



CITY OF CORCORAN  
Corcoran City Council Agenda  
February 25, 2021 - 7:00pm

**Meeting Held Via Telephone/Other  
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**Meeting ID: 842 6633 0440**

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Comment sections in the meeting. Participant  
video feeds will be muted.**

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public comment visit:**

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1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Commission Representatives\***
5. **Open Forum – Public Comment Opportunity**
6. **Presentations/Recognitions**
7. **Consent Agenda**
  - a. Draft Minutes of the January 28, 2021 Council Meeting\*
  - b. Draft Minutes of February 11, 2021 Council Work Session\*
  - c. Draft Minutes of February 11, 2021 Council Meeting\*
  - d. Financial Claims\*
  - e. Pay Request #3; Change Order #3 – City Hall Remodel\*
  - f. Final Plat for Tessmer Addition\*
  - g. Preliminary Plat for Hunters Place 2<sup>nd</sup> Addition at 10110 CR 116\*
  - h. Interim Use Permit for an Accessory Dwelling Unit at 6330 Snyder Road\*
  - i. Authorization to Bid/Quote 2021 Road Materials\*
  - j. Equipment Purchase – Bobcat Loaders\*
8. **Planning Business – Public Comment Opportunity**
  - a. Preliminary Plat, Variance, and Administrative Permit for Wright-Hennepin Cooperative Electric Association at 19835 Larkin Road\*
  - b. Front Yard Setback Variance at 20795 Larkin Road\*
  - c. Scherber Storage Concept \*
  - d. Proposed Work Plan for Residential Zoning Ordinance Updates\*
9. **Unfinished Business – Public Comment Opportunity**
10. **New Business – Public Comment Opportunity**
  - a. Planning Commission Appointments\*
  - b. Parks and Trails Commission Appointments\*
11. **Staff Reports**
  - a. Active Corcoran Planning Applications\*
  - b. Pandemic Response Update
12. **2021 City Council Schedule\***
13. **Adjournment**

**Due to the COVID-19 health pandemic, the City Council's regular meeting place is not available and is not open to the public. Pursuant to Minnesota Statute 13D.021 the one or more members of the City Council may participate by telephone or other electronic means.**

**\*Includes Materials - Materials relating to these agenda items can be found in the House Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at [www.corcoranmn.gov](http://www.corcoranmn.gov).**

## STAFF REPORT

## Agenda Item 4.

<b>Council Meeting:</b> February 25, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Commission Representatives	<b>Action Required:</b> None – Informational

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### **Summary:**

The advisory commission representatives for the February 25<sup>th</sup> Council meeting are as follows:

- Planning Commission: Jim Shoulak
- Parks and Trails Commission: Val Nybo

### **Financial/Budget:**

N/A

### **Council Action:**

N/A

### **Attachments:**

N/A





## CITY OF CORCORAN

**City Council Meeting Minutes  
January 28, 2021 - 7:00 pm**

The Corcoran City Council met on January 28, 2021, in Corcoran, Minnesota. Pursuant to Minnesota Statute Section 13D.021 and due to the COVID-19 pandemic, the City Council meeting was held remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee was present at City Hall and present via telephonic or other electronic means were Councilor Nichols and Councilor Schultz. Councilor Bottema and Councilor Thomas were excused.

Also present were City Administrator Martens and Administrative Services Director Beise. Public Works Director Mattson and City Planner Lindahl were present via telephonic or other electronic means.

**1. Call to Order/Roll Call**

Mayor McKee called the meeting to order at 7:00 pm.

**2. Pledge of Allegiance**

Mayor McKee invited all in attendance to rise and join in the Pledge of Allegiance.

**3. Agenda Approval**

City Administrator Martens noted an item under Planning Business is a Public Hearing, however due to two Councilors not in attendance, the Public Hearing will be rescheduled to a later Council meeting.

**MOTION:** made by Nichols, seconded by Schultz to approve the agenda as presented.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz

(Motion carried 3:0)

**4. Commission Representatives**

Mayor McKee noted Planning Commissioner Dickman and Parks and Trails Commissioner Dugan were present via telephonic or other electronic means. Mayor McKee invited Commissioners to speak on agenda items relevant to the commissions.

**5. Open Forum (Public Comment Opportunity)**

Mayor McKee invited residents to communicate telephonically during the Open Forum discussion for items not included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer.

Michelle Friedrich, 6830 County Road 116, addressed Council regarding agenda item 7g., and expressed opposition of the project location, and cited alternate locations for the site. Ms. Friedrich noted the parcel purchase by Wright Hennepin Electric (WHE) has not yet occurred and approving the wetland waiver gives the perception of allowing the project to move forward without first reviewing the future zoning of the parcel per the 2040 Comprehensive Plan, and the hardships the substation location will create for the existing residents. Ms. Friedrich requested Council to deny the requested wetland waiver until Council can review the impacts of the project.

Diane Walli, 6861 Olde Sturbridge Drive, described past history with Corcoran Commissions and the 2030 Comprehensive Plan. Ms. Walli asked Council why another location was not considered, and if it was the best choice for neighborhoods regarding for the substation location. Ms. Walli stated the proposed location is a detriment to future neighborhoods. Ms. Walli asked that the Council review citizen's needs first. Council thanked Ms. Walli for her service to Corcoran.

Landon Pohl, 20207 Abilene Lane, addressed Council regarding substation location, and questioned if having the large substation at the entrance to our downtown district, City, future residents, and businesses, is an appropriate location.

Council discussed the intention of the wetland delineation waiver is a tool used for developers to only complete the wetland delineation for the portion of the property proposed for development.

## 6. Presentations/Recognitions

a. Hennepin County Commissioner Kevin Anderson  
Kristy Janigo, Policy Director for Commissioner Anderson, noted the desire of Commissioner Anderson to connect with people he is serving. Ms. Janigo reviewed the City's 2040 Comprehensive Plan vision, the importance of maintaining that vision, and noted the complex issues the City faces regarding the future population growth of Corcoran. Ms. Janigo encouraged open communication between Commission Anderson's office, Corcoran residents, City Council, and City Commissions.

## 7. Consent Agenda

- a. Draft Minutes of January 14, 2020 Council Meeting
- b. Financial Claims
- c. Pay Equity Reporting
- d. Pay Request #2, Change Order #2 – City Hall Remodel
- e. Police Officer Declaration of PERA Contributions – Caitlyn Sandstad
- f. Dakota County Criminal Justice System Services Agreement
- g. Wright Hennepin Wetland Waiver – 19835 Larkin Road (City File 20-048)
- h. Request for Metropolitan Agricultural Preserve Expiration (City File 21-001)

Council requested item 7c., and item 7g., for further discussion.

**MOTION:** made by Schultz, seconded by Nichols to approve the consent agenda items 7a., 7b., 7d., 7e., 7f. and 7h., as presented.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz  
(Motion carried 3:0)

Council discussed item 7c. Pay Equity Reporting and observed continual efforts of pay equity improvements and appreciation of the current compliant reporting. Council discussed fewer females in senior staff positions; and the need to review responsibilities of staff and contracted outside services. Council noted a need for reassignment of duties as the City future needs grow and change, and how changes impact job description and pay equity.

**MOTION:** made by Nichols, seconded by Schultz to approve the consent agenda item 7c. Pay Equity Reporting.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz  
(Motion carried 3:0)

Council discussed item 7g. Wright Hennepin Wetland Waiver – 19835 Larkin Road and noted resident opposition emails received regarding the item. Council reviewed the primary purpose for the electrical substation is due to population growth in Corcoran. Council's discussion with the WHE included project timelines and possible alternate substation sites. Council noted WHE had not completed an analysis of the light industrial parcel location on Larkin Road. Council noted WHE is working to establish a robust electrical substation in an area placed near an existing transmission line. Council suggested the applicant submit alternate locations away from existing neighborhoods. Council requested evidence from applicant regarding the advantages of the proposed location that are compelling and supersede the needs of the existing residents near the proposed site. Council discussed denying or accepting the applicant's wetland delineation waiver, noting Council is not required to accept the request. Council defined the wetland delineation waiver process, and noted Resolution 2021-06 states Council approval of the wetland delineation waiver does not grant or imply approval of any plat or variance on the proposed site, and allows the applicant to complete the wetland delineation within the area of the structure of said parcel. Council discussed the positive and negative aspects of allowing an applicant a wetland delineation waiver prior to approval of project by Council.

**MOTION:** made by McKee, seconded by Schultz to approve consent agenda item 7g. Wright Hennepin Wetland Waiver – 19835 Larkin Road.

Voting Aye by Roll Call Vote: McKee and Schultz  
(Motion carried 2:1)

Nay: Nichols

Council noted concerns discussed regarding proposed location, however the delineation waiver is a separate item. Council referenced conversations with WHE, and waiver is not an endorsement for the proposed location by Council.

## **8. Planning Business (Public Comment Opportunity)**

Mayor McKee invited residents to communicate telephonically during the Public Comment opportunity for Planning Business items included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer.

### **a. Site Plan Amendment and Conditional Use Permit for Nelson International (City File 20-022)**

City Planner Lindahl outlined the site plan amendment approved in September 2020 and the requirements for approving the parts of the project. Planner Lindahl noted the site plan amendment is consistent with the approved plans and reviewed the building structure change locating the retail at the north side, the future building expansion and replacement of trees that were erroneously removed. City Planner Lindahl noted the applicant acknowledges the accidental removal of the trees and staff has included Condition 12 in the Resolution 2021-09 to address the tree preservation. City Planner Lindahl reviewed the revised landscape plan. Council discussed how relocating the retail area of the building is beneficial for surrounding property owners. City Planner Lindahl noted the retail area would now be located closer to the entrance off County Road 101, rather than driving in and seeing loading garages. Council asked about screening on the south side of the building. Council asked if relocating the retail area, impacted the building design expansion. Council inquired about parking lot changes with relocating the retail area of the building. City Planner Lindahl noted parking area has not changed, but parking locations have changed due to the retail location shifting to the north end. Council and staff discussed the parking lot spaces and if relocating the retail area changes the number of parking spaces. City Planner Lindahl noted expansion was always planned, and applicant recently decided to make the future changes immediately versus later. Council and staff discussed if the expansion would now expand towards the southern border of the parcel with the relocation of the retail area, noting the southern parcel is a commercial parcel platted as part of the Bellwether development. Ryan Nelson, Nelson International, reviewed with Council the parking space concern, and noted a loss of parking on the northwest side of property due to relocating the retail space in the building, indicated perimeter parking remains the same, with few added automotive stalls. Mr. Nelson indicated the building was essentially flipped with moving the retail space, and upon review of traffic flow, and how the driveway and future driveway entrances will operate, it was determined the traffic would flow better with the retail area on the north end with the parts area of the building on the south, including a small service bay expansion. Council asked about the showroom, and additional door. Council noted the original future expansion was to expand the service department, and in this case increasing size of office and parts, decreased the service bays in the amended plan and allowed for the expansion on the south end of the building. Council discussed landscaping and removal of trees and the replacement of trees at different locations. Mr. Nelson noted the landscaping contractor will cover the expense of the additional replacement trees. Council discussed screening on the other sides of site. Council discussed Linden Trees and other options due to beetle concerns. Council discussed the light fixtures. City Planner Lindahl noted details of light fixtures have been received and show compliance with lights not exceeding building height. Council inquired about the modifications in Resolution 2020-16 regarding sign lighting compliance with City Code and noted wall sign shall not be lit outside business hours. Council inquired if the pendant light along County Road 101 falls under the same wall sign restrictions and should not remain on after business hours. City Planner Lindahl reviewed the original approval, and the lighting restriction was specific to wall signage. Council asked if applicant would consider turning off all signage after 12:00 am and the applicant agreed. Council thanked applicant for consideration in turning off all lighting after 12:00 am. City Planner Lindahl clarified parking space issue and determined parking calculation is reduced by four spaces from original plan to revised plan. Council suggested changing Resolution 2020-16 to reference additional trees, and strike Linden trees from Condition 12B. City Planner Lindahl noted the Resolution will reflect the requested Council changes. City Planner Lindahl noted the trees planned near the larger trees will be moved to other

areas of landscaping, to allow the larger trees to successfully root, and noted all other landscaping remains the same. City Planner Lindahl noted for clarification there are four species required within the plan, and Council can delete Little Leaf Linden and still maintain a healthy selection of tree species.

**MOTION:** made by Schultz, seconded by McKee to adopt Resolution 2021-09 with amendments to Condition 16 regarding all sign lighting turned off at 12:00 am, and striking Little Leaf Linden from tree species selection in Condition 12b. of CUP.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz

(Motion carried 3:0)

b. Public Hearing and Easement Vacation for Nelson International (City File 20-022)

City Planner Lindahl outlined the background information for the easement vacation and explained the new easement eliminates existing conflict with parking lot encroachments. City Planner Lindahl noted a passing four vote by Council is necessary to approve the easement vacation and Public Hearing can be opened and continued to a future Council meeting date. Mayor McKee opened the Public Hearing. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Hearing. City Administrator Martens recommended the February 11 for the continuation of the Public Hearing.

**MOTION:** made by Schultz, seconded by Nichols to continue the Public Hearing and Easement Vacation for Nelson International to the Council Meeting on February 11, 2021.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz

(Motion carried 3:0)

c. PUD Sketch Plan Review for Van Blaricom and Schober Properties (City File 20-050)

City Planner Lindahl outlined the report noting the applicant is requesting an opportunity to receive informal comments on the PUD sketch plan for a proposed 193 single family housing units, with 121 single family units an expansion of the Bellwether development, and the remaining 72 units as a separate single family housing development. City Planner Lindahl noted staff finds the threshold for another environmental review is not required but recommends an update to the feasibility study for review of infrastructure requirements, with a memo reviewing the project to the adopted EAW. City Planner Lindahl noted the separate development would not participate in the homeowner association dues of the Bellwether development and would require new accesses onto Stieg Road. City Planner Lindahl noted the villa portion would be rezoned and as an extension of Bellwether, and subject to all the PUD standards, and the single-family development would be rezoned to RSF-3 and follow zoning standards for single family units. City Planner Lindahl reviewed the park dedication area of the single-family home development leads into the open space park of the Bellwether development. City Planner Lindahl noted the design of houses and villas is consistent with architectural standards of Bellwether, the design has not reviewed for compliance yet. City Planner Lindahl noted the City sewer and water connection was approved for only the approved Bellwether development and that agreement would need to be amended with Maple Grove, and Maple Grove has a willingness to continue with revising the agreement. City Planner Lindahl reviewed the future planning by the City for a well and water tower to service northeast Corcoran, and a possible water tower site in the Bellwether Park. City Planner Lindahl noted that access to the proposed development should be located further east along Stieg Road, and parcel across Stieg Road is guided for Mixed Use with anticipated future traffic in the area. City Planner Lindahl reviewed alternate access points across a parcel not part of the Bellwether development and eliminating two cul-de-sacs by connecting them to create a thoroughfare within the center of the single-family development. City Planner Lindahl noted the original Bellwether park plan and the new proposed park plan and noted a larger park entrance would create a welcoming atmosphere. Council addressed concerns around the Diamond Lake Regional Trail and designing a trail to continue and preserve snowmobile trails in the area, as the area is currently connected to a major snowmobile trail. Council agreed the park needs to be open to the community at large and appreciated the larger park entrance. Council discussed the 55+ community and a city park. Council noted the trail system is not a destination trail system and shifting the Diamond Lake Regional Trail outside of the neighborhood is necessary. Council reviewed incorporating the character of the existing

landscape with continued improvement of open spaces and requested inclusion of these options in the feasibility study.

Paul Heuer, Pulte Homes, outlined the project history of Bellwether, and noted the commitment of investment in infrastructure of the Bellwether neighborhood. Mr. Heuer explained the development is an extension of the Bellwether neighborhood, due to changes in adjacent parcel owner opinions. Mr. Heuer reviewed the opinions of potential residents who are interested in the Bellwether neighborhood environment fall into the security and secluded feeling of a neighborhood. Mr. Heuer noted the preservation of the park area with the old trees and wetland area. Mr. Heuer referenced the connection of a road with elimination of the cul-de-sacs and Pulte would work with the City on the best options. Council asked if Pulte had experience with other city community parks located in 55+ communities in other Pulte developments. Council asked if the trail system could be moved away from streets and backyards, and Mr. Heuer noted Pulte is open to working with Three Rivers Park District and the City.

## 9. Unfinished Business

No unfinished business was heard.

## 10. New Business (Public Comment Opportunity)

Mayor McKee invited residents to communicate telephonically during the Public Comment opportunity for New Business items included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Comment opportunity

### a. Authorize Feasibility Study – City Center Drive and 79<sup>th</sup> Place Improvements

Public Works Director Mattson outlined the land purchase and plat for the St. Therese development including public right-of-way for the proposed street alignments. Public Works Director Mattson reviewed the continued coordination with St. Therese on the site improvements and street and utility improvements to the City Center Drive and 79<sup>th</sup>. Public Works Director Mattson noted the proposed cost estimate for the feasibility study and the study is required for the City to consider potential assessments to adjacent properties. Public Works Director Mattson reviewed financing for the improvements include municipal state aid, special assessments, and local participation. Council and staff discussed trails and linear parks within the concept. Public Works Director Mattson noted the analysis includes the construction and turn lanes associated with the existing 8200 County Road 116 south property border and adjacent properties study.

**MOTION:** made by Nichols, seconded by Schultz approve the proposal from Wenck and Associates, and authorize public works director to approve optional services if needed, not to exceed \$27,000. Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz  
(Motion carried 3:0)

### b. Draft Appaloosa Woods Feasibility Study

Public Works Director Mattson reviewed the previous Council actions and noted seventeen properties remain in Corcoran city limits and preliminary conversations in 2019 with residents occurred regarding sewer and water with street improvement options. A resident survey indicated paving and street improvements were the main concern. Public Works Director Mattson clarified the feasibility study is consistent with the Special Assessment Policy and outlined the methodology for calculating the assessment. Council and staff discussed extending the assessment over a specific number of years. City Administrator Martens noted an assessment interest example of one percent over the city's borrowing rate. Council and staff noted the benefit of completing a road construction in tandem with Maple Grove to realize cost savings within the project. Public Works Director Mattson outlined the range of benefit to properties and that it varies if the property accessed gravel or if the property was previously paved. Council and staff reviewed the per lot charge and how it relates to the total project bid and how properties are affected with a higher or lower bid. Council and staff discussed existing paved roads and mill and overlay life expectancy. Council discussed paving assessments and then milling assessments. Public Works Director Mattson noted a 15-20 year lifespan on paved roads and goal is to achieve a cost-effective way to pave an existing road to lower maintenance costs. Public

Works Director Mattson noted the two isolated properties within the 17 residents would receive a repavement assessment. Public Works Director Mattson reviewed the Maple Grove road maintenance project and indicated pursuing a cost sharing agreement with Maple Grove if the project moves forward. Public Works Director Mattson noted even if Corcoran does not move forward with the project, Maple Grove will request compensation related to street improvements in front of the isolated Corcoran properties. Public Works Director Mattson noted the isolated property owners will still be assessed to the affected properties as Maple Grove completes the road improvement project. Public Works Director Mattson noted the City has discretion on when to finalize assessments and reviewed financing for the improvements will likely come from a combination of special assessments and local participation. Per Council consensus staff was directed to obtain bids and determine fees versus waiting until construction was complete. City Administrator Martens noted Maple Grove assessments will likely be higher than Corcoran assessments because Maple Grove is completing additional city infrastructure. City Administrator Martens summarized the low end of the benefit costs, and the city liability. Administrative Services Director Beise explained the assessment due dates and processes.

c. Bellwether Park Improvement Project – Boardwalk

City Administrator Martens reviewed the planned boardwalk near the Bellwether development, initial discussions with Parks and Trails and proceeding with final design and construction in 2021. City Administrator Martens reviewed cost share with developer and the City, and City only costs. City Administrator Martens also requested Council approval of seeking potential grant opportunities. Council and staff discussed the feasibility of boardwalk with Diamond Lake Regional Trail.

**MOTION:** made by Nichols, seconded by Schultz directing staff to begin design work for boardwalk in 2021 and obtain quotes for construction; direct Parks and Trails to review quotes and make recommendation to Council; and authorize city staff to seek grant funding to reduce city costs.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz  
(Motion carried 3:0)

d. 2021 Legislative Priorities

City Administrator Martens reviewed 2021 legislative priorities including the new priorities of fiscal reform in local government aid; officer or firefighter disability funding and supporting funding at state level; school funding for fair and full school funding; broadband expansion with consistent access to high-speed internet and support of funds dedicated towards filling the gap. Council discussed the 2021 legislative priorities. Council asked if residents could reach out to state representatives through talking points located on the City website.

**MOTION:** made by Schultz, seconded by Nichols to approve the 2021 legislative priorities.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz  
(Motion carried 3:0)

e. COVID-19 Leave Extension

City Administrator Martens outlined the COVID-19 Pay Extension through the federal government and requested Council action on extending the City COVID-19 pay program through June 30, 2021. Council discussed positive benefits of maintaining the COVID-19 pay program.

**MOTION:** made by Schultz, seconded by Nichols approve COVID-19 Pay Program for City employees through June 30, 2021.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz  
(Motion carried 3:0)

f. Schedule Work Session – Northeast Water Supply Planning

Mayor McKee called a work session on February 11, 2021, at 5:30 pm.

## 11. Staff Reports

a. Active Corcoran Planning Application

Council received active planning application report.

b. Pandemic Response Update

Council received the report.

## 12. Closed Session – Property Acquisition for the 66<sup>th</sup> Avenue/Gleason Parkway Extension Corridor Improvements

Mayor McKee stated “Under the authority of Minn. Stat. 13D.05 subd. 3(c), (3); the City is permitted to close a meeting to consider offers and counteroffers for the purchase or sale of real or personal property. The City Council is going into closed session to consider an offer for real estate; the following properties are the subject of the closed meeting, 6640 County Road 116 (PID 36-119-23-23-001 and 36-119-23-23-0002), and 6410 County Road 116 (PID).”

Mayor McKee recessed the Council meeting at 9:22 pm.

Mayor McKee reconvened the Council meeting at 9:27 pm.

Mayor McKee stated, “In the closed session the City Council reviewed and discussed an offer for real estate; staff was provided direction.”

**13. 2021 City Council Schedule**

City Administrator Martens reviewed upcoming Council schedule and noted moving the Westside Tire Code Enforcement discussion to later Council meeting.

**14. Adjournment**

**MOTION:** made by Schultz, seconded by McKee to adjourn.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz

(Motion carried 5:0)

Meeting adjourned at 9:32 pm.

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Michelle Friedrich – Deputy Clerk



CITY OF CORCORAN  
**City Council Work Session Minutes**  
**February 11, 2021 – 5:30 pm**

The Corcoran City Council met on February 11, 2021, in Corcoran, Minnesota. Pursuant to Minnesota Statute Section 13D.021 and due to the COVID-19 pandemic, the City Council meeting was held remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee, Councilor Bottema, Councilor Nichols and Councilor Thomas were present at City Hall and present via telephonic or other electronic means was Councilor Schultz.

Also present were City Administrator Martens and Administrative Services Director Beise. Director of Public Safety Gottschalk and Public Works Director Mattson were present via telephonic or other electronic means.

**1. Call to Order / Roll Call**

Mayor McKee called the work session to order at 5:30 pm.

**2. Northeast Water Supply Planning Work Session**

Council and staff reviewed the joint Quad City study on city water and sewer systems, discussed system costs with and without a city-wide softener system, the areas in Corcoran where the water supply system is planned, and the pros and cons of a tower system versus a booster system.

**3. Adjournment**

**MOTION:** made by McKee, seconded by Nichols to adjourn.

Voting Aye: McKee, Bottema, Nichols, Thomas, and Schultz

(Motion carried 5:0)

Meeting adjourned at 6:30 pm.

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Michelle Friedrich – Deputy Clerk





## CITY OF CORCORAN

**City Council Meeting Minutes  
February 11, 2021 - 7:00 pm**

The Corcoran City Council met on February 11, 2021, in Corcoran, Minnesota. Pursuant to Minnesota Statute Section 13D.021 and due to the COVID-19 pandemic, the City Council meeting was held remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee was present at City Hall and present via telephonic or other electronic means were Councilor Bottema, Councilor Nichols, Councilor Schultz, and Councilor Thomas.

Also present were City Administrator Martens and Administrative Services Director Beise. Public Works Director Mattson and City Planner Lindahl were present via telephonic or other electronic means. Director of Public Safety Gottschalk was excused.

**1. Call to Order/Roll Call**

Mayor McKee called the meeting to order at 7:00 pm.

**2. Pledge of Allegiance**

Mayor McKee invited all in attendance to rise and join in the Pledge of Allegiance.

**3. Agenda Approval**

City Administrator Martens noted the removal of item 7a. Draft Council Minutes January 28, 2021, and addition of 10d. Resolution Supporting Legislation Authorizing Street Infrastructure Development Fees. City Administrator Martens noted an item under Planning Business is a continuation of a Public Hearing.

**MOTION:** made by Bottema, seconded by Schultz to approve the agenda as modified.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas

(Motion carried 5:0)

**4. Commission Representatives**

Mayor McKee noted Planning Commissioner Jacobs and Parks and Trails Commissioner Nybo were present via telephonic or other electronic means. Mayor McKee invited Commissioner Jacobs and Commissioner Nybo to speak on relevant agenda items.

**5. Open Forum (Public Comment Opportunity)**

Mayor McKee invited residents to communicate telephonically during the Open Forum discussion for items not included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer.

De Secora, 6410 Elm Street, questioned the Public Hearing and Planning Meeting from February 4, regarding 6330 Snyder Road, and asked if the Public Hearing and meeting would be rescheduled.

Council addressed Ms. Secora's question and noted there is a Planning Commission Special Meeting with a continuation of the Public Hearing on February 18, 2021.

Commissioner Jacobs commented on business owner input received regarding the taste of City water within the commerce area of Corcoran and supplied by the City of Maple Grove. Council noted with a reverse osmosis water system, the water taste improves.

**6. Presentations/Recognitions**

**7. Consent Agenda**

- a. Item removed.
- b. Draft Minutes of January 20, 2021 Council Goal Setting Work Session
- c. Draft Minutes of February 3, 2021 Council Goal Setting Work Session
- d. Financial Claims

- e. Resolution 2021-10 Accepting a Donation
- f. Resolution 2021-11 Supporting Grant Application
- g. Change Order – Downtown Stormwater Improvements

**MOTION:** made by Nichols, seconded by Bottema to approve the consent agenda items 7b., 7c., 7d., 7e., 7f. and 7g., as presented.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

## **8. Planning Business**

- a. Public Hearing – Easement Vacation for Nelson International (City File 20-022)

City Planner Lindahl noted the Public Hearing was continued from the previous Council meeting due to lack of a 4-vote minimum needed to pass the easement vacation. City Planner Lindahl noted the site plan approval rededicates a new drainage and utility easement, and reflects a modified edge of wetland boundary, stormwater management ponds, and includes a larger easement to protect the wetland and stormwater areas. Mayor McKee noted the continuation of the Public Hearing and invited residents to communicate telephonically during the Public Hearing. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Hearing.

**MOTION:** made by Nichols, seconded by Thomas to close the Public Hearing.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

**MOTION:** made by Schultz, seconded by Nichols to adopt Resolution 2021-08 Approving the Easement Vacation on Lot 1, Block 5, Bellwether 2<sup>nd</sup> Addition Contingent Upon the Dedication of the New Easement.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

## **9. Unfinished Business (Public Comment Opportunity)**

Mayor McKee invited residents to communicate telephonically during the Public Comment opportunity for Unfinished Business items included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Comment Opportunity.

- a. Fire Sub-Committee Report Update

Director of Public Safety Gottschalk reviewed recent fire service discussions and studies completed in the City from 2016 to 2018. Director of Public Safety Gottschalk noted the findings of the Fire Study Comprehensive Growth Plan indicated a need for a strategic plan incorporating a three-to-five year road map to understand the City's fire service expectations. In 2018, Council created the Fire Service Sub-Committee to form a future fire service vision for the City, to obtain community input, to review response times and targets, and to review the fiscal aspect of the City constructing its own future fire station. Director of Public Safety Gottschalk reviewed the two tiers and costs for implementing fire service in Corcoran. Director of Public Safety Gottschalk discussed the importance of community expectations, industry standards, response time targets, and fiscal responsibility. Director of Public Safety Gottschalk reviewed the concept of a proposed construction of a Corcoran fire station and noted numerous variables and factors would affect the final cost.

Mayor McKee indicated a caller was missed during the public comment opportunity. Administrative Services Director Beise acknowledged the caller and asked the caller to state their name and address. Greg Hogle, 19220 Hackamore Road, questioned the fire service report from 2018 and opined on the construction of a fire house location near the Ravinia neighborhood, and why the Hamel Fire Department is not utilized as a resource.

Council discussed the original fire sub-committee meetings and the progress the committee made on establishing what the issues in Corcoran were at that time, and the benefits and negative aspects of

building a fire station. Council noted a medical need was an apparent issue in Corcoran. Council reviewed the desire for Corcoran to control the City's path pertaining to fire service in Corcoran. Council discussed the current three fire departments that service the City of Corcoran and recognized the need for continued collaboration with those organizations, while being proactive in reviewing what the future needs of Corcoran will be. Council discussed the density of housing surrounding Hackamore Road and Maple Hill Road and noted while fire may be a smaller number referenced in the fire service report compared to medical needs calls, fire causes the most damage even with a smaller percentage of calls. Council discussed accessing current data and reviewing all fire service options again. Council discussed possibly reviewing reciprocity services with Maple Grove to gain fire coverage on the eastern half of Corcoran. Director of Public Safety Gottschalk indicated fire aid is currently in place for structure fire calls for Corcoran by Maple Grove fire stations. Council reviewed the current fire service report discussed a rapid deployment team in Corcoran with a proposed sponsorship by local fire departments for medical calls. Director of Public Safety Gottschalk noted Hamel Fire Department does not currently reach the greatest area of need in Corcoran. Council asked if Hamel Fire Department could potentially be a resource for service needs. Director of Public Safety Gottschalk noted some additional service provisions in addition to travel times and location are considered in selecting fire services. Council inquired about the recent fire service meeting Director of Public Safety Gottschalk attended. Director of Public Safety Gottschalk and Council discussed fire district options, and noting discussions within the meeting were similar to the meetings Corcoran started with in 2016 and included what the future fire service needs and expectations may look like for communities to the south of Corcoran. Council noted the meeting topic was not entirely clear in what a fire district is about and what it can be, but more in line with the topic of changing management to align with a fire district, and how teams need to prepare and implement changing to a fire district. Council reflected the meeting outlined how to implement a fire district, and the pros and cons of a fire district. Council noted the meeting reflected current fire station status and that most are ill equipped with volunteers and are not financially prepared. Council indicated the scope of the meeting was not on fire districts but describing how to move multiple cities into a fire district. Council noted future discussions should include how to protect residents on the southeast side of Corcoran. Council questioned and discussed the possibility of one of Corcoran's current partner agencies being consumed within a fire district. Council noted the City could contract with the new fire district and joining the fire district would be a separate option. Council and staff noted the City's need to continually understand what is happening within the community and if a fire district could add value to the City's needs and objectives. Council discussed the recommendations previously presented in the fire services report, and a willingness to review a new fire service plan report if Council deems it necessary. Council discussed structure fire coverages by Maple Grove and response times, and if there is an advantage of utilizing Hamel for those services. Director of Public Safety Gottschalk responded the calls for service, and the nature of the calls responded to, are an important part of the fire services residents receive from having a fire department. Council discussed mutual aid with neighboring cities. Director of Public Safety Gottschalk noted the bigger issue falls within the general service needs of residents. Director of Public Safety Gottschalk noted a fourth service provider would increase cost administratively in the evaluation of services. Council noted the good intent phone calls are a primary beneficiary of additional fire services, with a significant cost increase with a fourth provider, and inquired if Hamel Fire Department be able to accommodate a light-duty responsibility such as medical assistance calls. Council inquired how current service coverage with North Memorial Ambulatory Service applies in assisting with emergency services. Director of Public Safety Gottschalk noted any fire services would be in concert with North Memorial and would not take away from current North Memorial Ambulatory services that are deployed. Council clarified North Memorial Ambulatory services are random and are not centrally located within Corcoran. Council requested a previous set of recommendations for fire services with contributions by current fire service partners. Council noted next steps include staff recommendations of implementation of the tier one priorities as previous Council discussed. Council agreed with priorities and noted modifying the vision to prioritize medical needs falling at 80 percent of the service

calls, followed by natural disaster, and then hazmat. Council discussed focusing on implementation process with recommendations.

**MOTION:** made by Bottema, seconded by Schultz approve staff to proceed with developing the work plan according the previously adopted recommendations (Adopted December 12, 2019).

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

b. Hackamore Road Improvement Project Planning

City Administrator Martens outlined the Hackamore Road Project which was approved in February and June of 2020. City Administrator Martens reviewed the decision by the City of Medina to end their participation in the project on July 7, 2020. City Administrator Martens noted the new Medina Council is interested in reviving the Hackamore project and will be reviewing the project again at the February 16 meeting. City Administrator Martens referenced the timing of the Hackamore project and reviewed an opportunity to apply for a local road improvement fund solicitation. Council and staff discussed Medina and Corcoran's mutual participation in the road construction project and the communications to date regarding the project. Council inquired about primary and secondary applicants regarding the grant. City Administrator Martens noted the minor costs of the fund solicitation would be split between the two cities, with a letter of support from Corcoran listing Medina as the primary applicant, and Corcoran as secondary. Council asked if the grant fund is directly linked to the Hackamore Road Improvement Project. City Administrator Martens clarified the grant funds are linked directly to the project and cannot be used elsewhere. City Administrator Martens noted the importance of the project moving forward, and with the design completed, is ready for implementation and construction to begin. Council and staff discussed the final design recommendation option selected as option 2 with a 2-lane road and a dedicated turn lane option, with an evaluation of a bike lane component into the final design. Council and staff reviewed the initial selection by the Medina Council as option 2, with Corcoran confirming agreement with that option, however, the Medina Council stopped participating in the project after the Corcoran Council agreed on option 2. Council noted utilities that need to be moved with road construction and inquired if the 75 percent design cost includes the utility portion. Public Works Director Mattson noted the final stage would include right of way franchise agreements, utilities, and noted cost would be refined within that stage. Council questioned financial impacts to residents on Hackamore Road. City Administrator Martens reviewed previous Council consensus of developers supporting the cost for the road improvements as each development directly impacts use on the road and impacts the road entrance servicing the development and is a phased, cost approach on when the need is reached. Public Works Director Mattson noted initially County Road 101 and Hackamore Road were selected as phase 1 due to the potential development or need on the corner, however, phase 1 may now incorporate County Road 116 and Hackamore Road as the highest need with development movement now planned at that intersection.

**MOTION:** made by Thomas, seconded by Schultz to direct staff to proceed with the previously approved project if Medina votes to approve the project; authorize staff to apply for a Local Road Improvement Program fund solicitation grant; and authorize staff to draft a letter of support for the Local Road Improvement Program application.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

**10. New Business (Public Comment Opportunity)**

Mayor McKee invited residents to communicate telephonically during the Public Comment Opportunity for New Business items included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Comment opportunity

a. Authorize Feasibility Study – Corcoran Trail East and West Street Improvements

Public Works Director Mattson outlined the background evaluation on staff recommendations for annual street improvements. Public Works Director Mattson reviewed the history of the road noting the uniqueness of the road in that both access points are directly off County Road 50 and roads begin with

gravel sections before converting to a gravel surface. Public Works Director Mattson reviewed the deteriorated pavement is showing signs of failure and apprised an alternate lower cost construction of the pavement section may be warranted. Public Works Director Mattson noted a feasibility study will evaluate potential assessments to adjacent properties, analyze the area for existing drainage conditions in tandem with the street improvement project, as the neighborhood concerns with flooding. Public Works Director Mattson reviewed the financing for the improvements will come from a combination of sources including special assessments and local participation. Public Works Director Mattson noted based on staff projections, a substantial gap exists, and final costs will depend on the final warranted street improvements. Council discussed the stormwater issues in the neighborhood, and the assessment formula incremental values to the property owner, and if paving was requested by the neighborhood. City Administrator Martens explained the assessment formula as based on 90 percent of the low end of the range of benefit and included an example of the range of benefit between \$12,000-\$17,000, would be 90 percent of \$12,000. Staff noted no recollection of petitions for paving or dust control within the neighborhood. Council discussed past community input on improving roads, and resident's response to road improvements within the neighborhood, and the need to determine if the neighborhood wants road improvements. Council indicated some interest from residents in paving the road in the neighborhood. Council suggested before feasibility study is completed, that staff communicate through a public outreach in the neighborhood to find out if there is a desire to improve the road. Council inquired on road maintenance management and prioritization of maintenance within the City. Public Works Director Mattson noted the City's approach to road improvements and schedules, and how the roads are selected, with the limited asphalt budget. Council questioned the assessments and if they would be like Appaloosa Woods regarding the paved and gravel surface. Council and staff discussed the overlay policy and impacts to residents, indicated review of road conditions would be necessary to determine if the investment to overlay is a fiscally responsible decision, and the importance and benefits of a feasibility study. City Administrator Martens noted if community engagement is a requirement by Council, staff can incorporate an approximate estimate of road improvement costs, to validate moving forward with a feasibility study to pave a road. Council noted concerns in setting policy through allowing residents to dictate when a gravel road is transitioned to a paved road and impacts to infrastructure planning within the City with setting this policy. Council asked about the length of time a feasibility study data is valid for. Public Works Director Mattson responded the design standpoint would be standard, however, variables would be construction costs, a new letter of benefit would be necessary for 429 assessment process to fulfill accurate and valuable data.

**MOTION:** made by Schultz, seconded by Nichols to approve Wenck to complete a feasibility study including the stormwater modeling alternate study in the amount of \$17,000.

Voting Aye by Roll Call Vote: McKee, Nichols, and Schultz

Nay: Bottema and Thomas

(Motion carried 3:2)

b. Finance Staff Planning

City Administrator Martens outlined how the existing finance duties are currently distributed among staff. With the growth of the City, the allocation has been amended to hire a lead finance person to lead finance activities in the City. City Administrator Martens noted changes in job descriptions, a recruitment date, and start dates. Council discussed the value a finance director position would bring to the City. Council asked if original, finance budget funds included consulting fees. City Administrator Martens noted consulting fees were included in the original budget fund and would not be necessary with the new position. Council discussed certification requirements for the position, key goals of understanding of financial positioning of the City, and finding a high-level candidate for the position, and bringing all finance duties in-house. Council inquired about tasks the finance position would encompass and referenced transitioning outside financial services internally. City Administrator Martens responded with an example and referenced the financial management plan would be completed internally, with some initial outside setup assistance. City Administrator Martens noted bond issuances would remain as an outsourced service. Council noted the 2021 budget allowed for the

position for half a year. Council noted the importance of bringing planning and finance in-house. Council consensus directed staff to move forward with a job description for a lead finance position.

c. City Council Agenda Format

City Administrator Martens reviewed the current agenda format and requested input from Council on the current agenda format through the remainder of the COVID pandemic period. Council noted the public comment opportunities for critical items were acceptable, with consensus the public comment sections were appropriate during the COVID pandemic and can be reviewed once normal operations resume.

d. Resolution 2021-12 Supporting Legislation Authorizing Street Infrastructure Development Fees

City Administrator Martens reviewed the current legislation introduced a bill authorizing a street improvement district, essentially street improvement fees. City Administrator Martens noted currently cities have authority to process fees for parks, water, and sewer; however, cities have not had that authority over streets. City Administrator Martens outlined the process for calculating fees and how fees are attached to developments. Council inquired about smaller builders having a more viable chance to do business in Corcoran with infrastructure development fees. City Administrator Martens responded with differences in fees regarding to development size, what will trigger fees, and tax impacts over time, and noted the legislation would make developing in Corcoran more accessible to smaller builders. Council and staff discussed examples of improvements, street improvement districts processes, and that the process would be voluntary participation by cities and can be specific to certain areas within cities.

**MOTION:** made by McKee, seconded by Nichols to approve Resolution 2021-12 Supporting Legislation Authorizing Street Infrastructure Development Fees.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

**11. Staff Reports**

a. Pandemic Response Update

Director of Public Safety Gottschalk noted numbers of 470,000 current COVID cases, and currently Minnesota is on the downside of the last spike, testing sites are more functional, and vaccinations cumulatively are at 770,000. Director of Public Safety Gottschalk noted the current city operations safety and best practices. City Administrator Martens noted City Hall hours remain 8:00 am to 4:00 pm, and the additional space with the furniture installation of phase 1 of the remodel has allowed more staff to work within social distancing requirements at City Hall, with continued options of working remotely. Council and staff discussed COVID numbers and how results are reported, MDH data, public safety staffing progression with the three open officer positions, and discussion of the K-9 officer position.

**12. 2021 City Council Schedule**

City Administrator Martens reviewed the upcoming Council schedule.

**13. Adjournment**

**MOTION:** made by McKee, seconded by Thomas to adjourn.

Voting Aye by Roll Call Vote: McKee, Bottema, Nichols, Schultz, and Thomas  
(Motion carried 5:0)

Meeting adjourned at 9:32 pm.

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Michelle Friedrich – Deputy Clerk

**FINANCIAL CLAIMS**

**CHECK RANGE**

Agenda Item:

7d.

**FUND #500 ESCROW CLAIMS**

Paid to	Amount	Project name
500-20482	\$2,771.75	LANDFORM - Nelson Trucking CUP, SP, VAR 20-022
500-20469	\$106.50	LANDFORM - Ravinia 15th FP, PUD, FPUD 20-033
500-20497	\$810.50	LANDFORM - Karineimi FP 20-036
500-20209	\$414.50	LANDFORM - Orth Solar C of C 20-038
500-20307	\$106.50	LANDFORM - Scherber Rezoning - 23240 CR 30 20-040
500-20332	\$1,861.50	LANDFORM - Tavera FP and FPUD 20-042
500-20485	\$177.50	LANDFORM - Tessmer FP 20-043
500-20215	\$1,210.50	LANDFORM - Henn ADU IUP 20-045
500-20216	\$1,420.50	LANDFORM - Kariniemi Variance 20-046
500-20490	\$3,969.50	LANDFORM - Cook Lake Highlands RZ PP PUD 20-047
500-20217	\$3,283.00	LANDFORM - Wright Hennepin Substation 20-048
500-20221	\$426.00	LANDFORM - Franzen PP 20-049
500-20436	\$2,738.50	LANDFORM - Pulte PUD Concept 20-050
500-20222	\$352.00	LANDFORM - SCHERBER MINI STORAGE CONCEPT PLAN 21-002
500-20224	\$106.50	LANDFORM - LARSON IUP FOR CHOL 21-003
500-20223	\$35.50	LANDFORM - NAPA CUP AND SP 21-004
500-20204	\$706.00	WENCK ASSOCIATES, INC. - APPALOOSA WOODS ENGINEER'S REPORT
500-20480	\$330.00	WENCK ASSOCIATES, INC. - Nelson WCA
500-20480	\$180.00	WENCK ASSOCIATES, INC. - CITY OF CORCORAN NELSON TURN LANE
500-20485	\$180.00	WENCK ASSOCIATES, INC. - TESSMER WCA
500-20212	\$870.00	WENCK ASSOCIATES, INC. - GONYEA 19800 HACKAMORE RD WCA
500-20213	\$652.50	WENCK ASSOCIATES, INC. - VAN BLARICOM WCA
500-20214	\$885.00	WENCK ASSOCIATES, INC. - M/I HOMES WCA
500-20217	\$663.75	WENCK ASSOCIATES, INC. - Wright-Hennepin Substation
500-20218	\$900.00	WENCK ASSOCIATES, INC. - 10500 Maple Lane
500-20335	\$2,855.18	WENCK ASSOCIATES, INC. - LENNAR - ENGINEERING
500-20438	\$116.50	WENCK ASSOCIATES, INC. - Bass Lake Crossing M/I Home 17-012 Engineering
500-20423	\$480.92	WENCK ASSOCIATES, INC. - Bass Lake Estates Sketch PUD 17-015
500-20497	\$270.00	WENCK ASSOCIATES, INC. - Kariniemi PP 20-016
500-20210	\$337.50	WENCK ASSOCIATES, INC. - HENN PROPERTY WCA
500-20423	\$24.50	WENCK ASSOCIATES, INC. - Cold Storage Crossings
500-20459	\$270.00	WENCK ASSOCIATES, INC. - Refuge of Rush Creek FP 18-028 Wetland Escrow
500-20217	\$1,221.50	WENCK ASSOCIATES, INC. - Wright-Hennepin Substation
500-20436	\$2,305.86	WENCK ASSOCIATES, INC. - Pulte Development Infrastructure
500-20213	\$3,473.75	WENCK ASSOCIATES, INC. - VanBlaricom Concept Review
500-20471	\$1,466.25	WENCK ASSOCIATES, INC. - St. Therese Sketch Plan 19-006
500-20332	\$5,476.50	WENCK ASSOCIATES, INC. - Wessel Project Offsite Utilities
500-20490	\$5,940.00	WENCK ASSOCIATES, INC. - Cook Lake - Schommer
500-20332	\$3,314.75	WENCK ASSOCIATES, INC. - Lennar Tavera Development
500-20482	\$1,778.25	WENCK ASSOCIATES, INC. - Nelson Sketch Plan 19-023
500-20488	\$1,164.25	WENCK ASSOCIATES, INC. - Rush Creek Reserve
500-20390	\$932.55	WRIGHT HENNEPIN - Ravinia Street Lights
500-20420	\$260.35	WRIGHT HENNEPIN - Bass Lake Crossing Street Lights
500-20436	\$134.82	WRIGHT HENNEPIN - Pulte Bellwether Street Lights
<b>Total</b>	<b>\$56,981.43</b>	

**Total Fund #500 = \$ 56,981.43**  
(See attached Payments Detail)

Agenda Item:

7d.

