

97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

MASTER PLAN DEVELOPMENT

DRAWN DATE: 10/18/2022
 DRAWN BY: BDB



SHEET NUMBER

EX-B



ELM LANE

99TH PLACE

CEDAR AVENUE

BELLWETHER SUBDIVISION

COMMERCIAL PARCEL

WETLAND (TYP.)

UNCONTROLLED RESIDENTIAL

LOW DENSITY SINGLE-FAMILY

WETLAND (TYP.)

HIGH DENSITY MULTI-FAMILY (SPRINGS AT BROCKTON LANE)

FUTURE COMMERCIAL BY OTHERS

MAMA G'S (EXISTING)

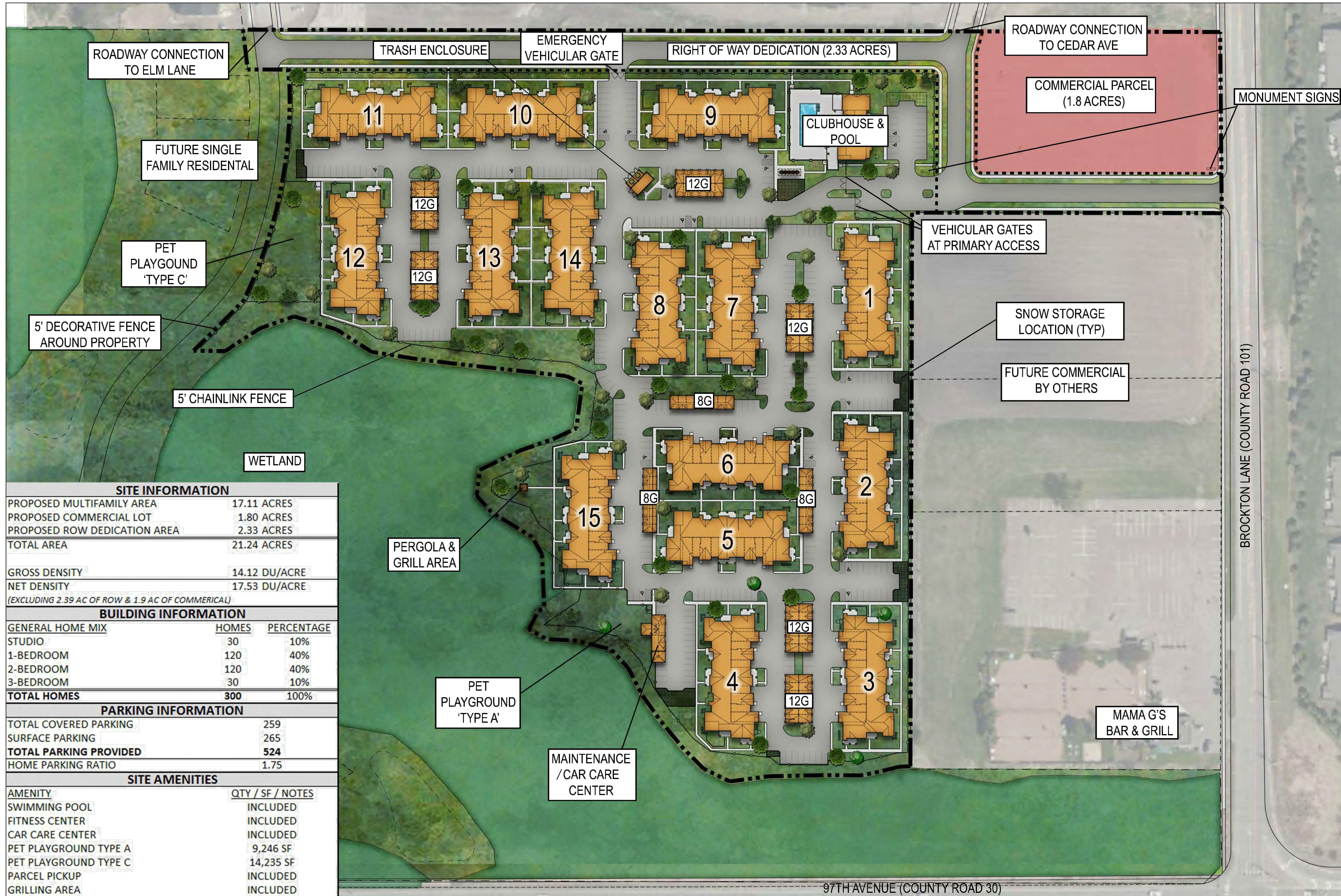
DELGANY CONDOMINIUM ASSOC.

BROCKTON LANE (COUNTY ROAD 101)

97TH AVENUE (COUNTY ROAD 30)

DETENTION (TYP.)

- 10,276 SF 0.236 AC
- 13,591 SF 0.312 AC
- 9,450 SF 0.217 AC
- 9,988 SF 0.229 AC
- 8,912 SF 0.205 AC
- 8,934 SF 0.203 AC
- 10,873 SF 0.250 AC
- 8,356 SF 0.192 AC
- 12,925 SF 0.297 AC
- 8,781 SF 0.202 AC
- 8,800 SF 0.202 AC
- 7,504 SF 0.172 AC
- 10,557 SF 0.242 AC
- 13,100 SF 0.300 AC
- 10,572 SF 0.243 AC
- 9,961 SF 0.228 AC
- 7,557 SF 0.174 AC
- 9,298 SF 0.214 AC
- 7,708 SF 0.177 AC
- 8,361 SF 0.192 AC
- 8,821 SF 0.203 AC
- 8,769 SF 0.201 AC
- 10,648 SF 0.244 AC
- 13,189 SF 0.302 AC
- 8,310 SF 0.191 AC
- 14,112 SF 0.324 AC
- 13,960 SF 0.320 AC
- 12,162 SF 0.279 AC
- 8,716 SF 0.200 AC
- 14,056 SF 0.323 AC
- 13,360 SF 0.307 AC
- 11,383 SF 0.261 AC
- 10,142 SF 0.233 AC
- 8,142 SF 0.187 AC
- 8,221 SF 0.189 AC
- 10,173 SF 0.247 AC
- 8,233 SF 0.203 AC
- 8,858 SF 0.203 AC
- 8,197 SF 0.211 AC
- 13,960 SF 0.320 AC
- 12,162 SF 0.279 AC
- 8,716 SF 0.200 AC
- 14,056 SF 0.323 AC
- 13,360 SF 0.307 AC
- 11,383 SF 0.261 AC
- 10,142 SF 0.233 AC
- 8,142 SF 0.187 AC
- 8,221 SF 0.189 AC
- 10,173 SF 0.247 AC
- 14,098 SF 0.323 AC
- 10,376 SF 0.246 AC
- 10,450 SF 0.240 AC



SITE INFORMATION

PROPOSED MULTIFAMILY AREA	17.11 ACRES
PROPOSED COMMERCIAL LOT	1.80 ACRES
PROPOSED ROW DEDICATION AREA	2.33 ACRES
TOTAL AREA	21.24 ACRES
GROSS DENSITY	14.12 DU/ACRE
NET DENSITY	17.53 DU/ACRE
<i>(EXCLUDING 2.39 AC OF ROW & 1.9 AC OF COMMERCIAL)</i>	

BUILDING INFORMATION

GENERAL HOME MIX	HOMES	PERCENTAGE
STUDIO	30	10%
1-BEDROOM	120	40%
2-BEDROOM	120	40%
3-BEDROOM	30	10%
TOTAL HOMES	300	100%

PARKING INFORMATION

TOTAL COVERED PARKING	259
SURFACE PARKING	265
TOTAL PARKING PROVIDED	524
HOME PARKING RATIO	1.75

SITE AMENITIES

AMENITY	QTY / SF / NOTES
SWIMMING POOL	INCLUDED
FITNESS CENTER	INCLUDED
CAR CARE CENTER	INCLUDED
PET PLAYGROUND TYPE A	9,246 SF
PET PLAYGROUND TYPE C	14,235 SF
PARCEL PICKUP	INCLUDED
GRILLING AREA	INCLUDED

PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**SPRINGS AT
BROCKTON LN
PROPOSED PLAN**

DRAWN DATE: 10/18/2022
DRAWN BY: BDB

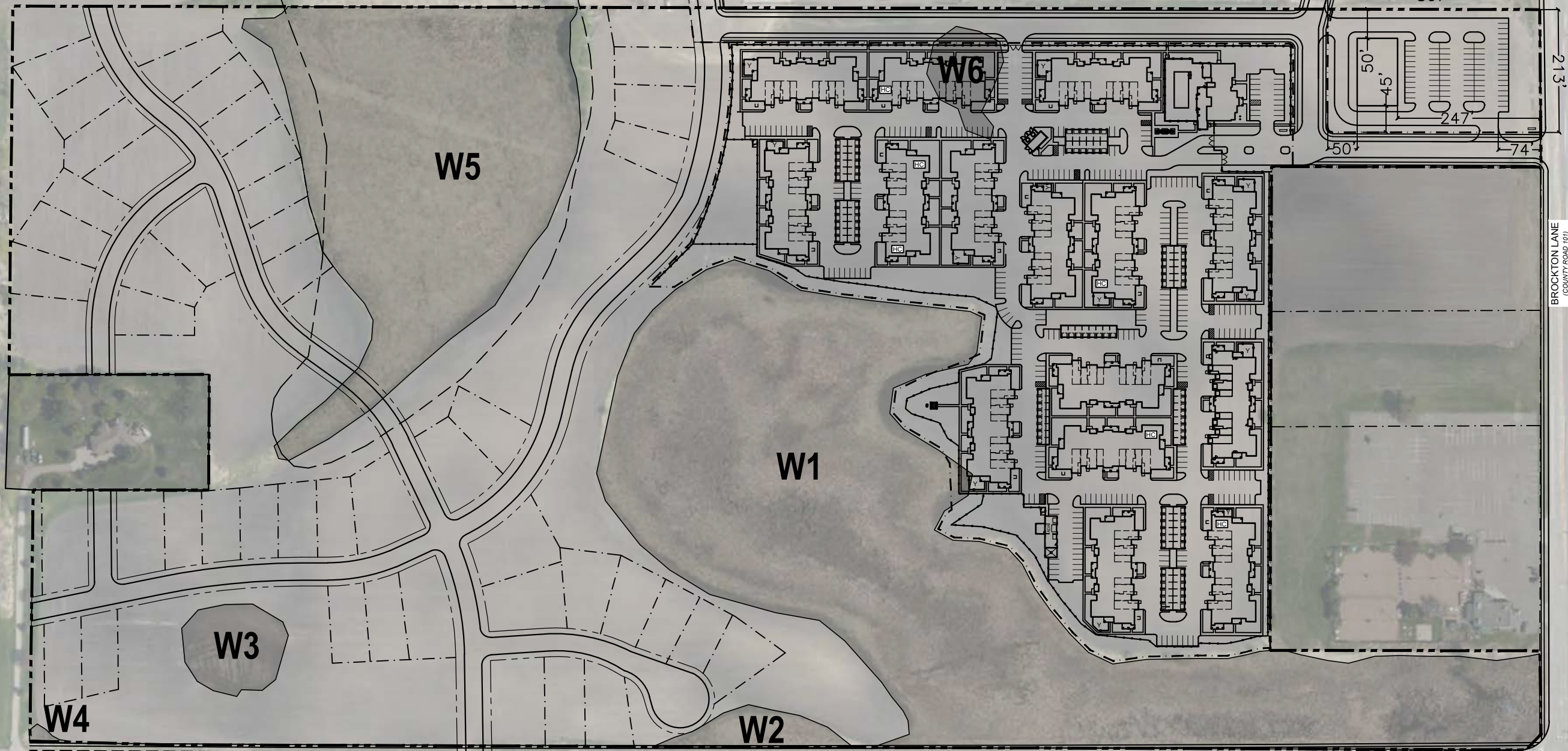
SHEET NUMBER

EX-C

Wednesday, November 2, 2022 3:05:42 PM

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LIMITS OF FEMA ZONE
A - AREA OF MINIMAL
FLOOD HAZARD



PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**EXISTING NATURAL
RESOURCE
INVENTORY**

DRAWN DATE: 10/18/2022
DRAWN BY: BDB



SHEET NUMBER

EX-D

PROJECT INFORMATION

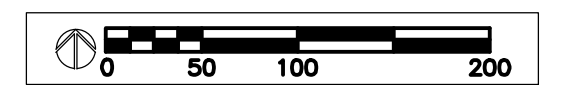
CITY OF CORCORAN PROPOSED DEVELOPMENT
 97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

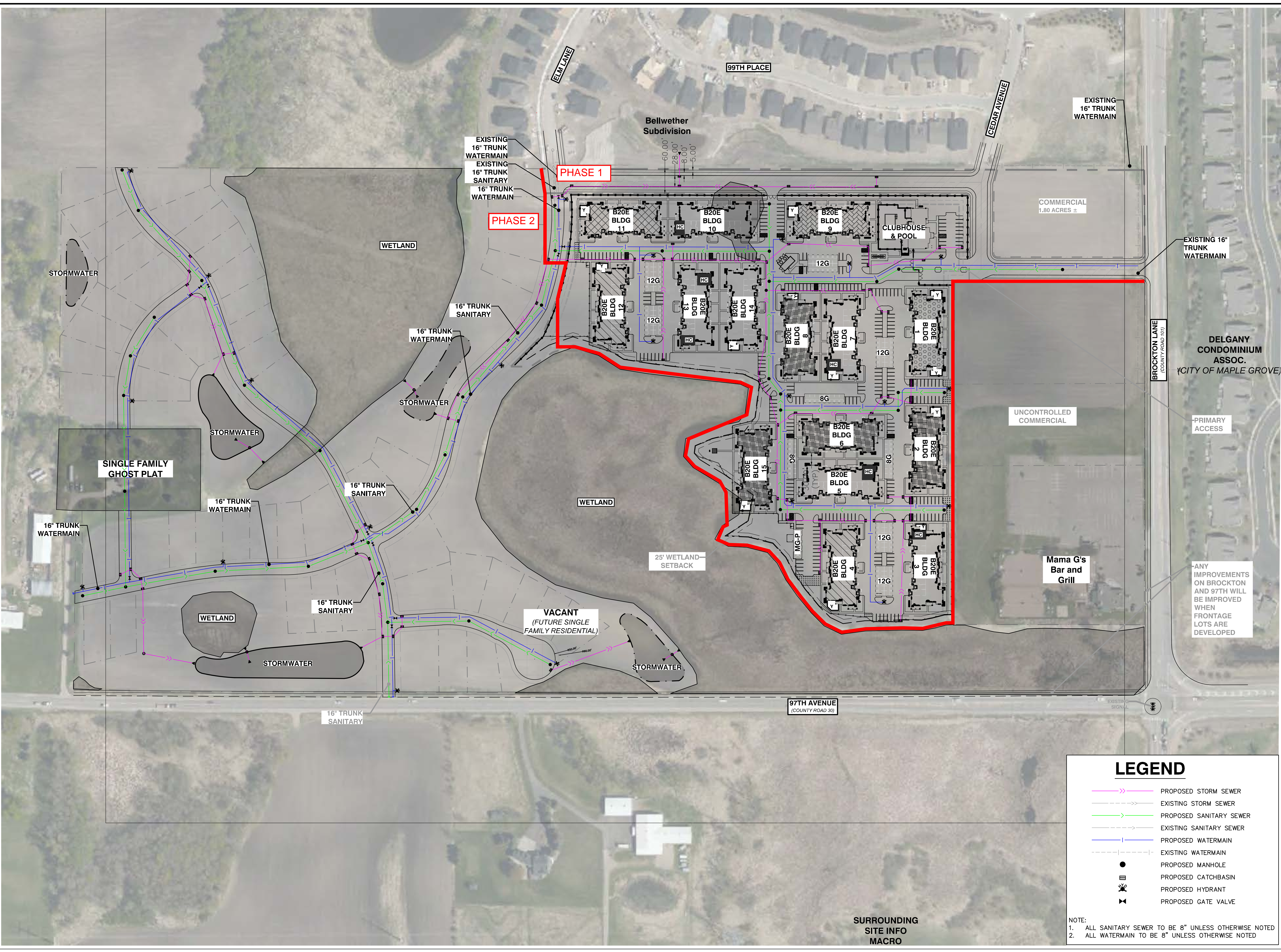
CONCEPT UTILITIES & STORMWATER MANAGEMENT PLAN

DRAWN DATE: 10/18/2022
 DRAWN BY: MSN



SHEET NUMBER

EX-E



LEGEND

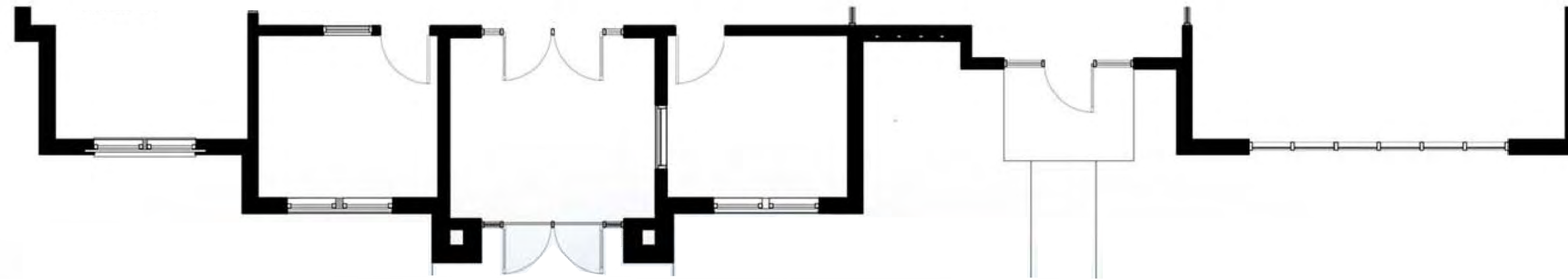
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- PROPOSED MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED HYDRANT
- PROPOSED GATE VALVE

NOTE:
 1. ALL SANITARY SEWER TO BE 8" UNLESS OTHERWISE NOTED
 2. ALL WATERMAIN TO BE 8" UNLESS OTHERWISE NOTED

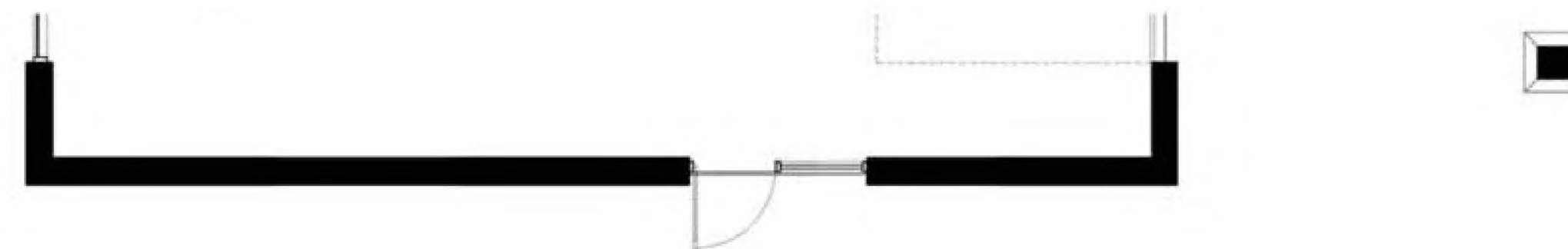
SURROUNDING SITE INFO
 MACRO



Front Elevation



Right Side Elevation



PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**CLUBHOUSE
ELEVATIONS**

DRAWN DATE: 10/18/2022
DRAWN BY: BDB

SHEET NUMBER

EX-F.1

PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**CLUBHOUSE
ELEVATIONS**

DRAWN DATE: 10/18/2022
DRAWN BY: BDB

SHEET NUMBER

EX-F.2



Rear Elevation

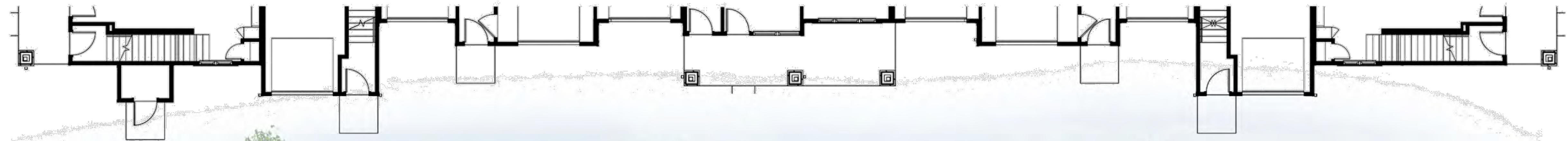


Left Side Elevation



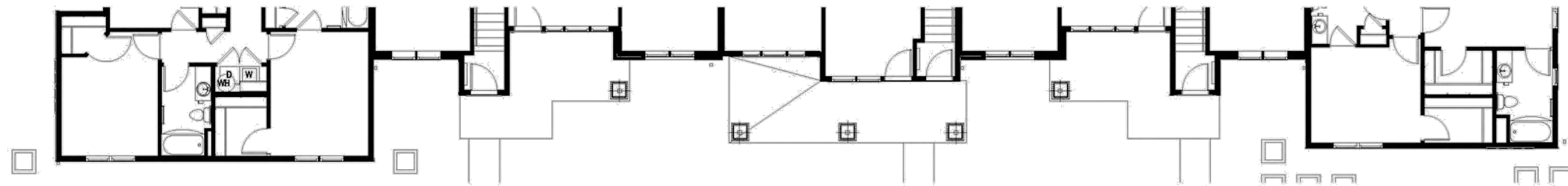
Front Elevation

F



Rear Elevation

R



PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN
CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**TYPE A
ELEVATIONS**

DRAWN DATE: 10/18/2022
DRAWN BY: BDB

SCALE = NTS

SHEET NUMBER

EX-F.3

PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**TYPE B
ELEVATIONS**

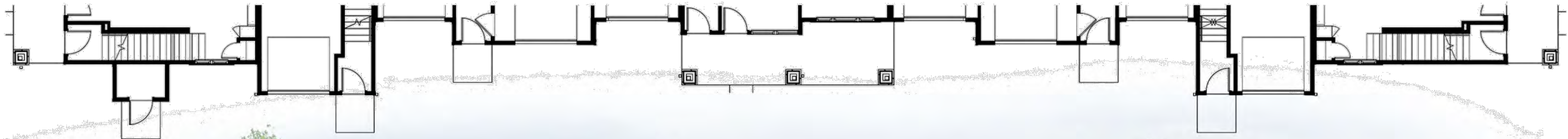
DRAWN DATE: 10/18/2022
DRAWN BY: BDB

SHEET NUMBER

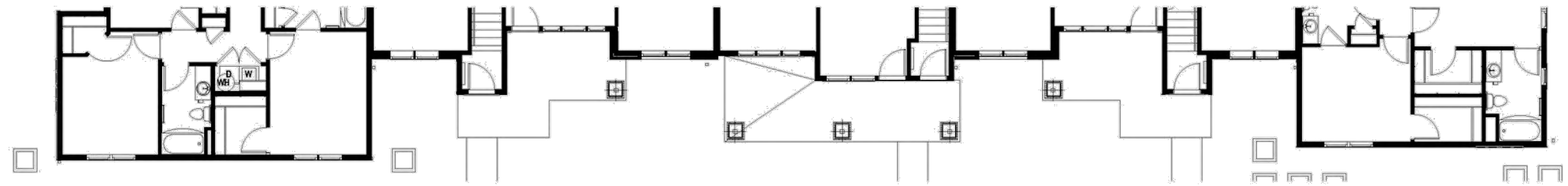
EX-F.4

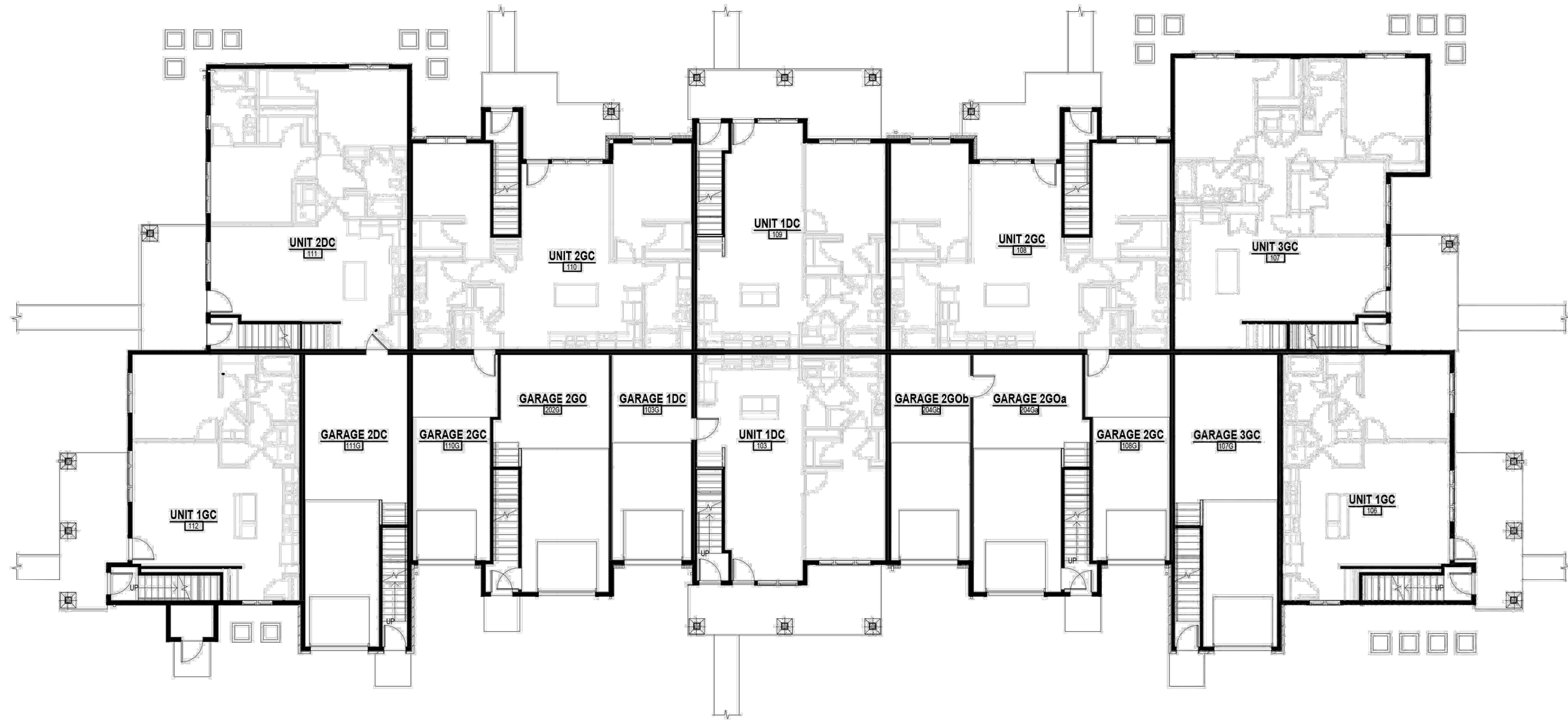


Front Elevation

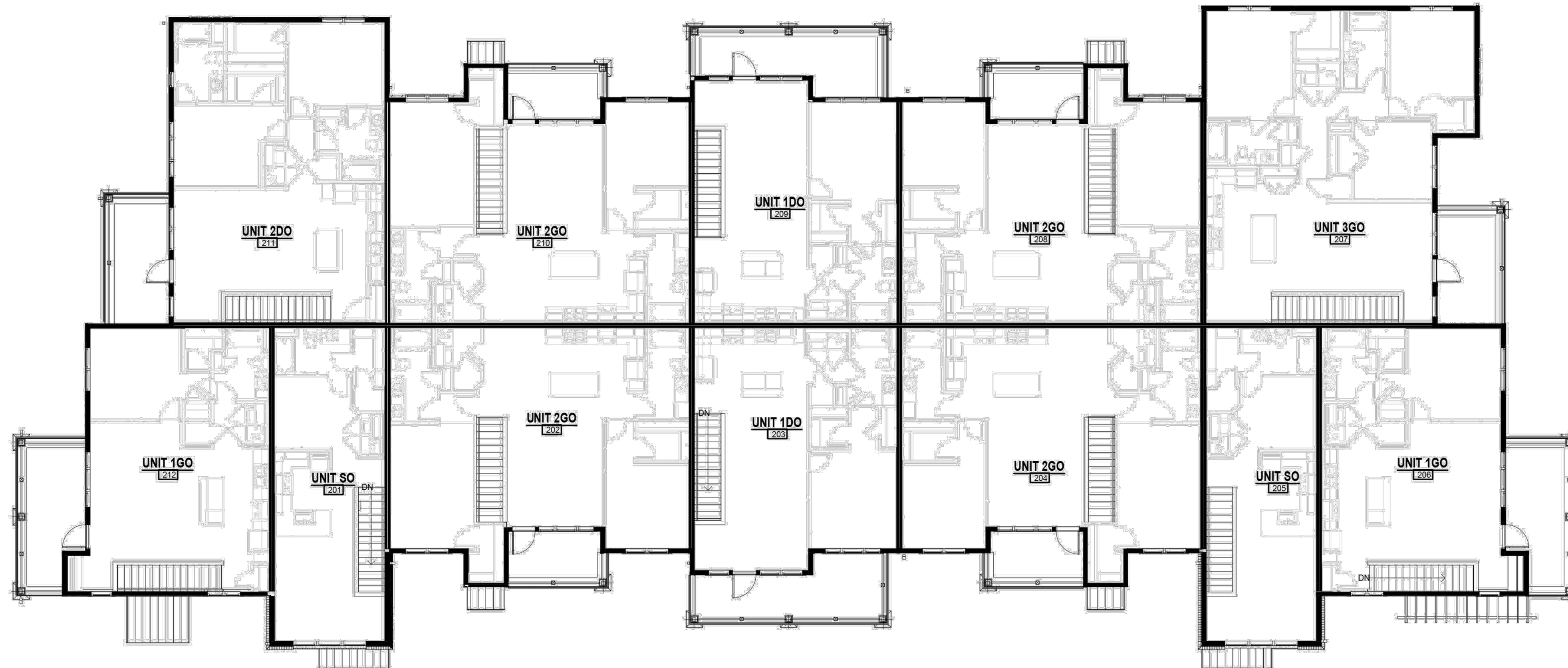


Rear Elevation





1ST FLOOR



2ND FLOOR

PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

**FLOOR
PLANS**

DRAWN DATE: 10/18/2022
DRAWN BY: BDB

SHEET NUMBER

EX-F.5

EXHIBIT G**Estimated Annual Spending by Residents**Springs at Brockton Lane (Corcoran, MN)
Hennepin County, MN