**ALL OTHER FINANCIAL CLAIMS**

**\$ 813,043.24 \$ 870,024.67 Total Checks**

(See attached Check Detail Register)

**Total of Auto Deductions \$ 105,458.40**

**TOTAL EXPENDITURES FOR APPROVAL \$ 975,483.07**

**Auto Deductions / Electronic Fund Transfer / Other Disbursements**

Date	Paid to	Amount	
2/5/2021	Our American Kitchen - Medina, MN	\$ 139.57	Council work session
2/9/2021	Zoom.us	\$ 69.88	Remote meeting license
2/10/2021	Paypal MNFOP	\$ 175.00	PD Memberships
2/11/2021	Fleetto.com - Birmingham, AL	\$ 30.00	PD Supplies
2/11/2021	Target.com 800-591-3869	\$ 26.31	PD Supplies
2/15/2021	Best Buy - Maple Grove, MN	\$ 187.03	IT Supplies
2/18/2021	NRPA Operating	\$ 65.00	Parks memberships
2/18/2021	Minnesota Chiefs of Police Associatio	\$ 172.00	PD Memberships
2/5/2021	ACH FILE FEE	\$ 15.00	Automatic sewer/water payment ACH fee
2/5/2021	REVTRAK SV9T	\$ 836.36	Credit Card Fees for January
2/11/2021	Payroll Taxes	\$ 20,434.58	Payroll taxes
2/11/2021	Net Payroll PP03	\$ 59,483.41	Net payroll PP03
2/16/2021	State of MN - Roth	\$ 2,285.51	Deferred compensation payment to State of MN
2/16/2021	State of MN - MSRS	\$ 2,357.37	State of MN healthcare savings plan
2/16/2021	Optum - H S A	\$ 3,534.44	Health savings account
2/16/2021	MN PERA, PERA	\$ 15,329.94	Pension plan
2/18/2021	US Bank Equipment Finance	\$ 317.00	Copier lease
<b>Total</b>		<b>\$ 105,458.40</b>	

CITY OF CORCORAN

02/19/21 10:30 AM

Page 1

**\*Check Detail Register©**

February 2021

		Check Amt	Invoice	Comment
<b>10100 Farmers State Bank</b>				
<b>Unpaid ACME TOOLS</b>				
E 100-43100-210	Operating Supplies (GENERAL)	\$52.75	8425195	SUPPLIES
	<b>Total ACME TOOLS</b>	\$52.75		
<b>Unpaid ADAMS PEST CONTROL, INC.</b>				
E 100-41941-210	Operating Supplies (GENERAL)	\$92.70	3246852	PEST CONTROL
E 100-43100-210	Operating Supplies (GENERAL)	\$108.90	3248133	PEST CONTROL
	<b>Total ADAMS PEST CONTROL, INC.</b>	\$201.60		
<b>Unpaid AMAZON CAPITAL SERVICES</b>				
E 400-41941-210	Operating Supplies (GENERAL)	\$77.48	17YV-CHHM-P	SUPPLIES
E 400-41941-210	Operating Supplies (GENERAL)	\$67.98	19JK-3N17-VP	REMODEL SUPPLIES
E 400-41941-210	Operating Supplies (GENERAL)	\$135.84	1HDH-RKRG-T	SUPPLIES
E 400-41941-210	Operating Supplies (GENERAL)	\$64.94	1QF1-XDT7-C	SUPPLIES
	<b>Total AMAZON CAPITAL SERVICES</b>	\$346.24		
<b>Unpaid ASPEN EQUIPMENT</b>				
E 416-43100-550	Motor Vehicles	\$7,417.00	10225822	1GT39MFY4MF147661 WESTERN 8' PLOW
	<b>Total ASPEN EQUIPMENT</b>	\$7,417.00		
<b>Unpaid BEAUDRY OIL COMPANY</b>				
E 100-42100-223	Building Repair Supplies	\$345.93	1765258	PROPANE
E 100-43100-223	Building Repair Supplies	\$739.51	1765259	PROPANE
	<b>Total BEAUDRY OIL COMPANY</b>	\$1,085.44		
<b>Unpaid BERGAN KDV</b>				
E 416-41951-580	Other Equipment	\$900.00	1118033	SOFTWARE CONVERSION
	<b>Total BERGAN KDV</b>	\$900.00		
<b>Unpaid CENTERPOINT ENERGY HOUSTON</b>				
E 100-45200-380	Utility & Services (GENERAL)	\$276.90	021721	NATURAL GAS - 5754177-3
E 100-41941-380	Utility & Services (GENERAL)	\$21.51	021721	NATURAL GAS - 5754460-3
E 100-43100-380	Utility & Services (GENERAL)	\$2,128.13	9884559-7 01-	NATURAL GAS BASIC 9100 CO RD 19
	<b>Total CENTERPOINT ENERGY HOUSTON</b>	\$2,426.54		
<b>Unpaid CENTURY LINK</b>				
E 100-43100-321	Telephone	\$134.25	021221	LAND LINE/FIRE MONITORING-9100 763-498-7515
	<b>Total CENTURY LINK</b>	\$134.25		
<b>Unpaid CINTAS - 470</b>				
E 100-41941-210	Operating Supplies (GENERAL)	\$48.00	1901874932	LYSOL WIPES
E 100-43100-210	Operating Supplies (GENERAL)	\$91.40	4070874561	PUBLIC WORKS
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4070874638	CITY HALL
E 100-42100-223	Building Repair Supplies	\$24.10	4070874657	FLOOR MATS - POLICE
E 100-43100-210	Operating Supplies (GENERAL)	\$72.28	4070874714	TOWELS
E 100-43100-417	Uniforms	\$116.94	4070874718	UNIFORMS
E 100-42100-223	Building Repair Supplies	\$35.76	4072257496	FLOOR MATS - POLICE



CITY OF CORCORAN

**\*Check Detail Register©**

February 2021

		Check Amt	Invoice	Comment
E 100-43100-210	Operating Supplies (GENERAL)	\$91.40	4072257515	PUBLIC WORKS
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4072257535	CITY HALL
E 100-43100-417	Uniforms	\$116.94	4072257652	UNIFORMS
E 100-42100-223	Building Repair Supplies	\$24.10	4074245167	FLOOR MATS - POLICE
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4074245178	CITY HALL
E 100-43100-210	Operating Supplies (GENERAL)	\$46.73	4074245179	PUBLIC WORKS
E 100-43100-417	Uniforms	\$138.60	4074245239	UNIFORMS
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4074854473	CITY HALL
E 100-43100-417	Uniforms	\$138.60	4074854481	UNIFORMS
E 100-42100-223	Building Repair Supplies	\$35.76	4074854545	FLOOR MATS - POLICE
E 100-43100-210	Operating Supplies (GENERAL)	\$91.40	4074854593	PUBLIC WORKS
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4075504857	CITY HALL
E 100-43100-210	Operating Supplies (GENERAL)	\$46.73	4075504861	PUBLIC WORKS
E 100-42100-223	Building Repair Supplies	\$24.10	4075504892	FLOOR MATS - POLICE
E 100-43100-417	Uniforms	\$138.60	4075504946	UNIFORMS
E 100-43100-210	Operating Supplies (GENERAL)	\$72.28	4076109188	TOWELS
E 100-41941-210	Operating Supplies (GENERAL)	\$10.00	4076109217	HAND SANITIZER
E 100-42100-223	Building Repair Supplies	\$24.10	4076109246	FLOOR MATS - POLICE
E 100-43100-210	Operating Supplies (GENERAL)	\$91.40	4076109273	PUBLIC WORKS
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4076109292	CITY HALL
E 100-43100-417	Uniforms	\$138.60	4076109323	UNIFORMS
<b>Total CINTAS - 470</b>		<b>\$2,345.80</b>		
<hr/>				
<b>Unpaid COMCAST-INTERNET</b>				
E 100-41941-321	Telephone	\$144.17	021621	CITY HALL INTERNET
E 100-42100-321	Telephone	\$144.18	021621	PD INTERNET
<b>Total COMCAST-INTERNET</b>		<b>\$288.35</b>		
<hr/>				
<b>Unpaid COMPUTER INTEGRATION TECH</b>				
E 100-41951-300	Professional Srvs (GENERAL)	\$145.00	120331	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$226.00	120442	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$80.00	120461	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$2,797.25	304547	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$69.00	304702	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$792.00	304833	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$595.00	305076	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$4,215.00	305259	IT MANAGED SERVICE - MTH
<b>Total COMPUTER INTEGRATION TECH</b>		<b>\$8,919.25</b>		
<hr/>				
<b>Unpaid CRYSTEEL TRUCK EQUIPMENT</b>				
E 100-43100-220	Repair/Maint Supply (GENERAL)	\$237.00	FP180597	2020 CHEV/GM RACK
<b>Total CRYSTEEL TRUCK EQUIPMENT</b>		<b>\$237.00</b>		
<hr/>				
<b>Unpaid CULLIGAN BOTTLED WATER</b>				
E 100-41941-210	Operating Supplies (GENERAL)	\$47.83	114X78888209	OFFICE WATER
<b>Total CULLIGAN BOTTLED WATER</b>		<b>\$47.83</b>		
<hr/>				
<b>Unpaid DISPLAY SALES COMPANY</b>				

CITY OF CORCORAN

02/19/21 10:30 AM

Page 3

**\*Check Detail Register©**

February 2021

		Check Amt	Invoice	Comment
E 100-45200-210	Operating Supplies (GENERAL)	\$440.00	SO-328123-1	10'X15' POLYESTER UNITED STATES FLAG
<b>Total DISPLAY SALES COMPANY</b>		\$440.00		
<b>Unpaid DVS</b>				
E 100-42100-220	Repair/Maint Supply (GENERAL)	\$8.00	686UAH 2016	VEHICLE REGISTRATION - 1FM5K8AR6GGB35895
<b>Total DVS</b>		\$8.00		
<b>Unpaid ECM PUBLISHERS INC</b>				
E 100-41910-210	Operating Supplies (GENERAL)	\$35.62	819792	FEB 18 INTERIM USE PERMIT
E 100-41910-210	Operating Supplies (GENERAL)	\$35.62	819793	FEB 18 SHAMROCK ADDITION PH
E 100-41910-210	Operating Supplies (GENERAL)	\$35.62	819794	FEB 18 HUNTERS PLACE PH
<b>Total ECM PUBLISHERS INC</b>		\$106.86		
<b>Unpaid ENFORCEMENT LIGHTING, LLC</b>				
E 416-42100-210	Operating Supplies (GENERAL)	\$8,100.00	012121	2020 FORD SUV #570
<b>Total ENFORCEMENT LIGHTING, LLC</b>		\$8,100.00		
<b>Unpaid GRAINGER</b>				
E 100-43100-210	Operating Supplies (GENERAL)	\$12.07	9799142618	SUPPLIES
<b>Total GRAINGER</b>		\$12.07		
<b>Unpaid HENN CO SHERIFF-MC131</b>				
E 100-42100-323	Radio Units	\$1,392.18	1000158093	Radio Fees / MDC - (Inv. )
E 100-43100-210	Operating Supplies (GENERAL)	\$220.95	1000158160	Radio Fees - Public Works
E 100-42100-301	Prisoner	\$116.00	1000159010	Prisoner Fees - Booking / Housing
<b>Total HENN CO SHERIFF-MC131</b>		\$1,729.13		
<b>Unpaid HENNEPIN COUNTY TREASURER-A600</b>				
E 100-41910-210	Operating Supplies (GENERAL)	\$12.50	1000158489	RECORDED DOCUMENTS
<b>Total HENNEPIN COUNTY TREASURER-A600</b>		\$12.50		
<b>Unpaid INTRADO INTERACTIVE SERVICES</b>				
E 100-41941-210	Operating Supplies (GENERAL)	\$1,750.00	130178	CIVIC LIVE - PROFESSIONAL SERVICES
<b>Total INTRADO INTERACTIVE SERVICES</b>		\$1,750.00		
<b>Unpaid JORDAN, LARRY &amp; RENEE</b>				
R 100-45200-34101	Facility Rental	\$100.00	16465	JUNE 21, 2020 SHELTER RESERVATION REFUND
<b>Total JORDAN, LARRY &amp; RENEE</b>		\$100.00		
<b>Unpaid KENTCO SIGNS</b>				
E 100-43100-210	Operating Supplies (GENERAL)	\$327.50	26496	VINYL DECALS
E 100-43100-210	Operating Supplies (GENERAL)	\$109.60	26503	CITY OF CORCORAN DECALS
<b>Total KENTCO SIGNS</b>		\$437.10		
<b>Unpaid LANDFORM</b>				
G 500-20482	Nelson Sketch Plan 19-023	\$2,771.75	31355	Nelson Trucking CUP, SP, VAR 20-022
G 500-20469	Rav 11-13 18-040, 19-002 & 012	\$106.50	31355	Ravinia 15th FP, PUD, FPU D 20-033
G 500-20497	Kariniemi PP 20-016	\$810.50	31355	Kariniemi FP 20-036
G 500-20209	Orth Solar C of C 20-038	\$414.50	31355	Orth Solar C of C 20-038

CITY OF CORCORAN

**\*Check Detail Register©**

February 2021

		Check Amt	Invoice	Comment
G 500-20307	Linda Kohnen 23240 CR 30 WCA	\$106.50	31355	Scherber Rezoning - 23240 CR 30 20-040
G 500-20332	Lennar Tavera Development	\$1,861.50	31355	Tavera FP and FPU D 20-042
G 500-20485	Tessmer -Topo Exemption 20-007	\$177.50	31355	Tessmer FP 20-043
E 100-41910-300	Professional Srvs (GENERAL)	\$568.00	31355	Hunters Place 2nd Addition PP and FP 20-044
G 500-20215	Henn ADU IUP 20-045	\$1,210.50	31355	Henn ADU IUP 20-045
G 500-20216	Kariniemi Variance 20-046	\$1,420.50	31355	Kariniemi Variance 20-046
G 500-20490	Cook Lake - Schommer	\$3,969.50	31355	Cook Lake Highlands RZ PP PUD 20-047
G 500-20217	Wright Henn Substation 20-048	\$3,283.00	31355	Wright Hennepin Substation 20-048
G 500-20221	Franzen Minor Subd #20-049	\$426.00	31355	Franzen PP 20-049
G 500-20436	Pulte Encore - PUD Skch 17-029	\$2,738.50	31355	Pulte PUD Concept 20-050
E 100-41910-300	Professional Srvs (GENERAL)	\$511.00	31356	SCHLANGEN AG EXPIRATION 21-001
G 500-20222	Scherber Garages Too 21-002	\$352.00	31356	SCHERBER MINI STORAGE CONCEPT PLAN 21-002
G 500-20224	Larson IUP for CHOL 21-003	\$106.50	31356	LARSON IUP FOR CHOL 21-003
G 500-20223	Napa Site Plan CUP 21-004	\$35.50	31356	NAPA CUP AND SP 21-004
E 100-41910-300	Professional Srvs (GENERAL)	\$9,239.50	31356	CORCORAN PLANNING
E 100-41920-300	Professional Srvs (GENERAL)	\$1,116.50	31356	CODE ENFORCEMENT
E 100-41910-300	Professional Srvs (GENERAL)	\$200.00	31356	CITY MEETINGS
<b>Total LANDFORM</b>		<b>\$31,425.75</b>		
<hr/>				
Unpaid		<b>LIGHTBULBS.COM</b>		
E 100-41941-210	Operating Supplies (GENERAL)	\$318.94	INV3264309	LED LIGHTBULBS
<b>Total LIGHTBULBS.COM</b>		<b>\$318.94</b>		
<hr/>				
Unpaid		<b>M/I HOMES OF MINNEAPOLIS, LLC</b>		
R 601-49400-36233	Refunds/Reimbursements	\$203.24	REFUNDS	WATER/SEWER BILL REFUNDS
<b>Total M/I HOMES OF MINNEAPOLIS, LLC</b>		<b>\$203.24</b>		
<hr/>				
Unpaid		<b>MAPLE GROVE, CITY OF</b>		
E 601-49400-310	Other Professional Services	\$601,112.00	2020	MAPLE GROVE WATER HOOKUP CHARGES FOR 2020
E 601-49400-311	Water Purchased	\$14,755.32	20819	WATER USAGE 4TH QTR
<b>Total MAPLE GROVE, CITY OF</b>		<b>\$615,867.32</b>		
<hr/>				
Unpaid		<b>MCDONOUGH, MARK</b>		
E 202-42100-213	Police K9	\$2,850.00	21-007	K-9 BOARDING
<b>Total MCDONOUGH, MARK</b>		<b>\$2,850.00</b>		
<hr/>				
Unpaid		<b>MENARDS MAPLE GROVE</b>		
E 400-41941-210	Operating Supplies (GENERAL)	\$52.98	78188	SUPPLIES
E 400-41941-210	Operating Supplies (GENERAL)	\$91.18	78533	SUPPLIES
E 100-45200-210	Operating Supplies (GENERAL)	\$29.98	78635	SUPPLIES
<b>Total MENARDS MAPLE GROVE</b>		<b>\$174.14</b>		
<hr/>				
Unpaid		<b>METROPOLITAN COUNCIL ENVIRO</b>		
E 602-49450-312	MCES Sewage Treatment	\$6,213.01	0001119390	MATERIAL TREATMENT
<b>Total METROPOLITAN COUNCIL ENVIRO</b>		<b>\$6,213.01</b>		
<hr/>				
Unpaid		<b>MINNESOTA DEPT OF HEALTH</b>		
E 601-49400-300	Professional Srvs (GENERAL)	\$1,098.00	1270075-1Q	WATER SUPPLY SERVICE

CITY OF CORCORAN

02/19/21 10:30 AM

Page 5

**\*Check Detail Register©**

February 2021

		Check Amt	Invoice	Comment
<b>Total</b>	<b>MINNESOTA DEPT OF HEALTH</b>	\$1,098.00		
Unpaid	<b>MN CHIEFS OF POLICE ASSOC</b>			
E 100-42100-208	Training and Instruction	\$150.00	11840	TRAINING WEBINARS
<b>Total</b>	<b>MN CHIEFS OF POLICE ASSOC</b>	\$150.00		
Unpaid	<b>NORTHERN SAFETY TECHNOLOGY</b>			
E 100-43100-220	Repair/Maint Supply (GENERAL)	\$895.20	51878	RESPONDER LOW PROFILE AMBER LED
<b>Total</b>	<b>NORTHERN SAFETY TECHNOLOGY</b>	\$895.20		
Unpaid	<b>QUIRING, EDWARD</b>			
R 100-43100-34301	Dust Control	\$77.92	REFUND	8985 Bechtold Road
<b>Total</b>	<b>QUIRING, EDWARD</b>	\$77.92		
Unpaid	<b>STREICHER S POLICE EQUIPMENT</b>			
E 100-42100-417	Uniforms	\$80.00	11482323	UNIFORM PATCHES
<b>Total</b>	<b>STREICHER S POLICE EQUIPMENT</b>	\$80.00		
Unpaid	<b>TEGRETE</b>			
E 100-41941-400	Repairs & Maint Cont (GENERAL)	\$380.00	94490	MONTHLY CITY HALL CLEANING
<b>Total</b>	<b>TEGRETE</b>	\$380.00		
Unpaid	<b>TERMINAL SUPPLY CO</b>			
E 100-43100-210	Operating Supplies (GENERAL)	\$219.96	15864-00	SUPPLIES
<b>Total</b>	<b>TERMINAL SUPPLY CO</b>	\$219.96		
Unpaid	<b>TOLL GAS AND WELDING SUPPLY</b>			
E 100-43100-210	Operating Supplies (GENERAL)	\$395.39	10390224	SUPPLIES
E 100-43100-210	Operating Supplies (GENERAL)	\$530.00	70009226	SUPPLIES
<b>Total</b>	<b>TOLL GAS AND WELDING SUPPLY</b>	\$925.39		
Unpaid	<b>VERIZON WIRELESS</b>			
E 100-42100-323	Radio Units	\$568.25	9872103005	RADIO UNITS
E 100-42100-321	Telephone	\$349.22	9872103005	CELL SERVICE
E 100-41951-210	Operating Supplies (GENERAL)	\$40.01	9872103005	Code Enforcement Ipad
E 100-41400-219	Covid-19 Coronavirus	\$167.12	9872103005	CELL PHONES
E 100-41920-219	Covid-19 Coronavirus	\$41.78	9872103005	CELL PHONES
E 100-45200-219	Covid-19 Coronavirus	\$46.78	9872103005	CELL PHONES
<b>Total</b>	<b>VERIZON WIRELESS</b>	\$1,213.16		
Unpaid	<b>WEBER, INC.</b>			
E 400-41941-520	Buildings and Structures	\$107,727.32	PAY 3	PAY REQUEST #3 56% COMPLETE
<b>Total</b>	<b>WEBER, INC.</b>	\$107,727.32		
Unpaid	<b>WENCK ASSOCIATES, INC.</b>			
E 100-43170-300	Professional Svcs (GENERAL)	\$616.25	021821	General Eng Services
G 500-20204	Appaloosa Woods Feasibility	\$706.00	021821	APPALOOSA WOODS ENGINEER'S REPORT
E 601-49400-303	Engineering Fees	\$1,234.50	021821	Water - Engineering
E 601-49400-303	Engineering Fees	\$785.50	021821	2020 SE CORCORAN TRUNK WATERMAIN

CITY OF CORCORAN

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February 2021

		Check Amt	Invoice	Comment
E 100-43170-300	Professional Srvs (GENERAL)	\$1,989.25	021821	Transportation
E 100-43170-300	Professional Srvs (GENERAL)	\$1,383.75	021821	Storm Water - Engineering
E 100-43170-299	Watershed LGU	\$1,713.75	021821	RESIDENT WCA ITEMS
E 100-43170-299	Watershed LGU	\$573.75	021821	WCA VIOLATION - E. MAYERS
E 100-43170-299	Watershed LGU	\$630.00	021821	ANNUAL REPORTING
G 500-20480	Nelson Wetland Review	\$330.00	021821	Nelson WCA
E 601-49400-303	Engineering Fees	\$180.00	021821	CITY OF CORCORAN TEST WELL SITE
E 100-43170-300	Professional Srvs (GENERAL)	\$180.00	021821	CITY OF CORCORAN BRIDGE REPLACEMENT
G 500-20480	Nelson Wetland Review	\$180.00	021821	CITY OF CORCORAN NELSON TURN LANE
G 500-20485	Tessmer -Topo Exemption 20-007	\$180.00	021821	TESSMER WCA
G 500-20212	Gonyea 19800 Hackamore Rd WCA	\$870.00	021821	GONYEA 19800 HACKAMORE RD WCA
G 500-20213	Van Blaricom WCA	\$652.50	021821	VAN BLARICOM WCA
G 500-20214	M/I Homes WCA	\$885.00	021821	M/I HOMES WCA
G 500-20217	Wright Henn Substation 20-048	\$663.75	021821	Wright-Hennepin Substation
G 500-20218	10500 Maple Lane WCA	\$900.00	021821	10500 Maple Lane
E 601-49400-303	Engineering Fees	\$1,237.25	021821	NE Water Supply
E 601-49400-234	Inspections	\$965.25	021821	PULTE
E 602-49450-234	Inspections	\$965.25	021821	PULTE
E 601-49400-234	Inspections	\$566.00	021821	RAVINIA
E 602-49450-234	Inspections	\$566.00	021821	RAVINIA
E 601-49400-234	Inspections	\$352.50	021821	BASS LAKE CROSSING
E 602-49450-234	Inspections	\$352.50	021821	BASS LAKE CROSSING
E 100-43170-300	Professional Srvs (GENERAL)	\$6,858.00	021821	BRIDGE FEASIBILITY STUDY
G 500-20335	Lennar Eng Plan Review/Modific	\$2,855.18	021821	LENNAR - ENGINEERING
E 427-43100-530	Improvements Other Than Bldgs	\$3,303.15	021821	66th Street Design and Construction
G 500-20438	Bass Lk CR M/I HomeEngineering	\$116.50	021821	Bass Lake Crossing M/I Home 17-012 Engineering
G 500-20423	Bass Lake Est Skch PUD 17-015	\$480.92	021821	Bass Lake Estates Sketch PUD 17-015
G 500-20497	Kariniemi PP 20-016	\$270.00	021821	Kariniemi PP 20-016
G 500-20210	Henn Property WCA	\$337.50	021821	HENN PROPERTY WCA
G 500-20423	Bass Lake Est Skch PUD 17-015	\$24.50	021821	Cold Storage Crossings
G 500-20459	Refuge of Rush Creek FP 18-028	\$270.00	021821	Refuge of Rush Creek FP 18-028 Wetland Escrow
G 500-20217	Wright Henn Substation 20-048	\$1,221.50	021821	Wright-Hennepin Substation
G 500-20436	Pulte Encore - PUD Skch 17-029	\$2,305.86	021821	Pulte Development Infrastructure
G 500-20213	Van Blaricom WCA	\$3,473.75	021821	VanBlaricom Concept Review
E 427-43100-530	Improvements Other Than Bldgs	\$1,040.00	021821	CSAH 116 and Gleason Parkway Turn Lanes
G 500-20471	St. Therese Sketch Plan 19-006	\$1,466.25	021821	St. Therese Sketch Plan 19-006
G 500-20332	Lennar Tavera Development	\$5,476.50	021821	Wessel Project Offsite Utilities
G 500-20490	Cook Lake - Schommer	\$5,940.00	021821	Cook Lake - Schommer
G 500-20332	Lennar Tavera Development	\$3,314.75	021821	Lennar Tavera Development
G 500-20482	Nelson Sketch Plan 19-023	\$1,778.25	021821	Nelson Sketch Plan 19-023
G 500-20488	Rush Creek Reserve	\$1,164.25	021821	Rush Creek Reserve
<b>Total WENCK ASSOCIATES, INC.</b>		<b>\$61,355.61</b>		

Unpaid

**WRIGHT HENNEPIN COOP ELECT**

G 500-20390	Ravinia Street Lights	\$0.00	021721	Bridle/Gleason: 150-1690-5131
G 500-20390	Ravinia Street Lights	\$15.46	021721	Bridle/Paddock: 150-1690-5135
G 500-20390	Ravinia Street Lights	\$14.98	021721	Paddock Ln 150-1690-5137
G 500-20390	Ravinia Street Lights	\$15.46	021721	Bridle Path: 150-1690-5146

CITY OF CORCORAN

**\*Check Detail Register©**

February 2021

	Check Amt	Invoice	Comment
G 500-20390	Ravinia Street Lights	\$15.46 021721	Paddock/Bridle: 150-1690-5158
G 500-20390	Ravinia Street Lights	\$15.46 021721	6471 Carriage: 150-1691-0155
G 500-20390	Ravinia Street Lights	\$15.46 021721	Bridle/Steeple: 150-1691-0158
G 500-20390	Ravinia Street Lights	\$15.46 021721	Bridle/Bluestem: 150-1691-0168
G 500-20390	Ravinia Street Lights	\$15.46 021721	Prairie/Bridle: 150-1691-0174
G 500-20390	Ravinia Street Lights	\$15.46 021721	Bridle Path: 150-1691-0177
G 500-20390	Ravinia Street Lights	\$15.46 021721	Elderberry Ct: 150-1691-0178
G 500-20390	Ravinia Street Lights	\$14.98 021721	19301 Annabelle: 150-1691-8063
G 500-20390	Ravinia Street Lights	\$14.98 021721	6675 Carriage: 150-1691-8064
G 500-20390	Ravinia Street Lights	\$14.98 021721	6681 Bridle: 150-1691-8066
G 500-20390	Ravinia Street Lights	\$14.98 021721	6657 Bridle: 150-1691-8079
G 500-20390	Ravinia Street Lights	\$14.98 021721	19130 Galloway: 150-1691-8080
G 500-20390	Ravinia Street Lights	\$14.98 021721	19065 Galloway: 150-1691-8082
G 500-20390	Ravinia Street Lights	\$30.43 021721	6485 Larkspur: 150-1692-0907
G 500-20390	Ravinia Street Lights	\$14.98 021721	6398 Larkspur: 150-1692-0908
G 500-20390	Ravinia Street Lights	\$14.98 021721	66TH/CEDAR: 150-1692-8373
G 500-20390	Ravinia Street Lights	\$14.98 021721	Bridle/66th Ave: 150-1692-8374
G 500-20390	Ravinia Street Lights	\$14.98 021721	19437 Lupine LN: 150-1693-0197
G 500-20390	Ravinia Street Lights	\$14.98 021721	19389 Lupine LN: 150-1693-0199
G 500-20390	Ravinia Street Lights	\$14.98 021721	19345 Golden TR: 150-1693-0200
G 500-20390	Ravinia Street Lights	\$14.98 021721	6310 Steeple LN: 150-1693-0201
G 500-20390	Ravinia Street Lights	\$14.98 021721	6370 Steeple LN: 150-1693-0202
G 500-20390	Ravinia Street Lights	\$14.98 021721	19367 Annabelle: 150-1693-5724
G 500-20390	Ravinia Street Lights	\$14.98 021721	19343 Annabelle: 150-1693-5726
G 500-20390	Ravinia Street Lights	\$14.98 021721	19315 Primrose: 150-1693-5731
G 500-20390	Ravinia Street Lights	\$14.98 021721	19399 Primrose: 150-1693-5732
G 500-20390	Ravinia Street Lights	\$14.98 021721	Primrose/Wildfl: 150-1693-5733
G 500-20390	Ravinia Street Lights	\$14.98 021721	Wildflo/Gleason: 150-1693-5734
G 500-20390	Ravinia Street Lights	\$14.98 021721	Gleason/Wildflo: 150-1693-5986
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN/75TH AVE: 150-1693-7072
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN N: 150-1693-7074
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN/74TH AVE: 150-1693-7075
G 500-20420	Bass Lake Cross MI Home 17-012	\$23.67 021721	FIR LN N/CR 10: 150-1693-7076
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	74TH AVE N: 150-1693-7077
G 500-20420	Bass Lake Cross MI Home 17-012	\$23.67 021721	FIR LN N/CR 10: 150-1694-0076
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN N: 150-1694-0078
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN N/LOT #8: 150-1694-0079
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN N/72ND N: 150-1694-0080
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	72ND AVE N: 150-1694-0081
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	FIR LN N/LOT #5: 150-1694-0082
G 500-20390	Ravinia Street Lights	\$14.98 021721	ANNABELLE LOT 5 150-1694-0821
G 500-20390	Ravinia Street Lights	\$14.98 021721	PRIMROSE COURT 150-1694-4502
G 500-20390	Ravinia Street Lights	\$14.98 021721	SUNFLOWER COURT 150-1694-4503
G 500-20390	Ravinia Street Lights	\$14.98 021721	WILDFLOWER TRL 150-1694-4505
G 500-20390	Ravinia Street Lights	\$14.98 021721	WILDFLOWER TRL 150-1694-4506
G 500-20420	Bass Lake Cross MI Home 17-012	\$18.27 021721	74TH PL & MAPLE 150-1694-6889
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	JACK PINE LN N 150-1694-6891
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98 021721	74TH AVE N 150-1694-6892

CITY OF CORCORAN

**\*Check Detail Register©**

February 2021

		Check Amt	Invoice	Comment
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	021721	75TH AVE N 150-1694-6893
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	021721	HICKORY LN N 150-1694-6894
G 500-20390	Ravinia Street Lights	\$14.98	021721	MEADOW RUE CT 150-1694-7911
G 500-20390	Ravinia Street Lights	\$14.98	021721	STEEPLE CHASE LN 150-1694-7917
G 500-20390	Ravinia Street Lights	\$14.98	021721	SNOWBERRY CT 150-1694-7918
G 500-20390	Ravinia Street Lights	\$14.98	021721	MEADOW RUE CT 150-1694-7919
G 500-20390	Ravinia Street Lights	\$14.98	021721	STEEPLE CHASE LN 150-1694-7920
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	102ND PLACE/ 103RD AVENUE 150-1694-7926
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	STIEG ROAD 150-1694-8543
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	STIEG ROAD 150-1694-8544
G 500-20390	Ravinia Street Lights	\$14.98	021721	LARKSPUR LN/63RD 150-1694-9986
G 500-20390	Ravinia Street Lights	\$14.98	021721	63RD AVE N 150-1694-9987
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	IRONWOOD LN 150-1695-5954
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	IRONWOOD LN/10ND PLACE 150-1695-5955
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	JACKPINE LN/IRONWOOD CT 150-1695-5957
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	102ND AVE 150-1695-5961
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	102ND AVE/JACKPINE LN 150-1695-5963
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	021721	102ND PL/JACK PINE LN 150-1695-5964
G 500-20390	Ravinia Street Lights	\$14.98	021721	COACH HOUSE LN 150-1695-6350
G 500-20390	Ravinia Street Lights	\$14.98	021721	COACH HOUSE LN/ANNABELLE 150-1695-6351
G 500-20390	Ravinia Street Lights	\$13.98	021721	ANNABELLE LN/BLACK OAK LN 150-1695-6352
G 500-20390	Ravinia Street Lights	\$14.98	021721	ANNABELLE CT 150-1695-6359
G 500-20390	Ravinia Street Lights	\$14.98	021721	COACH HOUSE LN LOT #1 150-1695-6365
G 500-20390	Ravinia Street Lights	\$14.98	021721	BLACK OAK CT 150-1695-6367
G 500-20390	Ravinia Street Lights	\$14.98	021721	BLACK OAK LN/BLACK OAK CT 150-1695-6371
G 500-20390	Ravinia Street Lights	\$14.98	021721	BLACK OAK LN 150-1695-7149
G 500-20390	Ravinia Street Lights	\$14.98	021721	Gleason Pkwy/Bridle 150-1695-8428
G 500-20390	Ravinia Street Lights	\$14.98	021721	Bridle Path 150-1695-8431
G 500-20390	Ravinia Street Lights	\$14.98	021721	Prairie Sage LN 105-1695-8432
G 500-20390	Ravinia Street Lights	\$14.98	021721	Prairie Sage LN 150-1695-8435
G 500-20390	Ravinia Street Lights	\$14.98	021721	Prairie Sage LN 150-1695-8436
G 500-20390	Ravinia Street Lights	\$14.98	021721	Prairie Sage LN/Bridle Path 150-1695-8438
G 500-20390	Ravinia Street Lights	\$14.98	021721	Gleason Pkwy 150-1695-9395
G 500-20390	Ravinia Street Lights	\$14.98	021721	Gleason Pkwy 150-1695-9396
G 500-20390	Ravinia Street Lights	\$14.98	021721	Gleason Pkwy 150-1695-9398
<b>Total WRIGHT HENNEPIN COOP ELECT</b>		<b>\$1,327.72</b>		

Unpaid		<b>XCEL ENERGY</b>		
E 100-43100-381	Street/Signal Lights	\$406.36	718655212	STREET LIGHTING 9525 CAIN ROAD
<b>Total XCEL ENERGY</b>		<b>\$406.36</b>		

Unpaid		<b>ZUTHER, SHAWNA</b>		
E 100-41400-210	Operating Supplies (GENERAL)	\$17.92	021621	MILEAGE
<b>Total ZUTHER, SHAWNA</b>		<b>\$17.92</b>		

**10100 Farmers State Bank** **\$870,024.67**

CITY OF CORCORAN

**\*Check Detail Register©**

February 2021

Check Amt Invoice Comment

Fund Summary

**10100 Farmers State Bank**

100 GENERAL FUND	\$50,629.05		
202 POLICE DONATION FUND	\$2,850.00		
400 CITY HALL REMODEL 2020-2021	\$108,217.72		
416 CAPITAL-EQUIPMENT CERTS	\$16,417.00		
427 GLEASON/66TH PARKWAY EXTENSION	\$4,343.15		
500 ESCROW HOLDING FUND	\$56,981.43		
601 WATER	\$622,489.56		
602 SEWER	\$8,096.76		
	<hr/>		
	\$870,024.67		



**City of Corcoran  
Consultant Summary  
2/25/2021**

<u>Name</u>	<u>Invoice Date</u>	<u>Amount Due</u>
Carson, Clelland & Schreder		
Landform	02/12/21	31,425.75
Metro West Inspection		
Wenck Associates	02/19/21	61,355.61
<b>Total</b>		<b>\$ 92,781.36</b>

<b>Select Entry or Add Entry(F5)</b>	Search Name	Refer	Invoice	Comments	Erro ^	Reset Screen	Turn ON help window
<b>Print Entry</b>	INTRADO INTERA	36535	130178	CIVIC LIVE - PROFESSIONA		B# 3354	
<b>Delete Entry</b>	KENTCO SIGNS	36537				E# 20355	
<b>Copy Entry</b>	LANDFORM	36538					
<b>Allocate Entry</b>	LAND EQUIPMENT	36539	03-811710				

**Fixed Assets**

Pay To LANDFORM      V#211      Invoice      Inv Date 2/12/2021

Vendor Customer Copy Recur See Transactions Copy Invoice/Date to below Invoice Total Optional

Ref/Claim# 36538 Claim Type Direct

Comment Copy Comments to entries below Copy Project to entries below

Bank or AP Farmers State Bank      Transaction Date 2/17/2021

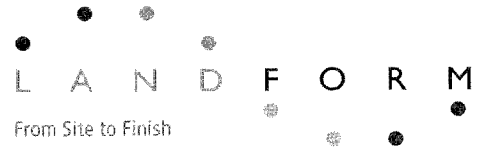
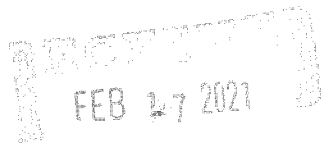
*Italics fields are copied when lines are added below.*

Account	Am	Comments	Invoice	Inv Date	PD	Final	Proj	Nbr
E 100-41910-300	Professional Svcs	SCHLANGEN AG EXP	31356	2/12/2021	0			20
G 500-20222	Scherber Garages	SCHERBER MINI STC	31356	2/12/2021	0			20
G 500-20224	Larson IUP for CHO	LARSON IUP FOR CH	31356	2/12/2021	0			20
G 500-20223	Napa Site Plan CUP	NAPA CUP AND SP 2	31356	2/12/2021	0			20
E 100-41910-300	Professional Svcs	CORCORAN PLANNIN	31356	2/12/2021	0			20
E 100-41920-300	Professional Svcs	CODE ENFORCEMEN	31356	2/12/2021	0			20
E 100-41910-300	Professional Svcs	CITY MEETINGS	31356	2/12/2021	0			20
G 500-20482	Nelson Sketch Plan	Nelson Trucking CUP	31355	2/12/2021	0			20
G 500-20469	Rav 11-13 19-040	Ravinia 15th FP, PUD	31355	2/12/2021	0			20
G 500-20497	Kariniemi PP 20-018	Kariniemi FP 20-036	31355	2/12/2021	0			20
G 500-20209	Orth Solar C of C 20	Orth Solar C of C 20-05	31355	2/12/2021	0			20
G 500-20307	Linda Kohnen 2324	Scherber Rezoning - 2	31355	2/12/2021	0			20
G 500-20332	Lennar Tavera Dev	Tavera FP and FPUD	31355	2/12/2021	0			20
G 500-20485	Tessmer -Topo Evec	Tessmer FP 20-043	31355	2/12/2021	0			20
E 100-41910-300	Professional Svcs	Hunters Place 2nd Adc	31355	2/12/2021	0			20
G 500-20215	Henn ADU IUP 20-04	Henn ADU IUP 20-04E	31355	2/12/2021	0			20
G 500-20216	Kariniemi Variance	Kariniemi Variance 20-04	31355	2/12/2021	0			20
G 500-20490	Cook Lake - Schomi	Cook Lake Highlands I	31355	2/12/2021	0			20
G 500-20217	Wright Henn Substa	Wright Hennepin Subs	31355	2/12/2021	0			20
G 500-20221	Franzen Minor Subc	Franzen PP 20-049	31355	2/12/2021	0			20
G 500-20436	Pulte Encore - PUD	Pulte PUD Concept 20	31355	2/12/2021	0			20
* E								

\$31,425.75 Page Total  
 Batch Entered So Far \$276,898.06 Your Total Zero

Date: 2/19/2021  
 Code to Acct # 100-  
 Amount to Pay \_\_\_\_\_  
 Comments: \_\_\_\_\_

Approval Initials: OTB  
 \_\_\_\_\_ Dept. Head  
 \_\_\_\_\_ City Admin  
 \_\_\_\_\_ Treasurer



**City of Corcoran**  
 8200 County Road 116  
 Corcoran, MN 55340

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

**INVOICE**

No. 31355  
 02/08/2021

**Corcoran Planning Services - Corcoran, MN**  
**COR20021.GEN**  
 Contract/PO#:  
 For Services Rendered Through 1/31/2021

**.022 - Nelson Trucking CUP, SP, VAR (city file 20-022)**

**Professional Services**

Employee	Hours	Rate	Amount
Hofer, Tanner J	20.50	77.00	\$1,578.50
Lindahl, Kendra S.	6.00	142.00	\$852.00
Popehn, Josh K.	3.25	105.00	\$341.25

**Total Professional Services for .022** \$2,771.75

**Total Charges for .022** \$2,771.75

**.033 - Ravinia 15th FP, PUD Amendment and Final PUD (city file 20-033)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.75	142.00	\$106.50

**Total Professional Services for .033** \$106.50

**Total Charges for .033** \$106.50

**.036 - Karineimi Final Plat (city file 20-036)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	2.75	142.00	\$390.50

Shay, Kevin M.	4.00	105.00	\$420.00
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<b>Total Professional Services for .036</b>			<b>\$810.50</b>
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<b>Total Charges for .036</b>			<b>\$810.50</b>
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**.038 - Orth Solar C of C (City file 20-038)**

**Professional Services**

Employee	Hours	Rate	Amount
Hofer, Tanner J	4.00	77.00	\$308.00
Lindah, Kendra S.	.75	142.00	\$106.50

<b>Total Professional Services for .038</b>			<b>\$414.50</b>
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<b>Total Charges for .038</b>			<b>\$414.50</b>
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**.040 - Scherber Rezoning - 23240 CR 30 (city file 20-040)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindah, Kendra S.	.75	142.00	\$106.50

<b>Total Professional Services for .040</b>			<b>\$106.50</b>
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<b>Total Charges for .040</b>			<b>\$106.50</b>
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**.042 - Tavera FP and FPUD (city file 20-042)**

**Professional Services**

Employee	Hours	Rate	Amount
Hofer, Tanner J	8.50	77.00	\$654.50
Lindah, Kendra S.	8.50	142.00	\$1,207.00

<b>Total Professional Services for .042</b>			<b>\$1,861.50</b>
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<b>Total Charges for .042</b>			<b>\$1,861.50</b>
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**.043 - Tessmer FP (city file 20-043)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindah, Kendra S.	1.25	142.00	\$177.50

<b>Total Professional Services for .043</b>			<b>\$177.50</b>
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<b>Total Charges for .043</b>			<b>\$177.50</b>
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**.044 - Hunters Place 2nd Addition PP and FP (city file 20-044)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindah, Kendra S.	4.00	142.00	\$568.00

<b>Total Professional Services for .044</b>			<b>\$568.00</b>
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<b>Total Charges for .044</b>			<b>\$568.00</b>
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**.045 - Henn ADU IUP (city file 20-045)**

**Professional Services**

<u>Employee</u>	<u>Hours</u>	<u>Rate</u>	<u>Amount</u>
Lindahl, Kendra S.	1.50	142.00	\$213.00
Shay, Kevin M.	9.50	105.00	\$997.50
<b>Total Professional Services for .045</b>			<b>\$1,210.50</b>
<b>Total Charges for .045</b>			<b>\$1,210.50</b>

**.046 - Kariniemi Variance (city file 20-046)**

**Professional Services**

<u>Employee</u>	<u>Hours</u>	<u>Rate</u>	<u>Amount</u>
Lindahl, Kendra S.	1.50	142.00	\$213.00
Shay, Kevin M.	11.50	105.00	\$1,207.50
<b>Total Professional Services for .046</b>			<b>\$1,420.50</b>
<b>Total Charges for .046</b>			<b>\$1,420.50</b>

**.047 - Cook Lake Highlands RZ PP PUD (city file 20-047)**

**Professional Services**

<u>Employee</u>	<u>Hours</u>	<u>Rate</u>	<u>Amount</u>
Lindahl, Kendra S.	7.25	142.00	\$1,029.50
Shay, Kevin M.	28.00	105.00	\$2,940.00
<b>Total Professional Services for .047</b>			<b>\$3,969.50</b>
<b>Total Charges for .047</b>			<b>\$3,969.50</b>

**.048 - Wright Hennepin Substation (City file 20-048)**

**Professional Services**

<u>Employee</u>	<u>Hours</u>	<u>Rate</u>	<u>Amount</u>
Hofer, Tanner J	17.00	77.00	\$1,309.00
Lindahl, Kendra S.	12.00	142.00	\$1,704.00
Osthus, Emily T.	2.50	87.00	\$217.50
Shay, Kevin M.	.50	105.00	\$52.50
<b>Total Professional Services for .048</b>			<b>\$3,283.00</b>
<b>Total Charges for .048</b>			<b>\$3,283.00</b>

**.049 - Franzen PP (city file 20-049)**

**Professional Services**

<u>Employee</u>	<u>Hours</u>	<u>Rate</u>	<u>Amount</u>
Lindahl, Kendra S.	3.00	142.00	\$426.00
<b>Total Professional Services for .049</b>			<b>\$426.00</b>
<b>Total Charges for .049</b>			<b>\$426.00</b>

**.050 - Pulte PUD Concept (city file 20-049)**

**Professional Services**

<u>Employee</u>	<u>Hours</u>	<u>Rate</u>	<u>Amount</u>
Hofer, Tanner J	24.50	77.00	\$1,886.50
Lindah, Kendra S.	6.00	142.00	\$852.00
<b>Total Professional Services for .050</b>			<b>\$2,738.50</b>
<b>Total Charges for .050</b>			<b>\$2,738.50</b>

**Invoice Amount      \$19,864.75**

**Please remit to: Landform, 105 South Fifth Avenue, Suite 513, Minneapolis, MN 55401**  
**Please include invoice number on remittance. We now accept credit cards.**

# Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

## Labor Transactions

P/E Date	Employee	Labor Code	Work Date	Hrs	Effort
<b>COR20021.GEN..022 Nelson Trucking CUP, SP, VAR (city file 20-022)</b>					
01/15/2021	Lindahl, Kendra S.		1/7/2021	1.50	213.00
					<i>public hearing notice/review for completeness</i>
01/15/2021	Lindahl, Kendra S.		1/12/2021	0.25	35.50
					<i>review plans</i>
01/15/2021	Lindahl, Kendra S.		1/14/2021	0.50	71.00
					<i>council report/outreach to applicant</i>
01/15/2021	Lindahl, Kendra S.		1/6/2021	0.50	71.00
					<i>project set up</i>
01/31/2021	Hofer, Tanner J		1/18/2021	0.25	19.25
					<i>Filing new materials from applicant.</i>
01/31/2021	Hofer, Tanner J		1/19/2021	2.75	211.75
					<i>Editing staff report.</i>
					<i>Talking to Josh about tree recommendations.</i>
01/31/2021	Hofer, Tanner J		1/20/2021	3.00	231.00
					<i>Editing staff report.</i>
					<i>Talking to Josh about tree recommendations.</i>
01/31/2021	Hofer, Tanner J		1/21/2021	2.00	154.00
					<i>Compiling packet.</i>
01/31/2021	Hofer, Tanner J		1/25/2021	2.00	154.00
					<i>Working with Josh to establish tree exhibit.</i>
01/31/2021	Hofer, Tanner J		1/27/2021	1.75	134.75
					<i>Putting together presentation.</i>
01/31/2021	Popehn, Josh K.		1/20/2021	0.25	26.25
					<i>Discussion with TJ re: tree spading</i>
01/31/2021	Popehn, Josh K.		1/22/2021	0.50	52.50
					<i>setup rendering of East Building Elevation Landscape</i>
01/31/2021	Popehn, Josh K.		1/25/2021	2.50	262.50
					<i>East Building Elevation rendering</i>
01/31/2021	Lindahl, Kendra S.		1/19/2021	0.50	71.00
					<i>review additional info/staff report</i>
01/31/2021	Lindahl, Kendra S.		1/20/2021	0.75	106.50
					<i>cc packets</i>
01/31/2021	Lindahl, Kendra S.		1/21/2021	1.00	142.00
					<i>council packet</i>
01/31/2021	Lindahl, Kendra S.		1/28/2021	0.50	71.00
					<i>Council prep</i>
01/31/2021	Lindahl, Kendra S.		1/29/2021	0.50	71.00
					<i>follow up to council meeting</i>
01/15/2021	Hofer, Tanner J		1/6/2021	0.50	38.50
					<i>Filing documents.</i>
01/15/2021	Hofer, Tanner J		1/7/2021	0.50	38.50
					<i>Finalizing complete letter.</i>

# Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

01/15/2021	Hofer, Tanner J	1/12/2021	6.00	462.00
<i>Drafting staff report for SPA and Vacation City Council hearings.</i>				
01/15/2021	Hofer, Tanner J	1/13/2021	0.25	19.25
<i>Talking over information that came from DRC meeting with Kendra.</i>				
01/15/2021	Hofer, Tanner J	1/14/2021	1.50	115.50
<i>Revising staff report based on comments.</i>				
<b>Total for COR20021.GEN..022</b>			<b>29.75</b>	<b>2,771.75</b>
<b>COR20021.GEN..033 Ravinia 15th FP, PUD Amendment and Final PUD (city file 20-033)</b>				
01/15/2021	Lindahl, Kendra S.	1/5/2021	0.25	35.50
<i>finalize LOC</i>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	0.50	71.00
<i>review mylars and materials/update DA with new mayors signature</i>				
<b>Total for COR20021.GEN..033</b>			<b>0.75</b>	<b>106.50</b>
<b>COR20021.GEN..036 Karineimi Final Plat (city file 20-036)</b>				
01/15/2021	Lindahl, Kendra S.	1/6/2021	0.25	35.50
<i>DRC/engineering memo</i>				
01/15/2021	Lindahl, Kendra S.	1/7/2021	0.50	71.00
<i>council packet</i>				
01/15/2021	Lindahl, Kendra S.	1/8/2021	0.25	35.50
<i>city file checklist</i>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	0.25	35.50
<i>powerpoint for CC</i>				
01/15/2021	Lindahl, Kendra S.	1/15/2021	0.25	35.50
<i>follow up with Nate on easement for Mike's driveway</i>				
01/15/2021	Shay, Kevin M.	1/7/2021	2.00	210.00
<i>Finalize staff report and resolution for easement vacation. Send for review.</i>				
01/15/2021	Shay, Kevin M.	1/13/2021	1.00	105.00
<i>Work on powerpoint for easemenet vacation at city council.</i>				
01/15/2021	Shay, Kevin M.	1/14/2021	0.25	26.25
<i>Review for Lot 4 easement.</i>				
01/31/2021	Shay, Kevin M.	1/25/2021	0.75	78.75
<i>Review easement description language for recorded document.</i>				
01/31/2021	Lindahl, Kendra S.	1/19/2021	0.25	35.50
<i>review additional information</i>				
01/31/2021	Lindahl, Kendra S.	1/21/2021	0.25	35.50
<i>talk to city engineer and follow up with applicant on SIPA</i>				
01/31/2021	Lindahl, Kendra S.	1/22/2021	0.25	35.50
<i>talk to city engineer and follow up with applicant on SIPA</i>				
01/31/2021	Lindahl, Kendra S.	1/26/2021	0.25	35.50
<i>follow up on SIPA question</i>				
01/31/2021	Lindahl, Kendra S.	1/29/2021	0.25	35.50
<i>review new HOA docs and coordinate with city attorney</i>				
<b>Total for COR20021.GEN..036</b>			<b>6.75</b>	<b>810.50</b>
<b>COR20021.GEN..038 Orth Solar C of C (City file 20-038)</b>				
01/15/2021	Lindahl, Kendra S.	1/4/2021	0.25	35.50



# Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

*plan revisions. follow up regarding payment*

01/15/2021	Lindahl, Kendra S.	1/7/2021	0.50	71.00
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*incomplete letter*

01/15/2021	Hofer, Tanner J	1/6/2021	0.50	38.50
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*Reviewing project for completeness.*

01/15/2021	Hofer, Tanner J	1/7/2021	3.50	269.50
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*Reviewing project for completeness.*

*Drafting complete letter.*

<b>Total for COR20021.GEN..038</b>			<b>4.75</b>	<b>414.50</b>
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**COR20021.GEN..040 Scherber Rezoning - 23240 CR 30 (city file 20-040)**