October 20, 2022



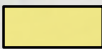


		Avg. Annual Expenditure
Apparel and Services	\$	2,995
Computer	\$	285
Entertainment & Recreation	\$	4,397
Financial	\$	3,965
Food	\$	13,696
Health	\$	755
Home	\$	25,152
Household Furnishings and Equipment	\$	1,938
Household Operations	\$	2,560
Insurance	\$	11,015
Transportation	\$	8,253
Travel	\$	2,779
Total Average Annual Expenditures per Household	\$	77,790
LESS "Homeowner Expenses"		
Mortgage Payment and Basics (11)	\$	13,962
Maintenance and Remodeling Services	\$	3,749
Maintenance and Remodeling Materials (12)	\$	751
Lawn and Garden (16)	\$	636
Subtotal	\$	19,098
Subtotal - Annual Expenditures per Renter Household Excluding Rent	\$	58,692
Average monthly rent at Springs at Brockton Lane	\$	1,879
Plus Average Annual Rent	\$	22,548
Total Annual Expenditures per Springs Household	\$	81,240
Total Apartment Homes in Springs at Brockton Lane		300
Total Households (95% occupancy)		285
Total Residents (avg. household size of 1.9)		542
Total Annual Expenditures by Springs Households	\$	23,200,000

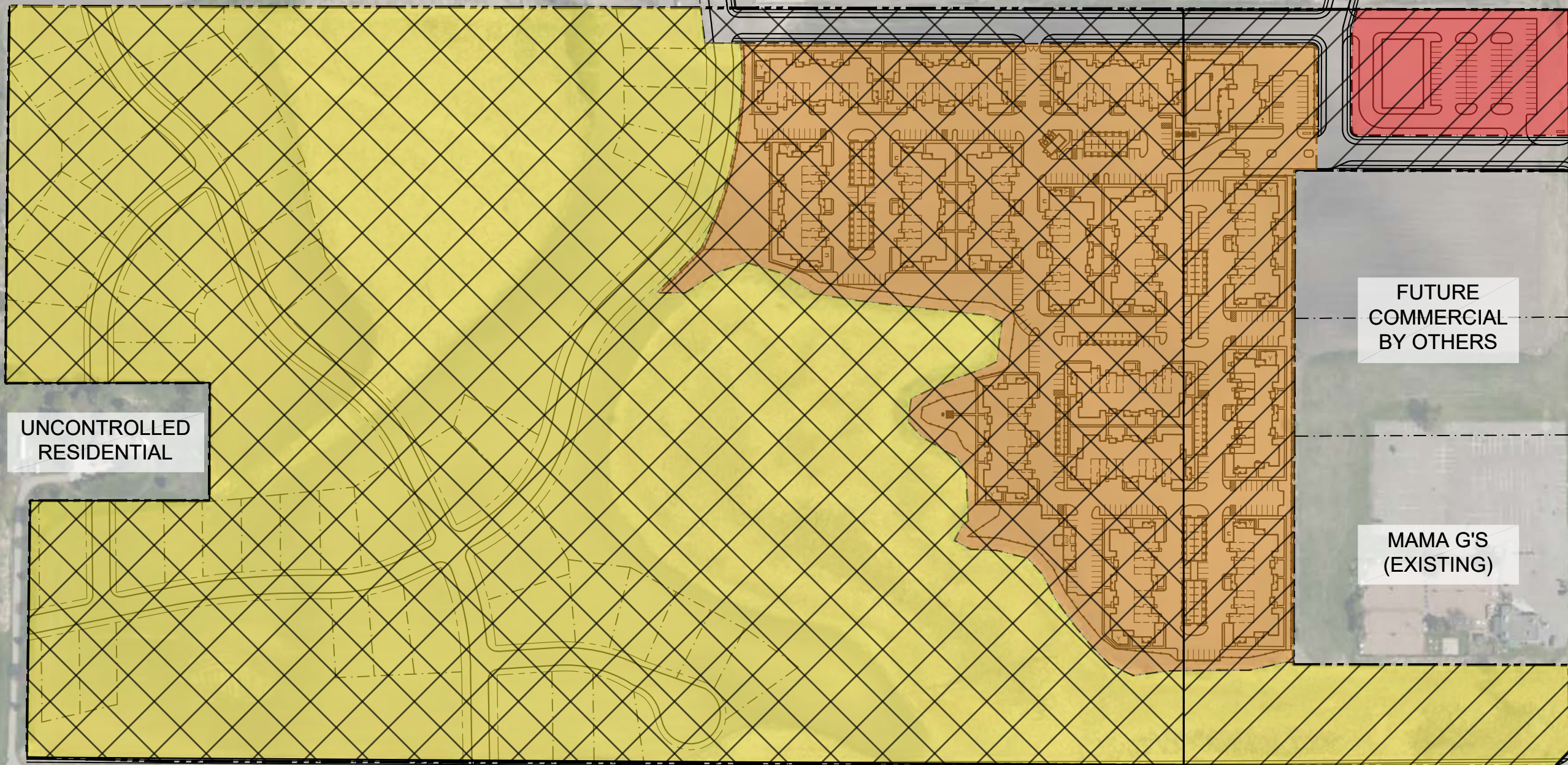
Source: Continental Properties analysis, ESRI 2022 "Retail Goods and Services Expenditures" report

Wednesday, November 2, 2022 3:27:15 PM

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LEGEND

-  EX. GMU ZONING & MIXED-USE LAND USE
-  EX. C-2 ZONING & COMMERCIAL LAND USE
-  PROPOSED RSF-3 ZONING & LOW DENSITY RESIDENTIAL LAND USE
-  RETAIN EX. GMU ZONING & PROPOSED HIGH DENSITY RESIDENTIAL LAND USE
-  RETAIN EX. C-2 ZONING & COMMERCIAL LAND USE



PROJECT INFORMATION

CITY OF CORCORAN PROPOSED DEVELOPMENT
97TH AVE N_BROCKTON LANE N_NWC | CORCORAN, MN

CONTINENTAL 592 FUND LLC

SHEET INFORMATION

LAND USE CHANGE & REZONE OVERVIEW

DRAWN DATE: 11/01/2022
DRAWN BY: JCT



SHEET NUMBER

EX-H

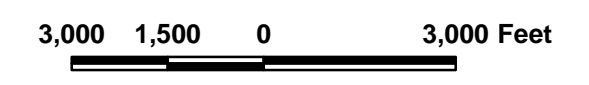
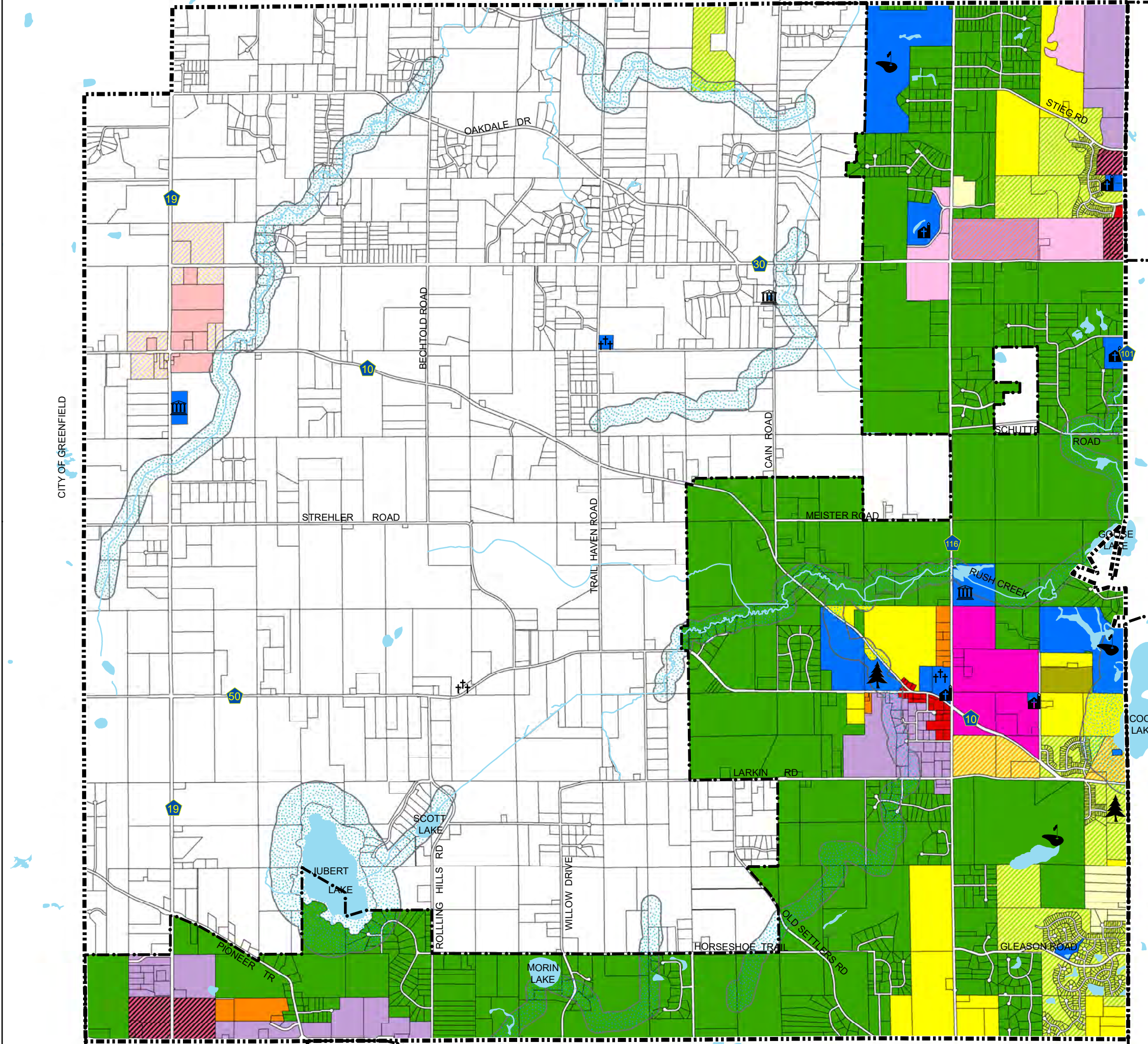


CITY OF CORCORAN

Official Zoning Map

Zoning Districts:

- UR Urban Reserve
- RR Rural Residential
- RSF-1 Single Family Residential 1
- RSF-2 Single Family Residential 2
- RSF-3 Single and Two Family Residential 3
- RMF-1 Medium Density Residential
- RMF-2 Mixed Residential
- RMF-3 High Density Residential
- MP Manufactured Home Park
- P-1 Public / Institutional
- TCR Transitional Rural Commercial
- CR Rural Commercial
- C-1 Neighborhood Commercial
- C-2 Community Commercial
- DMU Downtown Mixed Use
- GMU General Mixed Use
- BP Business District
- I-1 Light Industrial
- PUD Planned Unit Development
- †† Cemetery
- 🏛 Church
- 🏌 Golf Course
- 🏛 Government Building
- 🌲 Public Park
- 2040 Metropolitan Urban Service Area
- City Limit
- Open Water
- Shoreland Overlay District



Updated September 2020
Adopted June 2011



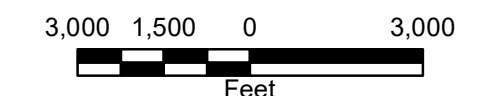
CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

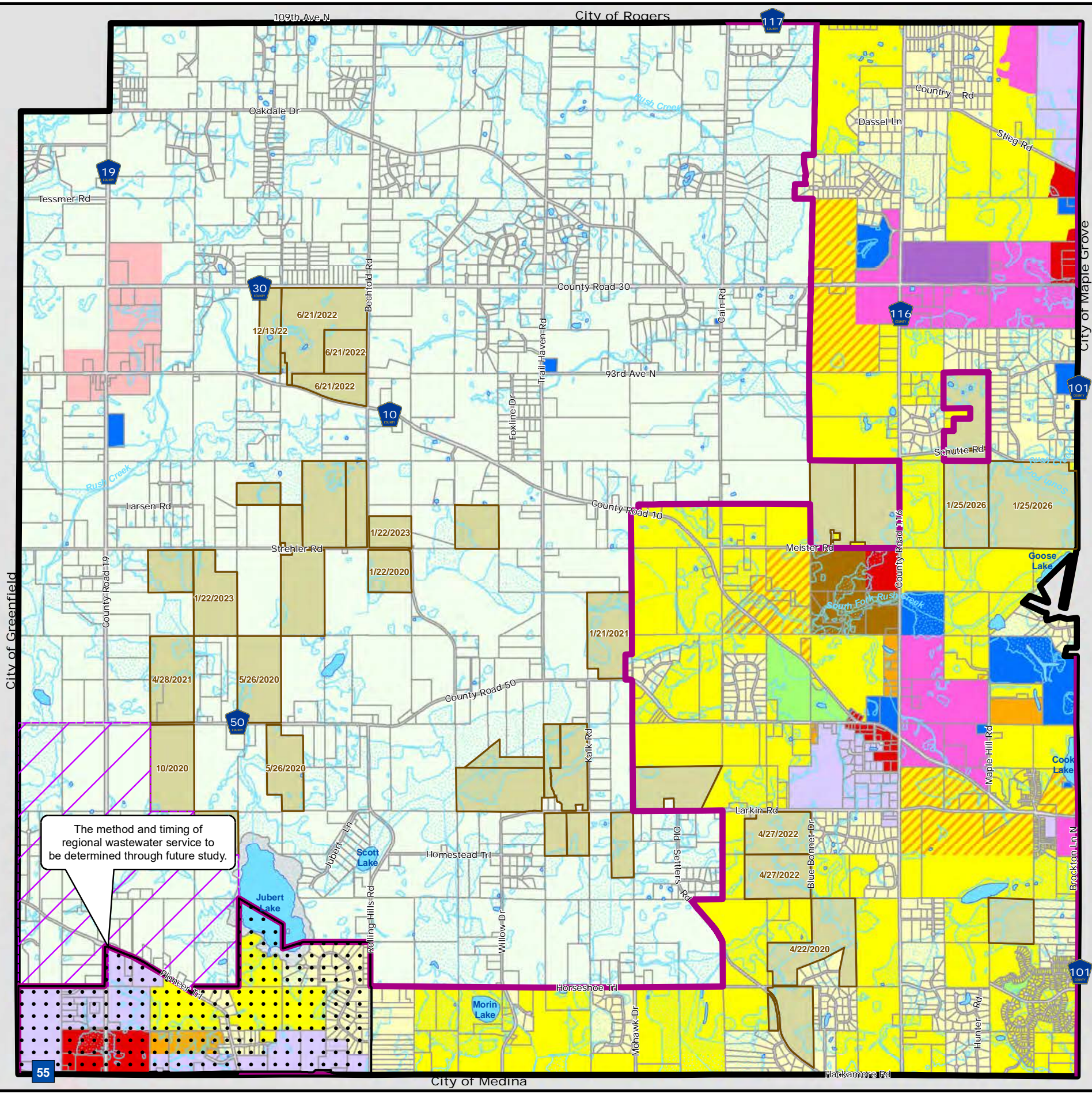
Map 2-1 2040 Future Land Use

- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Future Study Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:
Revised National Wetland Inventory (MN DNR, 2009-2014)



Path: L:\2294\100\2040CompPlan\2040 Future Land Use.mxd
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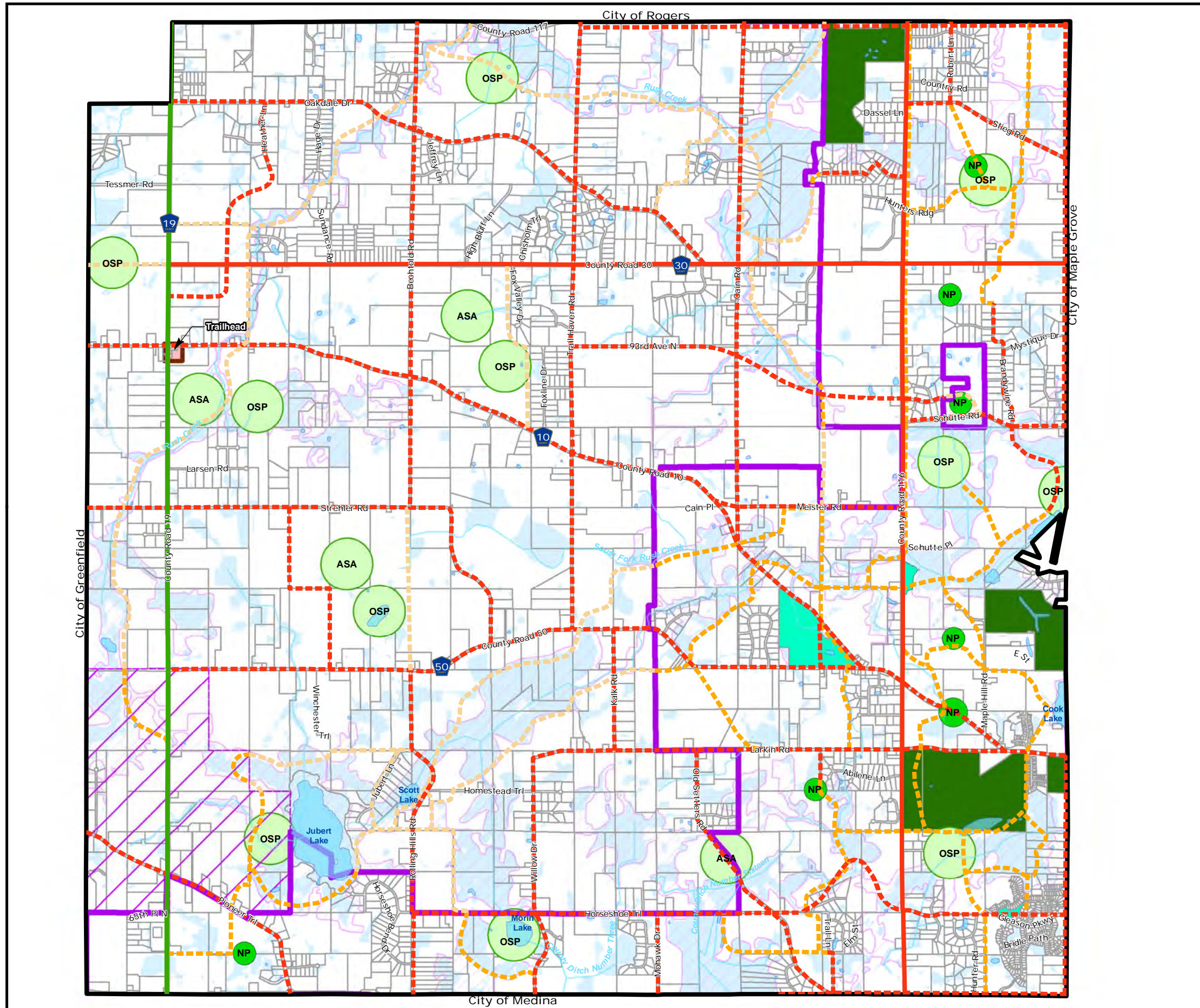
The method and timing of regional wastewater service to be determined through future study.



CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 5-1 Parks and Trails Plan

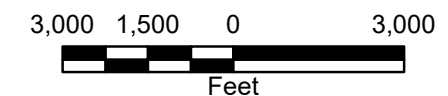


Existing Parks and Trails

- Regional Trail
- Existing On Road Trail
- City Park
- Trailhead
- Private Park/Open Space

Proposed Parks and Trails

- Proposed On Road Trail
- Proposed Off Road Trail
- Proposed Off Road Trail outside 2040 Development Area
- Neighborhood Park
- Community Park
- Greenway Corridor
- Municipal Boundaries
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands



Path: L:\2294\100\2040CompPlan\Parks and Trails Map.mxd
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CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

Natural Plant Communities

Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

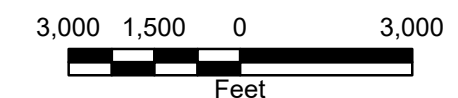
Uplands

- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field

- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source:
Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



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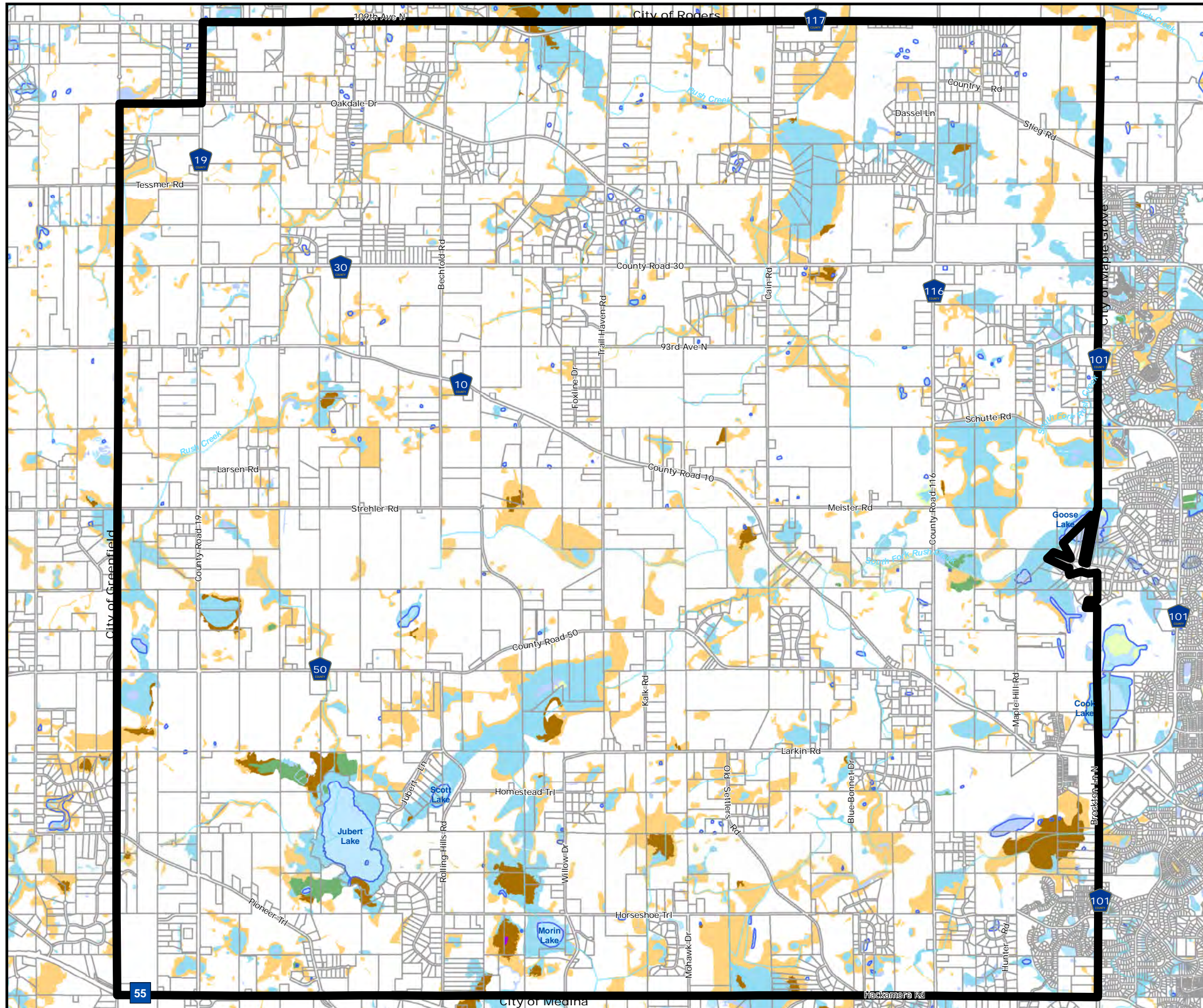
CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

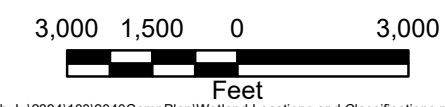
Map 1-11

Wetland Locations and Classifications

-  1 - Seasonally Flooded Basin or Flat
-  2 - Wet Meadow
-  3 - Shallow Marsh
-  4 - Deep Marsh
-  5 - Shallow Open Water
-  6 - Shrub Swamp
-  7 - Wooded Swamp
-  8 - Bogs
-  Municipal Boundary
-  Streams
-  Parcel Boundaries
-  Lake/Open Water



Source:
Revised National Wetland Inventory (Minnesota Department
of Natural Resources 2009-2014)



Path: L:\2294\100\2040CompPlan\Wetland Locations and Classifications.mxd
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CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

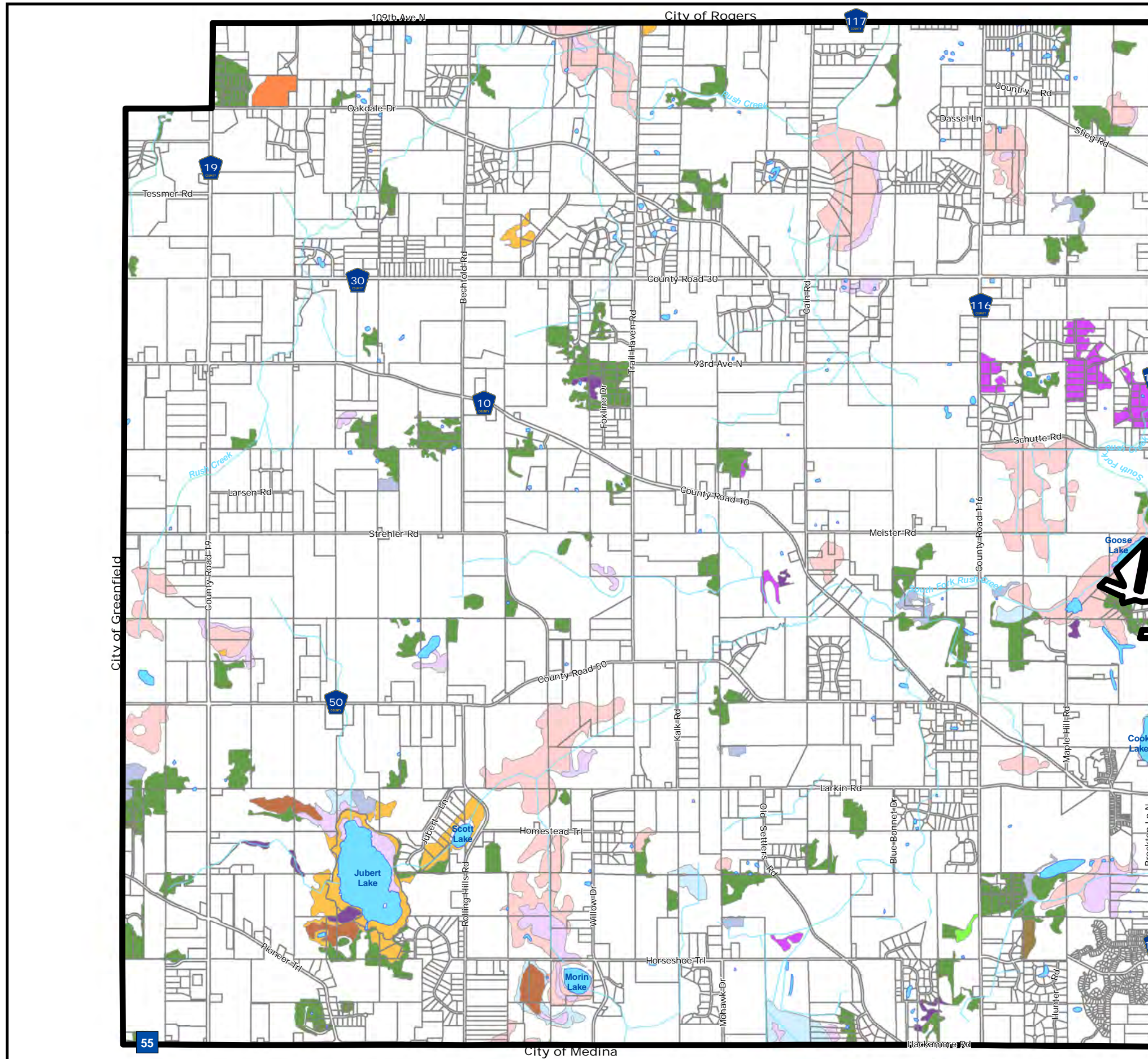
Map 1-12 Ecologically Significant Natural Areas

- Aspen Forest
- Cattail Marsh
- Lowland hardwood forest
- Maple-basswood forest
- Mesic Prairie
- Mixed emergent marsh
- Mixed hardwood swamp
- Oak Forest
- Oak woodland-brushland
- Tamarack swamp
- Wet meadow
- Willow Swamp
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Source:
Ecologically Significant Natural Areas (MN DNR MLCCS-2015, Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



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CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - general@corcoranmn.gov / Web Site - www.corcoranmn.gov

Memo

To: Planning (Planners Lindahl and Davis McKeown)
From: Lieutenant Burns
Date: November 2, 2022
Re: City File 22-070 Continental Properties
Sketch Plan

A Public Safety plan review meeting was held on November 2, 2022. In attendance were: Lieutenant Ryan Burns, Police Chief Gottschalk, Planner Davis McKeown, Fire Chief Feist, Fire Chief Leuer, Fire Chief Malewicki, Building Official Geske, and Construction Services Specialist Pritchard. The comments below are based on the preliminary review of the concept plans received by the City on October 21, 2022 and are intended as initial feedback as further plan review will need to be completed as construction plans becomes available.