01/15/2021	Lindahl, Kendra S.	1/7/2021	0.50	71.00
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*call from Christine about next steps and her request for information. gather info and email to her*

01/15/2021	Lindahl, Kendra S.	1/12/2021	0.25	35.50
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*resend materials to christine*

<b>Total for COR20021.GEN..040</b>			<b>0.75</b>	<b>106.50</b>
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**COR20021.GEN..042 Tavera FP and FPU (city file 20-042)**

01/31/2021	Lindahl, Kendra S.	1/19/2021	1.00	142.00
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*review additional information/send info to applicant/download house plans for city file*

01/31/2021	Lindahl, Kendra S.	1/29/2021	0.25	35.50
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*download revisions*

01/15/2021	Lindahl, Kendra S.	1/4/2021	0.25	35.50
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*call with Paul T.*

01/15/2021	Lindahl, Kendra S.	1/5/2021	2.00	284.00
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*review for completeness*

01/15/2021	Lindahl, Kendra S.	1/6/2021	1.50	213.00
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*DRC meeting/distribute revisions/set up file*

01/15/2021	Lindahl, Kendra S.	1/7/2021	1.00	142.00
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*DRC planning/engineering meeting*

01/15/2021	Lindahl, Kendra S.	1/8/2021	2.00	284.00
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*review plans and draft incomplete letter/coordinate with engineering/talk to Paul T*

01/15/2021	Lindahl, Kendra S.	1/11/2021	0.50	71.00
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*discuss completeness issues with applicant*

01/15/2021	Hofer, Tanner J	1/4/2021	1.00	77.00
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*Sorting new submittal and reviewing.*

01/15/2021	Hofer, Tanner J	1/5/2021	6.00	462.00
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*Discussing project with Kendra.*

*Reviewing project for completeness*

*Drafting incomplete letter.*

01/15/2021	Hofer, Tanner J	1/6/2021	1.00	77.00
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*Researching wetland decisions related to project.*

01/15/2021	Hofer, Tanner J	1/7/2021	0.50	38.50
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*Drafting incomplete letter.*

<b>Total for COR20021.GEN..042</b>			<b>17.00</b>	<b>1,861.50</b>
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**COR20021.GEN..043 Tessmer FP (city file 20-043)**

01/15/2021	Lindahl, Kendra S.	1/7/2021	0.25	35.50
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*incomplete letter*

## Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

01/15/2021	Lindahl, Kendra S.	1/8/2021	0.25	35.50
<i>call from Rachel out missing items</i>				
01/31/2021	Lindahl, Kendra S.	1/21/2021	0.50	71.00
<i>complete letter and questions from applicant</i>				
01/31/2021	Lindahl, Kendra S.	1/26/2021	0.25	35.50
<i>questions from Rachel on next steps</i>				
<b>Total for COR20021.GEN..043</b>			<b>1.25</b>	<b>177.50</b>
<b>COR20021.GEN..044 Hunters Place 2nd Addition PP and FP (city file 20-044)</b>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	0.50	71.00
<i>public hearing notice</i>				
01/31/2021	Lindahl, Kendra S.	1/23/2021	1.50	213.00
<i>PC report/resolution</i>				
01/31/2021	Lindahl, Kendra S.	1/26/2021	1.00	142.00
<i>pc packet</i>				
01/31/2021	Lindahl, Kendra S.	1/28/2021	1.00	142.00
<i>PC packet</i>				
<b>Total for COR20021.GEN..044</b>			<b>4.00</b>	<b>568.00</b>
<b>COR20021.GEN..045 Henn ADU IUP (city file 20-045)</b>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	0.50	71.00
<i>PH notices</i>				
01/31/2021	Shay, Kevin M.	1/22/2021	3.00	315.00
<i>Work on staff report and resolution.</i>				
01/31/2021	Shay, Kevin M.	1/25/2021	3.00	315.00
<i>work on staff report and resolution.</i>				
01/31/2021	Shay, Kevin M.	1/26/2021	2.00	210.00
<i>Make edits to the staff report and resolution.</i>				
01/31/2021	Shay, Kevin M.	1/28/2021	1.00	105.00
<i>Pull together packet for PC.</i>				
01/31/2021	Lindahl, Kendra S.	1/26/2021	0.50	71.00
<i>PC packet</i>				
01/31/2021	Lindahl, Kendra S.	1/28/2021	0.50	71.00
<i>PC packet</i>				
01/15/2021	Shay, Kevin M.	1/12/2021	0.50	52.50
<i>Draft public hearing notice.</i>				
<b>Total for COR20021.GEN..045</b>			<b>11.00</b>	<b>1,210.50</b>
<b>COR20021.GEN..046 Kariniemi Variance (city file 20-046)</b>				
01/31/2021	Shay, Kevin M.	1/26/2021	3.50	367.50
<i>Work on staff report and resolution.</i>				
01/31/2021	Shay, Kevin M.	1/28/2021	1.00	105.00
<i>Pull together packet for PC.</i>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	0.50	71.00
<i>PH notices</i>				
01/15/2021	Shay, Kevin M.	1/5/2021	2.00	210.00
<i>Review plans. Work on staff report for planning commission.</i>				
01/15/2021	Shay, Kevin M.	1/6/2021	2.00	210.00

# Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

*Review plans. Work on staff report for planning commission.*

01/15/2021	Shay, Kevin M.	1/7/2021	3.00	315.00
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*Work on staff report for planning commission.*

01/31/2021	Lindahl, Kendra S.	1/26/2021	0.50	71.00
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*PC packet*

01/31/2021	Lindahl, Kendra S.	1/28/2021	0.50	71.00
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*PC packet*

**Total for COR20021.GEN..046**

**13.00 1,420.50**

**COR20021.GEN..047 Cook Lake Highlands RZ PP PUD (city file 20-047)**

01/31/2021	Shay, Kevin M.	1/20/2021	1.00	105.00
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*Meeting with developer to discuss city comments.*

01/31/2021	Shay, Kevin M.	1/21/2021	0.50	52.50
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*Review preliminary county comments.*

01/31/2021	Shay, Kevin M.	1/29/2021	4.00	420.00
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*Review architecture and elevations.*

01/15/2021	Shay, Kevin M.	1/4/2021	1.50	157.50
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*Review additional materials for completeness. Draft and send out revised incomplete letter.*

01/15/2021	Shay, Kevin M.	1/11/2021	6.50	682.50
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*Review plans for compliance with code. Start draft of parks commission report.*

01/15/2021	Shay, Kevin M.	1/12/2021	5.50	577.50
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*Plan review meeting with city staff. Continue plan review and park commission report work.*

01/15/2021	Shay, Kevin M.	1/13/2021	1.25	131.25
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*Continue plan review for code compliance.*

01/15/2021	Shay, Kevin M.	1/14/2021	1.75	183.75
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*Continue plan review for code compliance.*

01/15/2021	Shay, Kevin M.	1/15/2021	2.00	210.00
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*Continue plan review.*

01/15/2021	Lindahl, Kendra S.	1/4/2021	0.25	35.50
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*plan revisions. 2nd incomplete letter*

01/15/2021	Lindahl, Kendra S.	1/5/2021	0.50	71.00
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*review for completeness/call from neighbor*

01/15/2021	Lindahl, Kendra S.	1/7/2021	0.50	71.00
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*review plans draft complete letter*

01/15/2021	Lindahl, Kendra S.	1/8/2021	0.50	71.00
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*share with DNR/set up file docs*

01/15/2021	Lindahl, Kendra S.	1/11/2021	0.50	71.00
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*review plans*

01/15/2021	Lindahl, Kendra S.	1/12/2021	1.50	213.00
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*review plans/DRC meeting*

01/15/2021	Lindahl, Kendra S.	1/14/2021	0.25	35.50
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*call Beth with new schedule*

01/31/2021	Lindahl, Kendra S.	1/19/2021	0.50	71.00
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*prep for DRC meeting*

01/31/2021	Lindahl, Kendra S.	1/20/2021	1.25	177.50
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*DRC meeting with applicant*

# Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

01/31/2021	Lindahl, Kendra S.	1/22/2021	1.00	142.00
<i>cook lake conversation with Beth</i>				
01/31/2021	Lindahl, Kendra S.	1/27/2021	0.50	71.00
<i>meeting with staff re: stormwater</i>				
01/31/2021	Shay, Kevin M.	1/18/2021	4.00	420.00
<i>Draft comment memo for meeting with developer.</i>				
<b>Total for COR20021.GEN..047</b>			<b>35.25</b>	<b>3,969.50</b>
<b>COR20021.GEN..048 Wright Hennepin Substation (City file 20-048)</b>				
01/15/2021	Lindahl, Kendra S.	1/4/2021	0.25	35.50
<i>plan revisions</i>				
01/15/2021	Lindahl, Kendra S.	1/7/2021	0.50	71.00
<i>review plans/draft complete letter</i>				
01/15/2021	Lindahl, Kendra S.	1/11/2021	0.50	71.00
<i>draft council packet for wetland waivers/talk to Bryant about process</i>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	1.00	142.00
<i>call with WH and prepare PH notices</i>				
01/15/2021	Lindahl, Kendra S.	1/15/2021	0.50	71.00
<i>call with applicant and follow up</i>				
01/31/2021	Hofer, Tanner J	1/19/2021	1.25	96.25
<i>Revising staff report.</i>				
01/31/2021	Hofer, Tanner J	1/20/2021	1.00	77.00
<i>Finalizing staff report.</i>				
01/31/2021	Hofer, Tanner J	1/21/2021	1.00	77.00
<i>Compiling packet.</i>				
01/31/2021	Hofer, Tanner J	1/27/2021	0.75	57.75
<i>Putting together presentation.</i>				
01/31/2021	Lindahl, Kendra S.	1/19/2021	0.50	71.00
<i>additional info from applicant</i>				
01/31/2021	Lindahl, Kendra S.	1/20/2021	0.25	35.50
<i>council packet</i>				
01/31/2021	Lindahl, Kendra S.	1/21/2021	0.50	71.00
<i>council packet</i>				
01/31/2021	Lindahl, Kendra S.	1/23/2021	1.50	213.00
<i>PC report / resolution</i>				
01/31/2021	Lindahl, Kendra S.	1/25/2021	2.50	355.00
<i>PC report and call with City Attorney</i>				
01/31/2021	Lindahl, Kendra S.	1/26/2021	2.00	284.00
<i>PC packet</i>				
01/31/2021	Lindahl, Kendra S.	1/28/2021	2.00	284.00
<i>waiver Council prep</i>				
01/31/2021	Shay, Kevin M.	1/28/2021	0.50	52.50
<i>Review staff report and resolution.</i>				
01/15/2021	Osthus, Emily T.	1/11/2021	1.50	130.50
<i>start exhibit</i>				
01/15/2021	Osthus, Emily T.	1/12/2021	1.00	87.00

## Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

<i>finish exhibit</i>				
01/15/2021	Hofer, Tanner J	1/4/2021	1.00	77.00
<i>Sorting new submittal and reviewing.</i>				
01/15/2021	Hofer, Tanner J	1/7/2021	4.00	308.00
<i>Reviewing for completeness. Drafting incomplete letter.</i>				
01/15/2021	Hofer, Tanner J	1/8/2021	3.50	269.50
<i>Drafting staff report.</i>				
01/15/2021	Hofer, Tanner J	1/11/2021	3.00	231.00
<i>Drafting staff report and resolution for City Council.</i>				
01/15/2021	Hofer, Tanner J	1/12/2021	1.50	115.50
<i>Finalizing City Council documents and preparing attachments.</i>				
			<b>Total for COR20021.GEN..048</b>	<b>32.00 3,283.00</b>
<b>COR20021.GEN..049 Franzen PP (city file 20-049)</b>				
01/15/2021	Lindahl, Kendra S.	1/4/2021	2.00	284.00
<i>set up file and review materials/draft and send incomplete letter</i>				
01/15/2021	Lindahl, Kendra S.	1/11/2021	1.00	142.00
<i>call from brad and follow up with applicant on next steps</i>				
			<b>Total for COR20021.GEN..049</b>	<b>3.00 426.00</b>
<b>COR20021.GEN..050 Pulte PUD Concept (city file 20-049)</b>				
01/15/2021	Lindahl, Kendra S.	1/6/2021	0.50	71.00
<i>review original park plans and send to brad</i>				
01/15/2021	Lindahl, Kendra S.	1/8/2021	0.25	35.50
<i>trail questions</i>				
01/15/2021	Lindahl, Kendra S.	1/13/2021	1.00	142.00
<i>DRC review</i>				
01/15/2021	Lindahl, Kendra S.	1/14/2021	0.50	71.00
<i>review EAW requirements for phased project</i>				
01/31/2021	Hofer, Tanner J	1/18/2021	1.00	77.00
<i>Drafting staff report. Sending to Kendra for review.</i>				
01/31/2021	Hofer, Tanner J	1/19/2021	2.25	173.25
<i>Revising staff report.</i>				
01/31/2021	Hofer, Tanner J	1/20/2021	2.00	154.00
<i>Finalizing staff report.</i>				
01/31/2021	Hofer, Tanner J	1/21/2021	2.00	154.00
<i>Compiling packet.</i>				
01/31/2021	Hofer, Tanner J	1/27/2021	1.00	77.00
<i>Putting together presentation.</i>				
01/31/2021	Lindahl, Kendra S.	1/19/2021	1.00	142.00
<i>CC report/review additional information</i>				
01/31/2021	Lindahl, Kendra S.	1/21/2021	1.00	142.00
<i>council packet/talk to EQB</i>				
01/31/2021	Lindahl, Kendra S.	1/26/2021	0.25	35.50
<i>call with EQB</i>				

## Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31355

Invoice Date: 2/8/2021

Transaction ID: 16913

01/31/2021	Lindahl, Kendra S. <i>call with Paul about meeting</i>	1/27/2021	0.50	71.00
01/31/2021	Lindahl, Kendra S. <i>council prep</i>	1/28/2021	1.00	142.00
01/15/2021	Hofer, Tanner J <i>Drafting staff report. Discussing project with Kendra.</i>	1/14/2021	6.00	462.00
01/15/2021	Hofer, Tanner J <i>Reviewing project for completeness. Drafting complete letter.</i>	1/6/2021	4.00	308.00
01/15/2021	Hofer, Tanner J <i>Drafting staff report. Researching past documents related to the project. Researching potential for EAW need for project. Discussing project with Kendra.</i>	1/13/2021	6.25	481.25

Total for COR20021.GEN..050

**30.50**      **2,738.50**

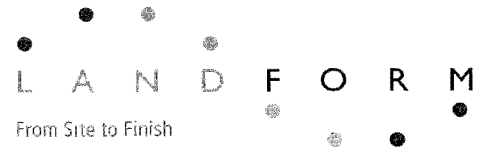
Total labor

**189.75**      **19,864.75**



**City of Corcoran**  
 8200 County Road 116  
 Corcoran, MN 55340

RECEIVED  
 FEB 12 2021  
 BY \_\_\_\_\_



105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

**INVOICE**

No. 31356  
 02/08/2021

**Corcoran Planning Services - Corcoran, MN**  
**COR21022.GEN**  
 Contract/PO#:  
 For Services Rendered Through 1/31/2021

**.001 - Schlangen Ag Expiration (21-001)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindah, Kendra S.	1.75	142.00	\$248.50
Shay, Kevin M.	2.50	105.00	\$262.50

**Total Professional Services for .001**

**\$511.00**

**Total Charges for .001**

100-41910-300

**\$511.00**

**.002 - Scherber Mini Storage Concept Plan (21-002)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindah, Kendra S.	1.00	142.00	\$142.00
Shay, Kevin M.	2.00	105.00	\$210.00

**Total Professional Services for .002**

**\$352.00**

**Total Charges for .002**

500-20222

**\$352.00**

**.003 - Larson IUP for CHOL (city file 21-003)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindah, Kendra S.	.75	142.00	\$106.50

**Total Professional Services for .003**

**\$106.50**

500-20224

Total Charges for .003

**\$106.50**

**.004 - NAPA CUP and SP (city file 21-004)**

**Professional Services**

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.25	142.00	\$35.50
<b>Total Professional Services for .004</b>			<b>\$35.50</b>
<b>Total Charges for .004</b>			<b>\$35.50</b>

*500-20223*

**.90 - City Business**

**Professional Services**

Employee	Hours	Rate	Amount
Hofer, Tanner J	9.00	77.00	\$693.00
Lindahl, Kendra S.	55.75	142.00	\$7,916.50
Shay, Kevin M.	6.00	105.00	\$630.00
<b>Total Professional Services for .90</b>			<b>\$9,239.50</b>
<b>Total Charges for .90</b>			<b>\$9,239.50</b>

*100-41910-300*

**COD - Code Enforcement**

**Professional Services**

Employee	Hours	Rate	Amount
Hofer, Tanner J	14.50	77.00	\$1,116.50
<b>Total Professional Services for COD</b>			<b>\$1,116.50</b>
<b>Total Charges for COD</b>			<b>\$1,116.50</b>

*100-41920-300*

**MTG - City Meetings**

**Professional Services**

Employee	Amount
Lindahl, Kendra S.	\$200.00
<b>Total Professional Services for MTG</b>	
<b>\$200.00</b>	
<b>Total Charges for MTG</b>	
<b>\$200.00</b>	

*100-41910-300*

**Invoice Amount \$11,561.00**

**Please remit to: Landform, 105 South Fifth Avenue, Suite 513, Minneapolis, MN 55401  
Please include invoice number on remittance. We now accept credit cards.**



# Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31356

Invoice Date: 2/8/2021

Transaction ID: 16914

**Labor Transactions**

P/E Date	Employee	Labor Code	Work Date	Hrs	Effort
<b>COR21022.GEN..001 Schlangen Ag Expiration (21-001)</b>					
01/15/2021	Lindahl, Kendra S.		1/8/2021	0.50	71.00
	<i>talk to Tom about missing info and set up file</i>				
01/15/2021	Lindahl, Kendra S.		1/13/2021	0.50	71.00
	<i>coordinate on missing items draft complete letter</i>				
01/31/2021	Lindahl, Kendra S.		1/20/2021	0.25	35.50
	<i>Council packet</i>				
01/31/2021	Lindahl, Kendra S.		1/21/2021	0.25	35.50
	<i>council packet</i>				
01/31/2021	Lindahl, Kendra S.		1/28/2021	0.25	35.50
	<i>Council prep</i>				
01/31/2021	Shay, Kevin M.		1/20/2021	2.00	210.00
	<i>Draft staff report and resolution.</i>				
01/31/2021	Shay, Kevin M.		1/21/2021	0.50	52.50
	<i>Make edits and pull packet together.</i>				
<b>Total for COR21022.GEN..001</b>				<b>4.25</b>	<b>511.00</b>
<b>COR21022.GEN..002 Scherber Mini Storage Concept Plan (21-002)</b>					
01/15/2021	Lindahl, Kendra S.		1/13/2021	0.50	71.00
	<i>project set up</i>				
01/31/2021	Shay, Kevin M.		1/27/2021	2.00	210.00
	<i>Review for completeness. Draft incomplete letter.</i>				
01/31/2021	Lindahl, Kendra S.		1/19/2021	0.25	35.50
	<i>call from Craig about process</i>				
01/31/2021	Lindahl, Kendra S.		1/21/2021	0.25	35.50
	<i>additional information for the file</i>				
<b>Total for COR21022.GEN..002</b>				<b>3.00</b>	<b>352.00</b>
<b>COR21022.GEN..003 Larson IUP for CHOL (city file 21-003)</b>					
01/31/2021	Lindahl, Kendra S.		1/21/2021	0.50	71.00
	<i>talk to applicant/draft incomplete letter</i>				
01/31/2021	Lindahl, Kendra S.		1/26/2021	0.25	35.50
	<i>review additional materials submitted</i>				
<b>Total for COR21022.GEN..003</b>				<b>0.75</b>	<b>106.50</b>
<b>COR21022.GEN..004 NAPA CUP and SP (city file 21-004)</b>					
01/31/2021	Lindahl, Kendra S.		1/20/2021	0.25	35.50
	<i>file set up</i>				
<b>Total for COR21022.GEN..004</b>				<b>0.25</b>	<b>35.50</b>
<b>COR21022.GEN..90 City Business</b>					
01/15/2021	Shay, Kevin M.		1/5/2021	2.00	210.00
	<i>Revise city checklists with process changes.</i>				
01/15/2021	Lindahl, Kendra S.		1/4/2021	4.50	639.00
	<i>DRC agenda/planning calls and emails/application form updates</i>				
01/15/2021	Lindahl, Kendra S.		1/5/2021	2.00	284.00
	<i>planning process/form updates and zoning calls and emails</i>				

## Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31356

Invoice Date: 2/8/2021

Transaction ID: 16914

01/15/2021	Lindahl, Kendra S.	1/6/2021	5.50	781.00	
<i>office hours - organizing planning files for office move/talk to IT about access/coordinate with mike on planning process for transition</i>					
01/15/2021	Lindahl, Kendra S.	1/7/2021	1.50	213.00	
<i>zoning calls and emails</i>					
01/15/2021	Lindahl, Kendra S.	1/8/2021	2.00	284.00	
<i>zoning calls and emails</i>					
01/15/2021	Lindahl, Kendra S.	1/11/2021	3.50	497.00	
<i>DRC agenda/misc. calls and emails/review January PC meeting</i>					
01/15/2021	Lindahl, Kendra S.	1/12/2021	3.00	426.00	
<i>interview Natalie with Brad/zoning calls and emails</i>					
01/15/2021	Lindahl, Kendra S.	1/13/2021	2.50	355.00	
<i>office hours. update forms, filing with Mike</i>					
01/15/2021	Lindahl, Kendra S.	1/14/2021	2.00	284.00	
<i>zoning calls and emails</i>					
01/15/2021	Lindahl, Kendra S.	1/15/2021	3.00	426.00	
<i>zoning calls and emails</i>					
01/15/2021	Shay, Kevin M.	1/15/2021	4.00	420.00	
<i>Update city checklists.</i>					
01/31/2021	Lindahl, Kendra S.	1/19/2021	2.00	284.00	
<i>DRC agenda, PC agenda, zoning calls and emails</i>					
01/31/2021	Lindahl, Kendra S.	1/20/2021	6.75	958.50	
<i>office hours--DRC, filing for move, zoning calls and emails, planning project update memo</i>					
01/31/2021	Lindahl, Kendra S.	1/21/2021	2.00	284.00	
<i>zoning calls and emails</i>					
01/31/2021	Lindahl, Kendra S.	1/22/2021	4.00	568.00	
<i>zoning calls and emails</i>					
01/31/2021	Lindahl, Kendra S.	1/25/2021	0.50	71.00	
<i>DRC agenda/zoning calls and emails</i>					
01/31/2021	Lindahl, Kendra S.	1/26/2021	2.00	284.00	
<i>zoning calls and emails</i>					
01/31/2021	Lindahl, Kendra S.	1/27/2021	5.00	710.00	
<i>office hours</i>					
01/31/2021	Lindahl, Kendra S.	1/28/2021	2.00	284.00	
<i>zoning calls and emails</i>					
01/31/2021	Lindahl, Kendra S.	1/29/2021	2.00	284.00	
<i>zoning calls and emails/ DRC agenda</i>					
01/15/2021	Hofer, Tanner J	1/4/2021	5.00	385.00	
<i>Updating old and creating new process form documents.</i>					
01/15/2021	Hofer, Tanner J	1/5/2021	2.00	154.00	
<i>Reviewing application forms and finalizing.</i>					
01/15/2021	Hofer, Tanner J	1/6/2021	2.00	154.00	
<i>Reviewing application forms and finalizing</i>					
			<b>Total for COR21022.GEN..90</b>	<b>70.75</b>	<b>9,239.50</b>
<b>COR21022.GEN.COD Code Enforcement</b>					
01/31/2021	Hofer, Tanner J	1/26/2021	3.00	231.00	

## Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31356

Invoice Date: 2/8/2021

Transaction ID: 16914

*Responding to calls and emails about Mohs case.  
Responding to calls and emails about Bratsch case.  
Scheduling visit to Corcoran.*

01/31/2021	Hofer, Tanner J	1/27/2021	1.00	77.00
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*Responding to emails.*

01/31/2021	Hofer, Tanner J	1/28/2021	3.00	231.00
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*Responding to emails.  
Driving out to Corcoran to inspect Mohs property.*

01/31/2021	Hofer, Tanner J	1/29/2021	1.00	77.00
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*Following up from City visit.  
Responding to emails.*

01/15/2021	Hofer, Tanner J	1/8/2021	2.00	154.00
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*Responding to emails and voicemails.  
Talking to Mike and Kendra about Bakke notice.  
Talking to Mike about Chaparral complaint.*

01/15/2021	Hofer, Tanner J	1/11/2021	0.50	38.50
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*Responding to voicemails and emails.  
Talking with City Staff.  
Talking with City Attorney.*

01/15/2021	Hofer, Tanner J	1/13/2021	1.00	77.00
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*Responding to voicemails and emails.  
Talking with City Staff.*

01/15/2021	Hofer, Tanner J	1/14/2021	0.50	38.50
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*Responding to voicemails and emails.*

01/31/2021	Hofer, Tanner J	1/20/2021	0.50	38.50
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*Checking emails and voicemails.*

01/31/2021	Hofer, Tanner J	1/22/2021	2.00	154.00
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*Responding to voicemails and emails.  
Emailing Mike about CUP.*

<b>Total for COR21022.GEN.COD</b>			<b>14.50</b>	<b>1,116.50</b>
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**COR21022.GEN.MTG City Meetings**

01/15/2021	Lindahl, Kendra S.	1/14/2021	1.00	100.00
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*council meeting*

01/31/2021	Lindahl, Kendra S.	1/28/2021	1.00	100.00
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*council meeting*

<b>Total for COR21022.GEN.MTG</b>			<b>2.00</b>	<b>200.00</b>
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<b>Total labor</b>			<b>95.50</b>	<b>11,561.00</b>
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Select Entry or Add Entry(F5)	Search Name	Refer	Invoice	Comments	Emo
Print Entry	WRIGHT HENNEP	36570	021721	ELECTRIC SERVICE	
Delete Entry	DISPLAY SALES C	36571	50-328123-1	10'X15' POLYESTER UNITE	
Copy Entry	ZUTHER, SHAWN	36572	021621	REIMBURSEMENTS	
Allocate Entry	WENCK ASSOCIA	36574	021821		

Reset Screen

B# 1154  
E# 1832

Options

Pay To: WENCK ASSOCIATES, INC.  Invoice: 021821 Inv Date: 2/18/2021

Vendor Customer: Copy Recur See Transactions Copy Invoice/Date to below Invoice Total Optional

Ref/Claim#: 36574 Claim Type: Direct

Comment Project Check# Date

Copy Comments to entries below Copy Project to entries below

Bank or AP: Farmers State Bank Transaction Date: 2/18/2021

021821 Fixed Format

Account	Amount	Comments	Invoice	Inv Date	PO	Final	Proj	Nbr
E 100-43170-300	Professional Svcs (G)	\$616.25 General Eng Services	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20204	Appaloosa Woods F	\$706.00 APPALOOSA WOODS	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-303	Engineering Fees	\$1,234.50 Water - Engineering	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-303	Engineering Fees	\$785.50 2020 SE CORCORAN	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-300	Professional Svcs (G)	\$1,989.25 Transportation	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-300	Professional Svcs (G)	\$1,383.75 Storm Water - Enginee	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-299	Watershed LGU	\$1,713.75 RESIDENT WCA ITEM	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-299	Watershed LGU	\$573.75 WCA VIOLATION - E	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-299	Watershed LGU	\$630.00 ANNUAL REPORTING	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20480	Nelson Wetland Re	\$330.00 Nelson WCA	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-303	Engineering Fees	\$180.00 CITY OF CORCORAN	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-300	Professional Svcs (G)	\$180.00 CITY OF CORCORAN	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20480	Nelson Wetland Re	\$180.00 CITY OF CORCORAN	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20485	Tessmer - Topo Eval	\$180.00 TESSMER WCA	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20212	Gonyea 19800 Hac	\$870.00 GONYEA 19800 HAC	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20213	Van Blaricom WCA	\$652.50 VAN BLARICOM WCA	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20214	M/I Homes WCA	\$885.00 M/I HOMES WCA	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20217	Wright Henn Substa	\$663.75 Wright-Hennepin Subs	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20218	10500 Maple Lane	\$960.00 10500 Maple Lane	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-303	Engineering Fees	\$1,237.25 NE Water Supply	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-234	Inspections	\$965.25 PULTE	021821	2/18/2021	0	<input type="checkbox"/>		20
E 602-49450-234	Inspections	\$965.25 PULTE	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-234	Inspections	\$566.00 RAVINIA	021821	2/18/2021	0	<input type="checkbox"/>		20
E 602-49450-234	Inspections	\$566.00 RAVINIA	021821	2/18/2021	0	<input type="checkbox"/>		20
E 601-49400-234	Inspections	\$352.50 BASS LAKE CROSSIN	021821	2/18/2021	0	<input type="checkbox"/>		20
E 602-49450-234	Inspections	\$352.50 BASS LAKE CROSSIN	021821	2/18/2021	0	<input type="checkbox"/>		20
E 100-43170-300	Professional Svcs (G)	\$6,858.00 BRIDGE FEASIBILITY	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20335	Lennar Eng Plans Pe	\$2,855.18 LENNAR - ENGINEER	021821	2/18/2021	0	<input type="checkbox"/>		20
E 427-43100-530	Improvements Other	\$3,303.15 68th Street Design and	021821	2/18/2021	0	<input type="checkbox"/>		20
G 500-20438	Bass Lk CR M/I Ho	\$116.50 Bass Lake Crossing M	021821	2/18/2021	0	<input type="checkbox"/>		20

G	500-20423	Bass Lake Est Skch	\$480.92	Bass Lake Estates Ske	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20497	Kariniemi PP 20-016	\$270.00	Kariniemi PP 20-016	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20210	Henn Property WCA	\$337.50	HENN PROPERTY W	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20423	Bass Lake Est Skch	\$24.50	Cold Storage Crossings	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20459	Refuge of Rush Cre	\$270.00	Refuge of Rush Creek	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20217	Wright Henn Substa	\$1,221.50	Wright-Hennepin Subst	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20436	Pulte Encore - PUO	\$2,305.86	Pulte Development Infr	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20213	Van Blaricom WCA	\$3,473.75	Van Blaricom Concept I	021821	2/18/2021	0	<input type="checkbox"/>	20
E	427-43100-530	Improvements Other	\$1,040.00	CSAH 116 and Gleaso	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20471	St. Therese Sketch	\$1,466.25	St. Therese Sketch Pla	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20332	Lennar Tavera Dev	\$5,476.50	Wessel Project Offsite	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20490	Cook Lake - Schom	\$5,940.00	Cook Lake - Schomme	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20332	Lennar Tavera Dev	\$3,314.75	Lennar Tavera Develo	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20482	Nelson Sketch Plan	\$1,778.25	Nelson Sketch Plan 15	021821	2/18/2021	0	<input type="checkbox"/>	20
G	500-20488	Rush Creek Reserv	\$1,164.25	Rush Creek Reserve	021821	2/18/2021	0	<input type="checkbox"/>	20
*E								<input type="checkbox"/>	

Date: 2/19/2021  
Code to Acct # 100-  
Amount to Pay \_\_\_\_\_  
Comments: \_\_\_\_\_

Approval Initials: KB - KEVIN'S NOTES  
Dept. Head  
City Admin  
Treasurer

**City of Corcoran January 2021 Invoices**

City Projects				
Invoice no.	Project nos.	Project name	Amount	City Fund #
12100357	B002294-09-001	Corcoran General Engineering Services		
	500-01	General	\$ <del>616,254.25</del>	100-43170-300
	500-06	Appaloosa Woods Engineer's Report	\$ 706.00	500-20204
	900	Utilities	\$ <del>1,102.50</del> #1,239.50	601-49400-303
		<b>Total</b>	<b>\$ 2,556.75</b>	Water Fund
12100359	B002294-18-040	2020 SE Corcoran Trunk Watermain		601-49400-303
	Phase 500	Construction	\$ 785.50	
		<b>Total</b>	<b>\$ 785.50</b>	
12100384	B002294-19-044	Transportation		100-43170-300
	Phase 100	MnDOT State Aid	\$ 1,348.00	
	Phase 200	Hennepin County Items	\$ 337.50	
	Phase 300	City Traffic Items	\$ 206.25	
	Phase 400	Pavement Management and CIP	\$ <del>1,336.25</del> 0	
	Phase 500	Bridges	\$ 97.50	
		<b>Total</b>	<b>\$ <del>3,325.50</del> #1,989.25</b>	
12100386	B002294-19-045	Stormwater		100-43170-300
	Phase 300	MS4	\$ 1,383.75	
		<b>Total</b>	<b>\$ 1,383.75</b>	
12100343	B002294-19-046	WCA		100-43170-299
	Phase 100	Resident Items	\$ 1,713.75	
	Phase 101	Ernie Mayers WCA Violation	\$ 573.75	100-43170-299
	Phase 200	Annual Reporting	\$ 630.00	100-43170-299
	Phase 900	Nelson International Property	\$ 330.00	500-20480
	Phase 2400	City of Corcoran Well Site	\$ 180.00	Water Supply Project
	Phase 2500	City of Corcoran Bridge Replacement	\$ 180.00	Bridge FS
	Phase 2600	City of Corcoran Nelson Turn Lane	\$ 180.00	Nelson Escrow
	Phase 2700	Tessmer Property	\$ 180.00	WCA Escrow
	Phase 2800	Gonyea 19800 Hackamore Road	\$ 870.00	WCA Escrow
	Phase 2900	Van Blairicom	\$ 652.50	WCA Escrow
	Phase 3000	M/I Homes	\$ 885.00	WCA Escrow
	Phase 3100	Wright-Hennepin Substation	\$ 663.75	WCA Escrow
	Phase 3200	10500 Maple Lane	\$ 900.00	WCA Escrow
		<b>Total</b>	<b>\$ 7,938.75</b>	
12100360	B002294-19-048	Water Utility		601-49400-303
	Phase 500	NE Parcel Site Plan	\$ 1,237.25	
		<b>Total</b>	<b>\$ 1,237.25</b>	
12100575	B002294-20-060	New Construction Inspection		
	Phase 01 Task 001	Pulte Utility Connection	\$ 976.00	50% to 601-49400-234 and 50% to 602-49450-234
	Phase 01 Task 004	Pulte Building Permit Survey Review	\$ 954.50	
	Phase 02 Task 001	Ravinia Utility Connection	\$ 417.00	50% to 601-49400-234 and 50% to 602-49450-234
	Phase 02 Task 004	Ravinia Building Permit Survey Review	\$ 715.00	
	Phase 03 Task 001	Bass Lake Crossing Utility Connection	\$ 348.00	50% to 601-49400-234 and 50% to 602-49450-234
	Phase 03 Task 004	Bass Lake Crossing Building Permit Surv Review	\$ 357.00	
		<b>Total</b>	<b>\$ 3,767.50</b>	
12100393	B002294-20-505	Bridge Feasibility Study		
	Phase 100	Project Coordination and Funding	\$ 742.50	
	Phase 150	Wetlands and Surveying	\$ 120.00	
	Phase 200	Hydraulics	\$ 2,127.50	
	Phase 300	Design	\$ 2,450.50	
	Phase 500	Report	\$ 1,417.50	
		<b>Total</b>	<b>\$ 6,858.00</b>	
		<b>Total City Projects</b>	<b>\$ 27,853.00</b>	
Escrow Projects				
Invoice no.	Project nos.	Project name	Amount	City Fund #
12100363	B002294-13-017	Lennar Development		500-20335
	100	Engineering & Project Coordination	\$ 66.00	

Escrow Projects				
Invoice no.	Project nos.	Project name	Amount	City Fund #
	200	Construction Plan Reviews and Approvals	\$ 1,090.60	
	300	Construction Inspection	\$ 1,698.58	
		<b>Total</b>	<b>\$ 2,855.18</b>	
12100364	B002294-17-031	66th Street Design and Construction		427-43100-530
	Phase 200	Surveying	\$ 252.40	
	Phase 300	Design	\$ 3,050.75	
		<b>Total</b>	<b>\$ 3,303.15</b>	
12100358	B002294-17-032	Escrow Projects		
	Phase 02	Bass Lake Crossings	\$ 116.50	500-20438
	Phase 04	Bass Lake Estates	\$ 480.92	500-20423
	Phase 05	Small Projects	\$ <del>607.50</del>	
	Phase 14	Cold Storage Crossings	\$ 24.50	500-20423
	Phase 19	Refuge at Rush Creek Wetland Bank	\$ 270.00	500-20459
	Phase 26	CR 116 Substation	\$ 1,221.50	Planning Escrow (WHE)
		<b>Total</b>	<b>\$ 2,720.92</b>	
12100381	B002294-17-033	Pulte Development Infrastructure		500-20436
	Phase 050	VanBlaricom Concept Review	\$ 3,473.75	Planning escrow (concept)
	Phase 100	General Engineering and Project Coordination	\$ 270.50	20436
	Phase 200	Plan Review	\$ 230.10	20436
	Phase 300	Stormwater	\$ 482.50	20436
	Phase 400	Construction Observation	\$ 1,322.76	20436
		<b>Total</b>	<b>\$ 5,779.61</b>	
12100383	B002294-19-042	CSAH 116 and Gleason Parkway Turn Lanes		427-43100-530
	Phase 200	Surveying	\$ 230.00	
	Phase 300	Design	\$ 810.00	
		<b>Total</b>	<b>\$ 1,040.00</b>	
12100361	B002294-19-050	St. Therese Feasibility Study		500-20471
	Phase 500	Report	\$ <del>430.00</del>	\$1,466.25
		<b>Total</b>	<b>\$ <del>130.00</del></b>	
12100387	B002294-19-053	Wessel Project Offsite Utilities		500-20332
	Phase 100	Wetlands	\$ 206.50	
	Phase 300	Design	\$ 5,270.00	
		<b>Total</b>	<b>\$ 5,476.50</b>	
12100388	B002294-20-055	Cook Lake - Schommer		500-20490
	Phase 100	Plan Review and Coordination	\$ 3,781.25	
	Phase 200	Transportation	\$ 165.00	
	Phase 400	Stormwater and Natural Resources	\$ 1,993.75	
		<b>Total</b>	<b>\$ 5,940.00</b>	
12100389	B002294-20-500	Tavera_Lennar		500-20332
	Phase 200	Plan Review	\$ 2,369.75	
	Phase 800	WCA Review	\$ 945.00	
		<b>Total</b>	<b>\$ 3,314.75</b>	
12100390	B002294-20-501	Nelson Trucking		500-20482
	Phase 100	Plan Review and Coordination	\$ <del>1,256.75</del>	\$1,729.25
	Phase 500	Construction Observation	\$ 49.00	
		<b>Total</b>	<b>\$ <del>1,305.75</del></b>	\$1,778.25
12100391	B002294-20-502	Rush Creek Reserve		
	Phase 200	Plan Review	\$ 999.25	
	Phase 300	Stormwater	\$ 165.00	
		<b>Total</b>	<b>\$ 1,164.25</b>	
12100392	B002294-20-504	Nelson Trucking CSAH 101 Turn Lanes		
	Phase 300	Design	\$ <del>472.50</del>	0
		<b>Total</b>	<b>\$ <del>472.50</del></b>	
<b>Total Escrow Projects</b>			<b>\$ 33,502.61</b>	

Invoice Total \$ 61,355.61

H270.00  
 ↓ ~~1270.00~~  
 Kinkiewicz  
 Conference  
 Newm April  
 \$337.50  
 Planning Escrow (WHE)  
 Planning escrow (concept)



Stantec Consulting Services Inc.  
1800 Pioneer Creek Center, Maple Plain MN 55359

February 9, 2021

**Attention:**

City Administrator  
City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

Dear Brad,

**Reference: Wenck's January Invoices**

Enclosed are the January invoices for engineering services with City/developer workload breakdown at 45%/55% of the total. The City projects were primarily a Bridge Feasibility Study and ongoing wetland management (WCA). Developer costs were spread across multiple escrows with no dominant project.

We appreciate your business and please contact me if you have any questions. I can be reached at 763-479-4209, or [ktorve@wenck.com](mailto:ktorve@wenck.com).

Sincerely,

Stantec Consulting Services Inc.

---

Kent Torve  
P.E., LEED AP  
Phone: 763-479-4209  
[ktorve@wenck.com](mailto:ktorve@wenck.com)

Attachment:  
January 2021 Invoices



**Invoice**

February 3, 2021  
 Invoice No: 12100357

City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-09-001 Corcoran General Engineering Services

**Professional Services Through January 31, 2021**

Phase 500-01 General  
 General

**Professional Personnel**

	Hours	Rate	Amount
Butler, Samuel	2.50	98.00	245.00
Shuck, Jordan	1.00	132.00	132.00
Torve, Kent	2.75	135.00	371.25
Totals	6.25		748.25
<b>Total Labor</b>			<b>748.25</b>

*Move to Water Fund*

*406.25*

**Phase Total \$748.25**

Phase 500-06 Appaloosa Woods Engineer's Report  
 Appaloosa Woods Engineer's Report

**Professional Personnel**

	Hours	Rate	Amount
Hegland, Steven	5.00	130.00	650.00
Morgan, Gage	.50	112.00	56.00
Totals	5.50		706.00
<b>Total Labor</b>			<b>706.00</b>

**Phase Total \$706.00**

Phase 900 Utilities  
 Utilities

**Professional Personnel**

	Hours	Rate	Amount
Schmidt, Rowdy	3.50	135.00	472.50
Shuck, Jordan	3.50	132.00	462.00
Wyers, Nicholas	1.50	112.00	168.00
Totals	8.50		1,102.50
<b>Total Labor</b>			<b>1,102.50</b>

*+ \$132.00*

*\$1,234.50*

**Phase Total \$1,102.50**

**Total Invoice Amount \$2,556.75**

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100357 Dated 2/3/2021

3:56:49 PM

Project B002294-09-001 Corcoran General Engineering Services

Phase 500-01 General

General

### Professional Personnel

			Hours	Rate	Amount
895	922 - Butler, Samuel	1/4/2021	2.50	98.00	245.00
	detail updates and review with kyle				
243	941 - Shuck, Jordan	1/26/2021	1.00	132.00	132.00
	hydrant map				
063	962 - Torve, Kent	1/6/2021	.75	135.00	101.25
	DRC deliverable schedules and project discussions				
063	962 - Torve, Kent	1/20/2021	.50	135.00	67.50
	DRC and project schedules and deliverables				
063	962 - Torve, Kent	1/22/2021	.75	135.00	101.25
	Project schedule review and planning commission deliverables				
063	962 - Torve, Kent	1/27/2021	.75	135.00	101.25
	DRC deliverables and project review				
	Totals		6.25		748.25
	<b>Total Labor</b>				<b>748.25</b>
				<b>Phase Total</b>	<b>\$748.25</b>

*move to water fund*

*4616.25*

Phase 500-06 Appaloosa Woods Engineer's Report

Appaloosa Woods Engineer's Report

### Professional Personnel

			Hours	Rate	Amount
418	951 - Hegland, Steven	1/4/2021	1.50	130.00	195.00
	feasibility report				
418	951 - Hegland, Steven	1/5/2021	2.00	130.00	260.00
	update feasibility report and tables				
418	951 - Hegland, Steven	1/21/2021	1.50	130.00	195.00
	Draft feasibility study for council packet				
1232	931 - Morgan, Gage	1/6/2021	.50	112.00	56.00
	Edits to Feasibility Report				
	Totals		5.50		706.00
	<b>Total Labor</b>				<b>706.00</b>
				<b>Phase Total</b>	<b>\$706.00</b>

Phase 900 Utilities

Utilities

### Professional Personnel

			Hours	Rate	Amount
394	951 - Schmidt, Rowdy	1/25/2021	.50	135.00	67.50
	City Hydrant Map				
394	951 - Schmidt, Rowdy	1/27/2021	3.00	135.00	405.00
	Working with public works on locating existing watermain and forcemain.				
243	941 - Shuck, Jordan	1/20/2021	1.50	132.00	198.00
	Rogers FD Hydrant Map				

Project	B002294-09-001	Corcoran General Engineering Services		Invoice	12100357
243	941 - Shuck, Jordan	1/22/2021	2.00	132.00	264.00
	Corcoran Hydrant Map				
706	931 - Wyers, Nicholas	1/26/2021	.50	112.00	56.00
	utility permit review WHE, locate utility maps request				
706	931 - Wyers, Nicholas	1/26/2021	.50	112.00	56.00
	MCES L80 service invert information				
706	931 - Wyers, Nicholas	1/28/2021	.50	112.00	56.00
	WHE easement coordination				
	Totals		8.50		1,102.50
	<b>Total Labor</b>				<b>1,102.50</b>
				<b>Phase Total</b>	<b>\$1,102.50</b>
				<b>Project Total</b>	<b>\$2,556.75</b>
				<b>Total this Report</b>	<b>\$2,556.75</b>

+ \$132.00

#1,234.50

**Invoice**

February 3, 2021  
Invoice No: 12100359

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-18-040 2020 SE Corcoran Trunk Watermain

**Professional Services Through January 31, 2021**

Phase 500 Construction  
Construction

**Professional Personnel**

	Hours	Rate	Amount	
Schmidt, Rowdy	2.50	135.00	337.50	
Wyers, Nicholas	4.00	112.00	448.00	
Totals	6.50		785.50	
<b>Total Labor</b>				<b>785.50</b>
				<b>Phase Total</b>
				<b>\$785.50</b>
				<b>Total Invoice Amount</b>
				<b>\$785.50</b>

**Outstanding Invoices**

Number	Date	Balance
12009077	1/6/2021	8,760.65
<b>Total</b>		<b>8,760.65</b>

	Current	Prior	Total
<b>Billing Summary</b>	<b>785.50</b>	<b>89,524.53</b>	<b>90,310.03</b>

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100359 Dated 2/3/2021

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Project	B002294-18-040	2020 SE Corcoran Trunk Watermain
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Phase	500	Construction
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Construction

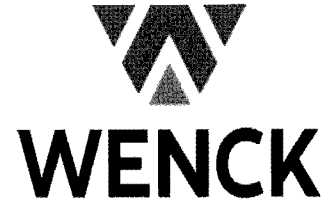
### Professional Personnel

			Hours	Rate	Amount	
394	951 - Schmidt, Rowdy	1/4/2021	.50	135.00	67.50	
	Punchlist / Asbuilts					
394	951 - Schmidt, Rowdy	1/5/2021	1.00	135.00	135.00	
	Pay app/review					
394	951 - Schmidt, Rowdy	1/19/2021	1.00	135.00	135.00	
	Record Plans/Hydrant Mapping					
706	931 - Wyers, Nicholas	1/4/2021	1.25	112.00	140.00	
	contractor coordination					
706	931 - Wyers, Nicholas	1/5/2021	1.75	112.00	196.00	
	contract coordination, contractor coordination, pay app coordination, punch list review					
706	931 - Wyers, Nicholas	1/6/2021	1.00	112.00	112.00	
	contractor coordination, pay app coordination					
	Totals		6.50		785.50	
	<b>Total Labor</b>					<b>785.50</b>
				<b>Phase Total</b>		<b>\$785.50</b>
				<b>Project Total</b>		<b>\$785.50</b>
				<b>Total this Report</b>		<b>\$785.50</b>

**Invoice**

February 3, 2021  
Invoice No: 12100384

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-044 Transportation

**Professional Services Through January 31, 2021**

Phase 100 MnDOT State Aid  
MnDOT State Aid

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Terhaar, Edward	8.00	165.00	1,320.00	
Wyers, Nicholas	.25	112.00	28.00	
Totals	8.25		1,348.00	
<b>Total Labor</b>				<b>1,348.00</b>
				<b>Phase Total</b>
				<b>\$1,348.00</b>

Phase 200 Hennepin County Items  
Hennepin County Items

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Torve, Kent	2.50	135.00	337.50	
Totals	2.50		337.50	
<b>Total Labor</b>				<b>337.50</b>
				<b>Phase Total</b>
				<b>\$337.50</b>

Phase 300 City Traffic Items  
City Traffic Items

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Terhaar, Edward	1.25	165.00	206.25	
Totals	1.25		206.25	
<b>Total Labor</b>				<b>206.25</b>
				<b>Phase Total</b>
				<b>\$206.25</b>

Phase 400 Pavement Management and CIP  
Pavement Management and CIP

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Brink, Scott	2.50	135.00	337.50	
Mueller, Kevin	1.00	125.00	125.00	
Schmidt, Rowdy	1.00	135.00	135.00	

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Project	B002294-19-044	Transportation	Invoice	12100384
Terhaar, Edward		1.00	165.00	165.00
Torve, Kent		4.25	135.00	573.75
Totals		9.75		1,336.25
<b>Total Labor</b>				<b>1,336.25</b>
			<b>Phase Total</b>	<b>\$1,336.25</b>

*Move to  
St. Theresa  
500-20471*

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Phase	500	Bridges		
Bridges				
<b>Professional Personnel</b>				
		<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Hegland, Steven		.75	130.00	97.50
Totals		.75		97.50
<b>Total Labor</b>				<b>97.50</b>
			<b>Phase Total</b>	<b>\$97.50</b>
			<b>Total Invoice Amount</b>	<b>\$3,325.50</b>

**Outstanding Invoices**

Number	Date	Balance
12009081	1/6/2021	1,561.50
<b>Total</b>		<b>1,561.50</b>

**Billing Summary**

	Current	Prior	Total
	3,325.50	22,954.20	26,279.70

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100384 Dated 2/3/2021

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Project	B002294-19-044	Transportation		
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Phase	100	MnDOT State Aid		
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MnDOT State Aid

**Professional Personnel**

			Hours	Rate	Amount	
293	951 - Terhaar, Edward	1/4/2021	1.00	165.00	165.00	
	street mapping					
293	951 - Terhaar, Edward	1/5/2021	1.00	165.00	165.00	
	street mapping					
293	951 - Terhaar, Edward	1/7/2021	1.00	165.00	165.00	
	functional class review and discussion					
293	951 - Terhaar, Edward	1/13/2021	1.00	165.00	165.00	
	mapping					
293	951 - Terhaar, Edward	1/14/2021	1.00	165.00	165.00	
	bridge reports					
293	951 - Terhaar, Edward	1/19/2021	1.00	165.00	165.00	
	MnDOT mapping					
293	951 - Terhaar, Edward	1/20/2021	1.00	165.00	165.00	
	state aid needs					
293	951 - Terhaar, Edward	1/25/2021	1.00	165.00	165.00	
	mapping updates					
706	931 - Wyers, Nicholas	1/4/2021	.25	112.00	28.00	
	2020 constructed streets update					
	Totals		8.25		1,348.00	
	<b>Total Labor</b>					<b>1,348.00</b>
				<b>Phase Total</b>		<b>\$1,348.00</b>

Phase	200	Hennepin County Items		
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Hennepin County Items

**Professional Personnel**

			Hours	Rate	Amount	
063	962 - Torve, Kent	1/7/2021	2.50	135.00	337.50	
	CR 10 meeting prep, floodplain review and County meeting					
	Totals		2.50		337.50	
	<b>Total Labor</b>					<b>337.50</b>
				<b>Phase Total</b>		<b>\$337.50</b>

Phase	300	City Traffic Items		
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City Traffic Items

**Professional Personnel**

			Hours	Rate	Amount	
293	951 - Terhaar, Edward	1/19/2021	1.25	165.00	206.25	
	Van Blaricom review					
	Totals		1.25		206.25	
	<b>Total Labor</b>					<b>206.25</b>



**Phase Total                    \$206.25**

Phase                    400                    Pavement Management and CIP  
Pavement Management and CIP

**Professional Personnel**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
1239	951 - Brink, Scott	1/12/2021	.50	135.00	67.50
	Background - Research				
1239	951 - Brink, Scott	1/14/2021	1.00	135.00	135.00
	Feasibility Report Draft				
1239	951 - Brink, Scott	1/15/2021	1.00	135.00	135.00
	Feasibility Report Prep				
907	932 - Mueller, Kevin	1/19/2021	1.00	125.00	125.00
	mapping				
394	951 - Schmidt, Rowdy	1/21/2021	1.00	135.00	135.00
	Feasibility				
293	951 - Terhaar, Edward	1/14/2021	1.00	165.00	165.00
	scoping				
063	962 - Torve, Kent	1/14/2021	1.50	135.00	202.50
	City Center Drive FS and SE District Stormwater utility planning				
063	962 - Torve, Kent	1/18/2021	1.75	135.00	236.25
	City Center drive scoping and project funding process				
063	962 - Torve, Kent	1/21/2021	1.00	135.00	135.00
	Stormwater drainage area review and final scoping document				
	Totals		9.75		1,336.25

**Total Labor**

**Phase Total**

**\$1,336.25**

*Move to  
A. Therese  
500-204971*

Phase                    500                    Bridges  
Bridges

**Professional Personnel**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
418	951 - Hegland, Steven	1/20/2021	.75	130.00	97.50
	Bridge signage and road posting coordination				
	Totals		.75		97.50

**Total Labor**

**97.50**

**Phase Total**

**\$97.50**

**Project Total**

**\$3,325.50**

**Total this Report**

**\$3,325.50**

**Invoice**

February 3, 2021  
Invoice No: 12100386



Responsive partner.  
Exceptional outcomes.

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340

Project Manager Kent Torve

Project B002294-19-045 Stormwater

**Professional Services Through January 31, 2021**

Phase 300 MS4  
MS4

**Professional Personnel**

	Hours	Rate	Amount	
Cantarero, Nicolas	9.75	135.00	1,316.25	
Torve, Kent	.50	135.00	67.50	
Totals	10.25		1,383.75	
<b>Total Labor</b>				<b>1,383.75</b>
		<b>Phase Total</b>		<b>\$1,383.75</b>
		<b>Total Invoice Amount</b>		<b>\$1,383.75</b>

**Outstanding Invoices**

Number	Date	Balance
12009082	1/6/2021	158.60
<b>Total</b>		<b>158.60</b>

	Current	Prior	Total
<b>Billing Summary</b>	<b>1,383.75</b>	<b>28,392.84</b>	<b>29,776.59</b>

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100386 Dated 2/3/2021

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Project	B002294-19-045	Stormwater
Phase	300	MS4
MS4		

**Professional Personnel**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
1082	932 - Cantarero, Nicolas	1/12/2021	.75	135.00	101.25
	Attend WMWA meeting (split time between with Corcoran and Dayton)				
1082	932 - Cantarero, Nicolas	1/13/2021	4.50	135.00	607.50
	MS4 Monthly Meeting, MS4 New Permit: Gap Analysis				
1082	932 - Cantarero, Nicolas	1/14/2021	1.00	135.00	135.00
	MS4 Permit Update				
1082	932 - Cantarero, Nicolas	1/15/2021	1.00	135.00	135.00
	MS4 Permit Update				
1082	932 - Cantarero, Nicolas	1/19/2021	1.00	135.00	135.00
	MS4 New Permit Update				
1082	932 - Cantarero, Nicolas	1/22/2021	.50	135.00	67.50
	MS4 New Permit: GIS needs for TMDLs				
1082	932 - Cantarero, Nicolas	1/25/2021	1.00	135.00	135.00
	MS4 Gap Analysis				
063	962 - Torve, Kent	1/15/2021	.50	135.00	67.50
	Staff discussion and New Permit gap analysis				
	Totals		10.25		1,383.75
	<b>Total Labor</b>				<b>1,383.75</b>
				<b>Phase Total</b>	<b>\$1,383.75</b>
				<b>Project Total</b>	<b>\$1,383.75</b>
				<b>Total this Report</b>	<b>\$1,383.75</b>

**Invoice**

February 3, 2021  
Invoice No: 12100343

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-046 WCA  
**Professional Services Through January 31, 2021**

Phase 100 Resident Items  
Resident Items

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Boll, Wesley	6.25	135.00	843.75	
Mueller, Lucas	7.25	120.00	870.00	
Totals	13.50		1,713.75	
<b>Total Labor</b>				<b>1,713.75</b>
				<b>Phase Total</b>
				<b>\$1,713.75</b>

Phase 101 Ernie Mayers WCA Violation  
Ernie Mayers WCA Violation

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Boll, Wesley	4.25	135.00	573.75	
Totals	4.25		573.75	
<b>Total Labor</b>				<b>573.75</b>
				<b>Phase Total</b>
				<b>\$573.75</b>

Phase 200 Annual Reporting  
Annual Reporting

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Mueller, Lucas	5.25	120.00	630.00	
Totals	5.25		630.00	
<b>Total Labor</b>				<b>630.00</b>
				<b>Phase Total</b>
				<b>\$630.00</b>

Phase 2400 City of Corcoran Well Site  
City of Corcoran Well Site

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Mueller, Lucas	1.50	120.00	180.00	
Totals	1.50		180.00	
<b>Total Labor</b>				<b>180.00</b>
				<b>Phase Total</b>
				<b>\$180.00</b>

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Phase 2500 City of Corcoran Bridge Replacement  
 City of Corcoran Bridge Replacement

**Professional Personnel**

	Hours	Rate	Amount	
Mueller, Lucas	1.50	120.00	180.00	
Totals	1.50		180.00	
<b>Total Labor</b>				<b>180.00</b>
<b>Phase Total</b>				<b>\$180.00</b>

Phase 2600 City of Corcoran Nelson Turn Lane  
 City of Corcoran Nelson Turn Lane

**Professional Personnel**

	Hours	Rate	Amount	
Mueller, Lucas	1.50	120.00	180.00	
Totals	1.50		180.00	
<b>Total Labor</b>				<b>180.00</b>
<b>Phase Total</b>				<b>\$180.00</b>

Phase 2700 Tessmer Property  
 Tessmer Property

**Professional Personnel**

	Hours	Rate	Amount	
Mueller, Lucas	1.50	120.00	180.00	
Totals	1.50		180.00	
<b>Total Labor</b>				<b>180.00</b>
<b>Phase Total</b>				<b>\$180.00</b>

Phase 2800 Gonyea 19800 Hackamore Road  
 Gonyea 19800 Hackamore Road

**Professional Personnel**

	Hours	Rate	Amount	
Mueller, Lucas	7.25	120.00	870.00	
Totals	7.25		870.00	
<b>Total Labor</b>				<b>870.00</b>
<b>Phase Total</b>				<b>\$870.00</b>

Phase 2900 Van Blairicom  
 Van Blairicom

**Professional Personnel**

	Hours	Rate	Amount	
Boll, Wesley	1.50	135.00	202.50	
Mueller, Lucas	3.75	120.00	450.00	
Totals	5.25		652.50	
<b>Total Labor</b>				<b>652.50</b>
<b>Phase Total</b>				<b>\$652.50</b>

Phase 3000 M/I Homes  
 M/I Homes

**Professional Personnel**

	Hours	Rate	Amount	
Boll, Wesley	3.00	135.00	405.00	
Mueller, Lucas	4.00	120.00	480.00	
Totals	7.00		885.00	
<b>Total Labor</b>				<b>885.00</b>
<b>Phase Total</b>				<b>\$885.00</b>

Phase 3100 Wright-Hennepin Substation  
 Wright-Hennepin Substation

**Professional Personnel**

	Hours	Rate	Amount	
Boll, Wesley	.25	135.00	33.75	
Mueller, Lucas	5.25	120.00	630.00	
Totals	5.50		663.75	
<b>Total Labor</b>				<b>663.75</b>
<b>Phase Total</b>				<b>\$663.75</b>

Phase 3200 10500 Maple Lane  
 10500 Maple Lane

**Professional Personnel**

	Hours	Rate	Amount	
Mueller, Lucas	7.50	120.00	900.00	
Totals	7.50		900.00	
<b>Total Labor</b>				<b>900.00</b>
<b>Phase Total</b>				<b>\$900.00</b>

Phase 900 Nelson International Project  
 Nelson International Project

**Professional Personnel**

	Hours	Rate	Amount	
Dietrich, Meaghan	.50	120.00	60.00	
Mueller, Lucas	2.25	120.00	270.00	
Totals	2.75		330.00	
<b>Total Labor</b>				<b>330.00</b>
<b>Phase Total</b>				<b>\$330.00</b>

**Total Invoice Amount      \$7,938.75**

**Outstanding Invoices**

Number	Date	Balance
12009088	1/6/2021	5,953.50
<b>Total</b>		<b>5,953.50</b>

	Current	Prior	Total
<b>Billing Summary</b>	<b>7,938.75</b>	<b>67,861.10</b>	<b>75,799.85</b>

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100343 Dated 2/3/2021

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Project	B002294-19-046	WCA
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Phase	100	Resident Items
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Resident Items

**Professional Personnel**

		Hours	Rate	Amount
186	933 - Boll, Wesley Resident Correspondence (Wittker)	1/8/2021 .25	135.00	33.75
186	933 - Boll, Wesley WCA Landowner Correspondence (Wittmer, Franzen)	1/11/2021 1.25	135.00	168.75
186	933 - Boll, Wesley Hennepin County (Vehrenkamp) Correspondence	1/13/2021 .50	135.00	67.50
186	933 - Boll, Wesley WCA Annual Reporting, SE Corcoran District WCA Information Review	1/14/2021 1.50	135.00	202.50
186	933 - Boll, Wesley SE Corcoran Review	1/15/2021 .25	135.00	33.75
186	933 - Boll, Wesley Annual Reporting, WCA Application Spreadsheet Update	1/19/2021 .50	135.00	67.50
186	933 - Boll, Wesley WCA Reporting, Project Tracking	1/22/2021 .50	135.00	67.50
186	933 - Boll, Wesley Landowner issues, WCA Reporting	1/25/2021 1.50	135.00	202.50
1073	931 - Mueller, Lucas Review of any missing or non entered projects in 2020	1/15/2021 1.25	120.00	150.00
1073	931 - Mueller, Lucas Review of folder for final project tracking list (2020)	1/19/2021 1.00	120.00	120.00
1073	931 - Mueller, Lucas Discussion with Wes about 2 potential No Loss projects in Corcoran.	1/25/2021 1.25	120.00	150.00
1073	931 - Mueller, Lucas Review of Hunter Road property for No LossReview of 20400 Hackamore property for no loss	1/27/2021 2.00	120.00	240.00
1073	931 - Mueller, Lucas Calls with Hunter and Hackamore road landowners to discuss process.	1/28/2021 1.75	120.00	210.00
	Totals	13.50		1,713.75
	<b>Total Labor</b>			<b>1,713.75</b>
			<b>Phase Total</b>	<b>\$1,713.75</b>

Phase	101	Ernie Mayers WCA Violation
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Ernie Mayers WCA Violation

**Professional Personnel**

		Hours	Rate	Amount
186	933 - Boll, Wesley Review Applicant Information, Phone Calls	1/4/2021 1.50	135.00	202.50
186	933 - Boll, Wesley Respond to BWSR letter	1/6/2021 1.50	135.00	202.50
186	933 - Boll, Wesley WCA RO Resolution	1/11/2021 .75	135.00	101.25
186	933 - Boll, Wesley Correspondence with consultant	1/28/2021 .50	135.00	67.50
	Totals	4.25		573.75
	<b>Total Labor</b>			<b>573.75</b>

**Phase Total                    \$573.75**

Phase                    200                    Annual Reporting  
 Annual Reporting

**Professional Personnel**

			Hours	Rate		Amount
1073	931 - Mueller, Lucas	1/4/2021	.75	120.00		90.00
	review of annual reporting methods for corcoran					
1073	931 - Mueller, Lucas	1/11/2021	1.50	120.00		180.00
	Year end WCA worksheet					
1073	931 - Mueller, Lucas	1/13/2021	3.00	120.00		360.00
	Year end worksheet and review of project folder for missing and no recorded projects					
	Totals		5.25			630.00
	<b>Total Labor</b>					<b>630.00</b>

**Phase Total                    \$630.00**

Phase                    2400                    City of Corcoran Well Site  
 City of Corcoran Well Site

**Professional Personnel**

			Hours	Rate		Amount
1073	931 - Mueller, Lucas	1/4/2021	1.50	120.00		180.00
	NOD					
	Totals		1.50			180.00
	<b>Total Labor</b>					<b>180.00</b>

**Phase Total                    \$180.00**

Phase                    2500                    City of Corcoran Bridge Replacement  
 City of Corcoran Bridge Replacement

**Professional Personnel**

			Hours	Rate		Amount
1073	931 - Mueller, Lucas	1/4/2021	1.50	120.00		180.00
	NOD					
	Totals		1.50			180.00
	<b>Total Labor</b>					<b>180.00</b>

**Phase Total                    \$180.00**

Phase                    2600                    City of Corcoran Nelson Turn Lane  
 City of Corcoran Nelson Turn Lane

**Professional Personnel**

			Hours	Rate		Amount
1073	931 - Mueller, Lucas	1/4/2021	1.50	120.00		180.00
	NOD					
	Totals		1.50			180.00
	<b>Total Labor</b>					<b>180.00</b>



**Phase Total                    \$180.00**

Phase                    2700                    Tessmer Property  
Tessmer Property

**Professional Personnel**

			Hours	Rate	Amount	
1073	931 - Mueller, Lucas	1/7/2021	1.50	120.00	180.00	
	NOD					
	Totals		1.50		180.00	
	<b>Total Labor</b>					<b>180.00</b>

**Phase Total                    \$180.00**

Phase                    2800                    Gonyea 19800 Hackamore Road  
Gonyea 19800 Hackamore Road

**Professional Personnel**

			Hours	Rate	Amount	
1073	931 - Mueller, Lucas	1/7/2021	1.50	120.00	180.00	
	review of historic aerials and discussion with Ben Carlson regarding Incidental wetlands on site. Coordination with applicant to send additional info.					
1073	931 - Mueller, Lucas	1/11/2021	2.25	120.00	270.00	
	Project updates with client and new review of submittal.					
1073	931 - Mueller, Lucas	1/13/2021	2.00	120.00	240.00	
	NOD drafting					
1073	931 - Mueller, Lucas	1/19/2021	1.50	120.00	180.00	
	review of updated report sent by Kjolhaug and sent out NOD					
	Totals		7.25		870.00	
	<b>Total Labor</b>					<b>870.00</b>

**Phase Total                    \$870.00**

Phase                    2900                    Van Blairicom  
Van Blairicom

**Professional Personnel**

			Hours	Rate	Amount	
186	933 - Boll, Wesley	1/11/2021	.75	135.00	101.25	
	WCA NOD Review					
186	933 - Boll, Wesley	1/15/2021	.75	135.00	101.25	
	WCA Notice of Decision					
1073	931 - Mueller, Lucas	1/12/2021	2.50	120.00	300.00	
	Review of report and drafted NOD					
1073	931 - Mueller, Lucas	1/13/2021	1.25	120.00	150.00	
	NOD					
	Totals		5.25		652.50	
	<b>Total Labor</b>					<b>652.50</b>

**Phase Total                    \$652.50**

Phase 3000 M/I Homes  
M/I Homes

**Professional Personnel**

			Hours	Rate	Amount
186	933 - Boll, Wesley	1/6/2021	1.00	135.00	135.00
	WCA Review				
186	933 - Boll, Wesley	1/11/2021	.75	135.00	101.25
	WCA Notice of Decision Review				
186	933 - Boll, Wesley	1/15/2021	1.25	135.00	168.75
	WCA Notice of Decision				
1073	931 - Mueller, Lucas	1/12/2021	3.25	120.00	390.00
	Review of report and drafted NOD				
1073	931 - Mueller, Lucas	1/13/2021	.75	120.00	90.00
	NOD				
	Totals		7.00		885.00
	<b>Total Labor</b>				<b>885.00</b>
<b>Phase Total</b>					<b>\$885.00</b>

Phase 3100 Wright-Hennepin Substation  
Wright-Hennepin Substation

**Professional Personnel**

			Hours	Rate	Amount
186	933 - Boll, Wesley	1/15/2021	.25	135.00	33.75
	WCA Review				
1073	931 - Mueller, Lucas	1/14/2021	1.00	120.00	120.00
	Email and call to jacobson and discussion about Offsite review to proceed with approval.				
1073	931 - Mueller, Lucas	1/20/2021	2.00	120.00	240.00
	project review and discussion with applicant				
1073	931 - Mueller, Lucas	1/27/2021	2.25	120.00	270.00
	review of offsite review and drafted NOD				
	Totals		5.50		663.75
	<b>Total Labor</b>				<b>663.75</b>
<b>Phase Total</b>					<b>\$663.75</b>

Phase 3200 10500 Maple Lane  
10500 Maple Lane

**Professional Personnel**

			Hours	Rate	Amount
1073	931 - Mueller, Lucas	1/4/2021	1.00	120.00	120.00
	Review of historic aerials for Larkin Road project (Phase 3200?) email to applicant requesting additional info.				
1073	931 - Mueller, Lucas	1/5/2021	1.50	120.00	180.00
	NOA and additional report review.				
1073	931 - Mueller, Lucas	1/20/2021	1.75	120.00	210.00
	NOD drafted and sent to TEP and applicant				
1073	931 - Mueller, Lucas	1/28/2021	1.50	120.00	180.00
	Drafted and revised NOD and notes				
1073	931 - Mueller, Lucas	1/29/2021	1.75	120.00	210.00

Project	B002294-19-046	WCA	Invoice	12100343
Sent out NOD and finalized				
	Totals	7.50	900.00	
	<b>Total Labor</b>			<b>900.00</b>
			<b>Phase Total</b>	<b>\$900.00</b>

-----  
Phase 900 Nelson International Project  
Nelson International Project

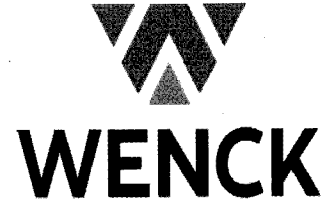
**Professional Personnel**

			Hours	Rate	Amount
697	931 - Dietrich, Meaghan	1/11/2021	.50	120.00	60.00
	confirming recent plan submittal matches approved replacement plan				
1073	931 - Mueller, Lucas	1/11/2021	2.25	120.00	270.00
	project overview and background. Discussion with Steve Hegland regarding delineation/no loss status				
	Totals		2.75		330.00
	<b>Total Labor</b>				<b>330.00</b>
				<b>Phase Total</b>	<b>\$330.00</b>
				<b>Project Total</b>	<b>\$7,938.75</b>
				<b>Total this Report</b>	<b>\$7,938.75</b>

**Invoice**

February 3, 2021  
Invoice No: 12100360

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-048 Water Utility  
**Professional Services Through January 31, 2021**

Phase 500 NE Parcel Site Plan  
NE Parcel Site Plan

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Bjorklund, Gary	2.50	135.00	337.50	
Torve, Kent	6.25	135.00	843.75	
Wyers, Nicholas	.50	112.00	56.00	
Totals	9.25		1,237.25	
<b>Total Labor</b>				<b>1,237.25</b>
		<b>Phase Total</b>		<b>\$1,237.25</b>
		<b>Total Invoice Amount</b>		<b>\$1,237.25</b>

**Outstanding Invoices**

<b>Number</b>	<b>Date</b>	<b>Balance</b>
12009083	1/6/2021	3,156.70
<b>Total</b>		<b>3,156.70</b>

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100360 Dated 2/3/2021

3:59:43 PM

Project B002294-19-048 Water Utility

Phase 500 NE Parcel Site Plan

NE Parcel Site Plan

**Professional Personnel**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
806	932 - Bjorklund, Gary	1/26/2021	.50	135.00	67.50	
	review and coordinate on easement vacation for final plat HR 2nd					
806	932 - Bjorklund, Gary	1/27/2021	1.00	135.00	135.00	
	setup drawing					
806	932 - Bjorklund, Gary	1/29/2021	1.00	135.00	135.00	
	LOT split exhibit					
063	962 - Torve, Kent	1/25/2021	1.75	135.00	236.25	
	Plan review memo and staff discussion					
063	962 - Torve, Kent	1/26/2021	2.25	135.00	303.75	
	Plan review, Engineer memo and staff meeting					
063	962 - Torve, Kent	1/27/2021	2.25	135.00	303.75	
	Plan review, staff discussion and Engineer memo					
706	931 - Wyers, Nicholas	1/26/2021	.50	112.00	56.00	
	NE well supply easement review					
	Totals		9.25		1,237.25	
	<b>Total Labor</b>					<b>1,237.25</b>
				<b>Phase Total</b>		<b>\$1,237.25</b>
				<b>Project Total</b>		<b>\$1,237.25</b>
				<b>Total this Report</b>		<b>\$1,237.25</b>

**Invoice**

February 5, 2021  
 Invoice No: 12100575

Kevin Mattson  
 City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-060 New Construction Inspection

**Professional Services Through January 31, 2021**

Phase 01 Pulte

Pulte

Task 001 Utility Connection

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	.50	98.00	49.00	
Spree, Kyle	8.25	92.00	759.00	
Wyers, Nicholas	1.50	112.00	168.00	
Totals	10.25		976.00	
<b>Total Labor</b>				<b>976.00</b>
				<b>Task Total</b>
				<b>\$976.00</b>

Task 004 Building Permit Survey Review

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	2.75	98.00	269.50	
Schmidt, Rowdy	3.00	135.00	405.00	
Wyers, Nicholas	2.50	112.00	280.00	
Totals	8.25		954.50	
<b>Total Labor</b>				<b>954.50</b>
				<b>Task Total</b>
				<b>\$954.50</b>

**Phase Total \$1,930.50**

Phase 02 Ravinia

Ravinia

Task 001 Utility Connection

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	.50	98.00	49.00	
Spree, Kyle	4.00	92.00	368.00	
Totals	4.50		417.00	
<b>Total Labor</b>				<b>417.00</b>
				<b>Task Total</b>
				<b>\$417.00</b>

Task 004 Building Permit Survey Review

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

**Professional Personnel**

	Hours	Rate	Amount	
Butler, Samuel	5.75	98.00	563.50	
Schmidt, Rowdy	.50	135.00	67.50	
Wyers, Nicholas	.75	112.00	84.00	
Totals	7.00		715.00	
<b>Total Labor</b>				<b>715.00</b>
				<b>Task Total</b>
				<b>\$715.00</b>
				<b>Phase Total</b>
				<b>\$1,132.00</b>

Phase 03 Bass Lake Crossing

Bass Lake Crossing  
Task 001 Utility Connection

**Professional Personnel**

	Hours	Rate	Amount	
Butler, Samuel	1.00	98.00	98.00	
Spree, Kyle	1.50	92.00	138.00	
Wyers, Nicholas	1.00	112.00	112.00	
Totals	3.50		348.00	
<b>Total Labor</b>				<b>348.00</b>
				<b>Task Total</b>
				<b>\$348.00</b>

Task 004 Building Permit Survey Review

**Professional Personnel**

	Hours	Rate	Amount	
Butler, Samuel	2.50	98.00	245.00	
Wyers, Nicholas	1.00	112.00	112.00	
Totals	3.50		357.00	
<b>Total Labor</b>				<b>357.00</b>
				<b>Task Total</b>
				<b>\$357.00</b>
				<b>Phase Total</b>
				<b>\$705.00</b>
				<b>Total Invoice Amount</b>
				<b>\$3,767.50</b>

**Outstanding Invoices**

Number	Date	Balance
12009091	1/6/2021	3,107.42
<b>Total</b>		<b>3,107.42</b>

Billing Summary	Current	Prior	Total
	<b>3,767.50</b>	<b>12,118.40</b>	<b>15,885.90</b>

**Invoice**

February 3, 2021  
Invoice No: 12100393

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-505 Bridge Feasibility Study

**Professional Services Through January 31, 2021**

Phase 100 Project Coordination and Funding  
Project Coordination and Funding

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Brink, Scott	3.00	135.00	405.00	
Torve, Kent	2.50	135.00	337.50	
Totals	5.50		742.50	
<b>Total Labor</b>				<b>742.50</b>
				<b>Phase Total</b>
				<b>\$742.50</b>

Phase 150 Wetlands and Surveying  
Wetlands and Surveying

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Dietrich, Meaghan	1.00	120.00	120.00	
Totals	1.00		120.00	
<b>Total Labor</b>				<b>120.00</b>
				<b>Phase Total</b>
				<b>\$120.00</b>

Phase 200 Hydraulics  
Hydraulics

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Elmes, Daniel	1.00	115.00	115.00	
Osterdyk, Eric	17.50	115.00	2,012.50	
Totals	18.50		2,127.50	
<b>Total Labor</b>				<b>2,127.50</b>
				<b>Phase Total</b>
				<b>\$2,127.50</b>

Phase 300 Design  
Design

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Brink, Scott	4.00	135.00	540.00	
Butler, Samuel	18.50	98.00	1,813.00	

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com



Project	B002294-20-505	Bridge Feasibility Study	Invoice	12100393
Hegland, Steven		.75	130.00	97.50
Totals		23.25		2,450.50
<b>Total Labor</b>				<b>2,450.50</b>
			<b>Phase Total</b>	<b>\$2,450.50</b>

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Phase	500	Report		
Report				
<b>Professional Personnel</b>				
		<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Brink, Scott		10.50	135.00	1,417.50
Totals		10.50		1,417.50
<b>Total Labor</b>				<b>1,417.50</b>
			<b>Phase Total</b>	<b>\$1,417.50</b>
			<b>Total Invoice Amount</b>	<b>\$6,858.00</b>

<b>Outstanding Invoices</b>		
<b>Number</b>	<b>Date</b>	<b>Balance</b>
12009099	1/6/2021	2,946.68
<b>Total</b>		<b>2,946.68</b>

	<b>Current</b>	<b>Prior</b>	<b>Total</b>
<b>Billing Summary</b>	<b>6,858.00</b>	<b>7,548.48</b>	<b>14,406.48</b>

# Billing Backup

Friday, February 5, 2021

WAI - Wenck Associates, Inc.

Invoice 12100393 Dated 2/3/2021

8:35:32 AM

Project	B002294-20-505	Bridge Feasibility Study		
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Phase	100	Project Coordination and Funding		
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Project Coordination and Funding

**Professional Personnel**

			Hours	Rate	Amount	
1239	951 - Brink, Scott	1/7/2021	2.00	135.00	270.00	
	Internal Meeting and design follow up/assistance					
1239	951 - Brink, Scott	1/8/2021	1.00	135.00	135.00	
	Design - State Aid					
063	962 - Torve, Kent	1/13/2021	1.25	135.00	168.75	
	Bridge FS review and deliverable					
063	962 - Torve, Kent	1/14/2021	1.25	135.00	168.75	
	Draft study compilation and tasks					
	Totals		5.50		742.50	
	<b>Total Labor</b>					<b>742.50</b>

**Phase Total                    \$742.50**

Phase	150	Wetlands and Surveying		
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Wetlands and Surveying

**Professional Personnel**

			Hours	Rate	Amount	
697	931 - Dietrich, Meaghan	1/4/2021	.25	120.00	30.00	
	follow up on WCA approvals status					
697	931 - Dietrich, Meaghan	1/13/2021	.50	120.00	60.00	
	exporting wetland data to CAD					
697	931 - Dietrich, Meaghan	1/14/2021	.25	120.00	30.00	
	exporting wetland data to CAD					
	Totals		1.00		120.00	
	<b>Total Labor</b>					<b>120.00</b>

**Phase Total                    \$120.00**

Phase	200	Hydraulics		
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Hydraulics

**Professional Personnel**

			Hours	Rate	Amount	
837	933 - Elemen, Daniel	1/7/2021	.50	115.00	57.50	
	HEC RAS bridge modeling discussion and review					
837	933 - Elemen, Daniel	1/8/2021	.50	115.00	57.50	
	Bridge replacement hydraulics design approach discussion					
790	923 - Osterdyk, Eric	1/6/2021	2.25	115.00	258.75	
	Corcoran existing model review, update based on survey					
790	923 - Osterdyk, Eric	1/7/2021	8.00	115.00	920.00	
	Corcoran existing model review, update based on survey, proposed culvert sizing					

Project	B002294-20-505	Bridge Feasibility Study	Invoice	12100393	
790	923 - Osterdyk, Eric	1/8/2021	7.25	115.00	833.75
	Corcoran existing model review, update based on survey, proposed culvert sizing				
	Totals		18.50		2,127.50
	<b>Total Labor</b>				<b>2,127.50</b>
			<b>Phase Total</b>		<b>\$2,127.50</b>

-----  
Phase 300 Design  
Design

**Professional Personnel**

			Hours	Rate	Amount
1239	951 - Brink, Scott	1/11/2021	1.00	135.00	135.00
	Prel Design				
1239	951 - Brink, Scott	1/12/2021	1.50	135.00	202.50
	Project Coordination				
1239	951 - Brink, Scott	1/13/2021	1.00	135.00	135.00
	Feasib. Report - Coordination				
1239	951 - Brink, Scott	1/15/2021	.50	135.00	67.50
	Prel. Design Feasib.				
895	922 - Butler, Samuel	1/4/2021	3.00	98.00	294.00
	Plan sheet set up, survey set up for plan sheets, street alignment, boring report coordination				
895	922 - Butler, Samuel	1/11/2021	8.00	98.00	784.00
	corridor grading				
895	922 - Butler, Samuel	1/13/2021	3.50	98.00	343.00
	street profiles and corridor, wetland limits and impacts, Geotech report review				
895	922 - Butler, Samuel	1/28/2021	2.00	98.00	196.00
	Alignment/profile changes, street layout				
895	922 - Butler, Samuel	1/29/2021	2.00	98.00	196.00
	Grading, discussion with scott, survey coordination				
418	951 - Hegland, Steven	1/6/2021	.75	130.00	97.50
	Design alternatives				
	Totals		23.25		2,450.50
	<b>Total Labor</b>				<b>2,450.50</b>
			<b>Phase Total</b>		<b>\$2,450.50</b>

-----  
Phase 500 Report  
Report

**Professional Personnel**

			Hours	Rate	Amount
1239	951 - Brink, Scott	1/19/2021	.50	135.00	67.50
	Feasibility Report				
1239	951 - Brink, Scott	1/20/2021	4.00	135.00	540.00
	Feasibility Report				
1239	951 - Brink, Scott	1/21/2021	2.00	135.00	270.00
	Feasibility Report'				
1239	951 - Brink, Scott	1/22/2021	2.00	135.00	270.00
	Feasibility Report				
1239	951 - Brink, Scott	1/25/2021	1.00	135.00	135.00
	Report Text				
1239	951 - Brink, Scott	1/29/2021	1.00	135.00	135.00
	Meetings - Conceptual Design for Report				
	Totals		10.50		1,417.50
	<b>Total Labor</b>				<b>1,417.50</b>

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Project	B002294-20-505	Bridge Feasibility Study	Invoice	12100393
			<b>Phase Total</b>	<b>\$1,417.50</b>
			<b>Project Total</b>	<b>\$6,858.00</b>
			<b>Total this Report</b>	<b>\$6,858.00</b>

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**Invoice**

February 3, 2021  
 Invoice No: 12100363

Mr. Brad Martens  
 City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-13-017 Lennar Development

**Professional Services Through January 31, 2021**

Phase 100 Engineering & Project Coordination  
 Engineering & Project Coordination

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Shuck, Jordan	.50	132.00	66.00	
<b>Totals</b>	<b>.50</b>		<b>66.00</b>	
<b>Total Labor</b>				<b>66.00</b>
				<b>Phase Total</b>
				<b>\$66.00</b>

Phase 200 Construction Plan Reviews and Approvals  
 Construction Plan Reviews and Approvals

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	10.50	98.00	1,029.00	
Wyers, Nicholas	.50	112.00	56.00	
<b>Totals</b>	<b>11.00</b>		<b>1,085.00</b>	
<b>Total Labor</b>				<b>1,085.00</b>

**Reimbursable Expenses**

Mileage - Reimbursable			5.60	
<b>Total Reimbursables</b>			<b>5.60</b>	<b>5.60</b>
				<b>Phase Total</b>
				<b>\$1,090.60</b>

Phase 300 Construction Inspection  
 Construction Inspection

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	.75	98.00	73.50	
Liane, Joseph	2.50	98.00	245.00	
Schmidt, Rowdy	8.00	135.00	1,080.00	
Spree, Kyle	3.00	92.00	276.00	
<b>Totals</b>	<b>14.25</b>		<b>1,674.50</b>	
<b>Total Labor</b>				<b>1,674.50</b>

**Reimbursable Expenses**

Mileage - Reimbursable			24.08	
<b>Total Reimbursables</b>			<b>24.08</b>	<b>24.08</b>
				<b>Phase Total</b>
				<b>\$1,698.58</b>

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Project	B002294-13-017	Lennar Development	Invoice	12100363
			<b>Total Invoice Amount</b>	<b>\$2,855.18</b>

---

**Outstanding Invoices**

<b>Number</b>	<b>Date</b>	<b>Balance</b>
12009069	1/6/2021	3,562.89
<b>Total</b>		<b>3,562.89</b>

**Invoice**

February 3, 2021  
 Invoice No: 12100364

Mr. Brad Martens  
 City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-17-031 66th Street Design and Construction

**Professional Services Through January 31, 2021**

Phase 200 Surveying  
 Surveying

**Professional Personnel**

	Hours	Rate	Amount	
Kraemer, Timothy	2.00	100.00	200.00	
Totals	2.00		200.00	
<b>Total Labor</b>				<b>200.00</b>

**Unit Billing**

1/15/2021	00-WAI Vehicle Maple Plain	40.0 Miles @ 0.56	22.40	
	01-Survey Supplies/Equipment	1.5 Hours @ 20.00	30.00	
	<b>Total Units</b>		<b>52.40</b>	<b>52.40</b>

**Phase Total \$252.40**

Phase 300 Design  
 Design

**Professional Personnel**

	Hours	Rate	Amount	
Berglund, Katherine	2.00	115.00	230.00	
Butler, Samuel	9.50	98.00	931.00	
Schmidt, Rowdy	2.50	135.00	337.50	
Shoemaker, Todd	1.25	165.00	206.25	
Sigtermans, Louis	2.00	115.00	230.00	
Tourtillott, Danielle	5.00	100.00	500.00	
Wyers, Nicholas	5.50	112.00	616.00	
Totals	27.75		3,050.75	
<b>Total Labor</b>				<b>3,050.75</b>

**Phase Total \$3,050.75**

**Total Invoice Amount \$3,303.15**

Billing Summary	Current	Prior	Total
	3,303.15	152,102.97	155,406.12

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**Invoice**

February 3, 2021  
 Invoice No: 12100358

Mr. Brad Martens  
 City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-17-032 Escrow Projects

**Professional Services Through January 31, 2021**

Phase 02 Bass Lake Crossings  
 Bass Lake Crossings

**Professional Personnel**

	Hours	Rate	Amount	
Butler, Samuel	.50	98.00	49.00	
Schmidt, Rowdy	.50	135.00	67.50	
<b>Totals</b>	<b>1.00</b>		<b>116.50</b>	
<b>Total Labor</b>				<b>116.50</b>
<b>Phase Total</b>				<b>\$116.50</b>

Phase 04 Bass Lake Estates  
 Bass Lake Estates and Storage

**Professional Personnel**

	Hours	Rate	Amount	
Butler, Samuel	.50	98.00	49.00	
Spree, Kyle	4.50	92.00	414.00	
<b>Totals</b>	<b>5.00</b>		<b>463.00</b>	
<b>Total Labor</b>				<b>463.00</b>

**Reimbursable Expenses**

Mileage - Reimbursable			17.92	
<b>Total Reimbursables</b>			<b>17.92</b>	<b>17.92</b>
<b>Phase Total</b>				<b>\$480.92</b>

Phase 05 Small Projects  
 Small Projects

**Professional Personnel**

	Hours	Rate	Amount
Torve, Kent 1/25/2021 Larkin Road LLC ?Karieniemi house plan review and variance analysis	1.25	135.00	168.75
Torve, Kent 1/25/2021 Snyder Road Plan review for ADU, stormwater and draft Engineer memo	1.25	135.00	168.75
Torve, Kent 1/26/2021 Drainage and Grading review for Kariniemi / Larkin LLC variance	.50	135.00	67.50
Torve, Kent 1/26/2021 Plan review	1.00	135.00	135.00
Torve, Kent 1/27/2021 Karinime / Larkin LLC Staff discussion and Engineer memo to packet	.25	135.00	33.75

Handwritten notes and circled amounts:  
 Amount: 168.75 (circled)  
 Amount: 168.75 (circled)  
 Amount: 67.50 (circled)  
 Amount: 135.00 (circled)  
 Amount: 33.75 (circled)  
 Kariniemi Variance \$270.00  
 Henn ADU (Snyder) \$339.80  
 \$33.75 (Next Page)



Project	B002294-17-032	Escrow Projects			Invoice	12100358
Torve, Kent		1/27/2021	.25	135.00	33.75	
Staff discussion and Engineer memo for packet						
Totals			4.50		607.50	
<b>Total Labor</b>						<b>607.50</b>
					<b>Phase Total</b>	<b>\$607.50</b>

Phase	14	Cold Storage Crossings				
Cold Storage Crossings						
<b>Professional Personnel</b>						
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel			.25	98.00	24.50	
Totals			.25		24.50	
<b>Total Labor</b>						<b>24.50</b>
					<b>Phase Total</b>	<b>\$24.50</b>

Phase	19	Refuge at Rush Creek Wetland Bank				
Refuge at Rush Creek Wetland Bank						
<b>Professional Personnel</b>						
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Boll, Wesley			2.00	135.00	270.00	
Totals			2.00		270.00	
<b>Total Labor</b>						<b>270.00</b>
					<b>Phase Total</b>	<b>\$270.00</b>

Phase	26	CR 116 Substation				
CR 116 Substation						
<b>Professional Personnel</b>						
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel			4.25	98.00	416.50	
Hegland, Steven			1.00	130.00	130.00	
Schmidt, Rowdy			.50	135.00	67.50	
Torve, Kent			4.50	135.00	607.50	
Totals			10.25		1,221.50	
<b>Total Labor</b>						<b>1,221.50</b>
					<b>Phase Total</b>	<b>\$1,221.50</b>
					<b>Total Invoice Amount</b>	<b>\$2,720.92</b>

**Outstanding Invoices**

<b>Number</b>	<b>Date</b>	<b>Balance</b>
12009071	1/6/2021	1,897.21
<b>Total</b>		<b>1,897.21</b>

	<b>Current</b>	<b>Prior</b>	<b>Total</b>
<b>Billing Summary</b>	<b>2,720.92</b>	<b>270,845.72</b>	<b>273,566.64</b>

**Invoice**

February 3, 2021  
 Invoice No: 12100381

Kevin Mattson  
 City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-17-033 Pulte Development Infrastructure

**Professional Services Through January 31, 2021**

Phase 050 VanBlaricom Concept Review

VanBlaricom Concept Review

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Hegland, Steven	4.00	130.00	520.00	
Madejczyk, Jeffrey	1.00	145.00	145.00	
Shoemaker, Todd	1.00	165.00	165.00	
Torve, Kent	16.25	135.00	2,193.75	
Tourtillott, Danielle	4.50	100.00	450.00	
Totals	26.75		3,473.75	
<b>Total Labor</b>				<b>3,473.75</b>
				<b>Phase Total \$3,473.75</b>

Phase 100 General Engineering and Project Coordina

General Engineering and Project Coordination

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Madejczyk, Jeffrey	.50	145.00	72.50	
Shuck, Jordan	1.50	132.00	198.00	
Totals	2.00		270.50	
<b>Total Labor</b>				<b>270.50</b>
				<b>Phase Total \$270.50</b>

Phase 200 Plan Review

Plan Review

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	1.25	98.00	122.50	
Spree, Kyle	.50	92.00	46.00	
Wyers, Nicholas	.50	112.00	56.00	
Totals	2.25		224.50	
<b>Total Labor</b>				<b>224.50</b>

**Reimbursable Expenses**

Mileage - Reimbursable			5.60	
<b>Total Reimbursables</b>			<b>5.60</b>	<b>5.60</b>

**Phase Total \$230.10**

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Phase 300 Stormwater  
Stormwater

**Professional Personnel**

	Hours	Rate	Amount	
Dix, Alec	4.00	100.00	400.00	
Shoemaker, Todd	.50	165.00	82.50	
Totals	4.50		482.50	
<b>Total Labor</b>				<b>482.50</b>
				<b>Phase Total \$482.50</b>

Phase 400 Construction Observation  
Construction Observation

**Professional Personnel**

	Hours	Rate	Amount	
Butler, Samuel	3.25	98.00	318.50	
Liane, Joseph	3.00	98.00	294.00	
Schmidt, Rowdy	3.50	135.00	472.50	
Spree, Kyle	2.00	92.00	184.00	
Wyers, Nicholas	.25	112.00	28.00	
Totals	12.00		1,297.00	
<b>Total Labor</b>				<b>1,297.00</b>

**Reimbursable Expenses**

Mileage - Reimbursable			25.76	
<b>Total Reimbursables</b>			<b>25.76</b>	<b>25.76</b>
				<b>Phase Total \$1,322.76</b>

**Total Invoice Amount \$5,779.61**

**Outstanding Invoices**

Number	Date	Balance
12009073	1/6/2021	4,866.90
<b>Total</b>		<b>4,866.90</b>

Billing Summary	Current	Prior	Total
	<b>5,779.61</b>	<b>442,646.52</b>	<b>448,426.13</b>

**Invoice**

February 3, 2021  
Invoice No: 12100383



Responsive partner.  
Exceptional outcomes.

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340

Project Manager Kent Torve

Project B002294-19-042 CSAH 116 and Gleason Parkway Turn Lanes

**Professional Services Through January 31, 2021**

Phase 200 Surveying  
Surveying

**Professional Personnel**

		<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Spree, Kyle		2.50	92.00	230.00	
	Totals	2.50		230.00	
	<b>Total Labor</b>				<b>230.00</b>
					<b>Phase Total</b>
					<b>\$230.00</b>

Phase 300 Design  
Design

**Professional Personnel**

		<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Schroehler, Mark		6.00	135.00	810.00	
	Totals	6.00		810.00	
	<b>Total Labor</b>				<b>810.00</b>
					<b>Phase Total</b>
					<b>\$810.00</b>

**Total Invoice Amount \$1,040.00**

<b>Billing Summary</b>	<b>Current</b>	<b>Prior</b>	<b>Total</b>
	<b>1,040.00</b>	<b>9,186.20</b>	<b>10,226.20</b>

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**Invoice**

February 3, 2021  
Invoice No: 12100361

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-050 St. Therese

**Professional Services Through January 31, 2021**

Phase 500 Report  
Report

**Professional Personnel**

	Hours	Rate	Amount
Hegland, Steven	1.00	130.00	130.00
Totals	1.00		130.00
<b>Total Labor</b>			<b>130.00</b>

**Phase Total \$130.00**

**Total Invoice Amount \$130.00**

**Outstanding Invoices**

Number	Date	Balance
12009085	1/6/2021	2,043.00
<b>Total</b>		<b>2,043.00</b>

Billing Summary	Current	Prior	Total
	130.00	32,596.15	32,726.15

*+ \$1,336.25*  
~~*\$1,466.25*~~  
*\$1,466.25*

# Billing Backup

Wednesday, February 3, 2021

WAI - Wenck Associates, Inc.

Invoice 12100361 Dated 2/3/2021

4:00:40 PM

Project B002294-19-050 St. Therese

Phase 500 Report

Report

### Professional Personnel

			Hours	Rate	Amount
418	951 - Hegland, Steven	1/6/2021	1.00	130.00	130.00
	Site plan coordination meeting				
	Totals		1.00		130.00
	<b>Total Labor</b>				<b>130.00</b>

**Phase Total \$130.00**

**Project Total \$130.00**

**Total this Report \$130.00**

**Invoice**

February 3, 2021  
Invoice No: 12100387

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-053 Wessel Project Offsite Utilities

**Professional Services Through January 31, 2021**

Phase 100 Wetlands  
Wetlands

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Summers, Matthew	1.75	118.00	206.50	
Totals	1.75		206.50	
<b>Total Labor</b>				<b>206.50</b>
				<b>Phase Total</b>
				<b>\$206.50</b>

Phase 300 Design  
Design

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Butler, Samuel	26.50	98.00	2,597.00	
Hegland, Steven	1.75	130.00	227.50	
Schmidt, Rowdy	6.50	135.00	877.50	
Wyers, Nicholas	14.00	112.00	1,568.00	
Totals	48.75		5,270.00	
<b>Total Labor</b>				<b>5,270.00</b>
				<b>Phase Total</b>
				<b>\$5,270.00</b>

**Total Invoice Amount \$5,476.50**

**Outstanding Invoices**

<b>Number</b>	<b>Date</b>	<b>Balance</b>
12009089	1/6/2021	310.50
<b>Total</b>		<b>310.50</b>

	<b>Current</b>	<b>Prior</b>	<b>Total</b>
<b>Billing Summary</b>	<b>5,476.50</b>	<b>29,653.88</b>	<b>35,130.38</b>

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**Invoice**

February 3, 2021  
Invoice No: 12100388



Responsive partner.  
Exceptional outcomes.