1. More information needs to be provided to confirm accessibility of the site for emergency vehicles.
 - Turn radius exhibit throughout the high-density site.
 - Dimensions need to be confirmed.
 - Dead-ends of 150' or more will require a turnaround that meets City design specifications.
 - There is concern the detached garages will not allow for enough space for emergency vehicles.
 - Emergency vehicle gate must have a minimum opening width of 20' and must accommodate turn radius.
2. Water service needs to be engineered for domestic uses and fire suppression
3. There are traffic concerns with the proposed public roadway. The proposed double 90-degree angles will require stop signs on the east of the development and will be difficult for emergency vehicles (as well as general traffic) to navigate. This is a particular concern with the anticipated commercial development along County Road 101 and this roadway will be relied upon by residents of Bellwether and other western developments to access these services.
4. Fire hydrant locations must be approved by the Fire Chief, Brad Feist (City of Rogers).

5. Snow storage areas must be designated.
6. The southern portion of the development does not have enough emergency vehicle access points as proposed.

To: Kevin Mattson, PE, Public Works
Director

From: Kent Torve, PE City Engineer
Steve Hegland, PE

Project: Continental Properties

Date: November 16, 2022

Exhibits:

This Memorandum is based on a review of the following documents:

1. Concept Plan by Pioneer Engineering Exhibits A-E Dated 10/18/22

Comments:General:

1. Comments provided are based on the concept plan schematic provided. Additional comments should be anticipated on future submittals on the details of the development.
2. In addition to engineering related comments, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran.
3. The development plan as shown is anticipated to require environmental review and that process includes study of infrastructure components typical of a City Feasibility Study for developments.
4. The proposed site plan appears to impact several wetlands. Applicant shall be responsible for obtaining all WCA and other environmental permits for the project.

Platting:

1. Plans shall show all drainage and utility easements and meet all platting requirements per the City Code. Drainage and utility easements shall be provided as standard per City requirements.
2. Easements should be provided over all infrastructure used for the conveyance and treatment of stormwater.
3. Easements should be provided over any/all public infrastructure if applicable.
4. Any existing easements should be provided to the City for review. Easement vacation requires a separate City process.
5. Concept plans show a significant number of utilities which run through Phase 1 of the project. These utilities shall be reviewed with the city to determine if they will be public or private. If they are public, easements and encroachment agreements for the utilities will be necessary.
6. Hennepin County will make determinations on the necessary ROW dedications along the County Roads.

Transportation

1. The development is proposing two access locations with the southerly access from County Road 30 and the easterly access from County Road 101. These access locations are controlled by Hennepin County and the final locations will be subject to their review and approval.
 - o At the time of the NE District Plan development, Hennepin County was consulted on the access spacing. The County Road 30 spacing as proposed in the concept plan is approximately 1/3 of a mile from County Road 101 which is generally similar to the NE Plan.
 - o The eastern access from County Road 101 is shown north further than was previously identified on the NE District plan. The County will need to be consulted for final approval of this access location.
2. The layout of the main entrance road from County Road 101 is not preferred as the public street stops at the entrance to the private community and turns north leading to a tee intersection. This requires cars not entering the Phase 1 apartments to take two immediate turns vs being able to drive through. Engineering would prefer one continuous roadway for the entrance.
3. The stub road location to the west should be ghost platted and reviewed to ensure that it doesn't create too small of lots to the west. That area is designated business park and the road layout may need to be north further to provide for larger lots along County Road 30.
4. The proposed apartment complex is proposing gated entrances.
5. Turn Lanes are anticipated to be necessary into the site at both entrances from the County Road System. Those projects are typically City constructed improvements which are financed by the development. A feasibility study will be necessary for the development to determine traffic impacts and necessary improvements.
6. At the time of the environmental review, it is anticipated that a traffic study will be necessary for this area to understand the direct impacts that this development has on the transportation system.

Stormwater

General

1. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
2. Some floodplains were defined in this area with the adjacent Bellwether Development. These shall be incorporated into the developments stormwater management plan.
3. Preparation of an erosion control plan of and compliance with an NPDES SWPPP shall be required for construction.
4. The City's Stormwater Guidelines shall be used for stormwater systems and modeling.

5. The WMO typically requires that the model P8 or a similar calculation to demonstrate that the site meets the total phosphorous and total suspended solids reduction standards for all treatment practices.
6. The City has existing model and established water levels from the Bellwether development that will be provided to Developer. The information within these stormwater models shall be incorporated into the development stormwater management plan.

Drainage

7. The proposed phase 1 development appears to be highly impervious and will require significant stormwater management. The stormwater for this area is shown to be routed to one small pond prior to the wetland complex. It is anticipated that additional stormwater treatment capacity will be necessary to provide this treatment which may impact the development footprint.
8. The majority of the site drains into a central wetland.
9. A historical tile may enter the site from south of CR30 and will need to be further investigated.

WMO

10. If above ground filtration is utilized to meet WMO requirements, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used.
11. If below ground systems are proposed, pretreatment with multi-cell systems are required and the proprietary systems shall be reviewed and approved by City.

Water

1. The City is currently obtaining water from the City of Maple Grove. Approval from the City of Maple Grove is necessary prior to authorizing connection to their distribution system. The City of Corcoran is bidding a water treatment system for NE Corcoran which may be available to the development if the City elects to approve of the construction of the system.
2. Looping of watermains within the Phase 1 area shall be further reviewed at time of preliminary plat but additional looping beyond what is shown should be anticipated.
3. Water modeling would be executed at developers cost to analyze pressures and fire flows during the feasibility study and environmental review process
4. The layout of the trunk watermain system shall be reviewed at the time of the feasibility study. The applicant is showing the extension of the trunk water system through the development which will be a requirement but the exact sizing and location of these connections will be further reviewed and coordinated through the entitlement process.

Sewer

1. Sanitary service is available to the north of the development from the adjacent Bellwether Development, as shown on the concept plan.
2. The concept plan shows a 16" trunk sanitary main extended to the southern property line which generally matches the City Comprehensive Plan.

3. Connections to adjacent properties to the SE shall be required per City policy.

End of Comments

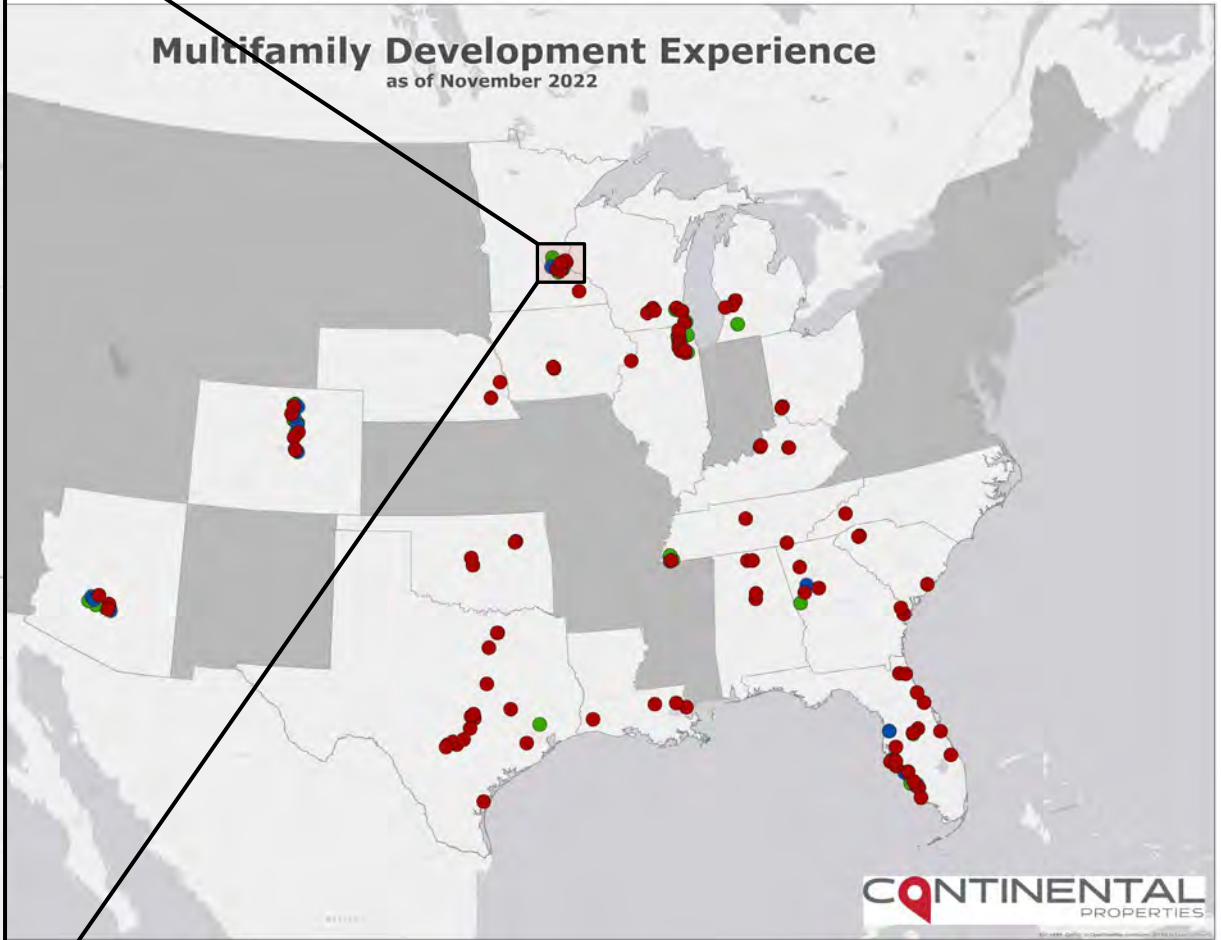
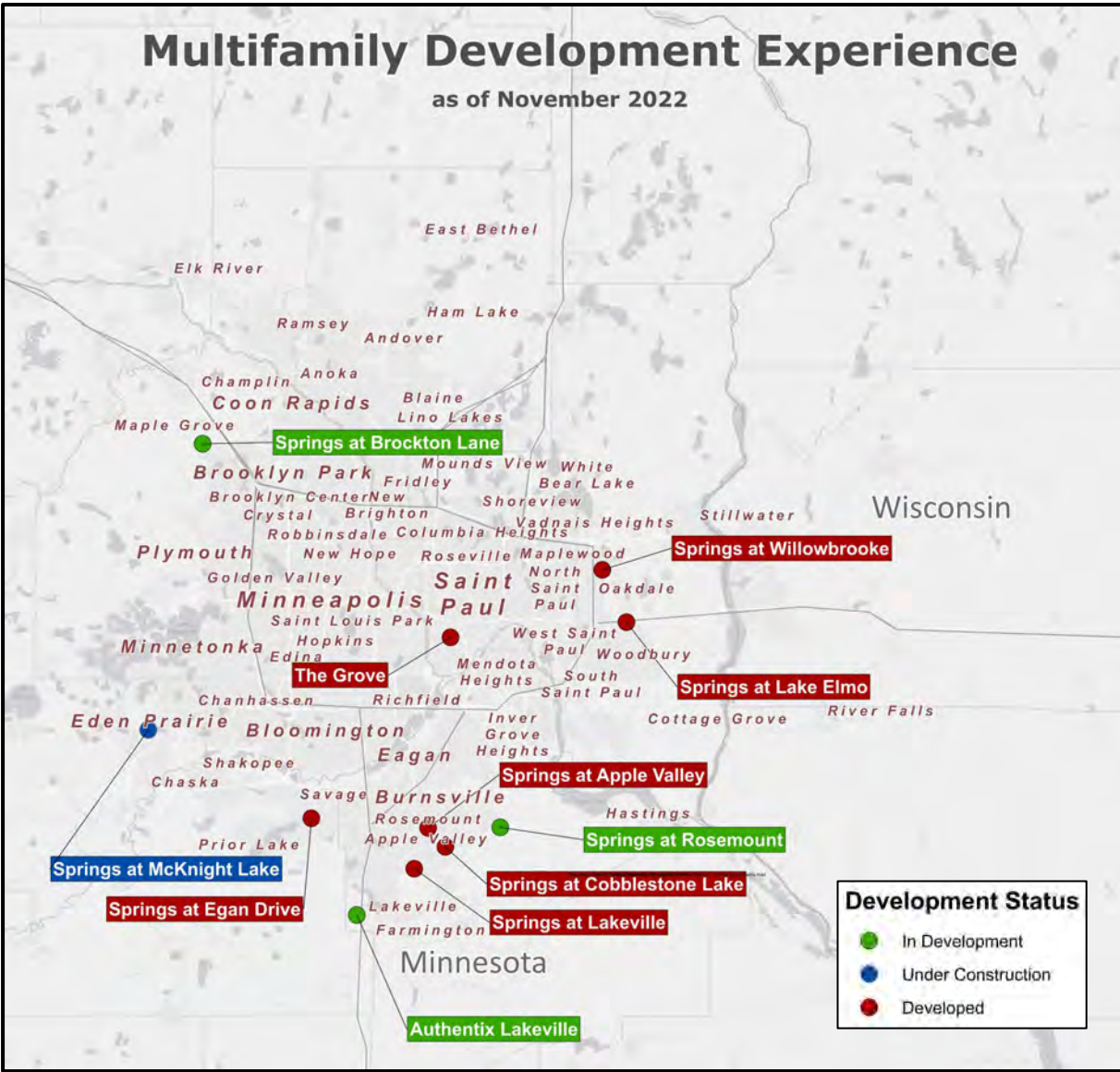


**EBERT/MCCORMICK PROPERTY MASTER PLAN
& SPRINGS AT BROCKTON LANE**
Continental 592 Fund LLC



Continental's Experience

- National multifamily, hotel & retail developer.
- As of 2022 has developed more than 32,000 apartment homes in 19 states.
- 95 completed communities, with 29 more in our pipeline.
- Projects are conventionally financed with private equity partners.
- Develops, owns and manages all apartment communities.



Market Fundamentals

Strong Demographics

- Well-educated
- High incomes
- High share of white-collar workforce

Occupancies

- Steady occupancy within market – 96.4% matches three-year historical average
- Demand to keep pace with supply

Location

Connectivity

- **Proximity to I-94** provides access to employment nodes downtown and in western suburbs.
- **Future 610 Offramp** (MNDOT to build final expansion of highway 610 with realignment to 97th Avenue approximately 1 mile east of the site)

Path of Growth

- **Fast-growing City**
- **New Housing** (*Pulte's Bellwether by Del Webb, Lennar's Laurel Creek, etc.*)
- **Expanding Roadway Infrastructure**

Visibility

- **Visibility from two main thoroughfares;** Brockton Lane (County Rd 101) & 97th Avenue (County Rd 30)

School Rankings

- **Fernbrook Elementary** (91st Percentile)
- **Maple Grove Middle School** (76th Percentile)
- **Maple Grove Senior High School** (90th Percentile)

Retail Trade Area

- Maple Grove trade area has approximately 2.2 million SF of retail
- Considered to be one of the premier retail trade areas in the market

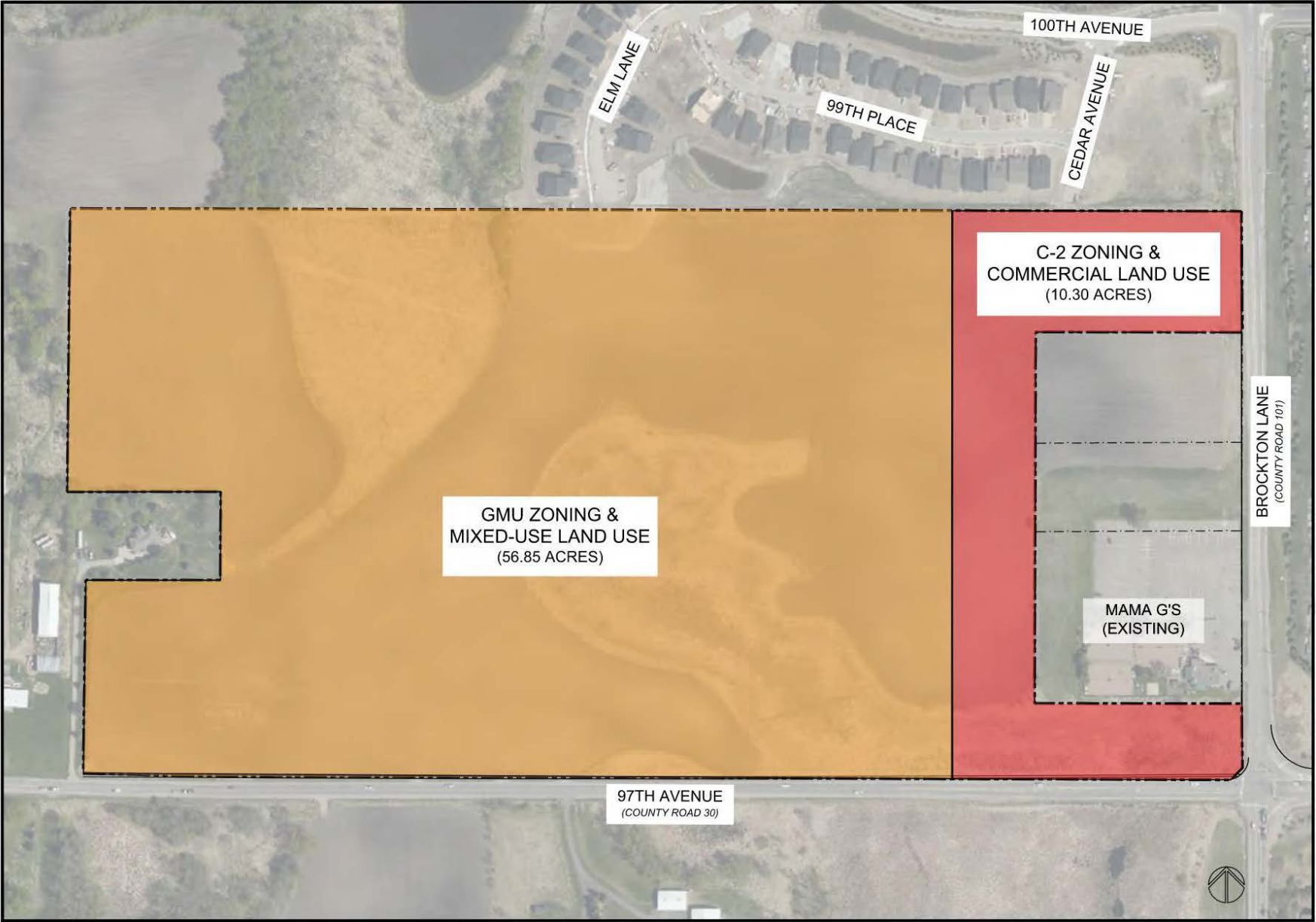
CONCEPT DATA

COMMERCIAL PARCEL	1.80 ACRES+/-	
HIGH DENSITY MULTI-FAMILY	17.11 ACRES+/-	(300 UNITS)
LOW DENSITY SINGLE-FAMILY	26.88 ACRES+/-	(49 LOTS)
ROW DEDICATION	2.33 ACRES +/-	
WETLANDS	19.01 ACRES +/-	
TOTAL	67.13 ACRES+/-	

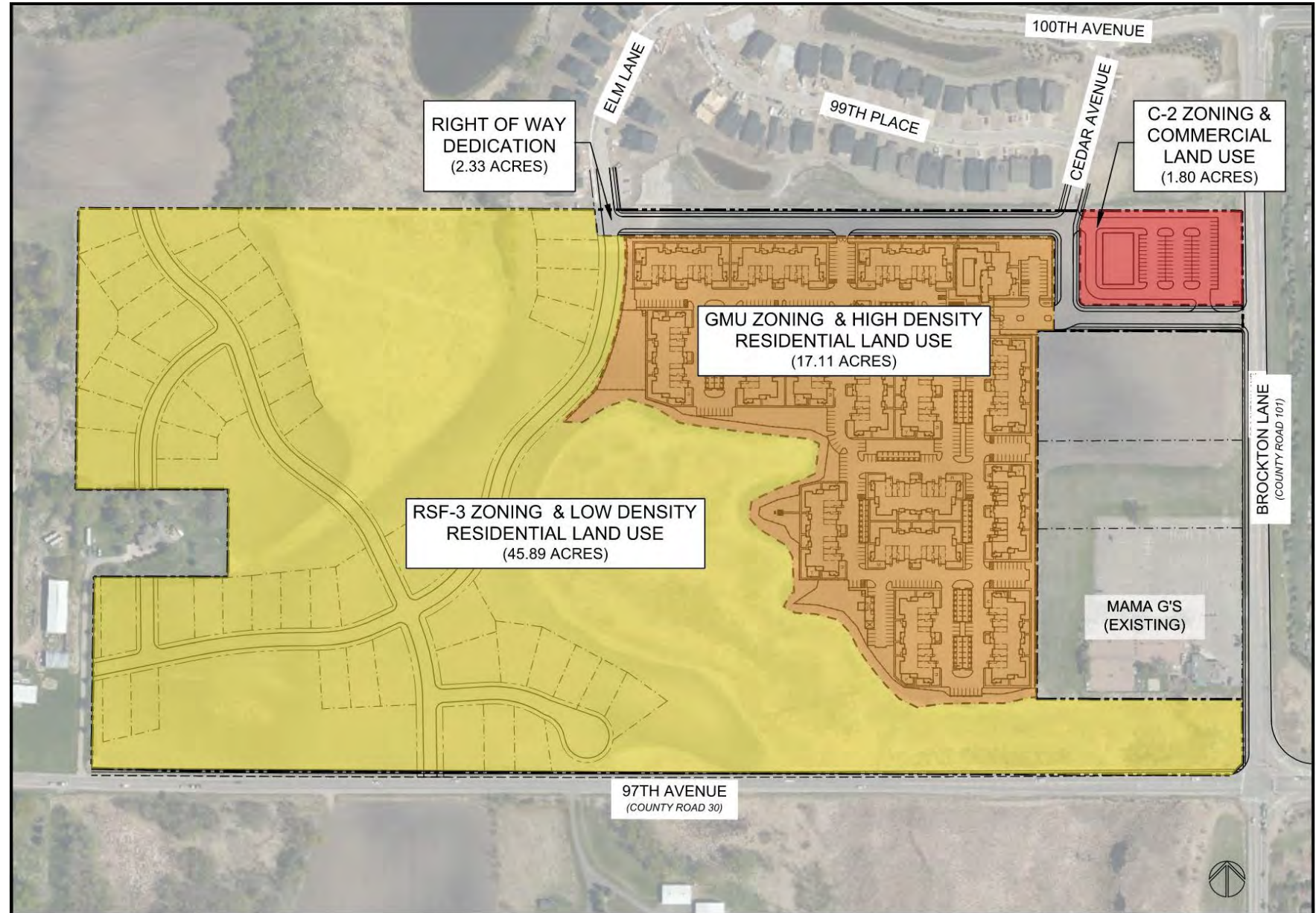


Ebert/McCormick Property Master Plan

Current Zoning & Land Use

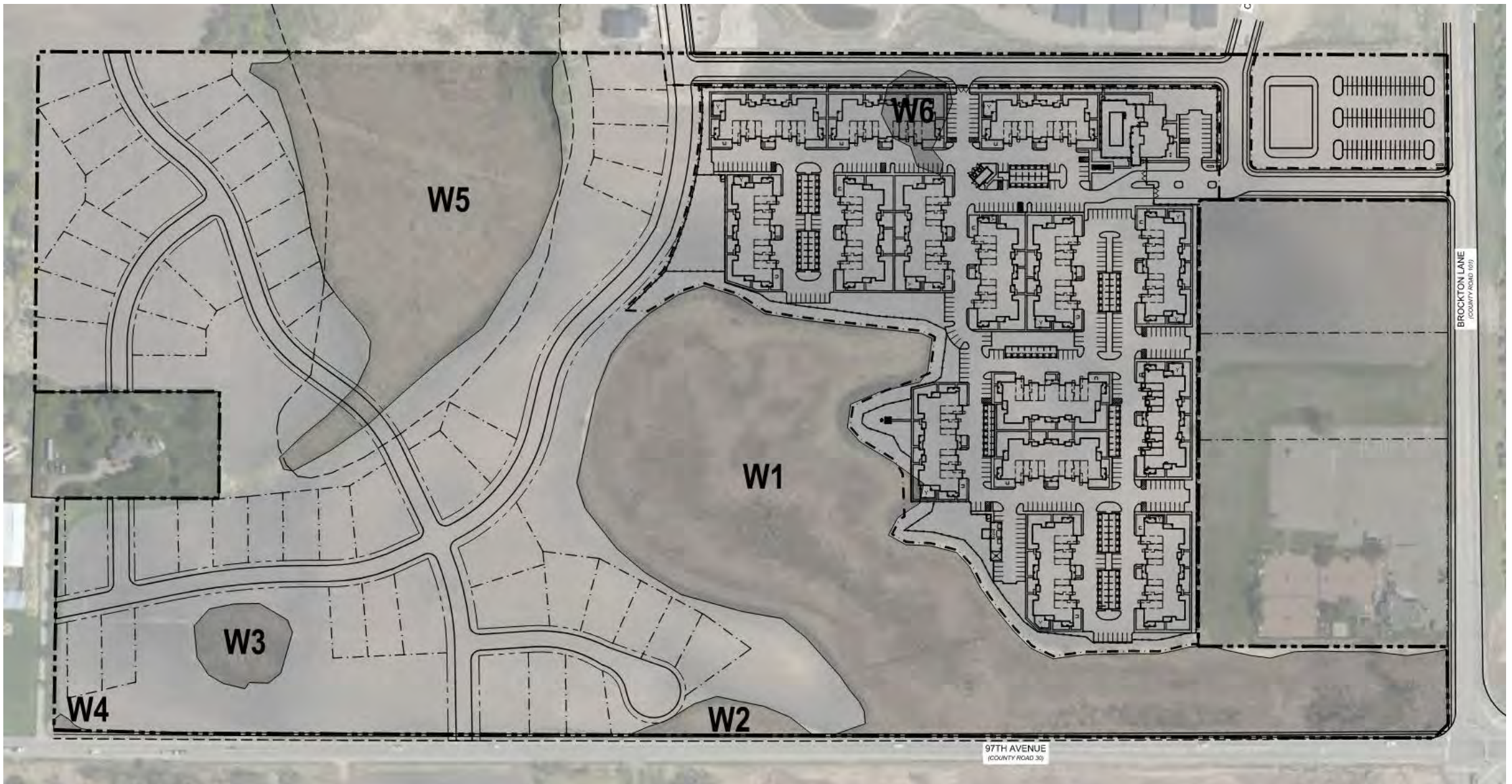


Proposed Zoning & Land Use



Single Family Phase

- Seller looking for an experienced single-family developer to pursue.
- Lot sizes 7,500 sf to ~14,400 sf (~0.17ac to ~0.33ac)
 - Smaller SF lot area makes efficient use of City's land supply.
 - Able to protect and preserve natural resources (existing wetlands).
 - Provides adequate space for new local roadway network.
- Transition from low-density subdivision to the north and high-density housing to the east.