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340

Project Manager Kent Torve

Project B002294-20-055 Cook Lake - Schommer

**Professional Services Through January 31, 2021**

Phase 100 Plan Review and Coordination

Plan Review and Coordination

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Hegland, Steven	13.25	130.00	1,722.50	
Schmidt, Rowdy	7.50	135.00	1,012.50	
Torve, Kent	7.75	135.00	1,046.25	
Totals	28.50		3,781.25	
<b>Total Labor</b>				<b>3,781.25</b>
				<b>Phase Total</b>
				<b>\$3,781.25</b>

Phase 200 Transportation

Transportation

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Terhaar, Edward	1.00	165.00	165.00	
Totals	1.00		165.00	
<b>Total Labor</b>				<b>165.00</b>
				<b>Phase Total</b>
				<b>\$165.00</b>

Phase 400 Stormwater and Natural Resources

Stormwater and Natural Resources

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Dix, Alec	13.75	100.00	1,375.00	
Shoemaker, Todd	3.75	165.00	618.75	
Totals	17.50		1,993.75	
<b>Total Labor</b>				<b>1,993.75</b>
				<b>Phase Total</b>
				<b>\$1,993.75</b>

**Total Invoice Amount \$5,940.00**

**Outstanding Invoices**

<b>Number</b>	<b>Date</b>	<b>Balance</b>
12009090	1/6/2021	369.50
<b>Total</b>		<b>369.50</b>

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Project	B002294-20-055	Cook Lake - Schommer	Invoice	12100388
<b>Billing Summary</b>		<b>Current</b>	<b>Prior</b>	<b>Total</b>
		<b>5,940.00</b>	<b>17,725.10</b>	<b>23,665.10</b>

---

**Invoice**

February 3, 2021  
Invoice No: 12100389



Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340

Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-500 Tavera\_Lennar

**Professional Services Through January 31, 2021**

Phase 200 Plan Review  
Plan Review

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Hegland, Steven	3.00	130.00	390.00
Schmidt, Rowdy	2.00	135.00	270.00
Torve, Kent	12.25	135.00	1,653.75
Wyers, Nicholas	.50	112.00	56.00
Totals	17.75		2,369.75
<b>Total Labor</b>			<b>2,369.75</b>

**Phase Total \$2,369.75**

Phase 800 WCA Review  
WCA Review

**Professional Personnel**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Kaster, Anthony	7.00	135.00	945.00
Totals	7.00		945.00
<b>Total Labor</b>			<b>945.00</b>

**Phase Total \$945.00**

**Total Invoice Amount \$3,314.75**

**Outstanding Invoices**

Number	Date	Balance
12009093	1/6/2021	13,177.60
<b>Total</b>		<b>13,177.60</b>

	<b>Current</b>	<b>Prior</b>	<b>Total</b>
<b>Billing Summary</b>	<b>3,314.75</b>	<b>46,914.08</b>	<b>50,228.83</b>

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**Invoice**

February 3, 2021  
 Invoice No: 12100390

Kevin Mattson  
 City of Corcoran, MN  
 8200 County Road 116  
 Corcoran, MN 55340



Responsive partner.  
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-501 Nelson Trucking

**Professional Services Through January 31, 2021**

Phase 100 Plan Review and Coordination  
 Plan Review and Coordination

**Professional Personnel**

	Hours	Rate	Amount
Hegland, Steven	3.25	130.00	422.50
Schmidt, Rowdy	3.75	135.00	506.25
Tourtillott, Danielle	3.00	100.00	300.00
Wyers, Nicholas	.25	112.00	28.00
Totals	10.25		1,256.75

**Total Labor**

**Phase Total**

**1,256.75**

**\$1,256.75**

+ \$472.50  
 \$1,729.25

Phase 500 Construction Observation  
 Construction Observation

**Professional Personnel**

	Hours	Rate	Amount
Butler, Samuel	.50	98.00	49.00
Totals	.50		49.00

**Total Labor**

**Phase Total**

**49.00**

**\$49.00**

**Total Invoice Amount**

**\$1,305.75**

\$1,778.25

**Outstanding Invoices**

Number	Date	Balance
12009095	1/6/2021	537.81
<b>Total</b>		<b>537.81</b>

Billing Summary	Current	Prior	Total
	<b>1,305.75</b>	<b>34,213.87</b>	<b>35,519.62</b>

**Invoice**

February 3, 2021  
Invoice No: 12100391

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-502 Rush Creek Reserve

**Professional Services Through January 31, 2021**

Phase 200 Plan Review  
Plan Review

**Professional Personnel**

	Hours	Rate	Amount
Hegland, Steven	1.50	130.00	195.00
Schmidt, Rowdy	1.00	135.00	135.00
Torve, Kent	4.75	135.00	641.25
Wyers, Nicholas	.25	112.00	28.00
Totals	7.50		999.25

**Total Labor**

**999.25**

**Phase Total**

**\$999.25**

Phase 300 Stormwater  
Stormwater

**Professional Personnel**

	Hours	Rate	Amount
Shoemaker, Todd	1.00	165.00	165.00
Totals	1.00		165.00

**Total Labor**

**165.00**

**Phase Total**

**\$165.00**

**Total Invoice Amount**

**\$1,164.25**

**Outstanding Invoices**

Number	Date	Balance
12009097	1/6/2021	639.50
<b>Total</b>		<b>639.50</b>

	Current	Prior	Total
<b>Billing Summary</b>	<b>1,164.25</b>	<b>31,331.05</b>	<b>32,495.30</b>

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**Invoice**

February 3, 2021  
Invoice No: 12100392

Kevin Mattson  
City of Corcoran, MN  
8200 County Road 116  
Corcoran, MN 55340



Responsive partner.  
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-504 Nelson Trucking CSAH 101 Turn Lanes

**Professional Services Through January 31, 2021**

Phase 300 Design  
Design

**Professional Personnel**

	Hours	Rate	Amount
Torve, Kent	3.50	135.00	472.50
Totals	3.50		472.50
<b>Total Labor</b>			<b>472.50</b>

**Phase Total \$472.50**

**Total Invoice Amount**

**\$472.50**

Billing Summary	Current	Prior	Total
	472.50	2,094.10	2,566.60

Handwritten notes: *Move to Nelson Trucking 500-20482*

## STAFF REPORT

## Agenda Item 7e.

<b>Council Meeting:</b> February 25, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Pay Request #3; Changer Order #3 – City Hall Remodel	<b>Action Required:</b> Approval

---

### Summary:

Work continues on the City Hall remodel project. Two action items are requested from the City Council as outlined below:

1. Pay request #3
  - a. The attached pay request is for \$107,727.32. This is for work completed thus far. Items have been reviewed by the architect for accuracy.
2. Change order #3
  - a. This third change order is to increase the overall contract by \$2,620.28 as outlined below:
    - i. Piping and outlets: \$2,169.83
      1. Missing piping and outlet for the planned dishwasher not in plans.
      2. Added outlets for TV placement
    - ii. Cabling changes: \$450.45
      1. Relocate wireless router to more effective location, updated data

### Financial/Budget:

The soft costs allocation included funds for potential project cost increases. The below budget is updated reducing soft costs and increasing the construction costs. The project is still anticipated to be on budget at this time.

Budget Category	Approved Amount	Projected Amount 1/22/21
Construction	\$396,500	\$410,904
Technology	\$120,000	\$88,500
Furniture	\$120,000	\$151,500
Soft Costs	\$90,000	\$75,596
Total	\$726, 500	\$726,500

### Council Action:

Approve Pay Request #3 and Change Order #3 for the City Hall remodel project.

### Attachments:

1. Pay Request #3
2. Change Order #3

# APPLICATION AND CERTIFICATE FOR PAYMENT AIA DOCUMENT G702

TO OWNER: City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

PROJECT: CORCORAN CITY HALL AND PO  
8200 County Road 116  
Corcoran MN

APPLICATION NO: 00003  
PERIOD TO: 1/31/2021  
PROJECT NOS.: 20-001

Distribution to:  
 OWNER  
 ARCHITECT  
 CONTRACTOR

FROM CONTRACTOR: Weber, Inc.  
2497 7th Avenue East  
North St. Paul, MN 55109

VIA ARCHITECT: Wold Architects & Engineers  
332 Minnesota Street  
St. Paul, MN 55101

CONTRACT DATE: 8/27/2020

CONTRACT FOR: General Contractor/Construction Manager

## CONTRACTOR'S APPLICATION FOR PAYMENT

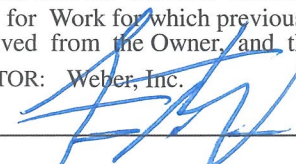
Application is made for payment, as shown below, in connection with the contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM .....	\$396,500.00
2. Net change by Change Orders .....	\$11,783.56
3. CONTRACT SUM TO DATE (Line 1 ± 2) .....	\$408,283.56
4. TOTAL COMPLETED & STORED TO DATE .....	\$233,849.66
(Column G on G703)	
5. RETAINAGE:	
a. 5.000 % of Completed Work .....	\$11,692.48
(Columns D + E on G703)	
b. 5.000 % of Stored Material .....	\$0.00
(Columns F on G703)	
Total Retainage (Line 5a + 5b or .....	\$11,692.48
Total in Columns I on G703)	
6. TOTAL EARNED LESS RETAINAGE .....	\$222,157.18
(Line 4 less Line 5 Total)	
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT .....	\$114,429.86
(Line 6 from prior Certificate)	
8. CURRENT PAYMENT DUE .....	\$107,727.32
9. BALANCE TO FINISH, INCLUDING RETAINAGE .....	\$186,126.38
(Line 3 less Line 6)	

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$9,095.03	\$0.00
Total approved this Month	\$2,688.53	\$0.00
TOTALS	\$11,783.56	\$0.00
NET CHANGES by Change Order	\$11,783.56	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

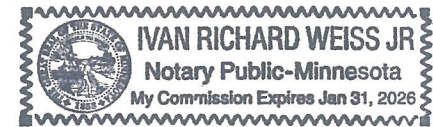
CONTRACTOR: Weber, Inc.

By:  Date: 01-29-2021

State of: Minnesota  
County of: Ramsey

Subscribed and sworn to before me this 29<sup>th</sup> day of January, 2021

Notary Public:   
My Commission expires: 01-31-2026



## ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED ..... \$107,727.32

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT: Wold Architects & Engineers

By:  Date: 01/29/2021

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.



# CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached.

APPLICATION NO.: 00003

APPLICATION DATE:

In tabulations below, amounts are stated to the nearest dollar.

PERIOD TO: 1/31/2021

Use Column I on Contracts where variable retainage for line items may apply.

ARCHITECT'S PROJECT NO.: 20-001

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D E WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE) RATE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G ÷ C)		
024119	Selective Demolition	\$16,400.00	\$8,200.00	\$0.00	\$0.00	\$8,200.00	50.000	\$8,200.00	\$410.00
042000-L	Non-Bearing Unit Masonry - Labor	\$4,300.00	\$0.00	\$3,500.00	\$0.00	\$3,500.00	81.395	\$800.00	\$175.00
042000-M	Non-Bearing Unit Masonry - Mate	\$700.00	\$0.00	\$600.00	\$0.00	\$600.00	85.714	\$100.00	\$30.00
055000-L	Metal Fabrications - Labor	\$300.00	\$0.00	\$300.00	\$0.00	\$300.00	100.000	\$0.00	\$15.00
055000-M	Metal Fabrications - Material	\$3,300.00	\$0.00	\$3,300.00	\$0.00	\$3,300.00	100.000	\$0.00	\$165.00
061000-L	Carpentry - Labor	\$10,600.00	\$4,000.00	\$1,100.00	\$0.00	\$5,100.00	48.113	\$5,500.00	\$255.00
073113-L	Asphalt Shingles - Labor	\$1,200.00	\$1,200.00	\$0.00	\$0.00	\$1,200.00	100.000	\$0.00	\$60.00
073113-M	Asphalt Shingles - Material	\$250.00	\$250.00	\$0.00	\$0.00	\$250.00	100.000	\$0.00	\$12.50
079200-L	Sealants - Labor	\$300.00	\$0.00	\$144.00	\$0.00	\$144.00	48.000	\$156.00	\$7.20
079200-M	Sealants - Material	\$100.00	\$0.00	\$48.00	\$0.00	\$48.00	48.000	\$52.00	\$2.40
081000-M	Steel Doors & Frames - Material	\$7,863.00	\$1,909.99	\$662.00	\$0.00	\$2,571.99	32.710	\$5,291.01	\$128.60
081400-M	Wood Doors - Material	\$5,995.00	\$0.00	\$2,250.93	\$0.00	\$2,250.93	37.547	\$3,744.07	\$112.55
087100-M	Finish Hardware - Material	\$28,102.00	\$0.00	\$10,000.00	\$0.00	\$10,000.00	35.585	\$18,102.00	\$500.00
088000-L	Glazing - Labor	\$4,689.00	\$0.00	\$318.00	\$0.00	\$318.00	6.782	\$4,371.00	\$15.90
088000-M	Glazing - Material	\$5,886.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,886.00	\$0.00
089100-L	Louvers - Labor	\$300.00	\$0.00	\$300.00	\$0.00	\$300.00	100.000	\$0.00	\$15.00
089100-M	Louvers - Material	\$640.00	\$0.00	\$640.00	\$0.00	\$640.00	100.000	\$0.00	\$3,570.00
092116-L	Gypsum Board - Labor	\$17,850.00	\$10,710.00	\$0.00	\$0.00	\$10,710.00	60.000	\$7,140.00	\$535.50
092116-M	Gypsum Board - Material	\$7,650.00	\$4,590.00	\$0.00	\$0.00	\$4,590.00	60.000	\$3,060.00	\$229.50
093000-L	Tile - Labor	\$5,430.00	\$0.00	\$4,830.00	\$0.00	\$4,830.00	88.950	\$600.00	\$241.50
093000-M	Tile - Material	\$3,570.00	\$0.00	\$3,570.00	\$0.00	\$3,570.00	100.000	\$0.00	\$178.50
095100-L	Acoustical Ceiling - Labor	\$2,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,100.00	\$0.00
095100-M	Acoustical Ceiling - Material	\$5,058.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,058.00	\$0.00
096000-L	Soft Flooring - Labor	\$9,000.00	\$0.00	\$3,900.00	\$0.00	\$3,900.00	43.333	\$5,100.00	\$195.00
096000-M	Soft Flooring - Material	\$34,100.00	\$0.00	\$34,100.00	\$0.00	\$34,100.00	100.000	\$0.00	\$1,705.00
099100-L	Painting - Labor	\$8,370.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$8,370.00	\$0.00
099100-M	Painting - Material	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,000.00	\$0.00
101100-M	Visual Display Boards - Material	\$1,645.00	\$0.00	\$1,645.00	\$0.00	\$1,645.00	100.000	\$0.00	\$82.25
101413-L	Dimensional Characters - Labor	\$225.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$225.00	\$0.00
101413-M	Dimensional Characters - Material	\$560.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$560.00	\$0.00
102113-M	Solid Plastic Toilet Partitions - Mate	\$4,038.00	\$4,038.00	\$0.00	\$0.00	\$4,038.00	100.000	\$0.00	\$201.90
102813-M	Toilet Accessories - Material	\$1,458.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,458.00	\$0.00
123000-L	Cabinets & Solid Surfaces-Labor	\$2,160.00	\$830.00	\$0.00	\$0.00	\$830.00	38.426	\$1,330.00	\$41.50
123000-M	Cabinets & Solid Surfaces-Material	\$7,863.00	\$4,181.50	\$0.00	\$0.00	\$4,181.50	53.179	\$3,681.50	\$209.08





# CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached.  
 In tabulations below, amounts are stated to the nearest dollar.  
 Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO.: 00003  
 APPLICATION DATE:  
 PERIOD TO: 1/31/2021  
 ARCHITECT'S PROJECT NO.: 20-001

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D E WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)		H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE) RATE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		%	(G ÷ C)		
220000-L	Plumbing - Labor	\$6,800.00	\$3,300.00	\$1,000.00	\$0.00	\$4,300.00	63.235	\$2,500.00	\$215.00
220000-M	Plumbing - Material	\$6,900.00	\$2,200.00	\$2,000.00	\$0.00	\$4,200.00	60.870	\$2,700.00	\$210.00
230000-C	Controls	\$1,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,400.00	\$0.00
230000-L	HVAC - Labor	\$18,700.00	\$8,400.00	\$3,000.00	\$0.00	\$11,400.00	60.963	\$7,300.00	\$570.00
230000-M	HVAC - Material	\$17,200.00	\$6,100.00	\$7,000.00	\$0.00	\$13,100.00	76.163	\$4,100.00	\$655.00
230000-T	Test & Balance	\$4,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$4,800.00	\$0.00
260000-L	Electrical - Labor	\$25,000.00	\$10,000.00	\$2,500.00	\$0.00	\$12,500.00	50.000	\$12,500.00	\$625.00
260000-M	Electrical - Material	\$43,500.00	\$17,400.00	\$7,350.00	\$0.00	\$24,750.00	56.897	\$18,750.00	\$1,237.50
270000-L	Communications - Labor	\$2,000.00	\$800.00	\$0.00	\$0.00	\$800.00	40.000	\$1,200.00	\$40.00
270000-M	Communications	\$3,000.00	\$1,200.00	\$0.00	\$0.00	\$1,200.00	40.000	\$1,800.00	\$60.00
280000-L	Electrical Safety & Security - Labor	\$2,000.00	\$0.00	\$1,000.00	\$0.00	\$1,000.00	50.000	\$1,000.00	\$50.00
280000-M	Electrical Safety & Security - Materi	\$2,000.00	\$0.00	\$1,000.00	\$0.00	\$1,000.00	50.000	\$1,000.00	\$50.00
350000	General Conditions	\$28,534.00	\$8,274.86	\$7,989.52	\$0.00	\$16,264.38	57.000	\$12,269.62	\$813.22
350001	Bond Costs	\$4,400.00	\$4,400.00	\$0.00	\$0.00	\$4,400.00	100.000	\$0.00	\$220.00
350002	Insurance Costs	\$2,474.00	\$2,474.00	\$0.00	\$0.00	\$2,474.00	100.000	\$0.00	\$123.70
350003	Contractors Fee	\$23,790.00	\$6,899.10	\$6,661.20	\$0.00	\$13,560.30	57.000	\$10,229.70	\$678.02
C00001	CHANGE ORDER NO. 001	\$9,095.03	\$9,095.03	\$0.00	\$0.00	\$9,095.03	100.000	\$0.00	\$454.75
C00002	CHANGE ORDER NO. 002	\$2,688.53	\$0.00	\$2,688.53	\$0.00	\$2,688.53	100.000	\$0.00	\$134.43
		\$408,283.56	\$120,452.48	\$113,397.18	\$0.00	\$233,849.66	57.28%	\$174,433.90	\$15,230.49





# AIA Document G701™ – 2017

## Change Order

**PROJECT:** *(Name and address)*  
 Corcoran City Hall and Police Remodel  
 (182292)  
 8200 County Road 116  
 Corcoran, Minnesota 55340

**CONTRACT INFORMATION:**  
 Contract For: General Construction  
 Date: August 3, 2020

**CHANGE ORDER INFORMATION:**  
 Change Order Number: Three (3)  
 Date: February 17, 2021

**OWNER:** *(Name and address)*  
 City of Corcoran  
 8200 County Road 116  
 Corcoran, Minnesota 55340

**ARCHITECT:** *(Name and address)*  
 Wold Architects and Engineers  
 332 Minnesota Street, Suite W2000  
 Saint Paul, Minnesota 55101

**CONTRACTOR:** *(Name and address)*  
 Weber, Inc.  
 2497 Seventh Avenue East, #110  
 North Saint Paul, Minnesota 55109

### THE CONTRACT IS CHANGED AS FOLLOWS:

*(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)*

PR #08 – Dishwashers and Monitors Add \$2,169.83

PR #09 – Data Drops Add \$450.45

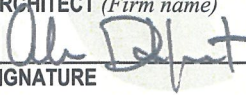
### TOTAL CHANGE ORDER NO. 3 ADD \$2,620.28

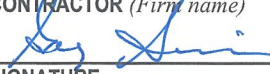
The original Contract Sum was	\$	396,500.00
The net change by previously authorized Change Orders	\$	11,783.56
The Contract Sum prior to this Change Order was	\$	408,283.56
The Contract Sum will be increased by this Change Order in the amount of	\$	2,620.28
The new Contract Sum including this Change Order will be	\$	410,903.84

The Contract Time will be unchanged by Zero (0) days.  
 The date of Substantial Completion will be May 7, 2021

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

### NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Wold Architects and Engineers  
**ARCHITECT** *(Firm name)*  
  
**SIGNATURE**  
 Andrew Dahlquist, Project Manager  
**PRINTED NAME AND TITLE**  
 2/17/2021  
**DATE**

Weber, Inc.  
**CONTRACTOR** *(Firm name)*  
  
**SIGNATURE**  
 George Sinn Project Manager  
**PRINTED NAME AND TITLE**  
 2-17-2021  
**DATE**

City of Corcoran  
**OWNER** *(Firm name)*  
  
**SIGNATURE**  
  
**PRINTED NAME AND TITLE**  
  
**DATE**

Date: 01/27/2021



Proposal Request #008

Project # 20-001

Corcoran City Hall & Police Remodel  
8200 County Road 116  
Corcoran, MN 55340

**DESCRIPTION: Provide 1/2" cold water piping from stubbed pipe planned for future dishwasher. Provide 1 1/4" sanitary piping from dishwasher to tail piece of adjacent sink. Provide dishwasher air gap fitting with stainless steel finish. Revise TV height. Add 2 TV outlets in A137. Add circuit & receptacle for dishwasher in A104.**

**Proposal Request #008**

Plumbing Changes - Labor & Material		\$890.00 Foster
Electrical Changes - Labor & Material		\$1,176.50 Liberty
<hr/>		
<b>Subtotal</b>		<b>\$2,066.50</b>
Commission	5.00%	\$103.33 Weber
<hr/>		
<b>Total For Proposed Change</b>		<b>\$2,169.83</b>

If you have any questions, please call.

Sincerely,

**WEBER, INC.**

*George Sinn*

George Sinn  
Project Manager



Phone: 320-587-4003 Fax: 320-587-4450  
945 5th Ave. S.E. #12 Hutchinson, MN 55350

Foster Mechanical is a Minnesota Corporation

1/27/2021

PR# 8

Submitted to: Weber, Inc.

Project: City of Corcoran – City Hall and Police Remodel

Pricing for PR# 8 as listed out by Wold Architects and Engineers

8.4  
Provide 1/2" cold water piping from stubbed pipe planned for future dishwasher to dishwasher.

8.5  
Provide 1 1/4" sanitary piping from dishwasher to tail piece of adjacent sink. Provide dishwasher air gap fitting with stainless steel finish. Install air gap above spill line of sink per Minnesota plumbing code 2015 section 807.4.

The cost for PR #8 is **\$890.00**

Seth Neumann  
Foster Mechanical, Inc.  
945 5<sup>th</sup> Ave S.E. # 12  
Hutchinson, MN 55350  
Cell 320-583-2551  
[seth@fostermech.com](mailto:seth@fostermech.com)

# Liberty Electric Co. Inc.

27582 246<sup>th</sup> Avenue  
Albany, MN 56307  
Phone: 320.548.3775  
Fax: 320.548.3776

E-mail: libertyelectric@hotmail.com

To: Weber Construction  
Attn: George Sinn  
Subject: PR#8

## Quote includes the following:

### **Item # 8.1- Revised TV height**

-No cost impact

### **Item # 8.2- Added (2) TV outlet configurations in A137**

-15' 12-2 MC AP  
4-MC AP connectors  
4-MC straps  
2-20A duplex receptacles  
2-P-8 plates  
2-Data plates  
4-Single gang mud rings  
4-four square boxes  
2-ground tails  
10' ¾" EMT  
2-EMT connectors  
2-EMT straps

**Material=\$185.00**  
**Labor=\$330.00**  
**10 % Mark up=\$51.50**  
**TOTAL=\$566.50**

### **Item # 8.3- Added circuit and receptacle for dishwasher in A104**

160' #12 THHN wire  
20' 12-2 MC AP  
1-four square box  
1-single gang mud ring  
1-P-8 plate  
1-Duplex receptacle  
1-ground tail  
1-20A GFCI breaker

**Material=\$225.00**  
**Labor=\$330.00**  
**10 % Mark up=\$55.50**  
**TOTAL=\$610.00**

Liberty Electric Co. Inc.  
Josh Linn 1/25/2021



# PROPOSAL REQUEST

Corcoran	City Hall & Police Remodel
Weber Construction	Attn: George Sinn
2497 7 <sup>th</sup> Avenue East, Suite 110	
North Saint Paul, MN 55109	
Phone: 651.770.5350	Mobile: 651-755-0268
Email: gsinn@webercompanies.com	

Submit an itemized (labor and material) quotation for the proposed modifications to the contract documents as described herein within 21 days of receipt. If a cost is not submitted within 21 days, this Proposal Request can be accepted at no additional cost. Written approval is required prior to proceeding with this change.  COST EXPECTATIONS: <input type="checkbox"/> DEDUCT <input type="checkbox"/> NO COST <input checked="" type="checkbox"/> ADD	<b>PR: #08</b>
	<b>Comm: 182018</b>
	<b>Const. Pkg: # N/A</b>

### Distribution:

- Brad Martens, City of Corcoran
- George Sinn, Weber
- Ivan Weiss, Weber
- Reide Weber, Weber
- Magnus Carlsson, BKBM
- Pat Jansen, Wold
- John Maust, Wold
- Steve Skarvan, Wold
- Jared Frazier, Wold
- Michelle Klein, Wold
- Andrew Dahlquist, Wold
- Derek Gallagher, Wold

Item	Description
	Provide a detailed cost breakdown for labor (rates and hours) and material (quantities and unit cost) for each item listed below:
8.1	Revised the height of TV outlet configurations in A122, A126, A127, and A137 to be 88" instead of 60". See E2.0.
8.2	Added (2) TV outlet configurations in A137. See E2.0.
8.3	Utilized a 20/1 spare circuit breaker in Panel L4 to add a new receptacle in A104 for a dishwasher. See E2.0 and E6.0.
8.4	Provide 1/2" cold water piping from stubbed pipe planned for future dishwasher to dishwasher.
8.5	Provide 1 1/4" sanitary piping from dishwasher to tail piece of adjacent sink. Provide dishwasher air gap fitting with stainless steel finish. Install air gap above spill line of sink per Minnesota plumbing code 2015 section 807.4.

Attachments: SECTION:  
DRAWINGS: E2.0, E6.0, M2.0

Issued By: Derek Gallagher Date: 01/21/2021

**Wold Architects and Engineers**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
woldae.com | 651 227 7773

**PLANNERS  
ARCHITECTS  
ENGINEERS**

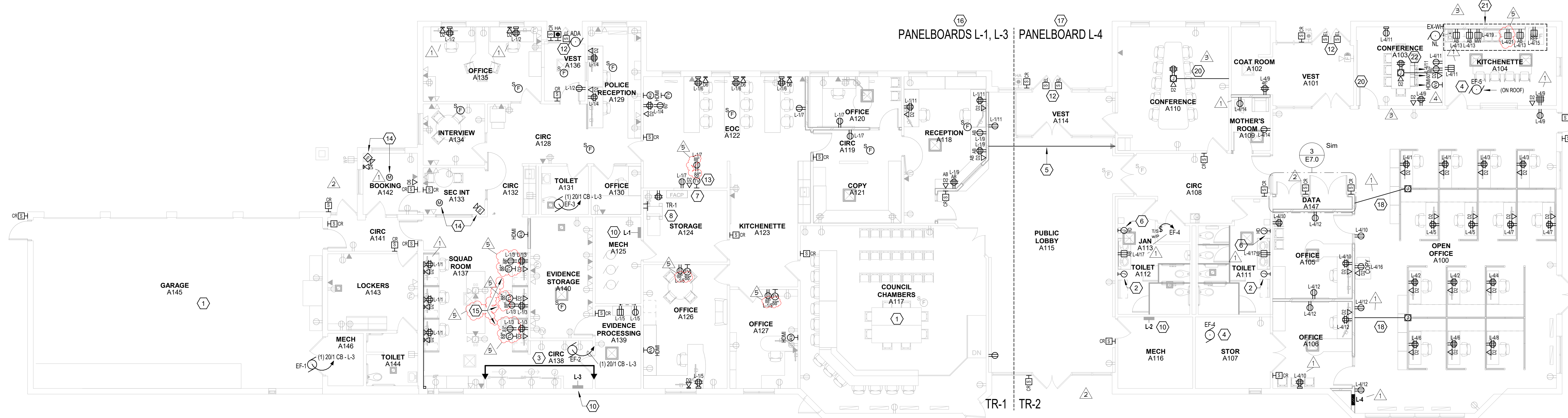
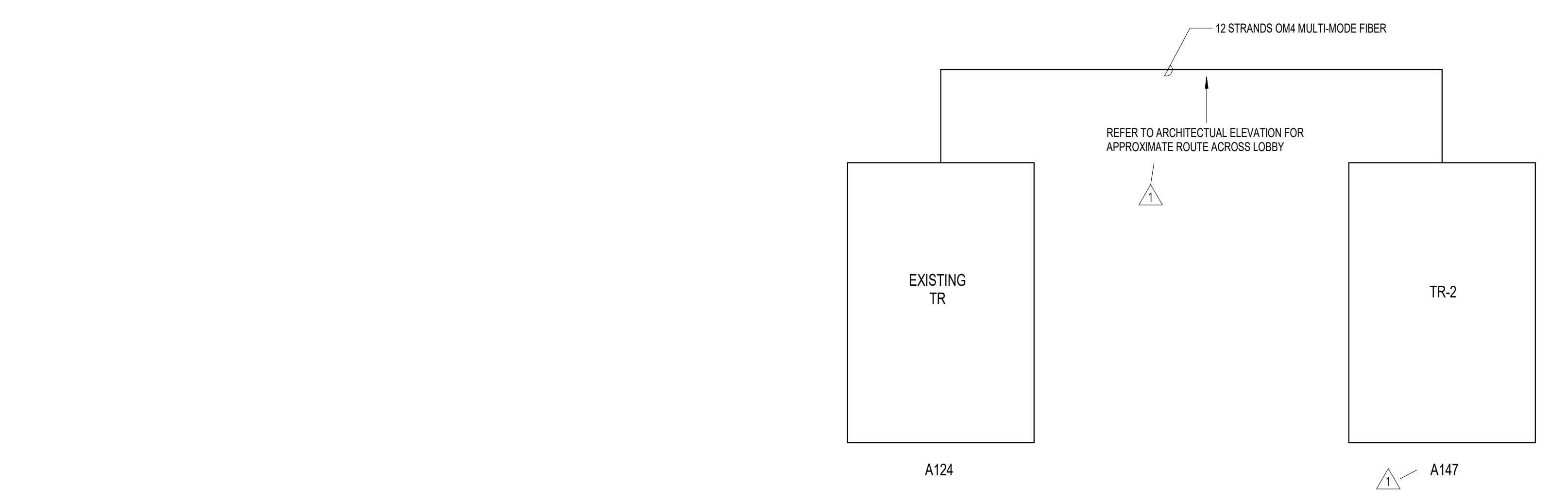




- KEYED SHEET NOTES**
- ROOM TO REMAIN AS IS. NO WORK REQUIRED UNLESS NOTED OTHERWISE.
  - PROVIDE 120V CONNECTION FROM NEAREST CIRCUIT WITH AMPLE CAPACITY.
  - ELECTRICAL SERVICE - SEE ELEVATION ON SHEET E6.0.
  - PROVIDE EXTENSION OF EXISTING CIRCUITRY AND CONNECTION TO REPLACEMENT EXHAUST FAN.
  - ROUTE NEW FEEDER AND FIBER OPTIC IN SMR (SIZE AS REQUIRED) AND FOLLOW THE CEILING BEAM STRUCTURE MOUNTING ON THE EAST SIDE OF THE BEAM. SEE ARCHITECTURAL ELEVATION DETAIL FOR DEFINITION.
  - PROVIDE 120V CIRCUIT TO HAND DRYER.
  - EXISTING FIRE ALARM PANEL - TO REMAIN. PROVIDE ALL NEW CONNECTIONS AND MISCELLANEOUS EQUIPMENT FOR A COMPLETE INSTALLATION.
  - EXISTING TR - ROUTE CABLES AS SHOWN ON PLANS. PROVIDE ADDITIONAL PLYWOOD FOR SECURITY INTEGRATOR'S EQUIPMENT. COORDINATE WITH THE OWNER'S SECURITY INTEGRATOR.
  - PROVIDE PRIMARY GROUND BAR. SEE DETAIL. CONNECT NEW CIRCUITS. MODIFY EXISTING CIRCUITS DEMOLISHED TO POWER NEW. PROVIDE NEW TYPEWRITER DIRECTORY.
  - CABLING ROUTING - NEW CABLING SHALL BE ROUTED TO ASSOCIATED RACK.
  - SEE DETAIL DRAWING E6.0 FOR ROUGH-IN AND CONNECTION REQUIREMENTS.
  - TV LOCATION DOES NOT REQUIRE HDMI INTERCONNECT. PROVIDE (2) DATA ROUTED TO NEAREST TELECOMMUNICATIONS ROOM.
  - DEVICES SHOWN FOR REFERENCE AND TO BE INSTALLED BY OTHERS.
  - COORDINATE ELEVATION OF TV WITH OWNER PRIOR TO ROUGH-IN.
  - CIRCUIT NEW RECEPTACLES TO EXISTING CIRCUITS RENDERED "SPARE" DURING DEMOLITION. PROVIDE NEW CIRCUIT BREAKERS IN EXISTING PANELBOARDS IF NECESSARY TO ACHIEVE THE CIRCUIT DENSITY SHOWN. CIRCUIT NUMBERS SHOWN ARE FOR REFERENCE ONLY AND INDICATE DESIRED CIRCUIT DENSITY.
  - CIRCUIT NEW LOADS TO THIS NEW PANELBOARD AS SHOWN.
  - PROVIDE 1-1/4" FOR TECHNOLOGY AND 3/4" FOR CONDUCTORS FOR POWER. STUB TO ABOVE ADJACENT ACCESSIBLE CEILING. FLOORBOX SHALL BE WIREMOLD RFB-4 WITH FURNITURE FEED(S). PROVIDE ALL FINAL CONNECTIONS TO FURNITURE AS REQUIRED BY THE MANUFACTURER.
  - PROVIDE WIREMOLD 4000 WITH DIVIDER FOR NEW DEVICES. ROUTE VERTICAL TO ABOVE ACCESSIBLE FINISHED CEILING TIGHT TO CORNER OF ROOM.
  - PROVIDE 1-1/4" WITH CABLES FOR TECHNOLOGY AND 3/4" FOR CONDUCTORS FOR POWER. STUB TO ABOVE NEAREST ACCESSIBLE CEILING. FLOORBOX SHALL BE WIREMOLD RFB-4 OR APPROVED EQUAL.
  - SEE ARCHITECTURAL ELEVATION ON A5.1 FOR MOUNTING INFORMATION.
  - FIELD VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.

- GENERAL SHEET NOTES**
- SOME NOTES MAY NOT APPLY TO THIS SHEET.
  - SOME NOTES MAY NOT APPLY TO THIS SHEETS.
  - ALL BOXES, CONDUIT AND WIRING TO BE CONCEALED. NO EXPOSED BOXES, CONDUIT AND WIRING SHALL BE ALLOWED UNLESS NOTED OTHERWISE.
  - COORDINATE DEVICE LOCATIONS WITH OTHER TRADES INCLUDING HVAC EQUIPMENT, DUCTWORK, SPRINKLER PIPING AND BUILDING STRUCTURAL MEMBERS.
  - VERIFY LOCATIONS AND ROUGH-IN REQUIREMENTS OF ALL OWNER FURNISHED EQUIPMENT PRIOR TO ROUGH-IN.
  - CIRCUIT WIRING IS NOT SHOWN EXCEPT FOR SWITCHING INTENT OF FIXTURES AND CONTROL OF DEVICES.
  - GFCI RECEPTACLES SHALL BE WIRED TO PROTECT ONLY THE DEVICES IN THAT OUTLET BOX. DOWNSTREAM DEVICES SHALL NOT BE PROTECTED BY GFCI.
  - CIRCUIT NUMBERS SHOWN ARE FOR SCHEMATIC PURPOSES AND ARE FOR DISTINGUISHING CIRCUITS. RECORD AS-BUILT CIRCUITING IN A TYPED AND DATED PANELBOARD SCHEDULE.
  - PROVIDE SEPARATED CONDUITS FOR ALL EMERGENCY CIRCUITS. DO NOT COMBINE WITH NORMAL BUILDING WIRING.
  - COORDINATE HEIGHTS OF ALL DEVICES WITH MILLWORK AND MODULAR FURNITURE SHOP DRAWINGS PRIOR TO ROUGH-IN.
  - OFFSET BACK TO BACK BOXES AT LEAST 12 INCHES EXCEPT IN RESIDENT ROOMS WHERE PUTTY PADS SHALL BE PROVIDED (3M MPP+ OR EQUIVALENT).
  - ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR WIRING ALL ELECTRICAL ITEMS SHOWN ON THE DRAWINGS, EXCEPT ITEMS LISTED ON SHEET E0.01 GENERAL ELECTRICAL NOTES.
  - SEE FIRE ALARM ZONE SCHEDULE FOR INITIATING ZONES AND SIGNAL CIRCUITS.
  - COORDINATE WITH OTHER TRADES AND REFER TO DIV 27 & 28 SPECIFICATIONS FOR FULL REQUIREMENTS.
  - INSTALL DATA SYSTEMS CONDUIT WITH NO MORE THAN (2) 90° BENDS BETWEEN PULL BOXES, AND NO MORE THAN 100'-0" BETWEEN PULL BOXES. PULL BOXES SHALL BE INSTALLED FOR STRAIGHT THRU PULLS ONLY.
  - ALL COMMUNICATIONS CABLES SHALL BE INSTALLED IN CONDUIT, CABLE TRAY, OR SUPPORTED BY CABLE HOOKS. PROVIDE BUSHINGS AT THE ENDS OF ALL CONDUIT WHERE STUBBED ABOVE ACCESSIBLE CEILINGS OR WHERE DROPPED INTO CABLE TRAY. PROVIDE CABLE HOOKS ABOVE ACCESSIBLE CEILINGS FOR CABLE INSTALLATION WHERE NOT INSTALLED IN CONDUIT OR CABLE TRAY.
  - COORDINATE RECESSED CASEWORK DEVICES AND ABOVE COUNTER (AB) DEVICES WITH ARCHITECTURAL ELEVATION DRAWINGS AND DETAILS. MATCH ELEVATIONS WITH DIVISION 26 DEVICES UNLESS NOTED OTHERWISE.

**1 TECHNOLOGY RISER NTS**



**E1 MAIN LEVEL POWER AND SYSTEMS PLAN**  
1/8" = 1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER MINNESOTA under the laws of the State of MINNESOTA.

*Bradley R. Johannsen*

License Number: **BRADLEY R. JOHANNSEN**  
43936 Date: 5/26/2020

Description	Revisions	
	Date	Num
Addendum #2	6/12/2020	1
PR #1	10/12/2020	2
PR #4	11/18/2020	3
PR #6	12/3/2020	4
PR #8	1/14/2021	5

Comm: 182292  
Date: 5/26/2020  
Drawn: J.FRAZIER  
Check: S.SKARVAN

North

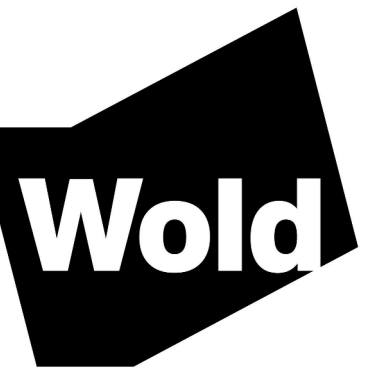
**MAIN LEVEL POWER AND SYSTEMS PLANS**



**Corcoran City Hall & Police Remodel**

8200 County Road 116  
Corcoran, Minnesota 55340

**City of Corcoran**  
8200 County Road 116  
Corcoran, Minnesota 55340



**WOLD ARCHITECTS AND ENGINEERS**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
woldae.com | 651 227 7773

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

*Bradley R. Johannsen*  
**BRADLEY R. JOHANNSEN**  
License Number: 43936 Date: 5/26/2020

Revisions		
Description	Date	Num
Addendum #2	6/12/2020	1
PR #4	11/18/2020	2
PR #6	1/14/2021	3

Comm: 182292  
Date: 5/26/2020  
Drawn: J.FRAZIER  
Check: S.SHARVIAN

**ELECTRICAL SCHEDULES AND DRAWINGS**

Scale: As indicated

**E6.0**

**PANELBOARD: L-4**

LOCATION: MOUNTING: SURFACE VOLTAGE: 208/120 1-Ph V, 1 @ 3 W  
A.I.C.... SEE SHORT CIRCUIT STUDY  
SPECIAL:

MAINS TYPE:  
MAINS AMPS:  
BUS AMPS: 100  
FED FROM:

#	LOAD DESCRIPTION	LT	BKR	P	PHASE A KVA	PHASE B KVA	P	BKR	LT	LOAD DESCRIPTION	#
1	OFF A100	RCPT	20 A	1	0.7	0.7		1	20 A	RCPT	2
3	OFF A100	RCPT	20 A	1		0.7	0.4	1	20 A	RCPT	4
5	OFF A100	RCPT	20 A	1	0.7	0.7		1	20 A	RCPT	6
7	OFF A100	RCPT	20 A	1		0.7	0.4	1	20 A	RCPT	8
9	A102, A103, A104	RCPT	20 A	1	1.3	1.3		1	20 A	RCPT	10
11	OFF A103, KITCH A104	RCPT	20 A	1		0.7	1.1	1	20 A	RCPT	12
13	KITCH A104	RCPT	20 A	1	0.5	0.4		1	20 A	RCPT	14
15	REF. KITCH A104	RCPT	20 A	1		0.2	0.2	1	20 A	RCPT	16
17	TOILET A111, A112	RCPT	20 A	1	0.4	0.7		1	20 A	RCPT	18
19	MICROWAVE - A104	RCPT	20 A	1		0.2	0.0	1	20 A	--	20
21	DISHWASHER - A104	RCPT	20 A	1	0.2	0.0		1	20 A	--	22
23	SPARE	--	20 A	1		0.0	0.0	1	20 A	--	24
25	SPARE	--	20 A	1	0.0	0.0		2	20 A	--	26
27	SPARE	--	20 A	1		0.0	0.0	--	--	--	28
29											30
31											32
33											34
35											36
37											38
39											40
41											42
<b>TOTAL LOAD:</b>					7560 VA		5 kVA				
<b>TOTAL AMPS:</b>					69 A		43 A				
<b>LOAD CLASSIFICATION</b>		<b>CONNECTED</b>	<b>DEMAND</b>	<b>ESTIMATED</b>	<b>PANEL TOTALS</b>						
RCPT		12060 VA	91.46%	11030 VA	<b>CONNECTED LOAD:</b> 12060 VA						
					<b>ESTIMATED DEMAND:</b> 11030 VA						
					<b>CONNECTED CURRENT:</b> 58 A						
					<b>EST. DEMAND CURRENT:</b> 53 A						

Load Types: COOL - Summer Cooling, ELEV- Elevator, EQ - Equipment, EX -Existing, GND - Grounding, HEAT - Winter Heating, KITCH- Kitchen, L MTR - Largest Motor, LTG -Lighting, MTR - Motor, RCPT - Receptacle  
NOTES:

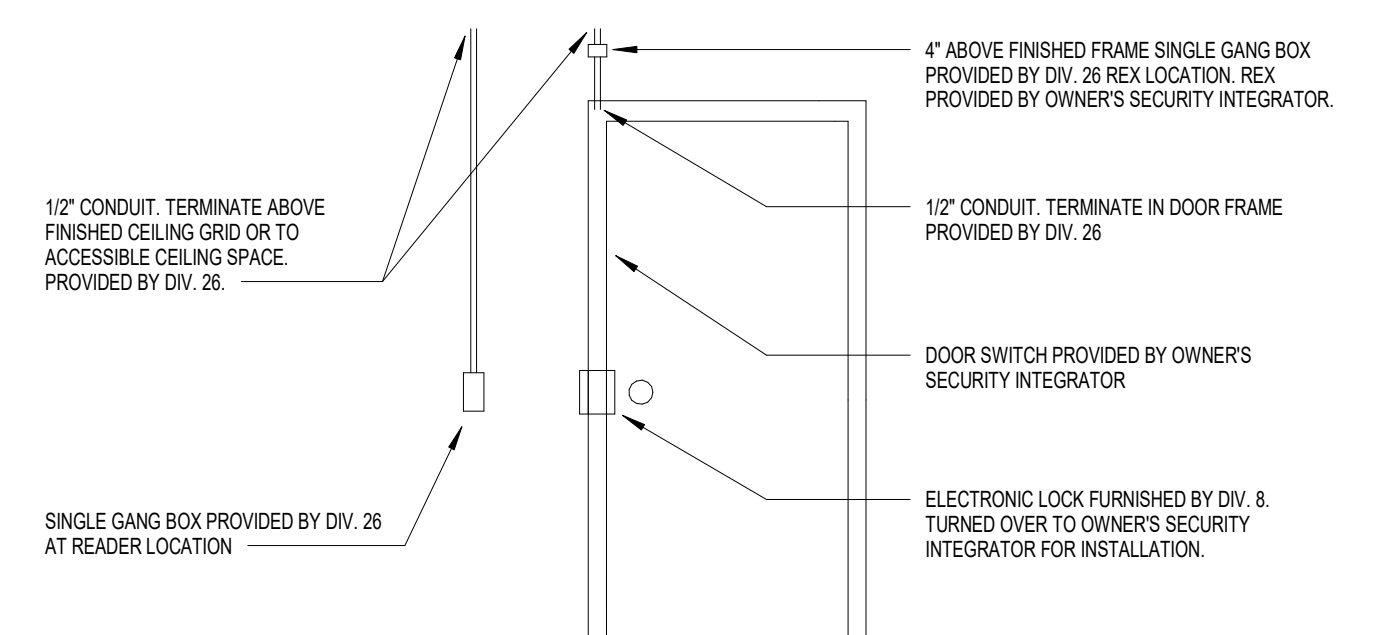
**LUMINAIRE SCHEDULE**

MARK	LUMINAIRE TYPE	LUMEN/WATTS	VOLTAGE	MOUNTING	LENS/LOUVER	OTHER REQUIREMENTS	MANUFACTURERS' SERIES	NOTES	MARK	SPARE
A1	RECESSED 2X4 VOLUMETRIC TROFFER	LED 4000+ LUMENS 4000K 40W	120V	RECESSED GRID CEILING	SMOOTH ACRYLIC DIFFUSING LENS	MATTE WHITE FINISH PAINTED AFTER FABRICATION 0-10V LED DIMMING MIN 5 YEAR WARRANTY DLC CERTIFIED 80+ CRI	COLUMBIA LCAT24-40LWG-EDU LITHONIA 2BLT4 SERIES H.E. WILLIAMS LT SERIES METALUX 24CZ SERIES DAY-BRITE 2EVG SERIES OR APPROVED EQUAL		A1	
A2	RECESSED 2X4 VOLUMETRIC TROFFER	LED 3000+ LUMENS 4000K 40W	120V	RECESSED GRID CEILING	SMOOTH ACRYLIC DIFFUSING LENS	MATTE WHITE FINISH PAINTED AFTER FABRICATION 0-10V LED DIMMING MIN 5 YEAR WARRANTY DLC CERTIFIED 80+ CRI	COLUMBIA LCAT24-40VWG-EDU LITHONIA 2BLT4 SERIES H.E. WILLIAMS LT SERIES METALUX 24CZ SERIES DAY-BRITE 2EVG SERIES OR APPROVED EQUAL		A2	
C	LED UNDERCABINET LIGHT	LED 400+ LUMENS 9W	120V	SURFACE MOUNT	FROSTED ACRYLIC OR POLYCARBONATE LENS	STREAMLINED NARROW BODY 24" IN LENGTH INTEGRAL ON/OFF SWITCH PROVIDE HARDWIRE BOX	JUNO PRO-SERIES UPLD TECH LIGHTING UNILUM LED SLIMLINE 700UCF CONTECH LPU2 PRIMUS ALX7-LED SERIES GM LIGHTING UCTUN SERIES AFX KNLU22WH OR APPROVED EQUAL		C	
D1	RECESSED LED DOWNLIGHT 6" DIAMETER	LED 1500+ LUMENS 4000K 12W	120V	RECESSED	OPEN	MATTE WHITE FINISH PAINTED AFTER FABRICATION 0-10V LED DIMMING MIN 5 YEAR WARRANTY DLC CERTIFIED 80+ CRI	LITHONIA LDN6 SERIES HE WILLIAMS 6DR SERIES PRESOLITE LC6LED SERIES HALO PD610 SERIES LIGHTOLIER Z6RDL SERIES OR APPROVED EQUAL		D1	
E1	LED EXIT SIGN SINGLE FACED RED STENCIL LETTERING	LED <2W	120V	UNIVERSAL MOUNT	RED OPTICAL DIFFUSER	MATTE WHITE THERMOELASTIC HOUSING STENCIL FACE LETTERS INVISIBLE CHEVRON ARROW KNOCKOUTS	DUAL-LITE EVE-U-R-W LITHONIA LQM SERIES ISOLITE RL SERIES LIGHTALARMS QLXN500 SERIES PHILIPS CXL SERIES EMERGH-LITE ELXN400 SERIES OR APPROVED EQUAL		E1	
E2	LED EXIT SIGN DOUBLE FACED RED STENCIL LETTERING	LED <2W	120V	UNIVERSAL MOUNT	RED OPTICAL DIFFUSER	MATTE WHITE THERMOELASTIC HOUSING STENCIL FACE LETTERS INVISIBLE CHEVRON ARROW KNOCKOUTS	DUAL-LITE EVE-U-R-W LITHONIA LQM SERIES ISOLITE RL SERIES LIGHTALARMS QLXN500 SERIES PHILIPS CXL SERIES EMERGH-LITE ELXN400 SERIES OR APPROVED EQUAL		E2	
F	6" NARROW SUSPENDED LED 4' LENGTHS	LED 2500+ LUMENS 4000K	120V	SUSPENDED CHAIN HUNG	FROSTED LENS	MATTE WHITE FINISH PAINTED AFTER FABRICATION 0-10V LED DIMMING MIN 5 YEAR WARRANTY DLC CERTIFIED 80+ CRI	LITHONIA ZL1N SERIES COLUMBIA MPS SERIES HE WILLIAMS LX4 SERIES DAYBRITE FSS SERIES METALUX 2SLSTP204DD-UNV OR APPROVED EQUAL		F	

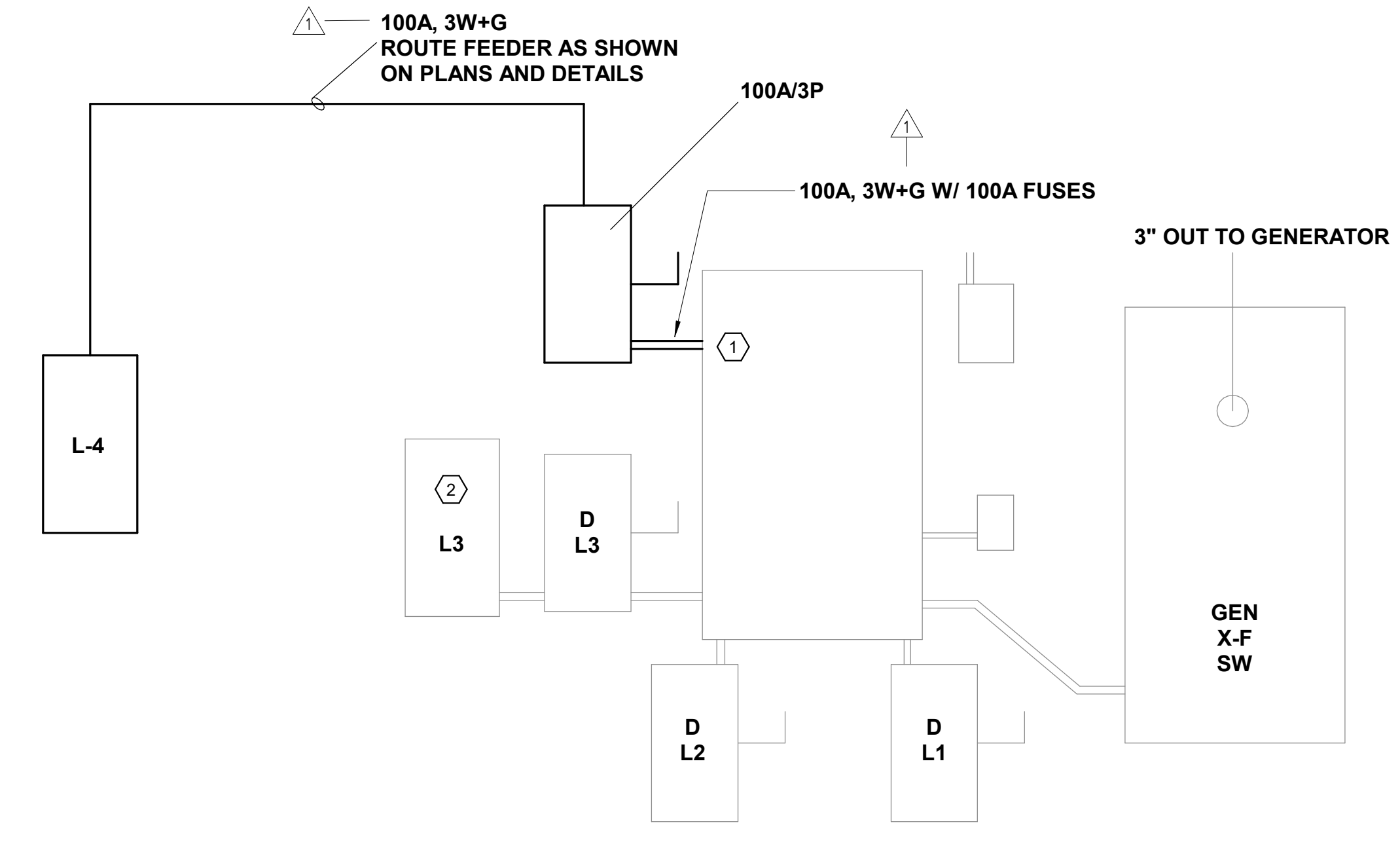
**MOTOR AND EQUIPMENT SCHEDULE**

MTR	DESCRIPTION	LOCATION	LOAD INFORMATION			PANEL	CONDUIT		WIRE QUANTITY AND SIZE				STARTER				DISCONNECT				CTRL'S BY	NOTES	MTR			
			LOAD	UNIT	VOLTAGE/PHASE		SET(S)	SIZE	TYPE	P+N	PHASE	NEUT	GND	TYPE	INSUL	SUPPLIED	INSTALLED	TYPE/SIZE	LOC	SUPPLIED				INSTALLED	TYPE	SIZE
EF-1	EXHAUST FAN	A145	1/4	HP	120/1	L-3	1	3/4"	EMT	3	12		12	CU	THHN	W/ UNIT			MECH	MECH	MMS	15A	MTR	MECH		EF-1
EF-2	EXHAUST FAN	A138	1/3	HP	120/1	L-3	1	3/4"	EMT	3	12		12	CU	THHN	W/ UNIT			MECH	MECH	MMS	15A	MTR	MECH		EF-2
EF-3	EXHAUST FAN	A131	50.1	W	120/1	L-3	1	3/4"	EMT	3	12		12	CU	THHN	W/ UNIT			ELEC	ELEC	MMS	15A	MTR	ELEC	1	EF-3
EF-4	EXHAUST FAN	A107	1/3	HP	120/1	EXISTING	1	3/4"	EMT	3	12		12	CU	THHN	W/ UNIT			ELEC	ELEC	MMS	15A	MTR	ELEC	2	EF-4
EF-5	EXHAUST FAN	ROOF	1/8	HP	120/1	EXISTING	1	3/4"	EMT	3	12		12	CU	THHN	W/ UNIT			ELEC	ELEC	MMS	15A	MTR	ELEC	3	EF-5

NOTES:  
1. PROVIDE 30 MIN ROTARY TIME SWITCH FOR EF-3.  
2. PROVIDE ASTRONOMICAL TIME SWITCH FOR CONTROL OF EF-4.  
3. PROVIDE A TIME SWITCH WITH PILOT LIGHT TO CONTROL EF-5.