Existing Wetlands

SPRINGS AT BROCKTON LANE





Springs Brand

- Market Rate
- High quality, 2-story garden townhome-style housing
- Direct-entry homes & a community feel
- Continental owns and manages our communities

Anticipated Resident Profile

Rent Range:

Overall: \$1,293 - \$2,233/month (Avg. \$1,802 or \$1.77 psf)

- Studio: \$1,293/month
- One-bed: \$1,498 - \$1,683/month
- Two-bed: \$1,843 - \$2,128/month
- Three-bed: \$2,233 - \$2,438/month

Community population:

- Approximately 637 total residents
- 584 adults (1.95/home)
- 53 school-aged kids (9%)
- 40% of residents have pets



Estimated Annual Spending by Residents

Springs at Brockton Lane (Corcoran, MN)

Hennepin County, MN

October 20, 2022

	Avg. Annual Expenditure
Apparel and Services	\$ 2,995
Computer	\$ 285
Entertainment & Recreation	\$ 4,397
Financial	\$ 3,965
Food	\$ 13,696
Health	\$ 755
Home	\$ 25,152
Household Furnishings and Equipment	\$ 1,938
Household Operations	\$ 2,560
Insurance	\$ 11,015
Transportation	\$ 8,253
Travel	\$ 2,779
Total Average Annual Expenditures per Household	\$ 77,790

LESS "Homeowner Expenses"	
Mortgage Payment and Basics (11)	\$ 13,962
Maintenance and Remodeling Services	\$ 3,749
Maintenance and Remodeling Materials (12)	\$ 751
Lawn and Garden (16)	\$ 636
Subtotal	\$ 19,098

Subtotal - Annual Expenditures per Renter Household Excluding Rent **\$ 58,692**

Average monthly rent at Springs at Brockton Lane **\$ 1,879**
 Plus Average Annual Rent **\$ 22,548**

Total Annual Expenditures per Springs Household **\$ 81,240**

Total Apartment Homes in Springs at Brockton Lane **300**
Total Households (95% occupancy) **285**
Total Residents (avg. household size of 1.9) **542**

Total Annual Expenditures by Springs Households **\$ 23,200,000**

Property Management

Top Tier Property Management Team

- **Award Winning Teams**
 - Continental Properties – #39 of top 100 management companies in nation
 - (6) properties in top 1% of +120,000 communities per J Turner
 - (18) communities in ApartmentRatings.com top rated list (5 in WI/IL)
- **Onsite Team**
 - 24-hour maintenance Staff
 - Full-time Leasing Agents and Property Managers
 - 30-day Pledge – if residents are not satisfied, option for lease release
- **Screening Criteria:**
 - Credit Check, Full Background Check, full referral check
 - Income (Monthly income must EXCEED 3x rent to qualify)



Our Pledge To You

WE CHOOSE TO DELIVER GREAT CUSTOMER SERVICE AND WE WILL LISTEN WHEN YOU FEEL THAT WE'VE MISSED THE MARK. WE EXPECT YOU TO HOLD US TO THIS PLEDGE.

- We will be proactive to anticipate your needs and exceed your expectations
- We need your feedback (positive and negative) and promise to always listen
- We will get to know you as an individual and will treat you with respect
- We will earn your trust, and work hard to keep it
- If we do not meet your expectations within 30 days of your move to our community, we will release you from your lease*

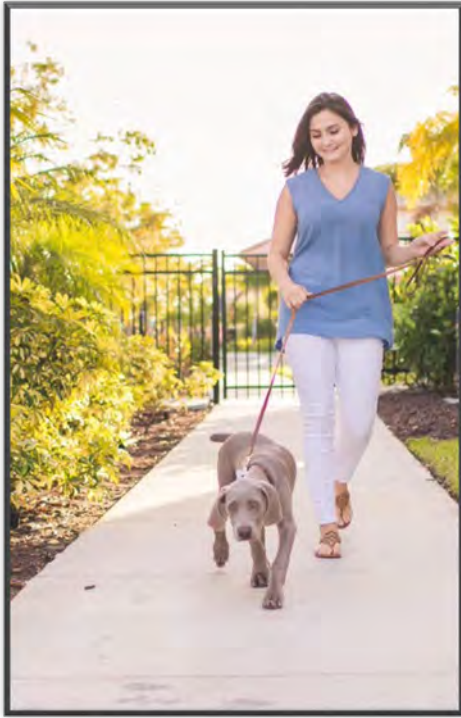
* Any issues should be reported to your property team immediately, and we will do everything in our power to rectify the situation. If for any reason you still choose to leave, written notice will be required and we request that you share an explanation with the Property Manager so we can work to avoid the same situations in the future. This process must be completed, and you must vacate the premises and return your keys before the close of business on the one month anniversary of your move-in date. All final charges will be assessed per standard policy, and your deposit (up to the standard unit amount) will be surrendered. For more information, please contact your property team.

Community Amenities



Clubhouse

- Resort Style Pool
- Outdoor Patio & Grill Area
- Click Café with Wifi Throughout
- Demonstration style kitchen
- 24 Hour Fitness Center

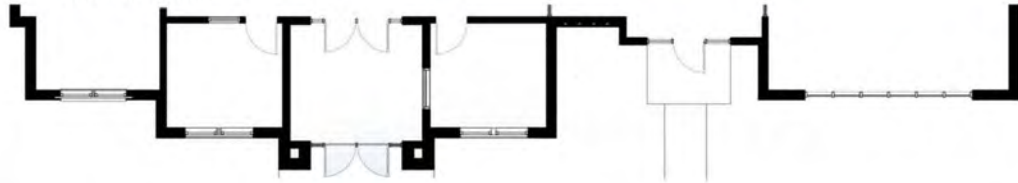


Community Amenities

- Pet Playgrounds with Agility Equipment
- Car Care Center provides car wash station, dog wash station, and maintenance storage
- Outdoor Seating Area



Front Elevation



Left Side Elevation



Right Side Elevation



Rear Elevation

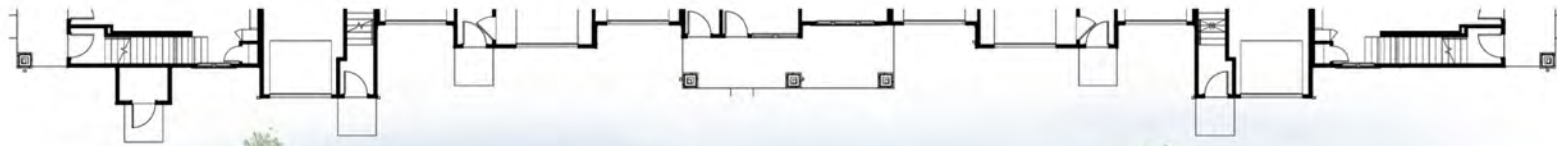


Clubhouse Elevations



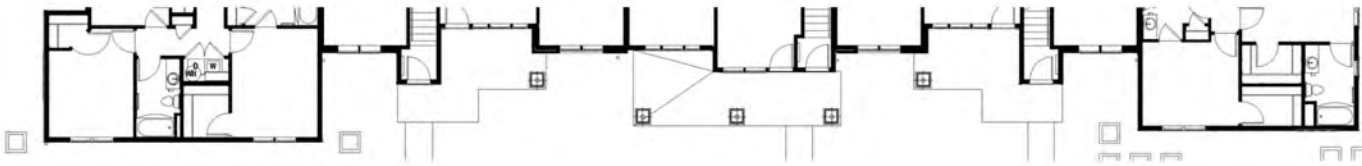
Front Elevation

F



Rear Elevation

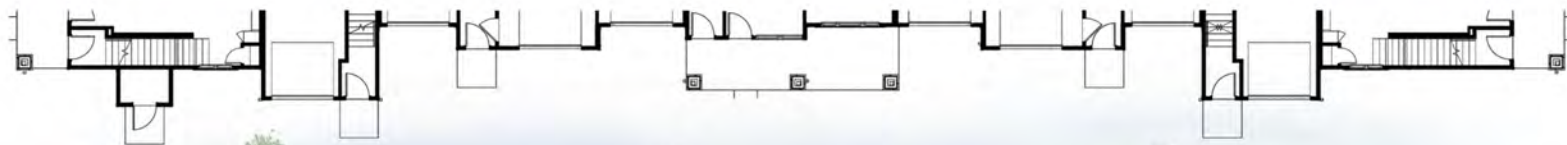
R





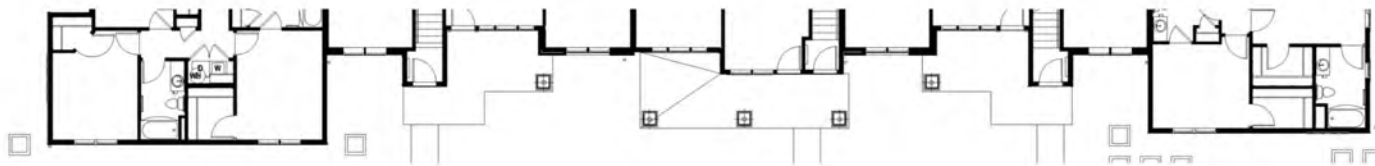
Front Elevation

F



Rear Elevation

R



Residential Building Elevations – Scheme B



Studio



1 Bedroom



2 Bedroom



3 Bedroom

Variance Requests

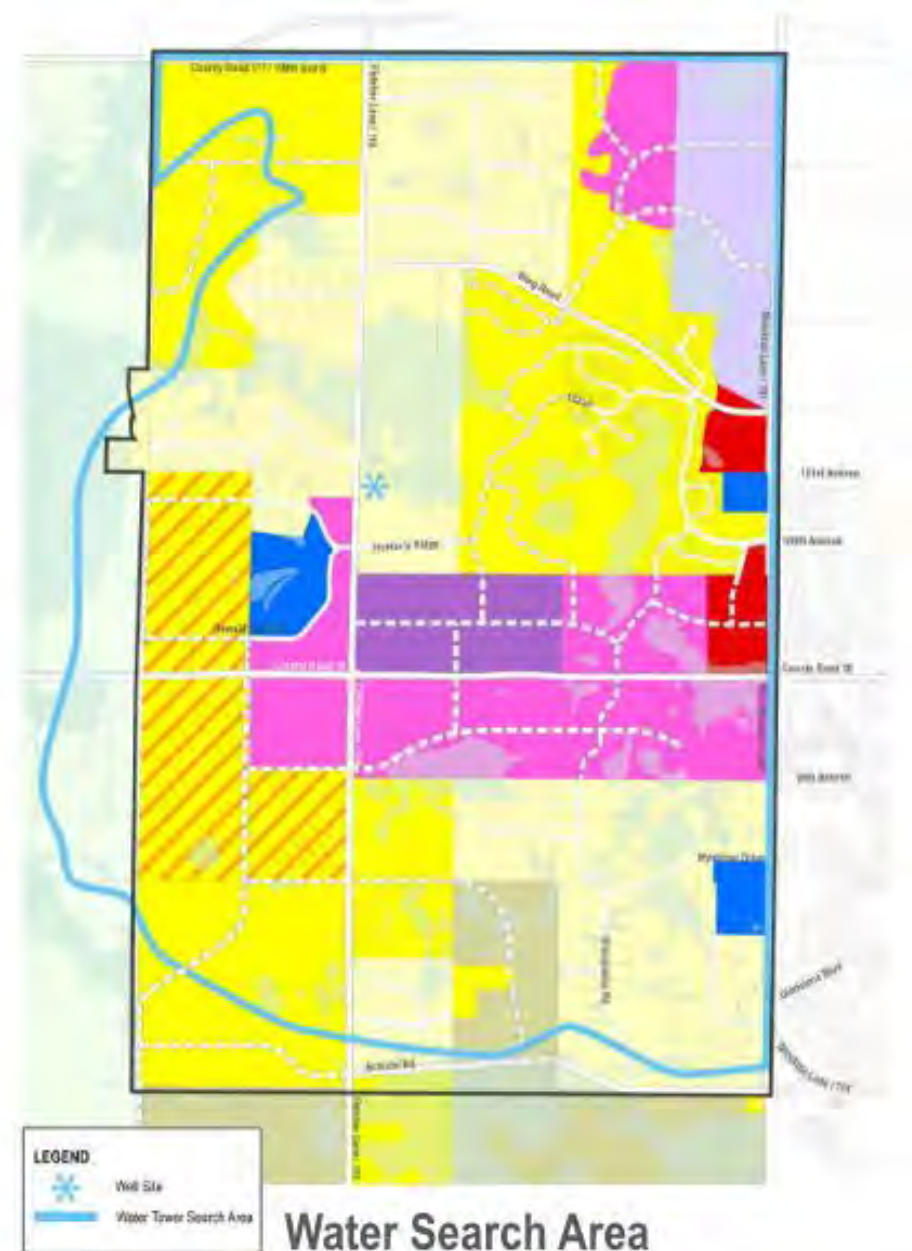
- Total Parking Stalls
- Parking Stall & Drive Aisle Dimensions
- Building Material Deviations
- Fence Height Adjacent to Right of Way

New Municipal Water Tower

Municipal Water and Sewer

The municipal sanitary sewer to serve the Northeast District exists and will generally flow north to the lift station at near County Road 101 at the City's north border.

Water is currently provided to the Northeast District from the City of Maple Grove. This agreement limits the area that can be served and requires landowners to pay the both the Maple Grove and Corcoran water fees. Developing a Corcoran water system has been a priority for the City. The City has identified a well and treatment site on County Road 116 north of Hunter Road. The City is in the planning stage, but hopes to have the well operational by 2023. However, at least one more well will be needed to serve the Northeast area and search area has been identified as shown on the Water Supply map. The well alone is insufficient and the City has been actively searching for a water tower site. The preferred tower site is also shown on the Water Supply map.



Market
Volatility

- Increases in interest rates
- High construction costs

Faster
Schedule

- To withstand market & ensure project remains feasible a **fall 2023 groundbreaking** is needed.

Maple
Grove
Water

- Temp. connection to Maple Grove Water before Corcoran water comes online.
- Amendment process between Corcoran and Maple Grove would need to begin **January 2023**.

Conclusion

- Maple Grove & Corcoran Water Agreement Amendment
- Zoning Change & Comprehensive Plan Amendment
- Variances



THANK YOU!

STAFF REPORT

Agenda Item: 9a.

Council Meeting: November 21, 2022	Prepared By: Michelle Friedrich
Topic: 2022 City Calendar Review	Action Required: Approval

Summary:

On December 9, 2021, Council approved the 2022 City Calendar. The final Council meeting scheduled in 2022 falls on Thursday, December 22, 2022. City Hall will be closed December 23rd and 26th in observance of the holidays. Council should determine if an alternative Council meeting date should be considered.

Financial/Budget:

N/A

Options:

1. Make no changes to the current 2022 City Calendar with the last meeting of the year scheduled on Thursday, December 22, 2022.
2. Consider an alternative date for the second December meeting.

Recommendation:

Maintain the current date unless a majority of Council members are unable to attend.

Council Action:

Make no changes to the current 2022 City Calendar with the last meeting of the year scheduled on Thursday, December 22, 2022.

Attachments:

N/A

STAFF REPORT

Agenda Item: 10a.

Council Meeting: November 21, 2022	Prepared By: Michelle Friedrich
Topic: 2023 City Council Calendar	Action Required: Approval

Summary:

Attached to this report is a draft calendar for City Council and Commission meetings for 2023. It includes the following change from the typical 2nd and 4th Thursday meetings for City Council:

- The second City Council meeting in November 2023 is proposed to be moved to Monday, November 20th to avoid the Thanksgiving holiday.

In addition to the regular meeting schedule, the City Council should discuss whether regular work sessions should be scheduled.

Financial/Budget:

None.

Options:

1. Approve 2023 City Council Calendar as presented.
2. Approve 2023 City Calendar with amendments.

Recommendation:

Approve 2023 City Calendar.

Council Action:

Consider a motion to approve 2023 City Calendar as presented.

Attachments:

1. Draft 2023 City of Corcoran Calendar Meetings.

2023 CITY OF CORCORAN

JANUARY						
S	M	T	W	T	F	S
25	26	27	28	29	30	31
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31	1	2	3	4

FEBRUARY						
S	M	T	W	T	F	S
29	30	31	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	1	2	3	4
5	6	7	8	9	10	11

MARCH						
S	M	T	W	T	F	S
26	27	28	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	1
2	3	4	5	6	7	8

APRIL						
S	M	T	W	T	F	S
26	27	28	29	30	31	1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	1	2	3	4	5	6

MAY						
S	M	T	W	T	F	S
30	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31	1	2	3
4	5	6	7	8	9	10

JUNE						
S	M	T	W	T	F	S
28	29	30	31	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	1
2	3	4	5	6	7	8

JULY						
S	M	T	W	T	F	S
25	26	27	28	29	30	1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31	1	2	3	4	5

AUGUST						
S	M	T	W	T	F	S
30	31	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31	1	2
3	4	5	6	7	8	9

SEPTEMBER						
S	M	T	W	T	F	S
27	28	29	30	31	1	2
3	4	5	6	7	8	9
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17	18	19	20	21	22	23
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1	2	3	4	5	6	7

OCTOBER						
S	M	T	W	T	F	S
24	25	26	27	28	29	30
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31	1	2	3	4

NOVEMBER						
S	M	T	W	T	F	S
29	30	31	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	1	2
3	4	5	6	7	8	9

DECEMBER						
S	M	T	W	T	F	S
26	27	28	29	30	1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31	1	2	3	4	5	6

Meetings

	Council
	Council Quarterly Work Sess.
	Planning Commission
	Parks & Trails Commissions
	City Holiday

Mayor

Tom McKee tmckee@corcoranmn.gov

Council Members

Jonathan Bottema jbottema@corcoranmn.gov

Jeremy Nichols jnichols@corcoranmn.gov

Alan Schultz aschultz@corcoranmn.gov

Dean Vehrenkamp dvehrenkamp@corcoranmn.gov

Contracted Services

Planning 612-638-0225

Engineer 763-479-4209

Building Inspector 763-479-1720

City Assessor 612-348-2943

Septic / Henn Co. 612-543-5200

Randy's Sanitation 763-972-3335



CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340
763-420-2288

email: general@corcoranmn.gov / website: www.corcoranmn.gov

MEMO

Meeting Date: November 21, 2022

To: City Council

From: Natalie Davis McKeown, Planner

Re: Active Corcoran Planning Applications

Projects/comments in blue italics are new.

The following is a status summary of active planning projects:

1. **Transition/Buffer Zones ZOA (City File 22-034).** At the July 14th meeting, City Council confirmed this item as a Top 4 priority for staff to focus efforts on in the remainder of 2022. *Initial feedback was provided to staff at the May 12th work session to inform the first draft which was reviewed at the October 27th City Council work session. Staff is preparing a second draft to bring back to the Council for review on December 22nd.*
2. **Vollrath Ag Shop CUP (PID 20-119-23-22-0003) (City File No. 22-038).** Trent Vollrath submitted an application for a conditional use permit to allow an agricultural building as the primary structure on an otherwise vacant lot that is actively farmed. *The application was unanimously recommended for approval by the Planning Commission, and the Council is expected to take final action on the City Council agenda on November 21st.*
3. **Pioneer Trail Industrial Park, Rezoning and Preliminary Plat and PUD (PID 32-119-23-34-0013, 32-119-23-34-0007, 32-119-23-43-0005 and 32-119-23-43-0006) (City File No. 22-039).** An application was submitted to move forward with the preliminary approvals for the Pioneer Trail Industrial Park off Highway 55. *The item was deemed complete and is scheduled to be reviewed at the December Planning Commission and City Council meetings.*
4. **Corcoran Farms Business Park Rezoning and Preliminary Plat and PUD at 20130 Larkin Road (PID 26-119-23-13-0006) (City File No. 22-044).** The City received an application for an industrial PUD near Larkin Rd and County Road 116. The Planning Commission held a public hearing on October 6th and recommended denial of the application. *The item was initially reviewed at the City Council meeting on October 27th and was tabled for further review at the November 21st meeting.*
5. **PUD Standards Zoning Ordinance Amendment (City File No. 22-045).** At their July 14th meeting, the City Council identified updating the PUD ordinance as a Top 4 priority for staff to focus efforts on in the remainder of 2022. The Council held a work session on July 28th to establish further direction on the desired updates to the PUD ordinance. *Staff prepared a first draft based on the feedback provided which was reviewed at the work session on October 27th.*

Staff is working on testing the ordinance on a previous PUD application and further refining the draft to bring back to the Council on December 22nd.

6. **Rental Ordinance (City File No. 22-046).** At their July 14th meeting, the City Council identified establishing a rental ordinance as a Top 4 priority for staff to focus efforts on in the remainder of 2022. City Council reviewed a first draft of the rental ordinance at the September 22nd work session. Staff is currently refining the draft based on Council feedback, *and a second draft is scheduled for review at the City Council work session on November 21st.*
7. **O'Brien Sketch Plan (PID 32-119-23-44-0003) (City File No. 22-049).** A sketch plan application was submitted for corporate offices of Crystal Distribution Inc (CDI) spanning 15,000 square feet at 22320 Highway 55. The item was reviewed by Council at the August 25th Council meeting. The feasibility study for the project wrapped up *in mid-October. The applicant is bringing the concept plan back to the Council for feedback based on the feasibility study at the November 21st meeting.*
8. **St. Therese Site Plan Amendment (PID 24-119-23-23-0001) (City File No. 22-053).** St. Therese submitted a request to modify their building plan. These changes will allow for the Skilled Nursing portion of the project to be added as a future phase and will expand the Memory Care component from 17 units to 20 units. Additionally, the changes request allowance of a pitched roof. The change involves less than 10% of the total existing site area and qualifies as a minor change that is approved administratively. *The City Council reviewed the changes at the November 10th meeting and an administrative approval was sent to the applicant the following day.*
9. **Slabaugh Variance (PID 10-119-23-21-0014) (City File No. 22-054).** Gideon and Heather Slabaugh submitted a variance request to allow a covered porch to encroach within the front setback of their property at 9925 Ebert Road. This item was reviewed by the Planning Commission at the October 6th meeting and unanimously recommended approval. *The City Council approved this request at the October 27th meeting.*
10. **Tharp Accessory Structure CUP (PID 11-119-23-31-0011) (City File No. 22-055).** Shawn Tharp applied to allow for an accessory structure that will exceed a footprint of 3,969 square feet. The structure would be located at 20420 Duffney Circle which is over 10 acres in size, so the property owner can exceed the allowable footprint through a CUP. This item was reviewed at a public hearing held at the October 6th Planning Commission meeting. The CUP was recommended for approval unanimously with a condition for landscaping along Duffney Drive and a 3-year approval period. *The City Council approved the CUP as recommended by the Planning Commission at the October 27th Council meeting.*
11. **Water Tower Preliminary Plat, Site Plan, Variance (PID 11-119-23-14-0004) (City File No. 22-057).** An application to move forward with the water tower at 19951 Oswald Farm Road was submitted. Variances are required from the lot size standards as well as from screening requirements for the overhead door. This item was reviewed at a public hearing held by the Planning Commission on October 6th. The application was recommended for approval unanimously. *The City Council approved the project at the October 27th meeting.*
12. **Kariniemi Meadows Final Plat (PID 18-119-23-11-0002) (City File No. 22-059).** An application for the final plat of Kariniemi Meadows was received by the City. *The application was approved by the City Council at the October 27th regular meeting.*
13. **Northeast District Zoning Ordinance Amendment (City File No. 22-060).** Staff proposes a couple of verbiage changes to the screening and landscaping requirements in the NE District Plan and Design Guidelines. These changes will address logistics in applying the plan that became evident while reviewing the proposed water tower and water treatment plant sites. The proposed changes will still require a high standard for development in the NE District while

building in some flexibility to reduce reliance on variances and planned unit development (PUD) flexibility. The item was reviewed at a public hearing by the Planning Commission at the October 6th meeting. The proposed amendment was recommended for approval on a 2-1 vote. *The City Council approved the amendment with some verbiage changes at the October 27th meeting.*

14. **Keefe Minor Subdivision (PID 33-119-23-12-0007) (City File No. 22-063).** An application for a two-lot subdivision at 6801 Willow Drive was submitted. The application was determined to be incomplete for City review and is not currently scheduled for review by the City Council. This type of application does not require review by the Planning Commission.
15. **Liberty Dog Grooming Special Home Occupation Administrative Permit (PID 06-119-23-13-0002) (City File No. 22-064).** An application for a special home occupation was submitted by Michelle Borowicz to operate a small-scale dog grooming business at 23360 Oakdale Drive. *Properties within 350 feet of the proposed home were notified of the application to allow submittal of written comments. The comment period was open through October 28th, and no comments were received. The application was administratively approved the week of November 7th.*
16. **Park Dedication Fees Update (City File No. 22-065).** Staff and Council are evaluating park dedication fees which will require an update to the Subdivision Ordinance. A public hearing notice was published for the November 3rd Planning Commission meeting, *and the item was continued to the December 1st Planning Commission meeting. The new fees are expected to be adopted at the December 22nd Council meeting.*
17. **Dish Tower Site Plan Amendment (PID 25-119-23-44-0005) (City File No. 22-066).** A minor site plan amendment application was submitted for installation of new ground equipment at an existing telecommunications tower at 7205 County Road 101. *This application is incomplete for review but will be approved administratively once all materials are submitted.*
18. **Paulsen Building Rights Appeal (PID 09-119-23-32-0002) (City File No. 22-067).** Gerald Paulsen submitted a building rights appeal application for his property at 22101 County Road 30. Building right appeals are not reviewed by the Planning Commission. *This application is complete and will be reviewed by the City Council at the November 21st meeting.*
19. **Tavera 5th Addition Final Plat and Final Planned Unit Development Plan (PID 35-119-23-43-0001) (City File No. 22-068).** Lennar submitted an application this week for the final plat and final PUD plan for Tavera 5th Addition. This item is under review for completeness. *The final plat will be reviewed by Council at the November 21st meeting.*
20. **Continental Properties Sketch Plan (PID 12-119-23-12-0007) (City File No. 22-070).** *Continental Properties submitted a Sketch Plan application to receive initial feedback from the City Council on a 300-unit market-rate suburban apartment community on a parcel that is zoned and guided for mixed use along County Road 30 near County Road 101. The item is scheduled for review at the November 21st meeting.*
21. **Gmach Accessory Dwelling Unit (ADU) Zoning Ordinance Amendment (City File No. 22-071).** *George Gmach submitted a Zoning Ordinance Amendment application requesting changes to the standards for ADUs including changing it from an Interim Use to a Conditional Use and re-evaluating the size and garage requirements. The application was deemed complete and will be reviewed at the December Planning Commission and City Council meetings.*
22. **Walcott Glen Easement Vacation (PID 36-119-23-44-0014) (City File No. 22-072).** *Existing drainage and utility easements on Outlot C and Outlot E of Ravinia 11th Addition in addition to an easement for an old driveway access need to be vacated as part of the final plat for Walcott*

Glen. New easements will be established based on the new lot boundaries. A public hearing notice was sent out for the November 21st Council meeting.

23. **“3019 Addition” Preliminary Plat (PID 07-119-23-14-0003) (City File No. 22-073).** *Scherber and Associates applied for a Comprehensive Plan Amendment, Rezoning, and Preliminary Plat for a 66-acre property near County Road 30 and County Road 19. The land currently has split zoning between Transition Rural Commercial and Rural Residential. The Comprehensive Plan Amendment will shift the boundary location between the two land uses with the western portion being rezoned as Rural Commercial. The project proposes 15 Rural Commercial lots and 4 Rural Residential lots. The item is being reviewed for completeness. If complete, the proposal will be reviewed at the January Planning Commission and City Council meetings.*

City of Corcoran
2022-2023 City Council Schedule

Agenda Item: 12.

Below is a tentative schedule for City Council meetings. The items and schedule are subject to change.

December 8, 2022 Work Session at 5:30pm – (If Needed)

December 8, 2022

- Public Hearing – 2023 Proposed Budget and Property Tax Levy
- 2023 Full-time, Part-time, and Seasonal Wage Schedule
- 2023 General Fund Budget and Property Tax Levy
- 2023 Fee Schedule
- 2023 Water and Sanitary Sewer Budget
- 2023 Goal Setting Date
- Calling of Bonds in 2023
- Voting Precincts for 2023 / Designation Polling Place Locations 2023 (Moved to Nov 21, 2022)
- Council Calendar 2023 (Moved to Nov 21, 2022)
- Accept Feasibility Study and Call the Improvement Hearing – Hackamore Road
- 2022 Transfers/Long Range Planning Fund Creation
- Water Supply Bid Award
 - Water Tower and Treatment Facility
- Public Hearing Tax Abatement Hearing – Bonds
- Firearms Ordinance Approval

December 22, 2022 Work Session at 5:30pm

- Buffer Yard Transition

December 22, 2022

- Active Corcoran Planning Applications
- Designation Polling Place Locations 2023
- Pioneer Trail Industrial Park Preliminary Plat
- Concept Plan

January 12, 2023

- Oaths of Office
- Annual Appointments
- Hackamore Project Approve Plans / Authorize Bids
- Joint Powers Agreement – Hackamore Project
- Award RFP for City Park (Tentative)

- Improvement and Assessment Hearings and Orders Project for Hackamore Project

January 26, 2023

February 9, 2023

February 23, 2023

- 2023A Bond Sale

March 9, 2023

March 23, 2023

- NW Trails Resolution of Support
- Placeholder to THC Regulations Follow Up

Additional Future Meeting Items

Host Special Charter Commission Meeting – March 21 at 5:30pm

Annual Charter Commission Meeting – September 13 at 5:30pm

Cooperative Agreement – Three Rivers Park District

Park Signs Plan