**2 DOOR SECURITY ROUGH-INS**  
N.T.S.



**1 SERVICE ELEVATION**  
NTS

MN

E





**PLUMBING PLAN GENERAL NOTES:**

1. MECHANICAL CONTRACTOR SHALL DETERMINE LIMITATIONS AND/OR CONFLICTS RELATIVE TO THE EXECUTION OF HIS WORK PRIOR TO BID. VERIFY EXACT DETAIL OF INSTALLATION REQUIRED TO PROVIDE SYSTEMS SHOWN WITHIN SPACE INTENDED.
2. ALL RISES AND DROPS IN PIPING ARE NOT NECESSARILY SHOWN. LAYOUT ROUTING AND COORDINATE WORK WITH OTHER TRADES BEFORE CONSTRUCTION.
3. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF CONSTRUCTION UNLESS OTHERWISE NOTED ON THE PLANS. NO CUTTING OF STRUCTURAL MEMBERS OR STRUCTURE WHICH WILL DETERIORATE THE INTEGRITY AND STRENGTH OF THE BUILDING WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
4. INSTALL WALL HYDRANTS AT 2'-0" ABOVE FINISHED GRADE. FIELD VERIFY EXACT LOCATION.
5. THE MECHANICAL CONTRACTOR SHALL REMOVE ALL EXISTING CEILING TILES AND GRIDS AS REQUIRED FOR INSTALLATION OF NEW WORK. ANY DAMAGED TILES AND/OR GRIDS SHALL BE REPLACED WITH NEW TO MATCH AT THE CONTRACTORS EXPENSE.
6. REFER TO PLUMBING RISER DIAGRAMS FOR ADDITIONAL PIPE SIZES NOT SHOWN ON DRAWING.
7. PROVIDE AND INSTALL ALL LOW VOLTAGE WIRING TO ALL DIVISION 26 REQUIREMENTS. WORK TO INCLUDE TRANSFORMERS AS NECESSARY FOR THE CONNECTED QUANTITY OF FIXTURES, WIRING, CONDUIT, JUNCTION BOXES, AND FINAL CONNECTIONS. THE ELECTRICAL CONTRACTOR WILL PROVIDE 120V/177 VOLT POWER AND CONNECTIONS TO LINE VOLTAGE SIDE OF THE TRANSFORMER. REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

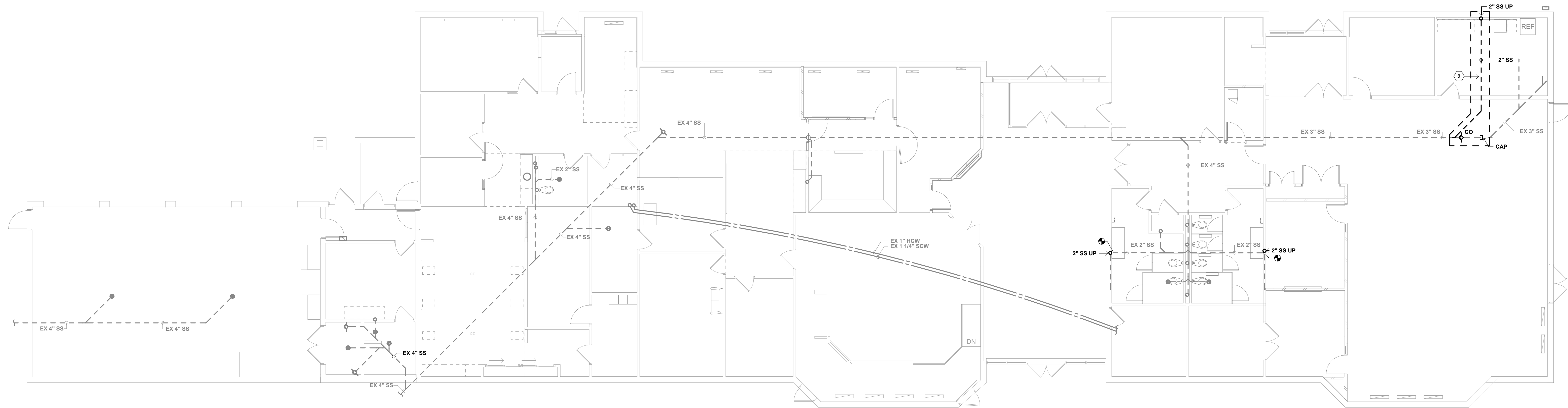
**PLUMBING PLAN KEYED NOTES:**

1. PROVIDE FIXTURE INDICATED AND NEW ANGLE STOPS AND SUPPLIES. CONNECT TO EXISTING HOT WATER, COLD WATER, SANITARY SEWER, AND VENT PIPING. MODIFY EXISTING SUPPLY PIPING, VENTING AND SANITARY SEWER PIPING AS REQUIRED.
2. FLOOR SAW CUTTING AND PATCHING BY OTHERS. COORDINATE EXACT LOCATION AND SIZE OF CUTTING REQUIRED.
3. PROVIDE NEW WATER HEATER UNDER COUNTER. CONNECT TO EXISTING SOFT COLD WATER AND HOT WATER PIPING. MODIFY PIPING AS REQUIRED TO MAKE CONNECTION.
4. CONNECT NEW TANK TYPE TOILET TO EXISTING WASTE AND COLD WATER PIPING. PROVIDE NEW FLOOR FLANGE AT CONNECTION TO EXISTING WASTE PIPING. MODIFY PIPING AS REQUIRED TO MAKE CONNECTION.

5. PROVIDE COLD WATER CONNECTION FROM STUBBED PIPE TO DISHWASHER. PROVIDE 1" x 1/2" SANITARY PIPING FROM DISHWASHER TO TAIL PIECE OF ADJACENT SINK. PROVIDE DISHWASHER WASTE AIR GAP FITTING ABOVE SPILL LINE OF SINK WITH STAINLESS STEEL FINISH.



**C1 PLUMBING PLAN - MAIN LEVEL**  
1/8" = 1'-0"



**E1 PLUMBING PLAN - UNDERGROUND LEVEL**  
1/8" = 1'-0"

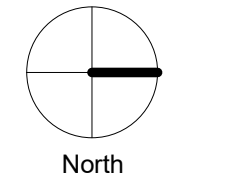
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER MINNESOTA

*Kevin Marshall*

License Number: **KEVIN MARSHALL** 23989 Date: **06/26/2020**

Description	Revisions	
	Date	Num
PR #08	01/22/2021	1

Comm: 182292  
Date: 05/22/2020  
Drawn: JM  
Check: PJ



**UNDERGROUND AND MAIN LEVEL PLUMBING PLANS**

Scale: 1/8" = 1'-0"

Date: 02/02/2021

Proposal Request #009

Project # 20-001



Corcoran City Hall & Police Remodel  
8200 County Road 116  
Corcoran, MN 55340

**DESCRIPTION: In Room A110, Demolish 2 Existing Data Cables & Replace With 2 New.  
Provide One New Data In Room A105; Locate Above The Door Near The Ceiling.**

**Proposal Request #009**

Electrical Changes - Labor & Material		\$429.00 Liberty
<b>Subtotal</b>		<b>\$429.00</b>
Commission	5.00%	\$21.45 Weber
<b>Total For Proposed Change</b>		<b>\$450.45</b>

If you have any questions, please call.

Sincerely,

**WEBER, INC.**

*George Sinn*

George Sinn  
Project Manager

# Liberty Electric Co. Inc.

27582 246<sup>th</sup> Avenue  
Albany, MN 56307  
Phone: 320.548.3775  
Fax: 320.548.3776

E-mail: libertyelectric@hotmail.com

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To: Weber Construction  
Attn: George Sinn  
Subject: PR #9

## Quote includes the following:

### **Item # 9.1- Demo (2) Data, Install (2) new data in room A110**

-110' Cat 6 cable  
2- 2-port data plates

**Material=\$120.00**  
**Labor=\$110.00**  
**10 % Mark up=\$23.00**  
**TOTAL=\$253.00**

### **Item # 9.2- Install (1) new data in room A105**

-30' Cat 6 cable  
1- 2-port data plate

**Material=\$50.00**  
**Labor=\$110.00**  
**10 % Mark up=\$16.00**  
**TOTAL=\$176.00**

Liberty Electric Co. Inc.  
Josh Linn 2/2/2021



# PROPOSAL REQUEST

Corcoran	City Hall & Police Remodel
Weber Construction	Attn: George Sinn
2497 7 <sup>th</sup> Avenue East, Suite 110	
North Saint Paul, MN 55109	
Phone: 651.770.5350	Mobile: 651-755-0268
Email: gsinn@webercompanies.com	

Submit an itemized (labor and material) quotation for the proposed modifications to the contract documents as described herein within 21 days of receipt. If a cost is not submitted within 21 days, this Proposal Request can be accepted at no additional cost. Written approval is required prior to proceeding with this change.  COST EXPECTATIONS: <input type="checkbox"/> DEDUCT <input type="checkbox"/> NO COST <input checked="" type="checkbox"/> ADD	<b>PR: #09</b>
	<b>Comm: 182018</b>
	<b>Const. Pkg: #</b>

**Distribution:**

- Brad Martens, City of Corcoran
- George Sinn, Weber
- Ivan Weiss, Weber
- Reide Weber, Weber
- Magnus Carlsson, BKBM
- Pat Jansen, Wold
- John Maust, Wold
- Steve Skarvan, Wold
- Jared Frazier, Wold
- Michelle Klein, Wold
- Andrew Dahlquist, Wold
- Derek Gallagher, Wold

Item	Description
	Provide a detailed cost breakdown for labor (rates and hours) and material (quantities and unit cost) for each item listed below:
09.1	Provide pricing for work in Room A110 as follows: <ul style="list-style-type: none"> <li>- Demolish 2 existing data cables</li> <li>- Replace with 2 new reusing the existing rough-in</li> <li>- 2 additional new data</li> </ul> Refer to sheet E2.0
09.2	Provide pricing to provide one new data in Room A105. Locate above the door near the ceiling

Attachments: E0.1, E2.0

Issued By: Michelle Klein Date: 02/01/2021

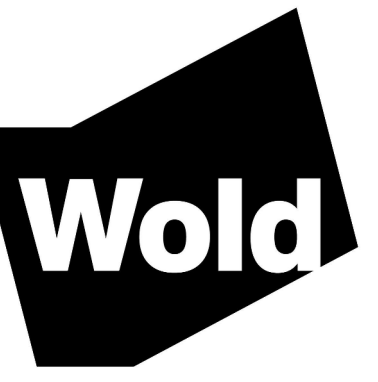
**Wold Architects and Engineers**  
 332 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101  
 woldae.com | 651 227 7773

**PLANNERS  
 ARCHITECTS  
 ENGINEERS**

**Corcoran City Hall & Police Remodel**

8200 County Road 116  
Corcoran, Minnesota 55340

**City of Corcoran**  
8200 County Road 116  
Corcoran, Minnesota 55340



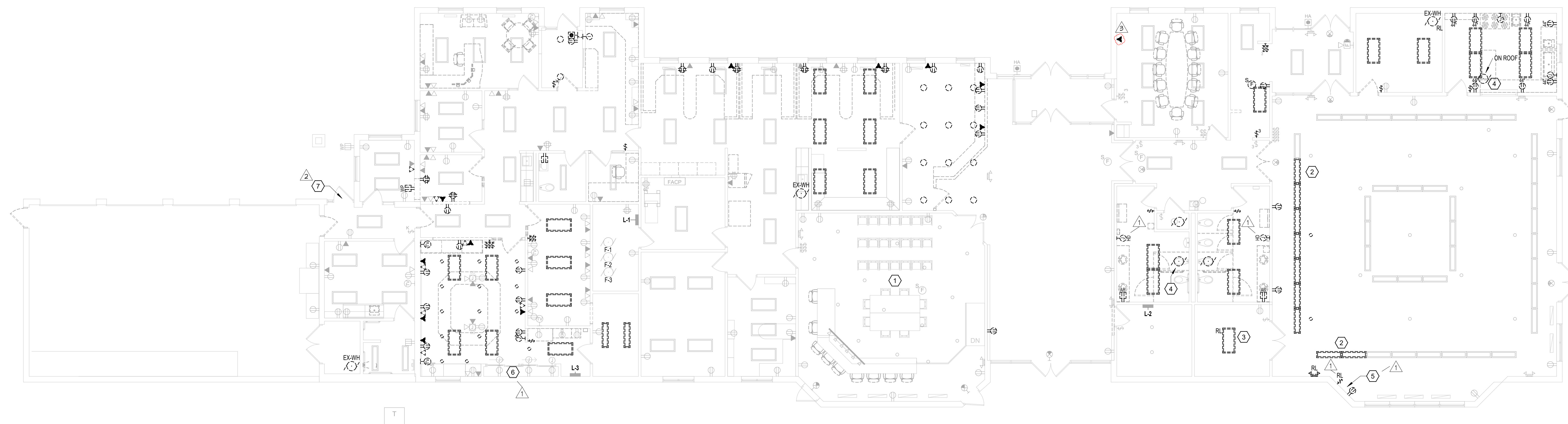
**WOLD ARCHITECTS AND ENGINEERS**

332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

woldae.com | 651 227 7773

- KEYED SHEET NOTES**
- ROOM TO REMAIN AS IS. NO WORK REQUIRED.
  - REMOVE PORTION OF LIGHT FIXTURE RUN. MAINTAIN EXISTING CIRCUITRY AND CONTROLS TO REMAINING FIXTURES.
  - PROTECT AND SUSPEND LIGHT FIXTURES IN THIS ROOM DURING CONSTRUCTION.
  - DISCONNECT EXISTING CIRCUITRY TO UNIT. PRESERVE AND PREPARE CIRCUITRY FOR EXTENSION TO NEW REPLACEMENT UNIT. IF EXISTING CIRCUITRY IS NOT REUSABLE, PROVIDE NEW BRANCH CIRCUITRY BACK TO SOURCE.
  - DEMOLISH ALL EXISTING MISCELLANEOUS SYSTEMS DEVICES ON THIS WALL EXCEPT FOR LIGHT SWITCH THAT WILL BE RELOCATED. REMOVE CABLING BACK TO SOURCE.
  - EXISTING ELECTRICAL SERVICE TO REMAIN AND MODIFIED AS SHOWN ON THE ELECTRICAL RISER DIAGRAM.
  - EXISTING ELECTRICAL DOOR HARDWARE TO REMAIN.

- GENERAL SHEET NOTES**
- SOME NOTES MAY NOT APPLY TO THIS SHEET. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE WITH GENERAL CONSTRUCTION.
  - DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES IN WALLS TO BE DEMOLISHED. WALLS TO BE DEMOLISHED ARE SHOWN DASHED. DISCONNECT AND REMOVE ASSOCIATED CONDUIT AND WIRE BACK TO LAST REMAINING DEVICE. FURNISH AND INSTALL CONDUIT AND WIRE AS NECESSARY FOR CONTINUITY OF CIRCUIT(S) TO ANY EXISTING DEVICES TO REMAIN. COORDINATE AND VERIFY REQUIREMENTS WITH NEW WORK IN AREA.
  - FURNISH AND INSTALL CONDUIT AND WIRE AS NECESSARY FOR CONTINUITY OF ANY FEEDERS OR BRANCH CIRCUITS ORIGINATING OUTSIDE THE DEMOLITION AREA THAT SERVES ANY ELECTRICAL EQUIPMENT OR DEVICES TO REMAIN AFTER DEMOLITION. MODIFY OR REPLACE AS REQUIRED.
  - FURNISH AND INSTALL CONDUIT AND/OR COMMUNICATIONS DATA WIRING AS NECESSARY FOR CONTINUITY OF ANY WIRING ORIGINATING OUTSIDE THE DEMOLITION AREA THAT SERVES ANY COMMUNICATIONS DATA EQUIPMENT OR DEVICES TO REMAIN AFTER DEMOLITION. MODIFY OR REPLACE AS REQUIRED.
  - DISCONNECT AND REMOVE LIGHT SWITCHES IN DEMOLITION AREAS AS NECESSARY TO ACCOMMODATE NEW DOOR CONFIGURATIONS.
  - FURNISH AND INSTALL BLANK COVER PLATES OVER ALL EXISTING UNUSED OPENINGS.
  - DEMOLISH DUCT SMOKE DETECTORS AND DAMPERS AS REQUIRED BY MECH.
  - PRESERVE EXISTING CIRCUITS IN DEMOLISHED AREAS AND PREPARE TO EXTEND TO NEW LOADS.
  - ALL EXISTING EGRESS LIGHTING UNITS TO REMAIN IN PLACE. MAINTAIN EXISTING CIRCUIT CONTINUITY.



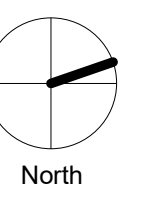
**E1 MAIN LEVEL DEMOLITION PLAN**  
1/8" = 1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

*Bradley R. Johannsen*  
BRADLEY R. JOHANNSEN  
License Number: 43936 Date: 5/26/2020

Description	Revisions	
	Date	Num
Addendum #2	6/12/2020	1
PR #1	10/12/2020	2
PR #3	2/11/2021	3

Comm: 182292  
Date: 5/26/2020  
Drawn: J. FRAZIER  
Check: S. SKARVAN



**MAIN LEVEL DEMOLITION PLAN**

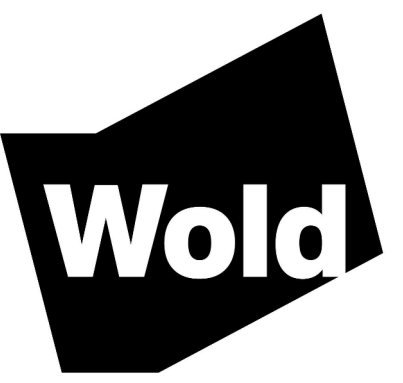
Scale: 1/8" = 1'-0"

**E0.1**

MN

E

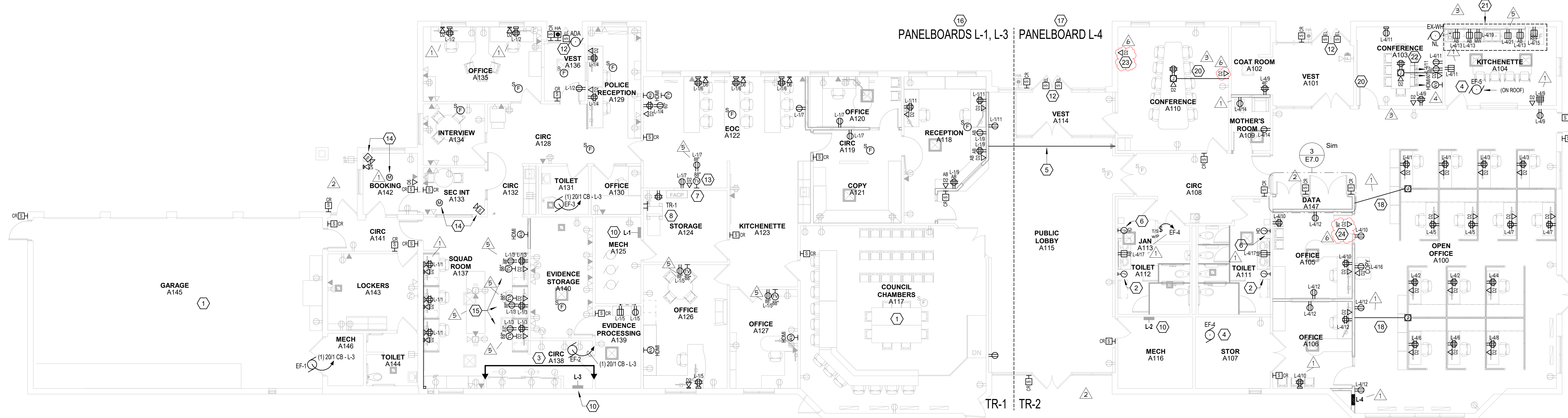
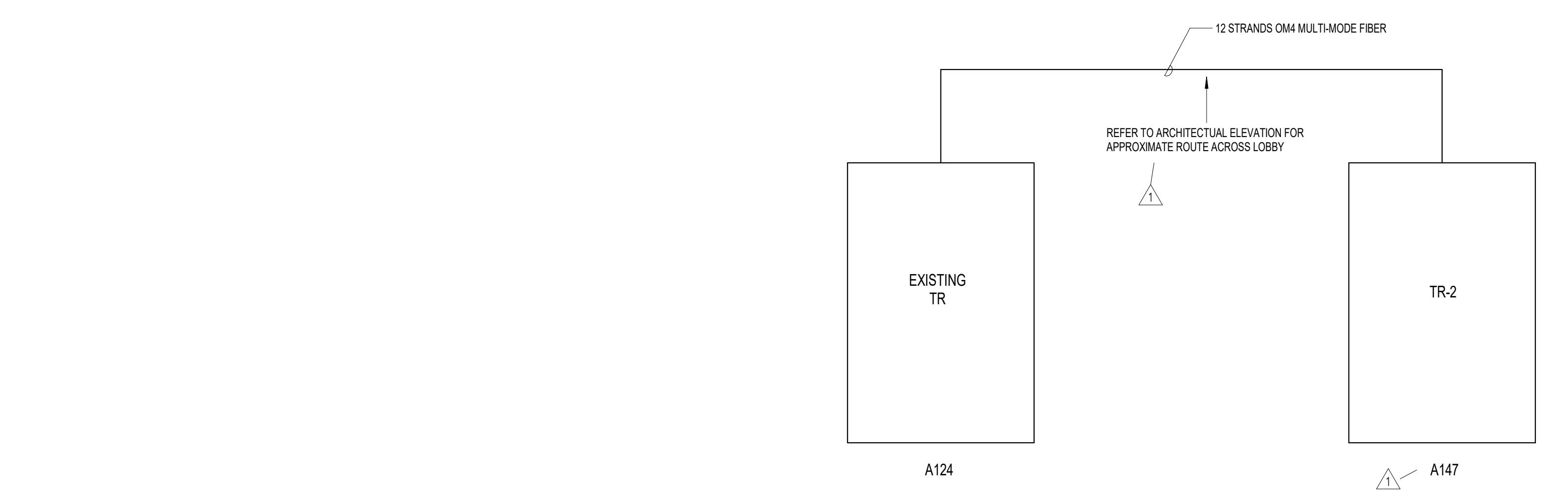




- KEYED SHEET NOTES**
- ROOM TO REMAIN AS IS. NO WORK REQUIRED UNLESS NOTED OTHERWISE.
  - PROVIDE 120V CONNECTION FROM NEAREST CIRCUIT WITH AMPLE CAPACITY.
  - ELECTRICAL SERVICE - SEE ELEVATION ON SHEET E6.0.
  - PROVIDE EXTENSION OF EXISTING CIRCUITRY AND CONNECTION TO REPLACEMENT EXHAUST FAN.
  - ROUTE NEW FEEDER AND FIBER OPTIC IN SMR (SIZE AS REQUIRED) AND FOLLOW THE CEILING BEAM STRUCTURE MOUNTING ON THE EAST SIDE OF THE BEAM. SEE ARCHITECTURAL ELEVATION DETAIL FOR DEFINITION.
  - PROVIDE 120V CIRCUIT TO HAND DRYER.
  - EXISTING FIRE ALARM PANEL - TO REMAIN. PROVIDE ALL NEW CONNECTIONS AND MISCELLANEOUS EQUIPMENT FOR A COMPLETE INSTALLATION.
  - EXISTING TR - ROUTE CABLES AS SHOWN ON PLANS. PROVIDE ADDITIONAL PLYWOOD FOR SECURITY INTEGRATOR'S EQUIPMENT. COORDINATE WITH THE OWNER'S SECURITY INTEGRATOR.
  - PROVIDE PRIMARY GROUND BAR. SEE DETAIL. CONNECT NEW CIRCUITS. MODIFY EXISTING CIRCUITS DEMOLISHED TO POWER NEW.
  - PROVIDE NEW TYPEWRITER DIRECTORY. CABLING ROUTING - NEW CABLING SHALL BE ROUTED TO ASSOCIATED RACK.
  - SEE DETAIL DRAWING E6.0 FOR ROUGH-IN AND CONNECTION REQUIREMENTS.
  - TV LOCATION DOES NOT REQUIRE HDMI INTERCONNECT. PROVIDE (2) DATA ROUTED TO NEAREST TELECOMMUNICATIONS ROOM.
  - DEVICES SHOWN FOR REFERENCE AND TO BE INSTALLED BY OTHERS.
  - COORDINATE ELEVATION OF TV WITH OWNER PRIOR TO ROUGH-IN.
  - CIRCUIT NEW RECEPTACLES TO EXISTING CIRCUITS RENDERED "SPARE" DURING DEMOLITION. PROVIDE NEW CIRCUIT BREAKERS IN EXISTING PANELBOARDS IF NECESSARY TO ACHIEVE THE CIRCUIT DENSITY SHOWN. CIRCUIT NUMBERS SHOWN ARE FOR REFERENCE ONLY AND INDICATE DESIRED CIRCUIT DENSITY.
  - CIRCUIT NEW LOADS TO THIS NEW PANELBOARD AS SHOWN.
  - PROVIDE 1-1/4" FOR TECHNOLOGY AND 3/4" FOR CONDUCTORS FOR POWER. STUB TO ABOVE ADJACENT ACCESSIBLE CEILING. FLOORBOX SHALL BE WIREMOLD RFB-4 WITH FURNITURE FEED(S). PROVIDE ALL FINAL CONNECTIONS TO FURNITURE AS REQUIRED BY THE MANUFACTURER.
  - PROVIDE WIREMOLD 4000 WITH DIVIDER FOR NEW DEVICES. ROUTE VERTICAL TO ABOVE ACCESSIBLE FINISHED CEILING TIGHT TO CORNER OF ROOM.
  - PROVIDE 1-1/4" WITH CABLES FOR TECHNOLOGY AND 3/4" FOR CONDUCTORS FOR POWER. STUB TO ABOVE NEAREST ACCESSIBLE CEILING. FLOORBOX SHALL BE WIREMOLD RFB-4 OR APPROVED EQUAL.
  - SEE ARCHITECTURAL ELEVATION ON A5.1 FOR MOUNTING INFORMATION.
  - FIELD VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.
  - DEMOLISH EXISTING D2. USE EXISTING ROUGH-IN TO PROVIDE NEW D2.
  - LOCATE NEW D2 ABOVE DOOR BUT BELOW CEILING. FIELD VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.

- GENERAL SHEET NOTES**
- SOME NOTES MAY NOT APPLY TO THIS SHEET.
  - SOME NOTES MAY NOT APPLY TO THIS SHEETS.
  - ALL BOXES, CONDUIT AND WIRING TO BE CONCEALED. NO EXPOSED BOXES, CONDUIT AND WIRING SHALL BE ALLOWED UNLESS NOTED OTHERWISE.
  - COORDINATE DEVICE LOCATIONS WITH OTHER TRADES INCLUDING HVAC EQUIPMENT, DUCTWORK, SPRINKLER PIPING AND BUILDING STRUCTURAL MEMBERS.
  - VERIFY LOCATIONS AND ROUGH-IN REQUIREMENTS OF ALL OWNER FURNISHED EQUIPMENT PRIOR TO ROUGH-IN.
  - CIRCUIT WIRING IS NOT SHOWN EXCEPT FOR SWITCHING INTENT OF FIXTURES AND CONTROL OF DEVICES.
  - GFCI RECEPTACLES SHALL BE WIRED TO PROTECT ONLY THE DEVICES IN THAT OUTLET BOX. DOWNSTREAM DEVICES SHALL NOT BE PROTECTED BY GFCI.
  - CIRCUIT NUMBERS SHOWN ARE FOR SCHEMATIC PURPOSES AND ARE FOR DISTINGUISHING CIRCUITS. RECORD AS-BUILT CIRCUITING IN A TYPED AND DATED PANELBOARD SCHEDULE.
  - PROVIDE SEPARATED CONDUITS FOR ALL EMERGENCY CIRCUITS. DO NOT COMBINE WITH NORMAL BUILDING WIRING.
  - COORDINATE HEIGHTS OF ALL DEVICES WITH MILLWORK AND MODULAR FURNITURE SHOP DRAWINGS PRIOR TO ROUGH-IN.
  - OFFSET BACK TO BACK BOXES AT LEAST 12 INCHES EXCEPT IN RESIDENT ROOMS WHERE PUTTY PADS SHALL BE PROVIDED (3M MPP+ OR EQUIVALENT).
  - ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR WIRING ALL ELECTRICAL ITEMS SHOWN ON THE DRAWINGS, EXCEPT ITEMS LISTED ON SHEET E0.01 GENERAL ELECTRICAL NOTES.
  - SEE FIRE ALARM ZONE SCHEDULE FOR INITIATING ZONES AND SIGNAL CIRCUITS.
  - COORDINATE WITH OTHER TRADES AND REFER TO DIV 27 & 28 SPECIFICATIONS FOR FULL REQUIREMENTS.
  - INSTALL DATA SYSTEMS CONDUIT WITH NO MORE THAN (2) 90° BENDS BETWEEN PULL BOXES, AND NO MORE THAN 100'-0" BETWEEN PULL BOXES. PULL BOXES SHALL BE INSTALLED FOR STRAIGHT THRU PULLS ONLY.
  - ALL COMMUNICATIONS CABLES SHALL BE INSTALLED IN CONDUIT, CABLE TRAY, OR SUPPORTED BY CABLE HOOKS. PROVIDE BUSHINGS AT THE ENDS OF ALL CONDUIT WHERE STUBBED ABOVE ACCESSIBLE CEILINGS OR WHERE DROPPED INTO CABLE TRAY. PROVIDE CABLE HOOKS ABOVE ACCESSIBLE CEILINGS FOR CABLE TRAY INSTALLATION WHERE NOT INSTALLED IN CONDUIT OR CABLE TRAY.
  - COORDINATE RECESSED CASEWORK DEVICES AND ABOVE COUNTER (AB) DEVICES WITH ARCHITECTURAL ELEVATION DRAWINGS AND DETAILS. MATCH ELEVATIONS WITH DIVISION 26 DEVICES UNLESS NOTED OTHERWISE.

**1 TECHNOLOGY RISER**  
NTS



**E1 MAIN LEVEL POWER AND SYSTEMS PLAN**  
1/8" = 1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER MINNESOTA  
*Bradley R. Johannsen*  
License Number: **BRADLEY R. JOHANNSEN** 43936 Date: **5/26/2020**

Description	Revisions	
	Date	Num
Addendum #2	6/12/2020	1
PR #1	10/12/2020	2
PR #4	11/18/2020	3
PR #6	12/3/2020	4
PR #8	1/14/2021	5
PR #9	2/11/2021	6

Comm: 182292  
Date: 5/26/2020  
Drawn: J. FRAZIER  
Check: S. SKARVAN  
North

**MAIN LEVEL POWER AND SYSTEMS PLANS**

Scale: NTS



From Site to Finish

105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

**TO:** Corcoran City Council

**FROM:** Kevin Shay through Kendra Lindahl, Landform

**DATE:** February 17, 2021 for the February 25, 2021 City Council Meeting

**RE:** Final Plat for "Tessmer Addition" (PID 07-119-23-22-0001 and 07-119-23-21-0002)  
(City File 20-043)

**60-Day Review Ends:** March 22, 2021

## 1. Application Request

Kevin Anderson has submitted a request for a final plat to create three lots and one outlet from two existing lots. The proposal is to plat the existing 23825 Tessmer Road and 10005 County Road 19 properties.

## 2. Background

The City Council approved a wetland and survey exemption for Outlot A on March 26, 2020 and a Preliminary Plat on November 23, 2020.

## 3. Context

### *Level of City Discretion in Decision-Making*

The City's discretion in approving a final plat is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the final plat.

### *Zoning and Land Use*

The subject properties are guided Rural / Ag Residential in the 2040 Future Land Use Plan and zoned Rural Residential. The properties to the south, east and north are guided Rural / Ag Residential and zoned Rural Residential. The property to the west is located in Greenfield.

### *Natural Characteristics of the Site*

There is a large wetland area on the southern portion of the property.





#### **4. Analysis of Request**

##### Final Plat

Staff has reviewed the application for consistency with the approved preliminary plans, as well as City policies. The City Engineer's comments are incorporated into this staff report and the detailed comments are included in the attached engineering memo dated February 17, 2021. Staff has included a condition that these items be addressed before the final plat is released for recording.

##### *Easements*

The preliminary plat needs to be revised to include the drainage and utility easements over the wetland and wetland buffer and adjacent to all lot lines.

##### *Wetlands*

A wetland buffer planting plan needs to be submitted for review and approval by the City to ensure the wetland buffer is properly established prior to building permits being released. Where it is believed existing vegetation meets the requirements for the buffer, an inspection from City staff can be performed to verify where existing vegetation is acceptable. We have included a condition of approval to address this outstanding issue.

Additional wetland buffer monuments are needed to establish the correct contours for the wetland buffer and there are areas where the wetland buffer must be established on the east side of Lot 3 and additional wetland signs be installed. Staff has attached an exhibit showing these locations. Wetland buffer monuments must be installed for all three lots prior to issuance of a building permit. Where the City and ECWMC differ in standards, the applicant shall comply with the more restrictive standard.

##### *Park Dedication Requirements*

Under the current ordinance, park dedication is only taken for newly created lots. The existing Lot 1 of the Tessmer Addition is an existing developed lot and is exempt from park dedication. Therefore, park dedication is due for the two newly created lots with this plat.

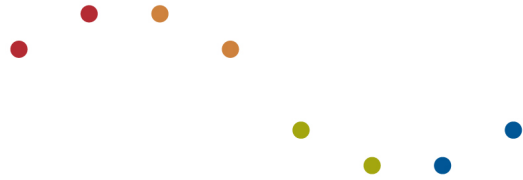
There is no park land planned on this site, therefore, staff recommends cash-in-lieu of land for this site. For residential developments, the cash in lieu of land fee has been calculated based on the per capita share of park system costs at \$4,628 per single family unit (2 x \$4,628 = \$9,256).

Park dedication is due prior to release of the final plat for recording. The fee will be based on the fee schedule in place when the final plat is submitted.

##### Conclusion

Staff has reviewed the plan for consistency with the applicable standards outlined in the preliminary approvals, Zoning Ordinance and Subdivision Ordinance. The staff report noted the outstanding issues that must be addressed and we have included conditions in the attached resolution to address these issues.





#### **4. Recommendation**

Move to adopt Resolution 2021-13 approving the Final Plat.

#### **Attachments**

- a. Resolution 2021-13 approving the Final Plat
- b. Location Map
- c. Engineer's Memo dated February 17, 2021
- d. Preliminary Plat received January 20, 2021
- e. Final Plat received December 10, 2020
- f. Wetland buffer exhibit

**RESOLUTION NO. 2021-13**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A FINAL PLAT FOR “TESSMER ADDITION” (PID 07-119-23-22-0001 and 07-119-23-21-0002) (CITY FILE 20-043)**

**WHEREAS**, Kevin Anderson, the applicant, has requested approval of a final plat to create 3 lots and one outlot from two existing parcels totaling 76.9-acres and legally described as:

*See Attachment A*

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for a final plat, subject to the following conditions:

1. A final plat is approved, in accordance with the plans received by the City on December 10, 2020, and the additional information received on January 20, 2021, except as amended by this resolution.
2. Lots 1, 2 and 3 are subject to the standards in Chapter 81 of the City Code (Animals).
3. The developer must maintain an adequate escrow balance to insure completion of the wetland buffer planting plan (and wetland LGU inspection for existing vegetation) and wetland signs.
4. Prior to release of the final plat for recording:
  - a. The applicant shall comply with all conditions in the City Engineer’s memo dated February 17, 2021.
  - b. The preliminary plat shall show the drainage and utility easements along the lot lines.
  - c. The FEMA floodplain boundary must be shown on the preliminary plat.
  - d. Park dedication shall be paid for two single-family home lots. The total park dedication amount shall be \$9,256 (2 x \$4,628).
  - e. Preliminary and Final Plat must be revised to show the drainage and utility easement over the wetland and wetland buffer on Lots 1-3.
  - f. The preliminary plat shall be revised to include additional wetland buffer signs located at each change in the contour of the wetland or where it crosses a lot line.

**RESOLUTION NO. 2021-13**

- g. The preliminary plat shall be revised to add wetland buffer and signs on Lot 3 eastern and southeastern portions where the wetland edge crosses into Lot 3.
5. Prior to issuance of building permits:
- a. A wetland buffer planting plan in compliance with Section 1050.010, Subd. 8C shall be submitted for review and approval.
    - i. Where it is believed existing vegetation meets the requirements for the buffer, the developer should schedule an inspection from City wetland LGU staff to verify where existing vegetation is acceptable.
    - ii. A final buffer plan must be submitted by the developer and approved by the City.
  - b. Wetland buffer monument signs must be purchased from the City and installed by the applicant in accordance with the standards in Section 1050.010. The surveyor must certify the installation.
  - c. The developer must install the wetland buffer plantings prior to release of any escrow and prior to issuance of building permits for any of the lots.
  - d. Record the approving resolutions, mylar, easements and all related documents at Hennepin County and provide proof of recording to the City.
  - e. The applicant shall provide the approved preliminary and final plat drawings to the City in an electronic (AutoCAD) format.
  - f. The applicant must file the final plat at Hennepin County within 2 years of the date of approval or the approval shall expire.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.

---

Tom McKee - Mayor

**ATTEST:**

---

Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2021-13**

**ATTACHMENT A**

Tessmer Parcel

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, except the following:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.

And

Weber Parcel

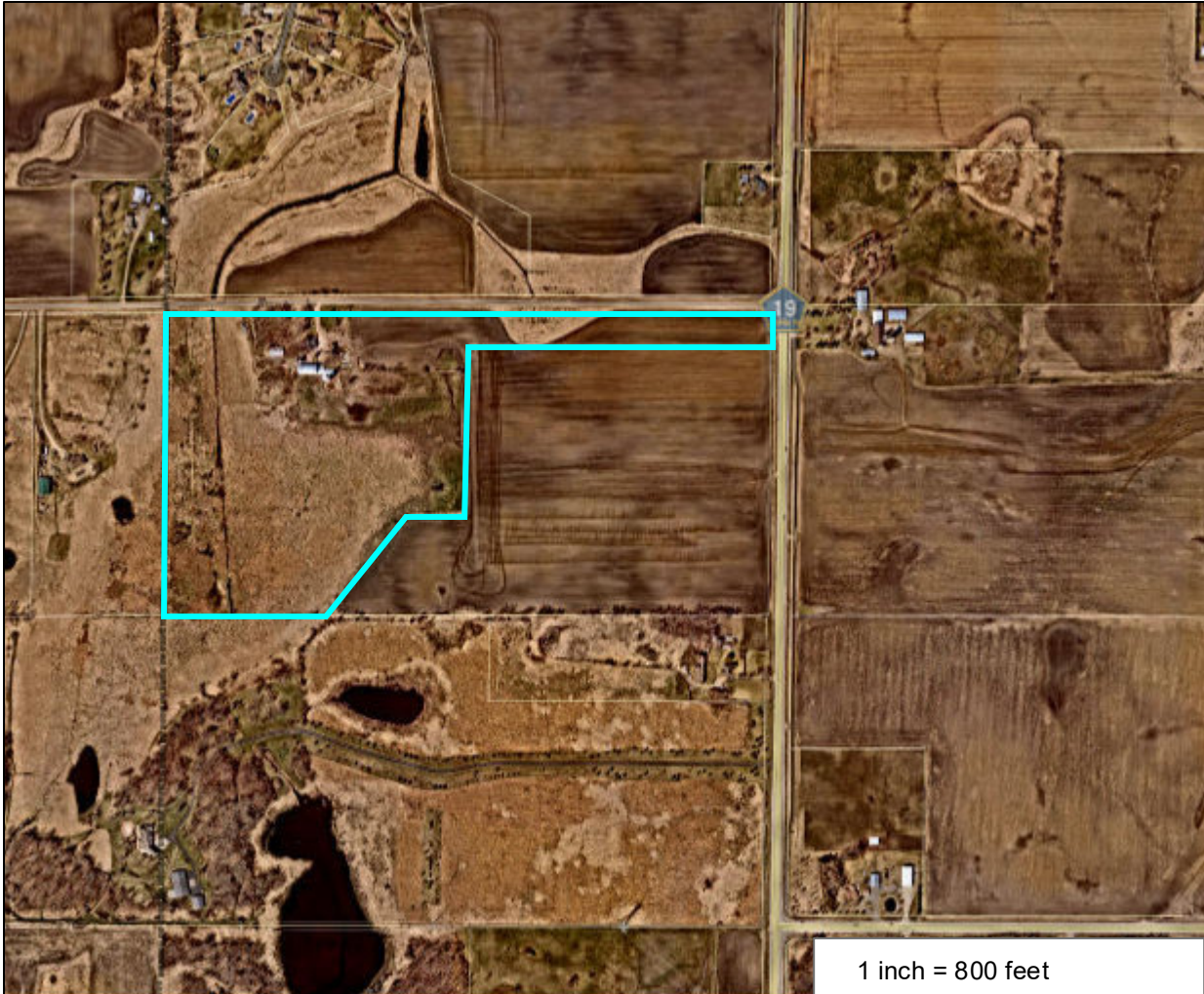
That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, lying southerly and easterly of the following described line:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.



# Hennepin County Property Map

Date: 2/18/2021



1 inch = 800 feet

PARCEL ID: 0711923220001

OWNER NAME: James M Tessmer

PARCEL ADDRESS: 23825 Tessmer Rd, Corcoran MN 55357

PARCEL AREA: 38.21 acres, 1,664,433 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Farm  
HOMESTEAD: Homestead  
MARKET VALUE: \$360,400  
TAX TOTAL: \$3,387.78

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Farm  
HOMESTEAD: Homestead  
MARKET VALUE: \$378,900

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN  
COUNTY 2021

# Technical Memo



Responsive partner.  
Exceptional outcomes.

## ENGINEER'S MEMO

**To:** Kendra Lindahl, AICP, City Planner

**From:** Kent Torve, P.E., City Engineer

**Date:** February 17, 2021

**Subject:** Tessmer\_Weber Preliminary Plat

Revised plans dated 1-20-2021 show a proposal for three rural residential lots on 38 +/- acres on Tessmer Road. Lot 1 is the existing farmstead.

### 1. General

- ▲ Provide documentation from Elm Creek WMO about an exemption from a permit.

### 2. Grading and Drainage

- ▲ Final plans do not show side yard drainage swales for proposed grading for Lots 2 and 3 as originally requested. The City will defer this requirement to the building permit application phase.
- ▲ Final plans shall show a surveyed road "spot" EOF elevation for both the Lot 1 EOF and the eastern culvert under Tessmer Road.

### 3. Easements

- ▲ Show the final plat easements on the revised Preliminary Plat drawing.
- ▲ Show drainage and utility easements (blanket) over delineated wetlands and buffers on Lots 1, 2 and 3.
- ▲ Identify and label the FEMA classification for the floodplain in southwest corner of Lot 1.
- ▲ Applicant shall document that no existing easements need to be vacated.

### 4. Wetlands

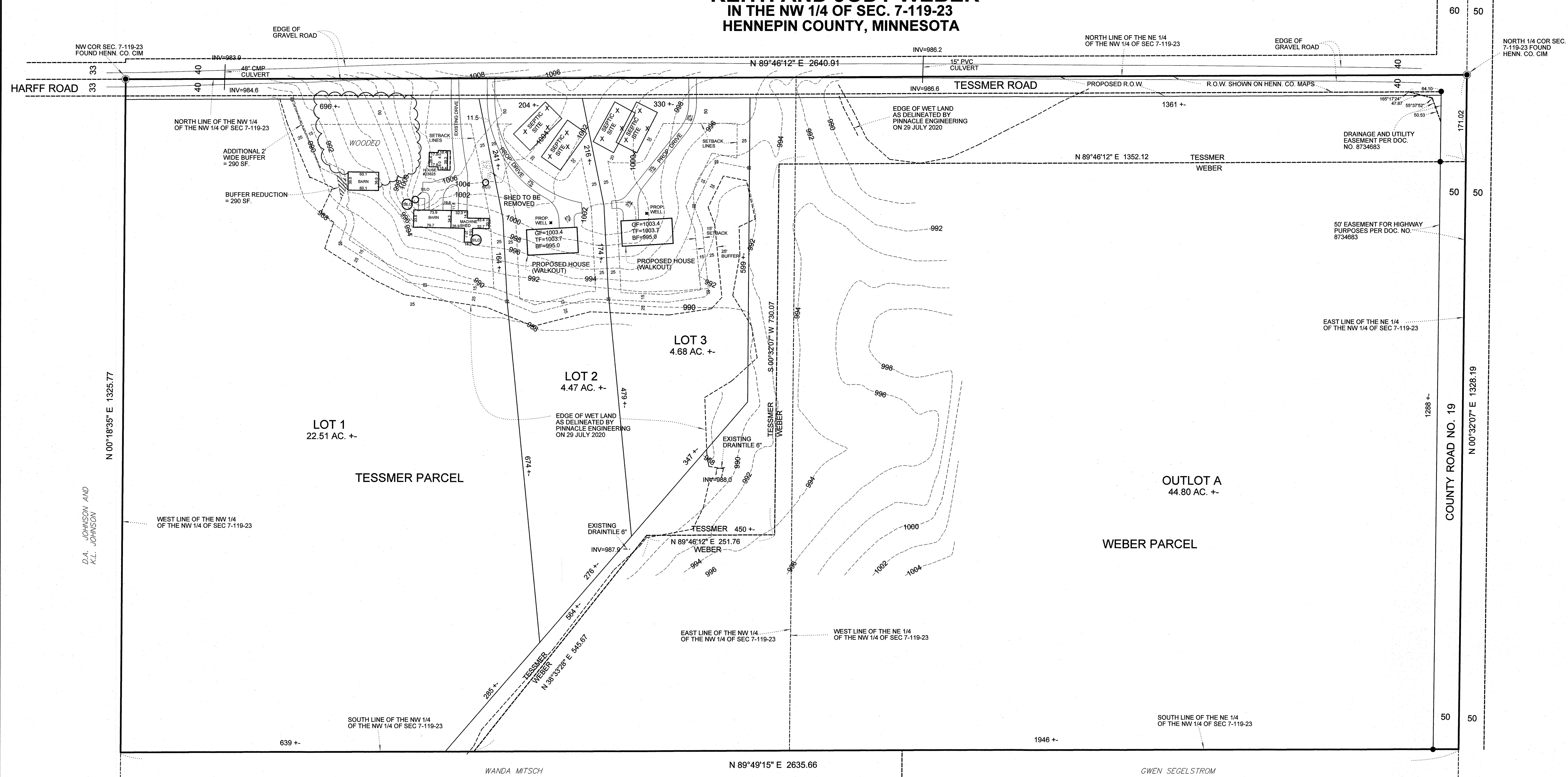
- ▲ Show the buffer on south and east side of wetland on Lot 3 (with signage).
- ▲ Show buffer signs per code.

## 5. Individual Lots

- ▲ City requires that individual lot grading/site plans be submitted and approved with final plat that show the septic, well, driveway culverts and building setback constraints.
  - These lot plans clarify the individual lot constraints for the new homeowner at the building permit stage.
  - Well setback locations (according to MDH) shall be shown.
  - Submit these individual plans with the revised plans.
  - Install new mailbox in accordance with U.S. Post Office guidance in terms of placement and height. It is recommended to install a swing-away style to assist with winter maintenance needs.



**PRELIMINARY PLAT FOR  
JAMES AND RACHEL TESSMER AND  
KEITH AND JODY WEBER  
IN THE NW 1/4 OF SEC. 7-119-23  
HENNEPIN COUNTY, MINNESOTA**



**LEGAL DESCRIPTIONS:**

**Tessmer Parcel:**

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, except the following:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.

**Weber Parcel:**

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, lying southerly and easterly of the following described line:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.

- : Denotes found iron marker
- 994--- : Denotes existing contour
- ☒ : Denotes proposed wetland buffer monument

Bearings are based upon an assumed datum.

NOTE: Lot areas exclude road rights-of-way.

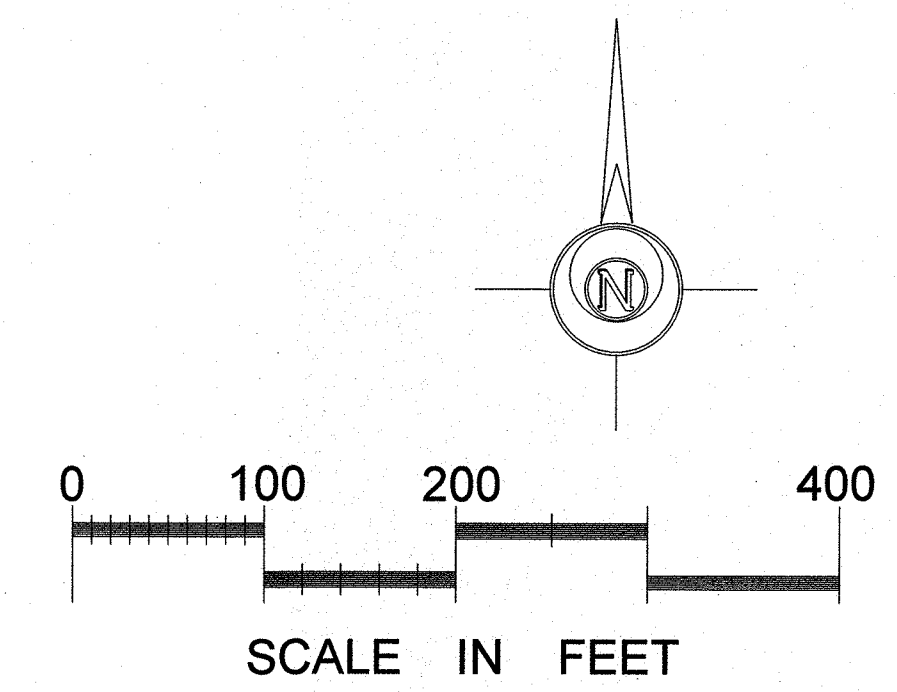
Overall property area = 76.46 excluding road rights-of-way.

NOTE: Any areas that require wetland buffer planting are required to meet the requirements of City of Corcoran Section 1050.010, Sub. 8.

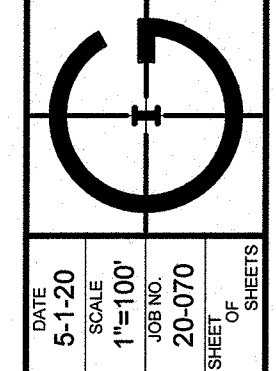
Owner and Subdivider:  
James and Rachel Tessmer (West Parcel)  
23825 Tessler Road  
Corcoran, MN, 55357  
612-990-5200

Keith and Jody Weber (East Parcel)  
10005 Co. Rd. No. 19  
Corcoran, MN, 55347

Surveyor:  
Mark Gronberg  
Gronberg and Associates  
445 N. Willow Drive  
Long Lake, MN, 55356  
952-473-4141



**GRONBERG & ASSOCIATES, INC.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS  
445 N. WILLOW DRIVE LONG LAKE, MN 55356  
PHONE: 952-473-4141 FAX: 952-473-4435



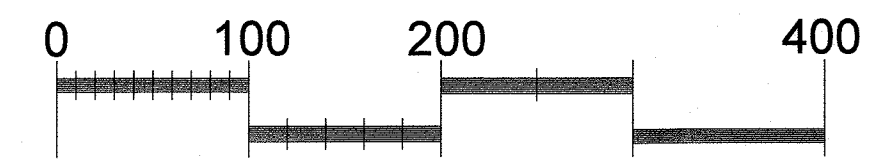
DATE	5-1-20
SCALE	1"=100'
SHEET	20-070
TOTAL SHEETS	2

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
*Mark D. Gronberg*  
DATE 5-1-20 MINN. LICENSE NUMBER 23757

DATE	REVISIONS
6-1-20	MOVED LOT LINES
10-13-20	REVISED LOTS + ADDED INFO
10-15-20	REVISED SEPTIC SITES PER RUSTY OLSON
1-20-21	BUILDING NOTES, BUFFER AVERAGING

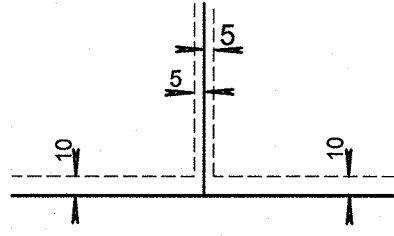


# TESSMER ADDITION



R.T.DOC.NO. \_\_\_\_\_  
C.R.DOC.NO. \_\_\_\_\_

Drainage and utility easements shown thus:



Being 5 feet in width, unless otherwise indicated, and adjoining lot lines, and being 10 feet in width, and adjoining right of way lines unless otherwise indicated on the plat.

NW COR. SEC. 7-119-23  
FOUND HENN. CO. CIM

NORTH 1/4 COR. SEC. 7-119-23  
FOUND HENN. CO. CIM

MEADOW CREEK ESTATES

MEADOW CREEK ESTATES  
2ND ADDITION

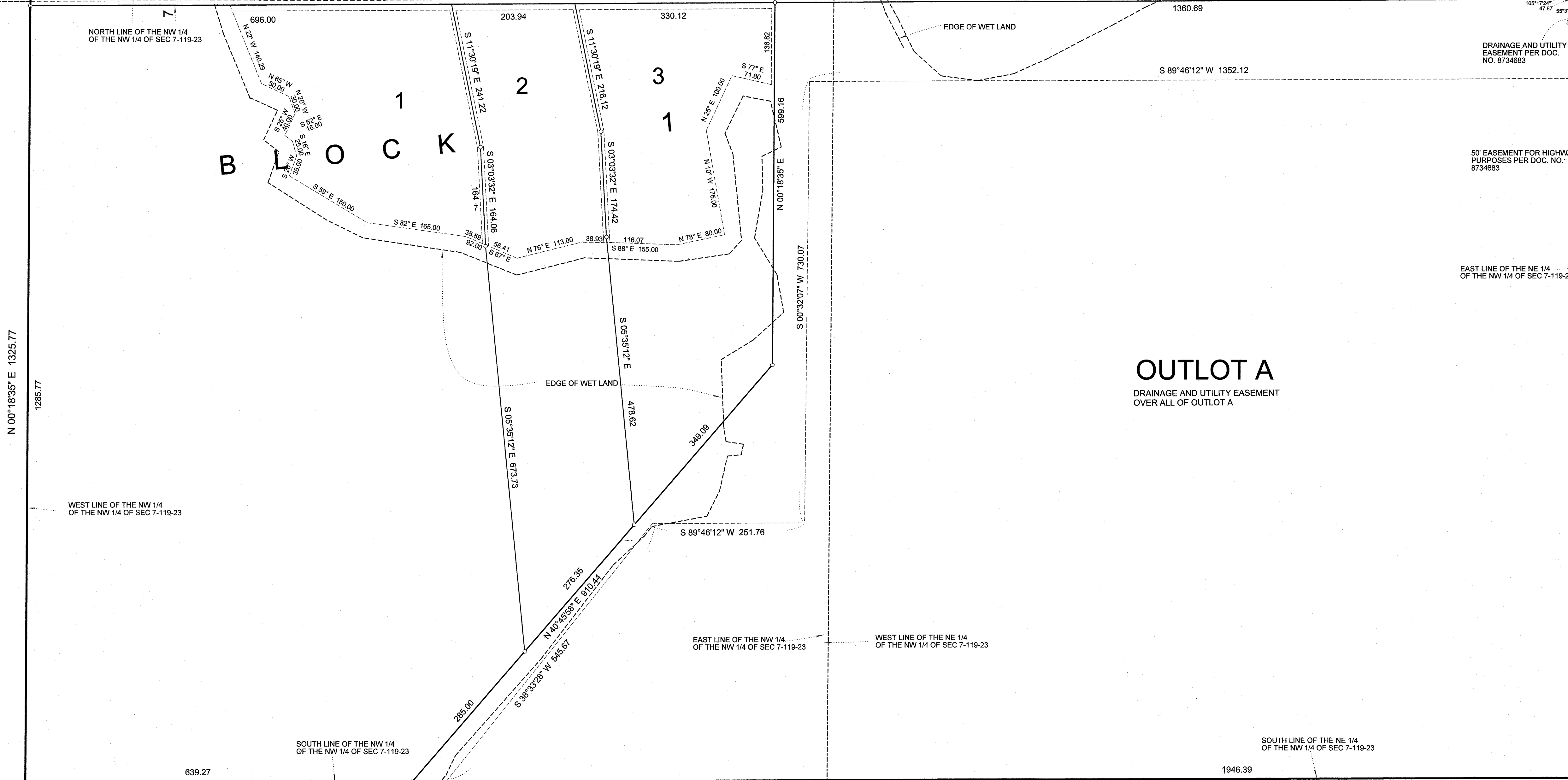
HARFF ROAD

TESSMER ROAD

TESSMER ROAD

COUNTY ROAD NO. 19

RAMSTEDD ADDITION

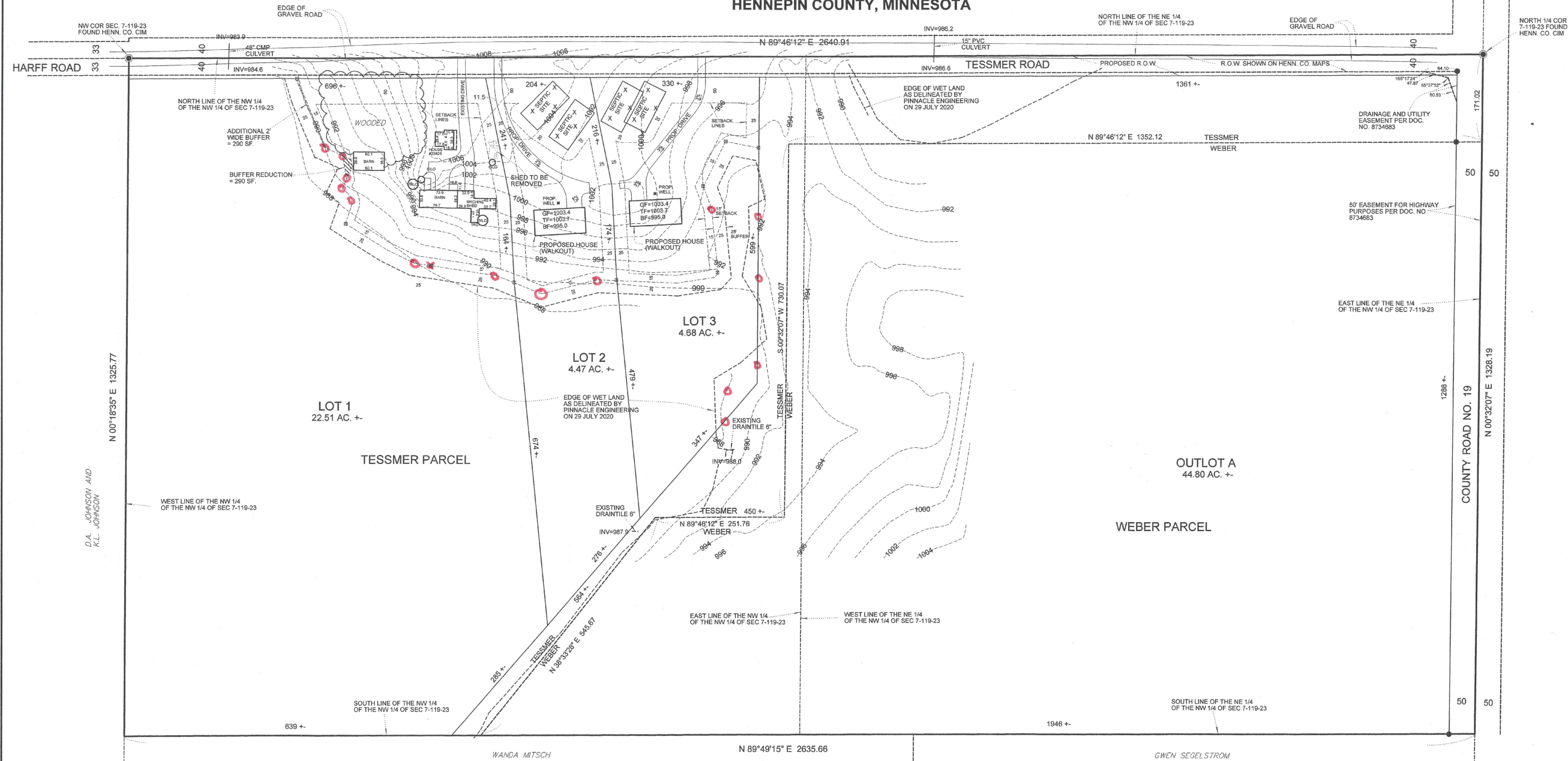


GREENFIELD ESTATES

ESTATES

ADDITION

**PRELIMINARY PLAT FOR  
JAMES AND RACHEL TESSMER AND  
KEITH AND JODY WEBER  
IN THE NW 1/4 OF SEC. 7-119-23  
HENNEPIN COUNTY, MINNESOTA**



**LEGAL DESCRIPTIONS:**

**Tessmer Parcel:**

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, except the following:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.

**Weber Parcel:**

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, lying southerly and easterly of the following described line:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.

- : Denotes found iron marker
- 994--- : Denotes existing contour
- ☒ : Denotes proposed wetland buffer monument

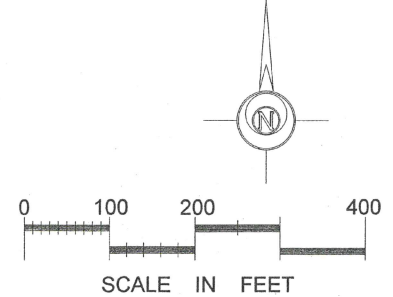
Bearings are based upon an assumed datum.  
NOTE: Lot areas exclude road rights-of-way.

NOTE: Any areas that require wetland buffer planting are required to meet the requirements of City of Corcoran Section 1050.010, Sub. 8.

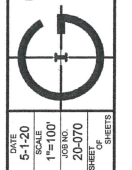
**Owner and Subdivider:**  
James and Rachel Tessmer (West Parcel)  
23825 Tessler Road  
Corcoran, MN, 55357  
612-990-5200

Keith and Jody Weber (East Parcel)  
10005 Co. Rd. No. 19  
Cororan, MN, 55347

Surveyor:  
Mark Gronberg  
Gronberg and Associates  
445 N. Willow Drive  
Long Lake, MN, 55356  
952-473-4141



**GRONBERG & ASSOCIATES, INC.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS  
445 N. WILLOW DRIVE LONG LAKE, MN 55356  
PHONE: 952-473-4141 FAX: 952-473-4435



DATE	DESCRIPTION
20-07-20	PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
*Mark D. Gronberg*  
DATE: 7-20-20 MINN. LICENSE NUMBER: 22255

DATE	REVISIONS
6-1-20	DESIGNED
10-13-20	DRAWN
10-15-20	CHECKED
1-20-21	REVISED LOTS - ADDED INFO
	REVISED SEPTIC SITES PER RUSTY OLSON
	BUILDING NOTES, BUFFER AVERAGING



**TO:** Corcoran City Council

**FROM:** Kendra Lindahl, Landform

**DATE:** February 18, 2021 for the February 4, 2021 City Council Meeting

**RE:** Preliminary Plat and Final Plat for “Hunters Place 2<sup>nd</sup> Addition” at 10110 CR 116 (PID 12-119-23-22-0001) (city file no. 20-044)

**120-DAY REVIEW DEADLINE:** April 14, 2021

### 1. Description of Request

This is a City-initiated request for approval of a preliminary and final plat for a two-lot subdivision. The subdivision would create a new 3.25 acre site for a new City well and associated facilities and preserve a 9.88-acre site for the Lothar home and accessory buildings.

The City well and related improvements are classified as “Essential Services” and the administrative site plan will be approved at a later date subject to the standards in Section 1030.090 of the Zoning Ordinance.

### 2. Planning Commission Review

The Planning Commission reviewed this item at a public hearing on February 18, 2021.

In addition to the landowner, one person spoke at the public hearing.

The Planning Commission voted 5-0 to recommend approval.

### 3. Context

#### *Background*

On September 24, 2020, the City Council approved a topographic and wetland delineation waiver for the portion of the site that will be retained by the existing landowner. A topographic survey and wetland delineation would be required prior to any development on that lot.

#### *Zoning and Land Use*

The site is guided Existing Residential and zoned RSF-1 (Single Family Residential 1).

#### *Surrounding Properties*

The surrounding properties are guided Existing Residential and zoned UR (Urban Reserve). The property to the southwest across CR 116 is guided Mixed Use and zoned GMU (General Mixed Use).

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### *Natural Characteristics of the Site*

There are no natural resources identified in the Natural Resource Inventory Areas map. However, there is a savanna/pasture upland area identified directly north of the site. Additionally, there is a medium quality wetland in the northeast portion of the site.

## **4. Analysis:**

### A. Level of Discretion in Decision-Making

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outline in the City's subdivision and zoning ordinance and the conditions of the preliminary plat approval. If it meets these standards, the City must approve the plat.

The City's discretion in approving a final plat is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance and the conditions of preliminary plat approval. If it meets these standards, the City must approve the final plat.

### B. Consistency with Ordinance Standards

The City has a purchase agreement with the property owner for a portion of the 13.29-acre site for a future well and water treatment plant. The property will be subdivided to create a new parcel in the northwest portion of the site to be purchased by the City and the remainder will be retained by the landowner.

### *Preliminary Plat*

The preliminary plat would create two lots. The lots exceed the minimum standards for the RSF-1 zoning district:

	<b>RSF-1 district</b>	<b>Lot 1 (city site)</b>	<b>Lot 2 (Lothar site)</b>
<b>Minimum Lot Size</b>	20,000 sq. ft.	141,698 square feet (3.25 acres)	430,160 square feet (9.88 acres)
<b>Minimum Lot Width</b>	100 feet	463.64 feet	489.04 feet
<b>Front Yard Setback Major Roadways / Other Roads</b>	100 feet / 40 feet	N/A	100+ feet 270 +/- feet
<b>Rear Yard Setback</b>	30 feet	N/A	80 +/- feet
<b>Side Setback</b>	10 feet	N/A	150 +/- feet

The required setbacks will be reviewed for compliance on Lot 1 when the final well site design is complete and the administrative permit is submitted.

The existing structures on the Lothar property all exceed setback requirements after the plat.





Additionally, the plat includes dedication of 0.16 acres of land for County Road 116 adjacent to Lot 1. No additional right-of-way is provided for Lot 2 at this time, but will be required when that parcel is further subdivided.

Standard drainage and utility easements are provided around the perimeter of the new lots and over the existing wetlands, ditch and pond. When the site plan for the well site is finalized, a stormwater treatment pond will be required as conceptually shown. The City will provide a drainage and utility easement over the pond in recordable form.

#### *Park Dedication*

Because no new development is proposed on Lot 2 and Lot 1 will be developed for public purposes, no park dedication is required at this time. Park dedication would be required if Lot 2 was further subdivided in the future.

#### *Ghost Plat*

Staff has prepared a ghost plat to show how the Lothar site could be developed in the future when sanitary sewer and water are available. At this time no development is proposed. The purpose of the exhibit is primarily to show how future development could provide access to the future well site. Hennepin County will allow temporary access onto County Road 116 for Lot 1, but when Lot 2 further subdivides a new public street will be required to be built and provide access for Lot 1 (the well site) and Lot 2. At that time, access onto County Road 116 would be removed.

#### *Final Plat*

The final plat is consistent with the preliminary plat.

#### *Next Steps*

Following approval of the plat, the City would continue to work on the design of the well site. No site plan approval is requested at this time.

The well is considered an “essential service” by the Zoning Ordinance. Essential Services are defined as “*the erection, construction, alteration or maintenance by private or public utilities, or municipal departments of underground or overhead telephone, gas, electrical, steam, hot water, waste, or water transmission, distribution, collection, supply or disposal systems, including poles, wires, mains, drains, sewers, pipes, conduits, cables, fire alarm boxes, police call boxes, traffic signals, hydrants and other similar equipment and accessories in connection therewith for the furnishing of adequate service by such private or public utilities or municipal departments. Essential services shall not include waste facilities*” and are allowed by administrative permit in the RSF-1 zoning district. Typically, these uses would be approved administratively by staff, however, because the well is a city project, the Council will review and approve as part of the project approval process at a future date.



**5. Recommendation:**

Move to adopt the following:

- a. Resolution 2021-15 approving the preliminary plat
- b. Resolution 2021-16 approving the final plat

**Attachments**

- a. Resolution 2021-15 approving the preliminary plat
- b. Resolution 2021-16 approving the final plat
- c. Site Location Map
- d. City Engineer's Memo January 27, 2021
- e. Hennepin County Transportation comments dated January 21, 2021
- f. Preliminary Plat and Final Plat drawings dated December 15, 2020
- g. Ghost Plat dated December 15, 2020
- h. Conceptual site plan dated December 15, 2020

**RESOLUTION NO. 2021-15**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A PRELIMINARY PLAT FOR “HUNTERS PLACE 2<sup>ND</sup> ADDITION” AT 10110 CR 116 (PID 12-119-23-22-0001) (CITY FILE NO. 20-044)**

**WHEREAS**, the City of Corcoran and Brian and Jacqueline Lothar have requested approval of a preliminary plat to allow for the subdivision of the property legally described as:

*Lot 1, Block 1, HUNTERS PLACE, Hennepin County, Minnesota*

**WHEREAS**, the Planning Commission reviewed the submitted preliminary plat at a duly called Public Hearing, and;

**NOW, THEREFORE, BE IT RESOLVED** that the Corcoran City Council approves the request for a preliminary plat subject to the following findings and conditions;

1. A preliminary plat is approved, in accordance with the plans received by the City on December 15, 2020, except as amended by this resolution.
2. No new lots are being created for development; therefore, park dedication is not required.
3. When Lot 2 is further subdivided, a new public street must be constructed to provide access to the well site on Lot 1. Access to County Road 116 for Lot 1 and Lot 2 will be eliminated at that time.
4. The applicant must obtain final site plan approval through an administrative permit prior to development of Lot 1. No site plan approval is granted at this time.
5. The applicant shall comply with comments in the City engineer’s memo dated January 27, 2021.
6. The applicant shall comply with all conditions in the Hennepin County Transportation comments dated January 21, 2021.
7. A drainage and utility easement will be required over the future stormwater management pond. If not provided on the plat, it will be required as a separate recordable document to be approved with the administrative permit site plan.
8. Prior to issuance of building permits:
  - a. Lot monuments shall be installed as required by the Subdivision Ordinance.
  - b. Record the approving resolutions, mylar and all related documents at Hennepin County and provide proof of recording to the City.
  - c. The applicant shall provide the approved preliminary and final plat drawings to the City in an electronic (AutoCAD) format.

**RESOLUTION NO. 2021-15**

9. Approval of the preliminary plat shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of a final plat.

**VOTING AYE**

- McKee, Tom  
 Bottema, Jon  
 Thomas, Manoj  
 Nichols, Jeremy  
 Schultz, Alan

**VOTING NAY**

- McKee, Tom  
 Bottema, Jon  
 Thomas, Manoj  
 Nichols, Jeremy  
 Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*



**RESOLUTION NO. 2021-16**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A FINAL PLAT FOR “HUNTERS PLACE 2<sup>ND</sup> ADDITION” AT 10110 CR 116 (PID 12-119-23-22-0001) (CITY FILE NO. 20-044)**

**WHEREAS**, the City of Corcoran and Brian and Jacqueline Lothar have requested approval of a final plat to create two lots on property legally described as:

*Lot 1, Block 1, HUNTERS PLACE, Hennepin County, Minnesota*

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for a final plat, subject to the following conditions:

1. A final plat is approved, in accordance with the plans received by the City on December 15, 2020, except as amended by this resolution.
2. The applicant must comply with all conditions of approval in Resolution 2021-15 approving the preliminary plat.
3. No park new lots are being created for development; therefore, no park dedication is required. Subdivision of Lot 2 in the future would be subject to the park dedication requirements.
4. Prior to issuance of building permits:
  - a. Lot monuments shall be installed as required by the Subdivision Ordinance.
  - b. Record the approving resolutions, mylar and all related documents at Hennepin County and provide proof of recording to the City.
  - c. The applicant shall provide the approved preliminary and final plat drawings to the City in an electronic (AutoCAD) format.
  - d. The applicant must file the final plat at Hennepin County within 2 years of the date of approval or the approval shall expire.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

**RESOLUTION NO. 2021-16**

**Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

*City Seal*

**RESOLUTION NO. 2021-16**

**ATTACHMENT A**

Tessmer Parcel

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, except the following:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.

And

Weber Parcel

That part of the Northeast Quarter of the Northwest Quarter and the Northwest Quarter of the Northwest Quarter of Section 7, Township 119, Range 23, Hennepin County, Minnesota, lying southerly and easterly of the following described line:

Commencing at the northeast corner of said Northeast Quarter; thence on an assumed bearing South 00 degrees 32 minutes 07 seconds West, along the east line of said Northeast Quarter, a distance of 171.02 feet to the point of beginning of the line to be described; thence South 89 degrees 46 minutes 12 seconds West 1352.12 feet; thence South 00 degrees 32 minutes 07 seconds West 730.07 feet; thence South 89 degrees 46 minutes 12 seconds West 251.76 feet; thence South 38 degrees 33 minutes 28 seconds West 545.67 feet to the south line of said Northwest Quarter and said line there terminating.



# Hennepin County Property Map

Date: 1/28/2021



PARCEL ID: 1211923220001

OWNER NAME: B L Lothar & J K Lothar

PARCEL ADDRESS: 10110 Co Rd No 116, Corcoran MN 55374

PARCEL AREA: 13.29 acres, 578,812 sq ft

A-T-B: Abstract

SALE PRICE: \$385,000

SALE DATA: 04/2017

SALE CODE: Excluded From Ratio Studies

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Residential

HOMESTEAD: Homestead

MARKET VALUE: \$381,600

TAX TOTAL: \$5,334.62

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Residential

HOMESTEAD: Homestead

MARKET VALUE: \$399,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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# Engineer's Memo



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**To:** Kevin Mattson, PE, Director of Public Works  
**From:** Kent Torve, PE, City Engineer  
**Date:** January 27<sup>th</sup>, 2021  
**Subject:** NE Water Supply Site--Preliminary Plat and Final Plat Plan Review

---

The City is underway with planning a municipal water supply system for NE Corcoran. Corcoran and Maple Grove have a water agreement for 5 million gallons per day (MGD) peak supply and Bellwether development is the current NE approved development to receive supply. Additional contract amendments may be executed, however the City is underway with initial efforts on creating a system that includes test well, municipal well, treatment feasibility and site planning. This memo reviews the site plan for preliminary and final platting City processes.

Additional reviews and modifications will occur throughout the Site Plan approval process as the project moves forward.

## **1.0 Transportation**

- 1.1 Access permit will be required from the County.
- 1.2 County has reviewed the site plan and will require the existing field access be removed.
- 1.3 Overall the County supports an interim access from CSAH 116 with ultimate access from a future Hunters Ridge expansion.

## **2.0 Stormwater Management**

- 2.1 Drainage is to the north, therefore stormwater management is feasible within the site boundaries.
- 2.2 Adjacent property owner to the north will be contacted as the process moves forward.
- 2.3 A wetland process has been completed and no wetlands exist on site.
- 2.4 Additional regulatory agencies will have site requirements such as Elm Creek WMO, Minnesota Department of Health, and MPCA's NPDES Construction Permit program.

## Engineer's Memo

January 27<sup>th</sup>, 2021



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### 3.0 Sewer

3.1 The Water Treatment Plant (WTP) will require sewer service, and the main 30-inch Trunk Interceptor would be constructed to the site. This would require offsite easements and connection to the Pulte/Bellwether location.

### 4.0 Water

4.1 The WTP will require trunk water connections to the east and stubs would be installed to the west for future development needs.

### 5.0 Other

5.1 No existing easements need to be vacated.

5.2 Architectural, Landscape, Lighting options will be presented to Council separately throughout the Site Plan Process.

# HENNEPIN COUNTY

## MINNESOTA

January 21, 2021

Ms. Kendra Lindahl, AICP  
Principal Consultant  
City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

Re: Final Plat Review – Hunters Place 2nd Addition (Municipal Well) (Received 12/23/20)  
10110 County Road (CR) 116  
Hennepin County Plat Review ID #3903 (Reviewed 11/05/21)

Dear Ms. Lindahl:

Please consider the following county comments of this final plat proposal subdividing the north half of 10110 County Road 116 to construct a municipal well.

**Access:** Pending demonstration of sufficient sight distance, we accept the proposed temporary access on County Road 116, which will be removed by the city with a future street connection to Hunters Ridge Road through Lot 2 (illustrated in ghost plat). To ensure this future connection, dedication of an access easement(s) between Lots 1 and 2 is recommended on the plat. Also, please remove any remnant field access(es) along CR 116 no longer serving a farming purpose.

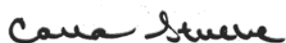
**Right-of-way:** We support the proposed 10-foot right-of-way dedication and 10-foot drainage and utility easement along County Road 116 (matching our preferred 60-foot half section).

**Storm Water/Drainage:** We support the additional stormwater pond to be maintained by the city. The county storm water system will not take water from new drainage areas. The site needs to internally capture any additional stormwater runoff. Additional treatment may be needed if flow rates cannot match existing. Please maintain proper ditch drainage along County Road 116 with the proposed access. *Contact: Drew McGovern at 612-596-0208 or [drew.mcgovern@hennepin.us](mailto:drew.mcgovern@hennepin.us)*

**Permits:** Please inform the developer that all construction within county right-of-way requires an approved Hennepin County permit prior to beginning construction. This includes, but is not limited to, driveway and street access, drainage and utility construction, trail development, and landscaping. *Contact: Michael Olmstead, Permits Coordinator at 612-596-0336 or [michael.olmstead@hennepin.us](mailto:michael.olmstead@hennepin.us)*

Please contact *Jason Gottfried: 612-596-0394, [jason.gottfried@hennepin.us](mailto:jason.gottfried@hennepin.us)* for further discussion.

Sincerely,



Carla Stueve, PE, PTOE  
County Highway Engineer

Hennepin County Transportation Project Delivery  
Public Works Facility, 1600 Prairie Drive, Medina, MN 55340  
612-596-0300 | [hennepin.us](http://hennepin.us)







# Hennepin County Natural Resources Map

Date: 12/30/2020

## Legend

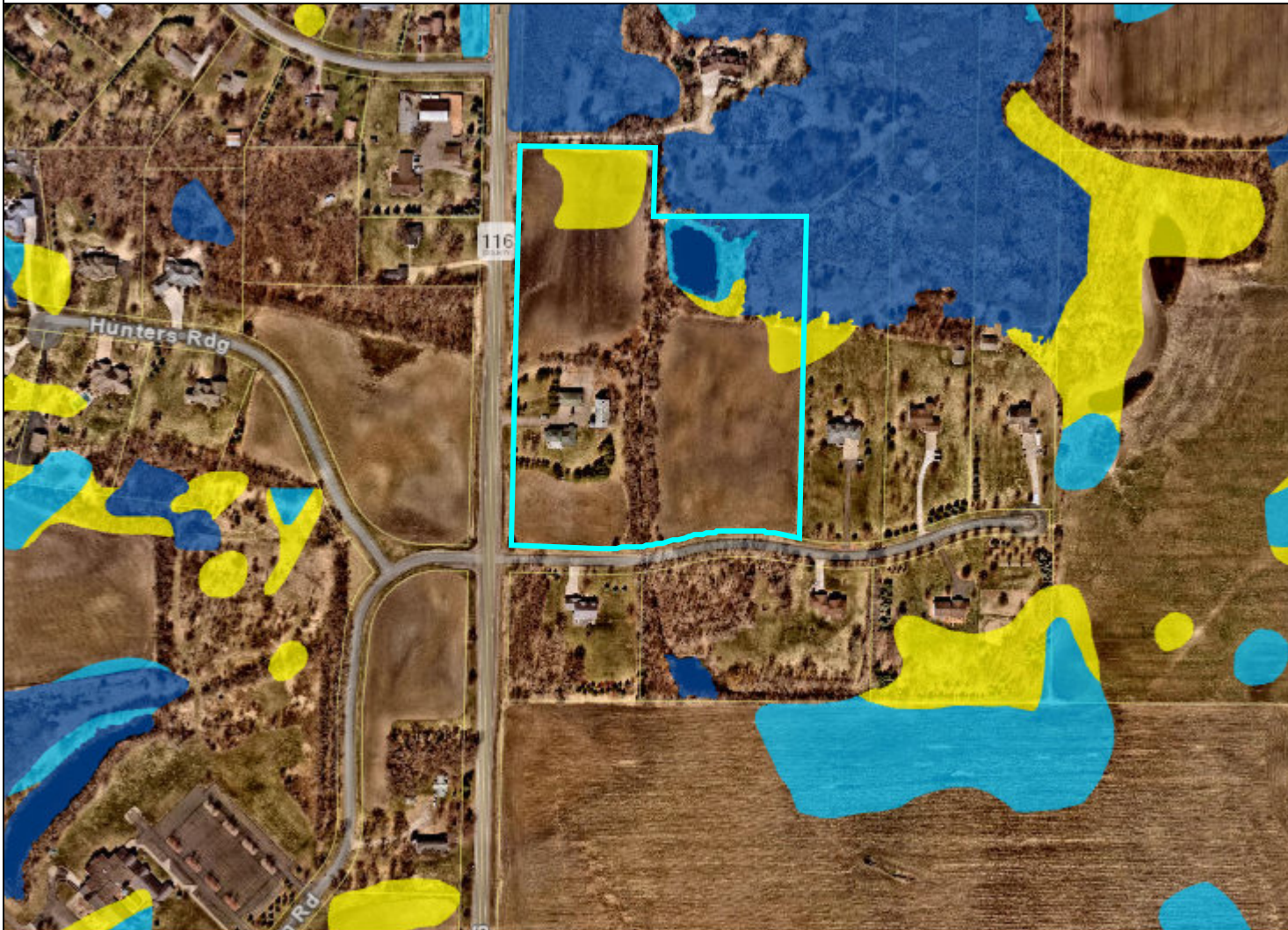
 Streams

## Wetlands

 Potential Wetland - HCWI

 Probable Wetland - HCWI

 Probable Wetland - NWI



PID: 1211923220001  
Address: 10110 CO RD NO 116,  
CORCORAN  
Owner Name: B L LOTHER &  
J K LOTHER  
Acres: 13.29

Comments:

1 inch = 400 feet



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# PRELIMINARY PLAT FOR HUNTERS PLACE 2ND ADDITION

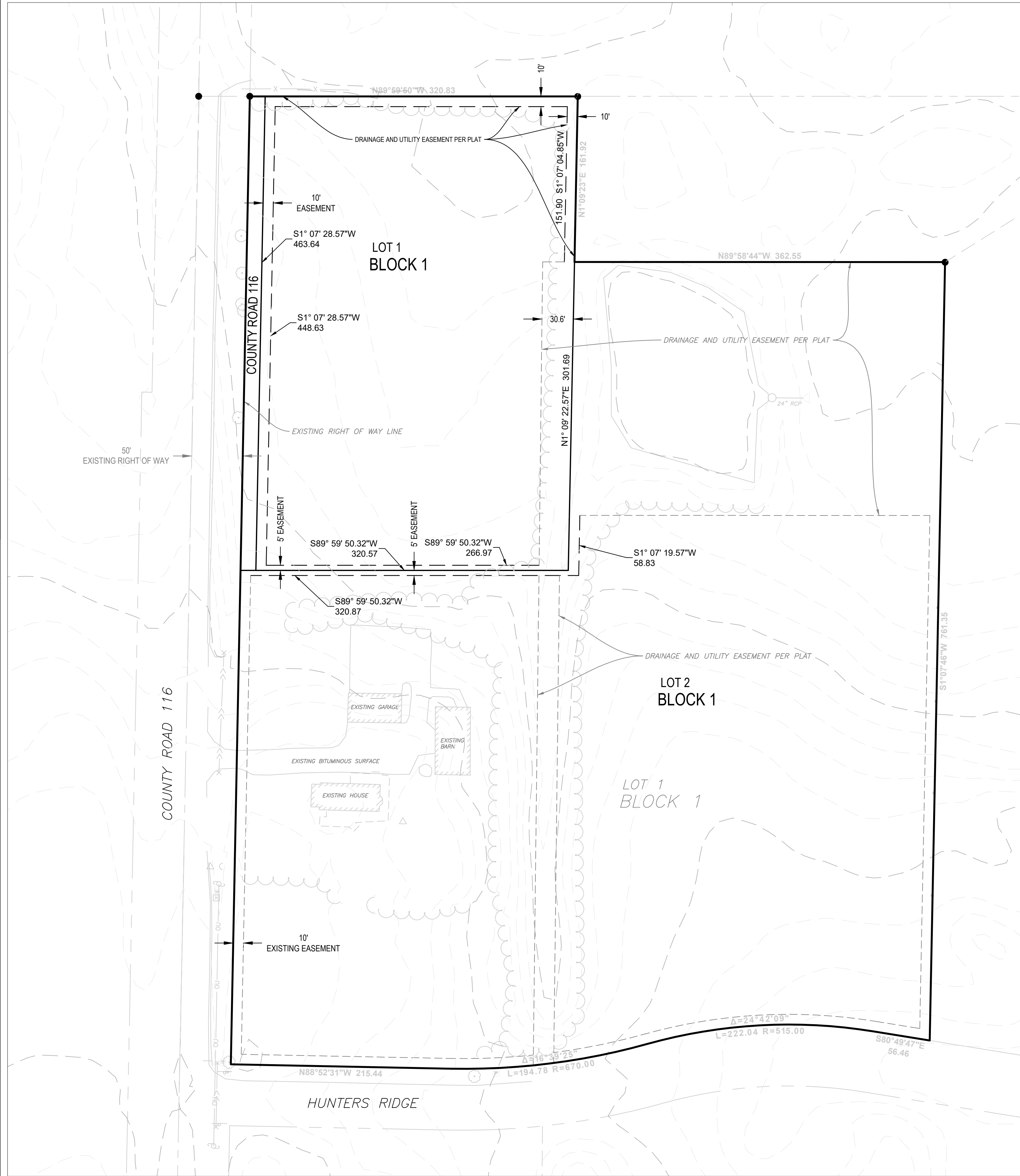
## CORCORAN, MINNESOTA



CLIENT:  
**CITY OF CORCORAN**  
8200 COUNTY ROAD 116  
CORCORAN, MN 55340



**CITY OF CORCORAN**  
**NORTHEAST WATER SUPPLY**  
8200 COUNTY ROAD 116  
CORCORAN, MN 55340



**PROPERTY DESCRIPTION**  
LOT 1, BLOCK 1, HUNTERS PLACE, HENNEPIN COUNTY, ACCORDING TO THE RECORD PLAT THEREOF.

**ZONING**  
SINGLE FAMILY RESIDENTIAL 1

**DATE OF PREPARATION**  
DECEMBER 4, 2020

**PROPERTY OWNERS**  
B L Lothar & J K Lothar  
10110 Co Rd No 116  
Rogers, MN 55374

**SURVEYOR**  
GARY BJORKLUND  
WENCK ASSOCIATES, INC.  
1800 PIONEER CREEK CENTER  
MAPLE PLAIN, MN 55359  
MN LICENSE NUMBER: 48677

**PROPOSED LAND AREAS**  
TOTAL AREA TO BE PLATTED = 578,813 SQUARE FEET OR 13.288 ± ACRES  
AREA LOT 1 BLOCK 1 = 141,698 SQUARE FEET OR 3.253 ± ACRES  
AREA LOT 2 BLOCK 1 = 430,160 SQUARE FEET OR 9.875 ± ACRES  
AREA DEDICATED AS RIGHT OF WAY = 6,955 SQUARE FEET OR 0.160 ± ACRES

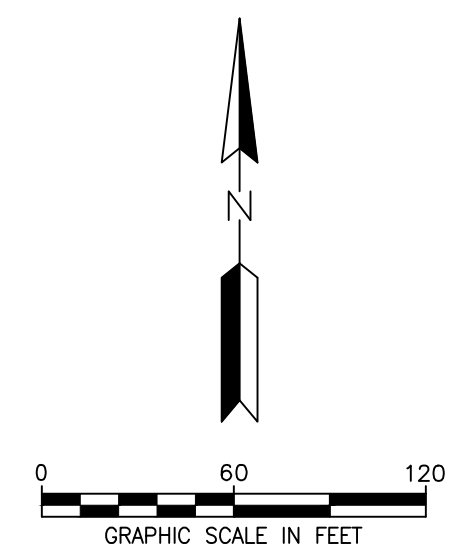
CERTIFICATION:

**NOT FOR CONSTRUCTION**

PROJECT NO.: 2294-0048  
DWN BY: JVB    CHKD BY: JMB    APPD BY: JMB  
ISSUE DATE: 08/12/2020  
ISSUE NO.: 1

SHEET TITLE:

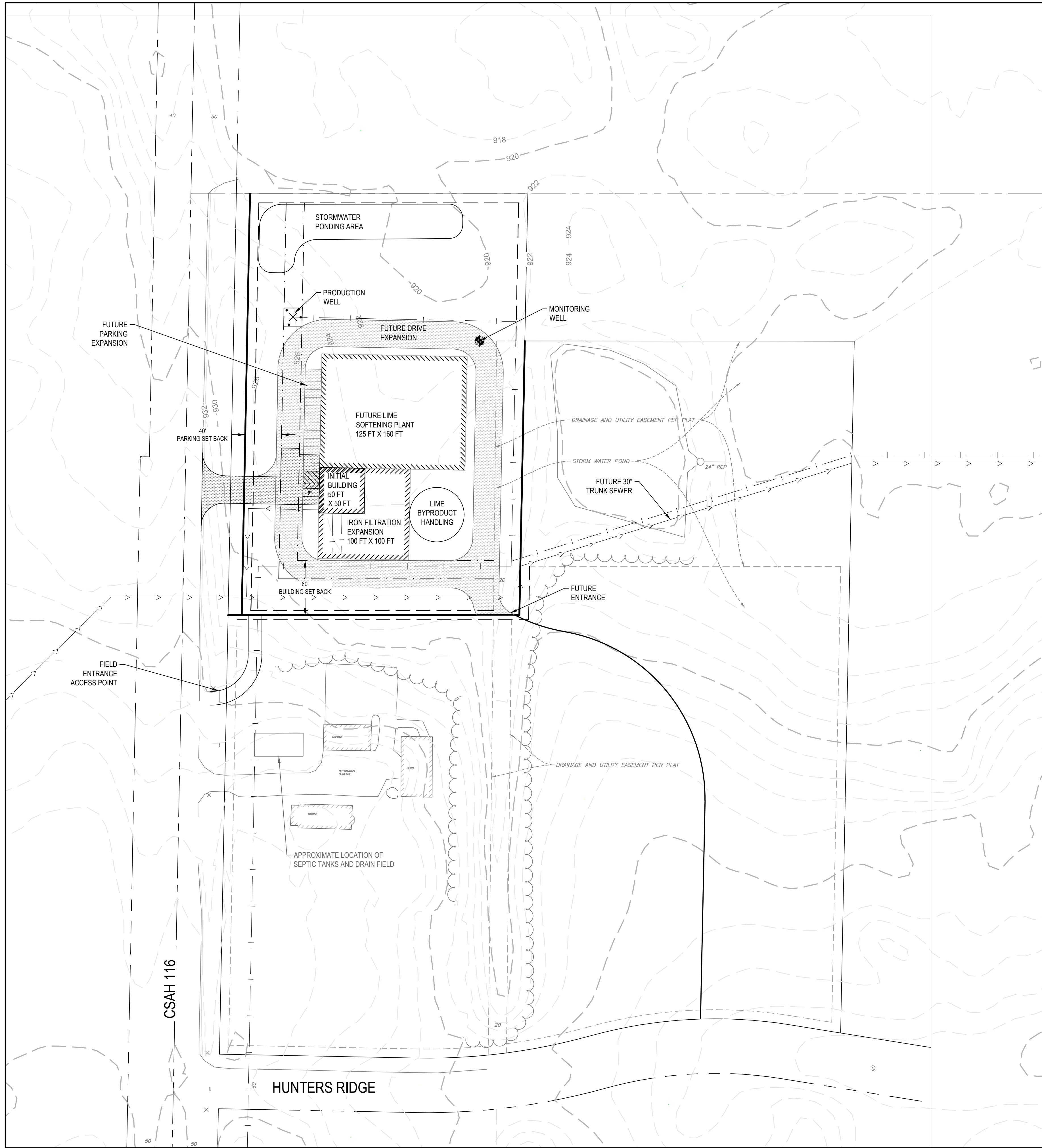
SHEET NO.:





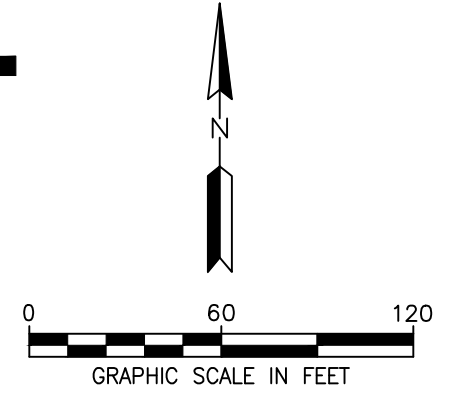
12/14/2020 12:41:21 PM

M:\2294\0048 - NE Water Supply\3\_DESIGN\CAD\2 EXHIBITS\2294-0048 FIG 1 Water Supply Schematic.dwg



SITE LEGEND

- 9XX --- EXISTING CONTOUR
- PROPERTY LINE
- - - - - EASEMENT LINE
- >->- SANITARY SEWER
- |-|-| WATERMAIN
- ==== RIGHT OF WAY LINE
- ==== EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT



CLIENT:  
**CITY OF CORCORAN**  
 8200 COUNTY ROAD 116  
 CORCORAN, MN 55340

**CITY OF CORCORAN**  
**NORTHEAST WATER SUPPLY**  
 8200 COUNTY ROAD 116  
 CORCORAN, MN 55340


CERTIFICATION:

*NOT FOR CONSTRUCTION*

PROJECT NO.: 2294-0048

DWN BY: JVB    CHKD BY: JMB    APPD BY: JMB

ISSUE DATE: 08/12/2020

ISSUE NO.: 1

SHEET TITLE:

LOCATION PLAN

SHEET NO.:

C-101



### Design Requirements

Zoning District	RSF-1
Minimum Lot Size	20,000 sq. ft.
Minimum Lot Width	100'
Front Yard Setback Major Roadways	100'
/ Other Roads	/ 40'
Rear Yard Setback	30'
Side Setback	10'

### Lot Information

1	23,915 sq. ft.
2	20,285 sq. ft.
3	23,295 sq. ft.
4	113,920 sq. ft.
5	25,935 sq. ft.
6	20,130 sq. ft.
7	21,545 sq. ft.
8	25,160 sq. ft.
9	40,975 sq. ft.
10	81,275 sq. ft.





# PRELIMINARY PLAT FOR HUNTERS PLACE 2ND ADDITION

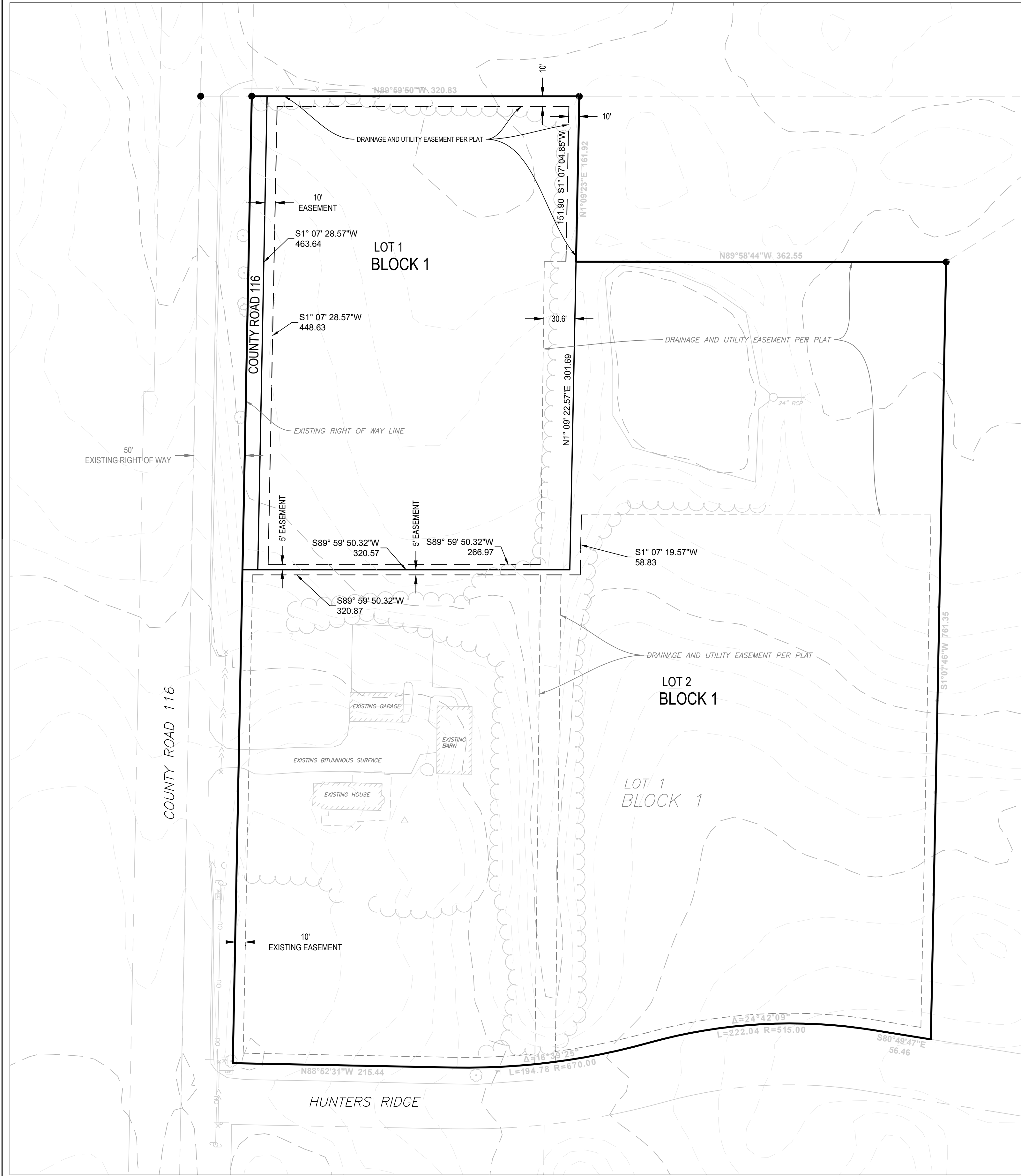
## CORCORAN, MINNESOTA



CLIENT:  
**CITY OF CORCORAN**  
8200 COUNTY ROAD 116  
CORCORAN, MN 55340



**CITY OF CORCORAN**  
**NORTHEAST WATER SUPPLY**  
8200 COUNTY ROAD 116  
CORCORAN, MN 55340



**PROPERTY DESCRIPTION**  
LOT 1, BLOCK 1, HUNTERS PLACE, HENNEPIN COUNTY, ACCORDING TO THE RECORD PLAT THEREOF.

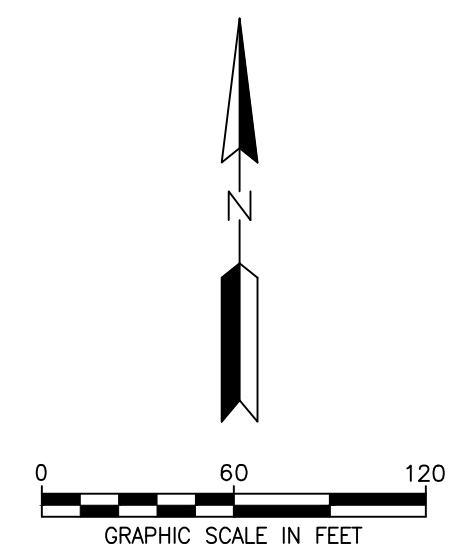
**ZONING**  
SINGLE FAMILY RESIDENTIAL 1

**DATE OF PREPARATION**  
DECEMBER 4, 2020

**PROPERTY OWNERS**  
B L Lothar & J K Lothar  
10110 Co Rd No 116  
Rogers, MN 55374

**SURVEYOR**  
GARY BJORKLUND  
WENCK ASSOCIATES, INC.  
1800 PIONEER CREEK CENTER  
MAPLE PLAIN, MN 55359  
MN LICENSE NUMBER: 48677

**PROPOSED LAND AREAS**  
TOTAL AREA TO BE PLATTED = 578,813 SQUARE FEET OR 13.288 ± ACRES  
AREA LOT 1 BLOCK 1 = 141,698 SQUARE FEET OR 3.253 ± ACRES  
AREA LOT 2 BLOCK 1 = 430,160 SQUARE FEET OR 9.875 ± ACRES  
AREA DEDICATED AS RIGHT OF WAY = 6,955 SQUARE FEET OR 0.160 ± ACRES



CERTIFICATION:

**NOT FOR CONSTRUCTION**

PROJECT NO.: 2294-0048  
DWN BY: JVB    CHKD BY: JMB    APPD BY: JMB  
ISSUE DATE: 08/12/2020  
ISSUE NO.: 1  
SHEET TITLE:

SHEET NO.:

# HUNTERS PLACE 2ND ADDITION

C.R. DOC. NO. \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That Brian L. Lother and Jacqueline K. Lother, husband and wife, owners of the following described property situated in the County of Hennepin, State of Minnesota to wit:

Lot 1, Block 1, HUNTERS PLACE

Have caused the same to be surveyed and platted as HUNTERS PLACE 2ND ADDITION and do hereby dedicate to the public for public use the public way and drainage and utility easements as shown on this plat.

In witness whereof said Brian L. Lother and Jacqueline K. Lother, husband and wife, have hereunto set their hands this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Brian L. Lother  
STATE OF MINNESOTA

\_\_\_\_\_  
Jacqueline K. Lother  
STATE OF MINNESOTA

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Brian L. Lother and Jacqueline K. Lother.

\_\_\_\_\_  
(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

### SURVEYOR CERTIFICATE

I Gary Bjorklund do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Gary Bjorklund, Licensed Land Surveyor  
Minnesota License No. 46563

STATE OF MINNESOTA

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Gary Bjorklund.

\_\_\_\_\_  
(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

### CITY COUNCIL, CITY OF CORCORAN, MINNESOTA

This plat of HUNTERS PLACE 2ND ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 2020, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Corcoran, Minnesota

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
Manager

### RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20\_\_\_\_ and prior years have been paid for land described on this plat, dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mark V. Chapin, County Auditor By \_\_\_\_\_ Deputy

### SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969) this plat has been approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chris F. Mavis, County Surveyor By \_\_\_\_\_

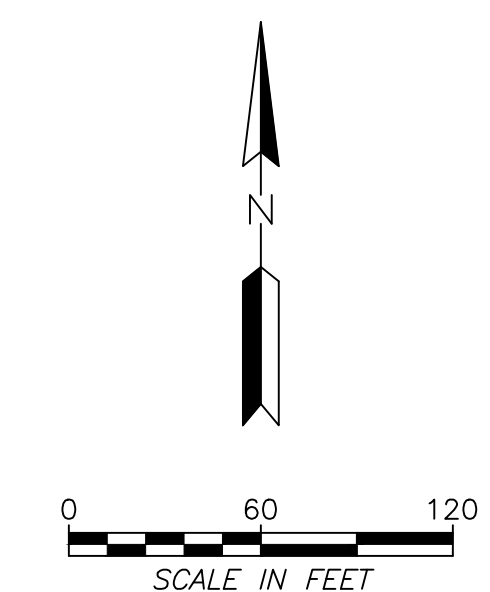
### COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of HUNTERS PLACE 2ND ADDITION was filed in this office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_ o'clock \_\_\_\_M.

\_\_\_\_\_  
Martin McCormick, County Recorder By \_\_\_\_\_ Deputy

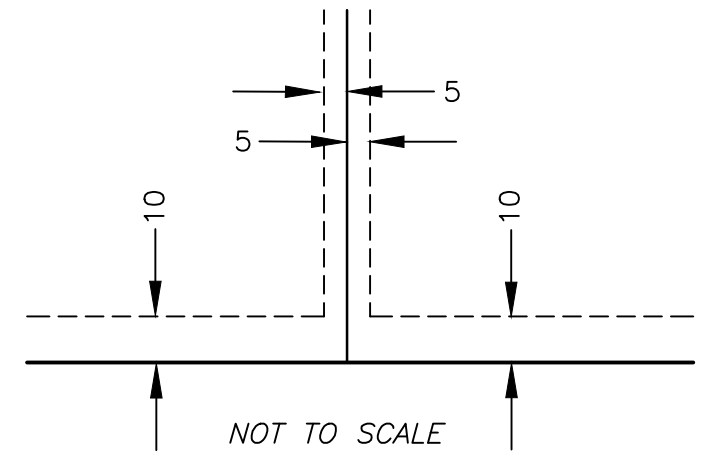
### BEARING ORIENTATION NOTE:

THE EAST LINE OF LOT 1, BLOCK 1, HUNTERS PLACE IS ASSUMED TO BEAR S01°07'46"W.



- LEGEND**
- SET 3/4"O.D.x15" IRON PIPE WITH PLASTIC CAP MARKED 46563
  - FOUND MONUMENT AS DESCRIBED

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES AND BEING 10 FEET IN WIDTH AND ADJOINING PUBLIC WAYS AND REAR LOT LINES, UNLESS OTHERWISE INDICATED ON THIS PLAT.





### Design Requirements

Zoning District	RSF-1
Minimum Lot Size	20,000 sq. ft.
Minimum Lot Width	100'
Front Yard Setback Major Roadways	100'
/ Other Roads	/ 40'
Rear Yard Setback	30'
Side Setback	10'

### Lot Information

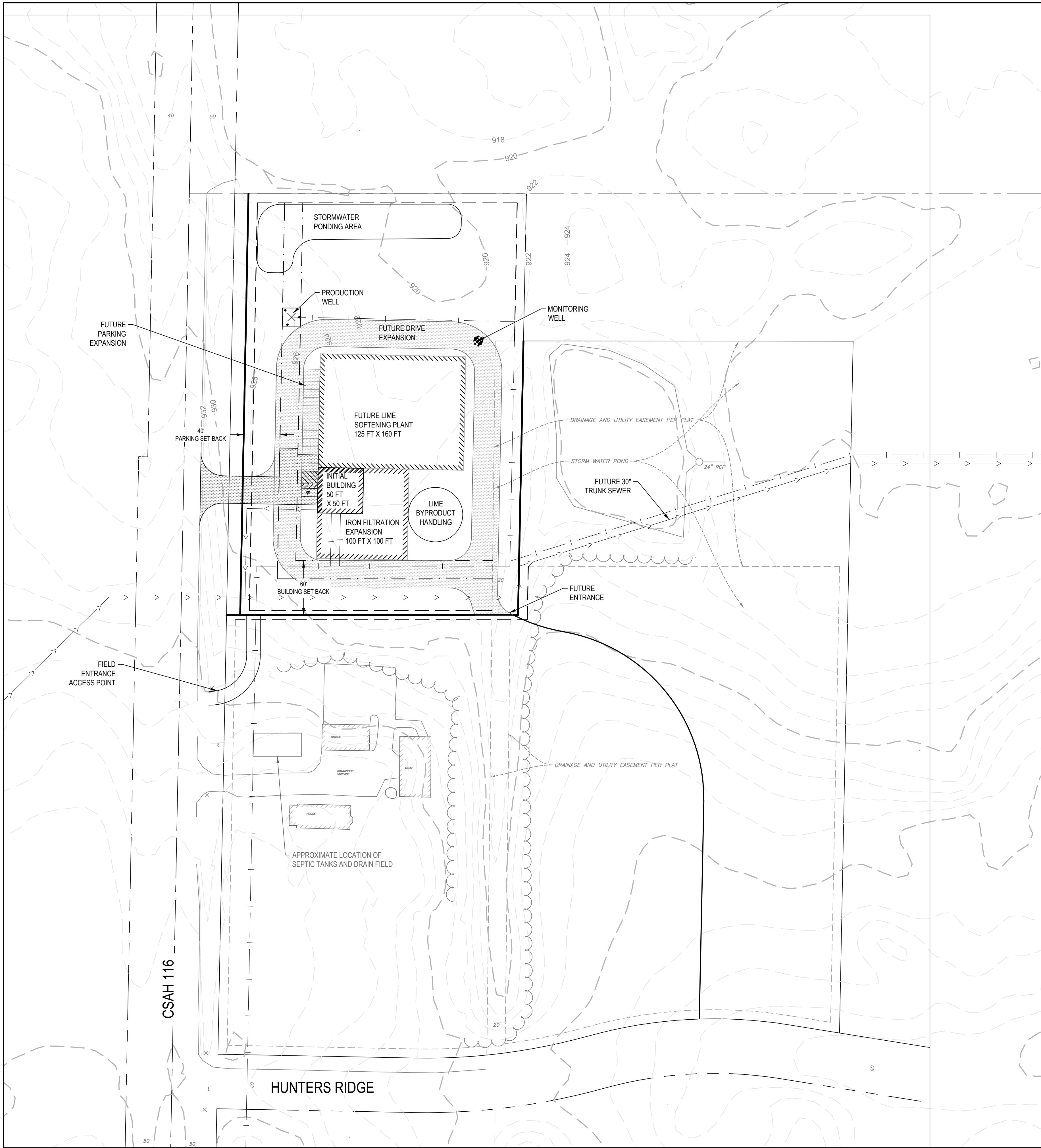
1	23,915 sq. ft.
2	20,285 sq. ft.
3	23,295 sq. ft.
4	113,920 sq. ft.
5	25,935 sq. ft.
6	20,130 sq. ft.
7	21,545 sq. ft.
8	25,160 sq. ft.
9	40,975 sq. ft.
10	81,275 sq. ft.





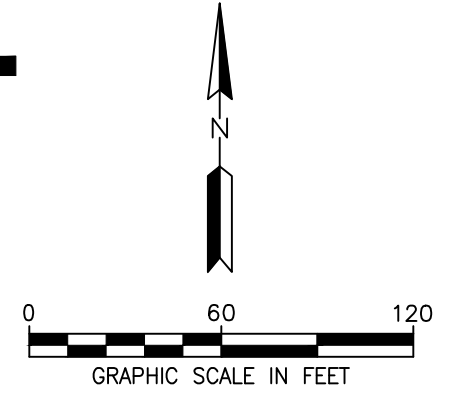
12/14/2020 12:41:21 PM

M:\2294\0048 - NE Water Supply\3\_DESIGN\CAD\2 EXHIBITS\2294-0048 FIG 1 Water Supply Schematic.dwg



### SITE LEGEND

- 9XX EXISTING CONTOUR
- PROPERTY LINE
- EASEMENT LINE
- SANITARY SEWER
- WATERMAIN
- RIGHT OF WAY LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT



CLIENT:  
**CITY OF CORCORAN**  
8200 COUNTY ROAD 116  
CORCORAN, MN 55340



**CITY OF CORCORAN**  
**NORTHEAST WATER SUPPLY**  
8200 COUNTY ROAD 116  
CORCORAN, MN 55340

CERTIFICATION:

*NOT FOR CONSTRUCTION*

PROJECT NO.: 2294-0048

DWN BY: JVB    CHKD BY: JMB    APPD BY: JMB

ISSUE DATE: 08/12/2020

ISSUE NO.: 1

SHEET TITLE:

LOCATION PLAN

SHEET NO.:

**C-101**



105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

**TO:** Corcoran City Council

**FROM:** Kevin Shay through Kendra Lindahl, Landform

**DATE:** February 17, 2021 for the February 25, 2021 City Council Meeting

**RE:** Interim Use Permit for an accessory dwelling unit (ADU) at 6330 Snyder Road (PID 35-119-23-43-0002) (city file no. 20-045)

**120-DAY REVIEW DEADLINE:** April 16, 2021

### 1. Application Request

The applicant, Kevin Henn, has requested approval of an interim use permit to allow an accessory dwelling unit in a new detached garage.

### 2. Planning Commission Review

The Planning Commission reviewed this item at a specially scheduled February 18<sup>th</sup> meeting. In addition to the applicant, one person spoke on this item. Additionally, staff received one letter in support of the request.

The Planning Commission voted 5-0 to recommend approval of the request.

### 3. Context

#### *Level of City Discretion in Decision-Making*

The City's discretion in approving or denying an interim use permit is limited to whether or not the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the interim use permit.

#### *Zoning and Land Use*

The property is in the Urban Reserve (UR) District and is guided Existing Residential on the Future Land Use Map.

#### *Surrounding Properties*

The properties to the north, west and south are also zoned Urban Reserve (UR) and guided Existing Residential. The property to the east is zoned Single Family Residential 2 (RSF-2) and guided Low Density Residential.





### *Natural Characteristics of the Site*

The site has an existing single-family home on the south side of the lot and a wetland located in the center of the lot.

## **4. Analysis of Request**

### Interim Use Permit

The applicant is requesting approval to allow an ADU to be built on the north side of the 6330 Snyder Road property. The proposed 2,000 square foot ADU would contain a 1,200 square foot garage and workshop with an 800 square foot living area, all on one level. The building will contain two bedrooms, one bath, a living room and kitchen. The applicant is intending to have this be the primary residence for his parents for the next 10-15 years. The purpose of the ADU is to have the parents close by to assist in the care of the applicant's 1-year old twins, whom need additional care.

### *Accessory Structure*

A 5.5-acre residential lot is allowed up to a 2,594 square foot footprint for accessory structure. The proposed 2,000 square foot structure footprint plus the estimated 449 square feet of existing detached accessory building appears to comply. Staff has included a condition requiring the applicant to update the survey with existing footprint areas.

The accessory structure has a sidewall height of 10 feet which is the maximum height of an accessory building when located in the front yard.

### *Setbacks*

The ADU is required to have the same setback as the living area of a principal dwelling. The table below includes the required and proposed setbacks.

	Required Setback	Proposed Setback
Front yard setback (west and north lot lines)	50 feet	54 feet
Side yard setback (east lot line)	25 feet	55 feet
Rear yard setback (south lot line)	30 feet	Over 100 feet

### *Utilities*

The ADU is proposed to be served by a new well and septic separate from the well and septic serving the existing home. The applicant provided a septic design the locations of the primary and secondary locations with the application. The septic locations need to be approved by the Hennepin County Public Health Department prior to building permit submittal.

### *Parking*

The garage will have room for three off-street parking spaces within the proposed garage for vehicles. This exceeds the required amount.



### *Architecture*

The proposed architecture for the ADU is a combination of vinyl siding, cedar shake vinyl siding and stone veneer in primarily gray colors to match the existing home. The ADU structure will have a gambrel style roof and barn style windows to match the existing shed, house and character of the surrounding residential area.

### *Wetlands*

An approved wetland delineation report was submitted for 6330 Snyder Road. The 50-foot setback shown for the septic system from the wetland is incorrect. The plans should be updated to show a 75-foot setback consistent with the code requirement from Section 1050.010 Subd. 4(A). The primary septic site may need to shift to accommodate the increased setback.

The existing survey is showing a 10-foot buffer for the wetland. The city standard for a low quality wetland is 15 feet but it is not required to meet the buffer standards when a lot isn't being platted. However, the applicant is encouraged show the correct wetland buffer of 15 feet.

### *Tree Preservation and Landscape*

The site is heavily wooded with a variety of tree species. A variety of buckthorn, honeysuckle, boxelder and cedar trees will be removed for the construction of the ADU and primary septic site. The existing wooded areas on the north and east sides of the site will be preserved and maintained as buffers from adjacent properties.

The UR district permits ADU's as an IUP in Section 1040.020 Subd. 5. The IUP for an ADU is subject to the following additional conditions:

1. *Not more than one accessory dwelling unit shall be allowed on a single-family detached lot.*

Complies.

2. *An accessory dwelling unit shall be located in an existing single family home or above an attached or detached garage that is accessory to a single-family detached home.*

Complies, the ADU will be located in a detached garage.

3. *An attached or detached accessory dwelling unit shall comply with the same minimum building setback requirements as required for the living portion of the principal dwelling unit.*

Complies.

4. *An accessory dwelling unit shall be a clearly incidental and subordinate use, the gross floor area of which shall not exceed the gross floor area of the principal dwelling unit or 800 square feet, whichever is less.*



Complies.

5. *Unless otherwise specified in this Subdivision, a detached accessory dwelling unit shall be subject to the same regulations as provided for under Section 1030 of this Chapter.*

Complies, the ADU meets the size, location, height and architecture standards in Section 1030.

6. *The exterior design of an accessory dwelling unit shall incorporate a similar architectural style, roof pitch, colors, and materials as the principal building on the lot.*

Complies. The ADU uses vinyl siding, cedar shake vinyl siding and stone veneer in primarily gray colors with a gambrel roof similar to the principal structure.

7. *The owner of the property shall reside in the principal dwelling unit or in the accessory dwelling unit.*

The owner will continue to live in the principal dwelling.

8. *There shall be no separate ownership of the accessory dwelling unit.*

There will be no separate ownership.

9. *In addition to the parking spaces required for the principal dwelling unit on the lot, 2 off-street parking spaces shall be provided for an accessory dwelling unit. Such accessory dwelling unit parking spaces shall not conflict with the principal dwelling unit parking spaces, and shall comply with the requirements of this Chapter.*

Complies, there will be three parking spaces provided within the garage.

10. *An accessory dwelling unit shall have a separate address from the principal dwelling unit on the lot, and shall be identified with address numbers.*

This will be addressed at building permit.

11. *The interim use permit shall expire if the principal use of the property changes or the ownership of either the property or the principal use changes.*

This has been included as a condition for approval.

12. *The interim use permit shall be issued for 3 years in accordance with the procedures outlined in Section 1070.030 of the Zoning Ordinance. Such permits will be administratively reviewed every 3 years to ensure compliance with conditions of approval and ordinance requirements for accessory dwelling units. Interim uses found to be in compliance may be extended by the Zoning Administrator for periods of up to 3 years each.*



This has been included as a condition for approval.

Staff finds that the above standards for an interim use permit have been met or can be addressed with the changes discussed in the staff report. We have included conditions in the draft resolution to address these issues.

## **5. Recommendation**

Move to adopt Resolution 2021-17 approving the interim use permit for an accessory dwelling unit for 6330 Snyder Road.

### **Attachments**

1. Resolution 2021-17 approving the interim use permit
2. Site Location Map
3. Engineering Memo dated January 27, 2021
4. Applicant's Narrative dated December 10, 2020
5. Site Plan received December 10, 2020
6. Building Elevations received December 10, 2020
7. Letter from George Gmach

**RESOLUTION NO. 2021-17**

**Motion By:**  
**Seconded By:**

**APPROVING INTERIM USE PERMIT FOR AN ACCESSORY DWELLING UNIT FOR KEVIN HENN AT 6330 SNYDER ROAD (PID 35-119-23-43-0002) (CITY FILE 20-045)**

WHEREAS, Kevin Henn (“the applicant”) has requested approval of an interim use permit to construct an accessory dwelling unit on an existing 5.5-acre parcel legally described as:

*The North 787.63 feet of the East Half of the Southwest Quarter of the Southeast Quarter of Section 35, Township 119, Range 23, Hennepin County, Minnesota. Except Road.*

WHEREAS, the Planning Commission has reviewed the plan at a duly called Public Hearing and recommends approval, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for an interim use permit, subject to the following conditions:

1. An interim use permit is approved to allow construction of an accessory dwelling unit, in accordance with the application materials and plans received by the City on December 10, except as amended by this resolution.
2. The applicant shall comply with all conditions in the City Engineer’s memo dated January 27, 2021.
3. Septic locations must be approved by the Hennepin County Public Health Department prior to submittal of a building permit application.
4. The plans show a new 2,000 sq. ft. building and approximately 449 sq. ft. of existing detached accessory building where 2,594 sq. ft. is allowed. The applicant must update the survey to show the existing detached accessory building footprints to ensure compliance.
5. No commercial use is permitted in the detached accessory building unless a separate home occupation permit is granted.
6. The applicant must comply with all wetland requirements:
  - a. Revise the plans to show a wetland setback of 75 feet for septic structures.
  - b. Although not required, the applicant is encouraged to revise the plans to show a 15-foot wetland buffer in compliance with the wetland buffer standards.
7. The accessory dwelling unit is subject to these specific standards:

**RESOLUTION NO. 2021-17**

- a. Not more than one accessory dwelling unit shall be allowed on a single-family detached lot.
- b. An accessory dwelling unit shall be located in the detached garage that is accessory to a single-family detached home.
- c. The accessory dwelling unit shall comply with the same minimum building setback requirements as required for the living portion of the principal dwelling unit.
- d. The accessory dwelling unit shall not exceed 800 square feet.
- e. Unless otherwise specified in this Subdivision, a detached accessory dwelling unit shall be subject to the same regulations as provided for under Section 1030 of this Chapter.
- f. The exterior design of the accessory dwelling unit shall incorporate a similar architectural style, roof pitch, colors, and materials as the principal building on the lot.
- g. The owner of the property shall reside in the principal dwelling unit or in the accessory dwelling unit.
- h. There shall be no separate ownership of the accessory dwelling unit.
- i. Three off-street parking spaces shall be provided for the accessory dwelling unit. Such accessory dwelling unit parking spaces shall not conflict with the principal dwelling unit parking spaces and shall comply with the requirements of this Chapter.
- j. The accessory dwelling unit shall have a separate address from the principal dwelling unit on the lot and shall be identified with address numbers.
- k. The interim use permit shall expire if the principal use of the property changes or the ownership of either the property or the principal use changes.
- l. The interim use permit shall be issued for 3 years in accordance with the procedures outlined in Section 1070.030 of the Zoning Ordinance. Such permits will be administratively reviewed every 3 years to ensure compliance with conditions of approval and ordinance requirements for accessory dwelling units. Interim uses found to be in compliance may be extended by the Zoning Administrator for periods of up to 3 years each.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

**RESOLUTION NO. 2021-17**

**Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

***City Seal***





# Hennepin County Property Map

Date: 1/13/2021



PARCEL ID: 3511923430002

OWNER NAME: Anastasia Henn & Kevin Henn

PARCEL ADDRESS: 6330 Snyder Rd, Corcoran MN 55340

PARCEL AREA: 5.45 acres, 237,512 sq ft

A-T-B: Torrens

SALE PRICE: \$377,000

SALE DATA: 02/2020

SALE CODE: Warranty Deed

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Residential  
HOMESTEAD: Non-Homestead  
MARKET VALUE: \$318,000  
TAX TOTAL: \$4,946.54

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Residential  
HOMESTEAD: Homestead  
MARKET VALUE: \$375,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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# Engineer's Memo



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**To:** Kevin Mattson, PE, Director of Public Works  
**From:** Kent Torve, PE, City Engineer  
**Date:** January 27<sup>th</sup>, 2021  
**Subject:** 6330 Snyder Road Accessory Dwelling Unit

---

The parcel at 6330 Snyder Road is being proposed to have an accessory dwelling unit. The plans received on December 10<sup>th</sup> were reviewed. Engineering and public works comments are as follows:

## 1.0 Site Plan Comments

- 1.1 Proposed culvert size and type shall be labeled and shall follow City standards. Driveway permit will be necessary.
- 1.2 Existing house driveway culvert size shall be labeled.
- 1.3 Culvert under Snyder Road should be labeled with diameter.
- 1.4 Existing conditions drainage arrows shall be added.
- 1.5 Slab on grade elevations appear reasonable. Any below grade construction will require additional stormwater analysis and engineering.
- 1.6 Install new mailbox in accordance with Post Office guidance in terms of placement and height. It is recommended to install a swing-away style to assist with winter maintenance needs.
- 1.7 Proposed contours and grading will be reviewed at building permit, any disturbance over 1 acre will trigger WMO review.

# 6330 SNYDER ROAD GARAGE AND ADU INTERIM USE APPLICATION

## Project Description

- a. **Nature of request:** We are proposing a 1200 sf garage and workshop with an attached 800 sf accessory dwelling unit on our 5.5 acre property. We are proposing all 1-story construction for accessibility for Kevin's parents who have difficulty with multi-story living. This will be their primary residence for the next 10-15 years.

Homeowners Kevin and Anastasia require having Kevin's parents close by as we have 1-year-old twins with special needs. They both were diagnosed with a rare genetic neurological disorder at 2 months of age. Kevin's parents assist full time in the care and rehabilitation efforts for the boys and having them in close proximity is essential for the boys' development and growth. One of the twins is immobile and is certified disabled with the state of Minnesota. We are also seeing this ADU as a future housing opportunity for our son(s) for independent living which is another reason why having a 1-story construction is an important requirement. This project would help our family out immensely presently and in the future.

The ADU will have two bedrooms, 1 bath, a living room, and a kitchen. The unit will have its own well and septic system as it is located over 500 feet from our existing home. The character of the structure will match the existing gray home and shed. The unit is located on the north end of the site as siting it elsewhere is not feasible due to other wetland setbacks, current structures, and grade restrictions.

Our builder will be DJI Construction owned by our neighbor. He will be submitting our application.

- b. **Impact on adjacent properties:** There will be a wooded landscape buffer on the north and east side of the property where the adjacent neighbors live. There is no home on the west side of Snyder and the homeowner lives to the south of the project.
- c. **Buildings to be constructed:** There will be a 2,000 sf structure built, and it will be subdivided into separate uses. 800 sf will be home for the homeowner's parents. The 1200 sf garage and heated shop will be used by the homeowner.
- d. **Intended Use:** The ADU occupant will be the homeowner's senior parents. The garage will be shared between homeowner and homeowner's parents. The heat workshop will be used by the homeowner and will have tools, atvs, fabrication equipment, and space for storage.
- e. **Hours of operation:** Home will be occupied year-round. Shop will be used as needed.
- f. **# of employees:** Not Applicable
- g. **Size of operation:** Not Applicable
- h. **Impact of Traffic:** There will be driveway access from Snyder Road and a 2.5 car garage.
- i. **Impact on septic and well:** There will be a separate septic and well servicing this structure. Attached is a septic design from a certified septic designer. Homeowner is working on the application with LGU and shopping around for bids.

- j. **Environment Impacts:** It is our goal to have minimal environmental impacts for our lot for this project. The property contains low-quality wetlands and heavy tree coverage. The impact mitigation on both is described below.
- i. Wetlands
    1. A wetland delineation study was done, and the site plan reflects locations and setbacks required to avoid environmental impacts.
    2. The report has submitted wetland delineation for approval with Wenk and paid the fees and escrow for the review process.
    3. The report found two Type 1 wetland areas in the project boundary, identified in the report as Basin 1 and Basin 2.
    4. Basin 2 does not require setbacks according to Section 1050 Subd. 5 Part D of the city code: *A wetland that is a Type 1, 2 or 6 wetland as defined in Minnesota Statutes Section 103G.005, subdivision 17b and that is located outside the Natural Resources Corridors identified on City Maps.*
    5. Basin 2 is located outside the NRC identified on City Maps.
    6. Basin 1 is located inside the NRC identified on City Maps but is 130' away from the structure and 77' away from edge of septic mound and observes all setbacks regardless.
  - ii. Tree Coverage
    1. The structure is located on the high point of the site, and existing vegetation is minimal within the footprint with buckthorn and invasive honeysuckle being the primary coverage. There are 4 cedar trees in the footprint as well and we are preserving the largest one.
    2. The septic mound will be placed strategically in an area with minimal tree coverage. The plan identifies two potential areas for septic:
      - a. Primary Location - minimal impact on environment, 4 boxelder tree removals required, tank is accessible by driveway, mound will be seeded with native grass mix for natural look.
      - b. Secondary Location - large impact on environment, 20+ tree removals including oaks and ash trees, loss of wood buffer along Valley View Road, difficult area to reach for tank pumping.

See Septic Design attachment for locations and impact.
    3. Oaks, Ash, Cedar, and Aspen trees are being preserved. Buckthorn, 3 Cedar trees and Boxelder will be removed as needed. Backyard will be a wooded lawn, and no trees outside the construction area will be removed.
  - k. **Buffers from adjacent properties:** Wooded landscape buffers exist and will remain on north and east side of the proposed site. No homes are on the west side on the adjacent side of Snyder. A wetland is adjacent on the east side. A single family home is on the north side across Valley View Road. Homeowner's home is on the south side.
  - l. **Future expansion plans:** No expansion planned. Building to max allowed SF per city code.

- m. **Nature of other uses in neighborhood:** Adjacent neighbors to the south, north, and east have outbuildings and/or workshops/and or pole barns. Neighbor to south has similar gambrel gable style workshop at similar dimensions and setbacks.

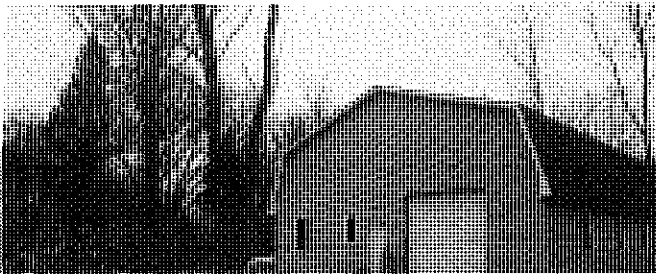
**Existing Shed- Gray siding with Gambrel Roof**



**Existing Home - Gray Vinyl and Brick Siding**



**Neighbor's Shop - Gray Vinyl with Gambrel Roof**



# SNYDER ROAD GARAGE AND ADU

6330 SNYDER ROAD, CORCORAN, MN 55340



## PROJECT DIRECTORY

### OWNER

HENN FAMILY  
6330 SNYDER ROAD  
CORCORAN, MN 55340  
T: 612-246-5976  
CONTACT: KEVIN HENN

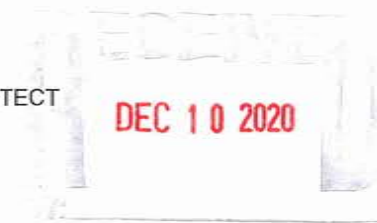
### BUILDER

DJY CONSTRUCTION LLC

CORCORAN, MN 55340  
T: 612-490-7136  
CONTACT: DMITRIY SECHKO

### LANDSCAPE ARCHITECT

6330 SNYDER ROAD  
CORCORAN, MN 55340  
T: 612-246-5976  
CONTACT: KEVIN HENN



Sheet List Table	
Sheet Number	Sheet Title
COVER PAGE	L000
SURVEY	L001
AERIAL PLAN	L002
SITE PLAN	L100
TAKE OFFS	A003
FLOOR PLAN	A101
2ND FLOOR ATTIC	A102
UTILITY PLAN	A203
SECTION	A301
ELEVATION	A302
ELEVATION	A303
DETAILS	A400

GARAGE AND  
ACCESSORY  
DWELING UNIT

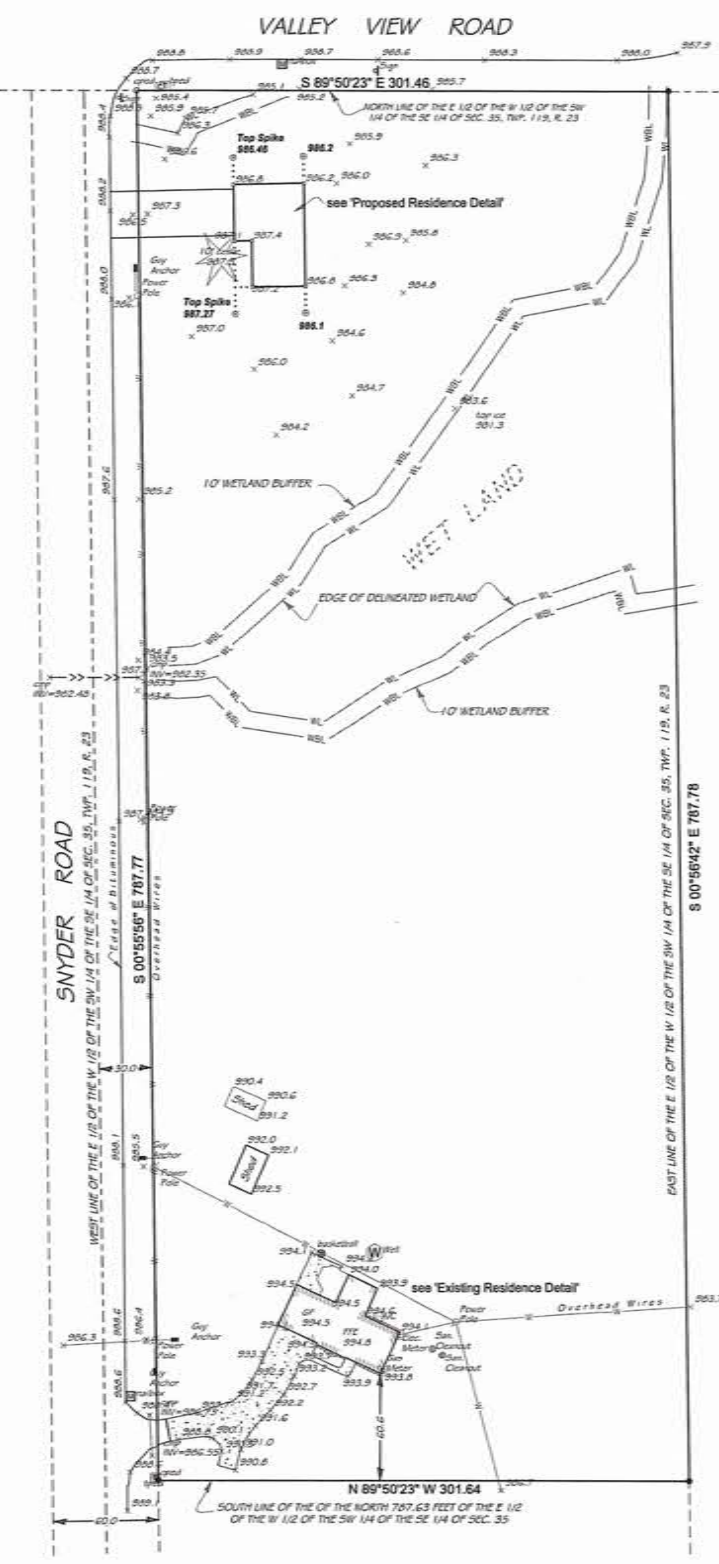
6330 SNYDER ROAD  
CORCORAN, MN

REVISION

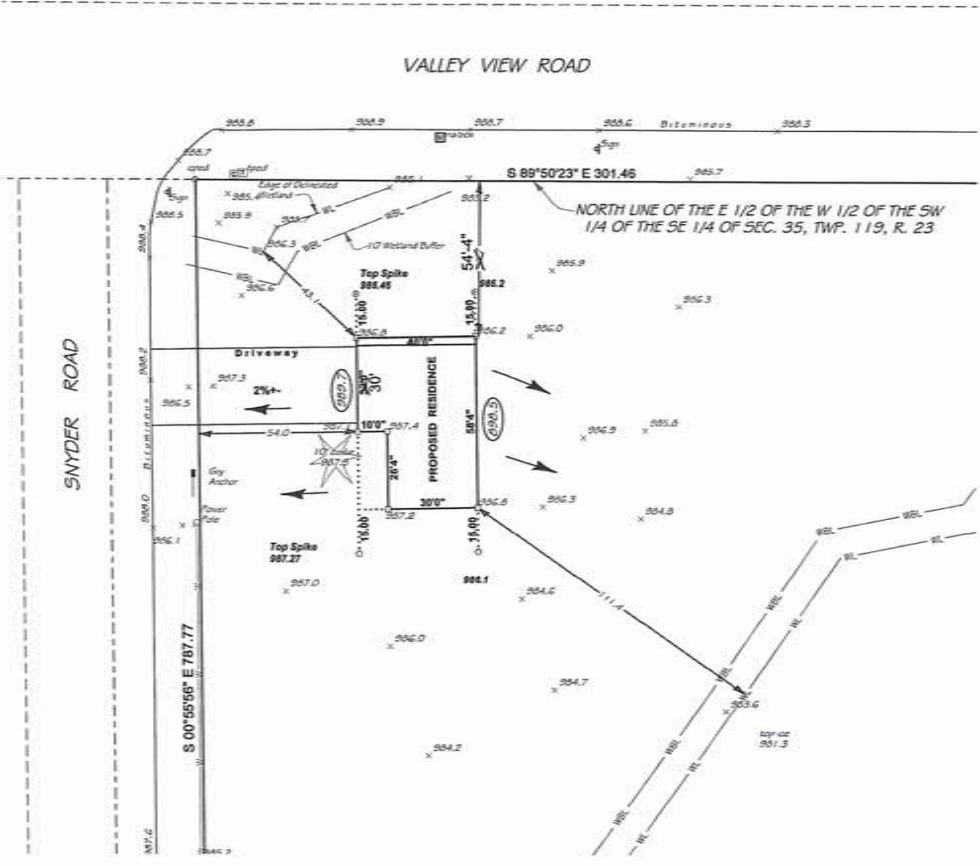
COVER PAGE

L000

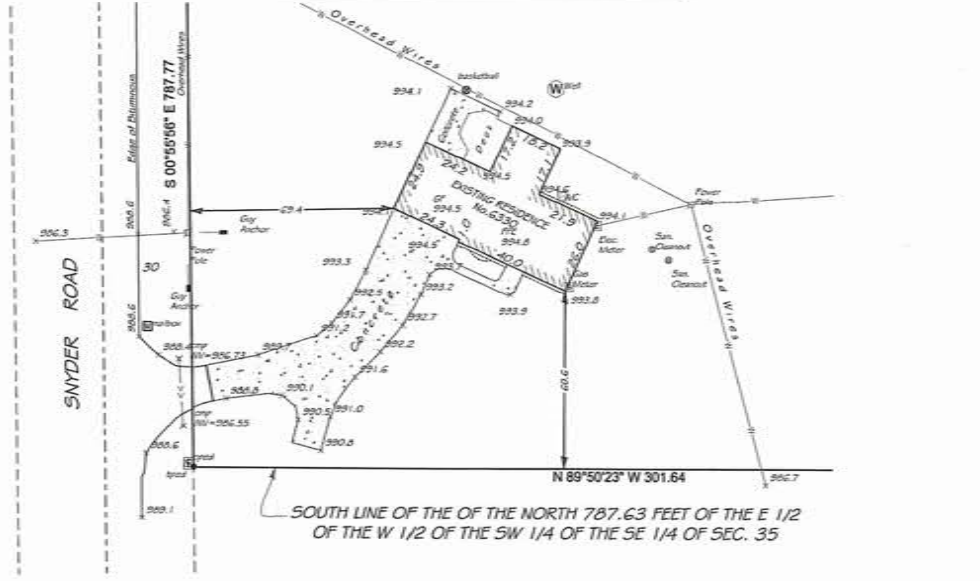




Proposed Residence Detail Scale: 1" = 30'



Existing Residence Detail Scale: 1" = 30'



Proposed Building Elevations

930.0	Proposed Main Floor
920.0	Proposed Top of Foundation
889.7	Proposed Garage Floor
Type of Building: Slab on Grade	

Legal Description

The North 787.63 feet of the East Half of the West Half of the Southwest Quarter of the Southeast Quarter of Section 35, Township 119, Range 23, Hennepin County, Minnesota. Except Road.

Miscellaneous Notes

- Property Address: 6330 Snyder Road, Corcoran, MN 55340  
PID No.: 25-119-23-43-0002
- Area of Parcel = 237,512 sq. ft. (5.45 acres)
- Property is in Flood Zone "X" (area of minimal flooding) per FEMA panel map number 27053C0158F dated 11/04/2016.
- Title insurance commitment showing property description and any encumbrances of record not provided, survey subject to change.
- Property located in Section 35, Township 119, Range 23, Hennepin County, Minnesota.
- Benchmark: Global Positioning System
- Delimited wetland location per information from: Jacobson Environmental, PLLC. 5821 Humboldt Avenue North Brooklyn Center, MN 55430 612-802-6619 - cell

Legend

- Denotes Found Iron Monument
- Denotes Iron Monument Set
- ⊙ Bolted
- ⊙ Light
- ⊙ Power Pole
- ⊙ Hydrant
- ⊙ Sanitary Manhole
- ⊙ Storm Manhole
- ⊙ Water Manhole
- ⊙ Catch Basin
- ⊙ Telephone Pedestal Riser
- ⊙ Cable Pedestal Riser
- ⊙ Electric Box or Transformer
- Denotes Existing Elevation
- Denotes Delimited Wetland
- Denotes Wetland Buffer
- Denotes Proposed Elevation
- Denotes Surface Drainage

Fl:\survey\35-119-23-43-0002\6330 Snyder road\6330 Snyder road.dwg

FIELD BY: RP  
DRAWN BY: GRP  
CHECKED BY: GRP

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
Surveyed this 19th day of November 2020.  
Signed: *Gregory R. Praszch*  
Gregory R. Praszch Registration No. 24992

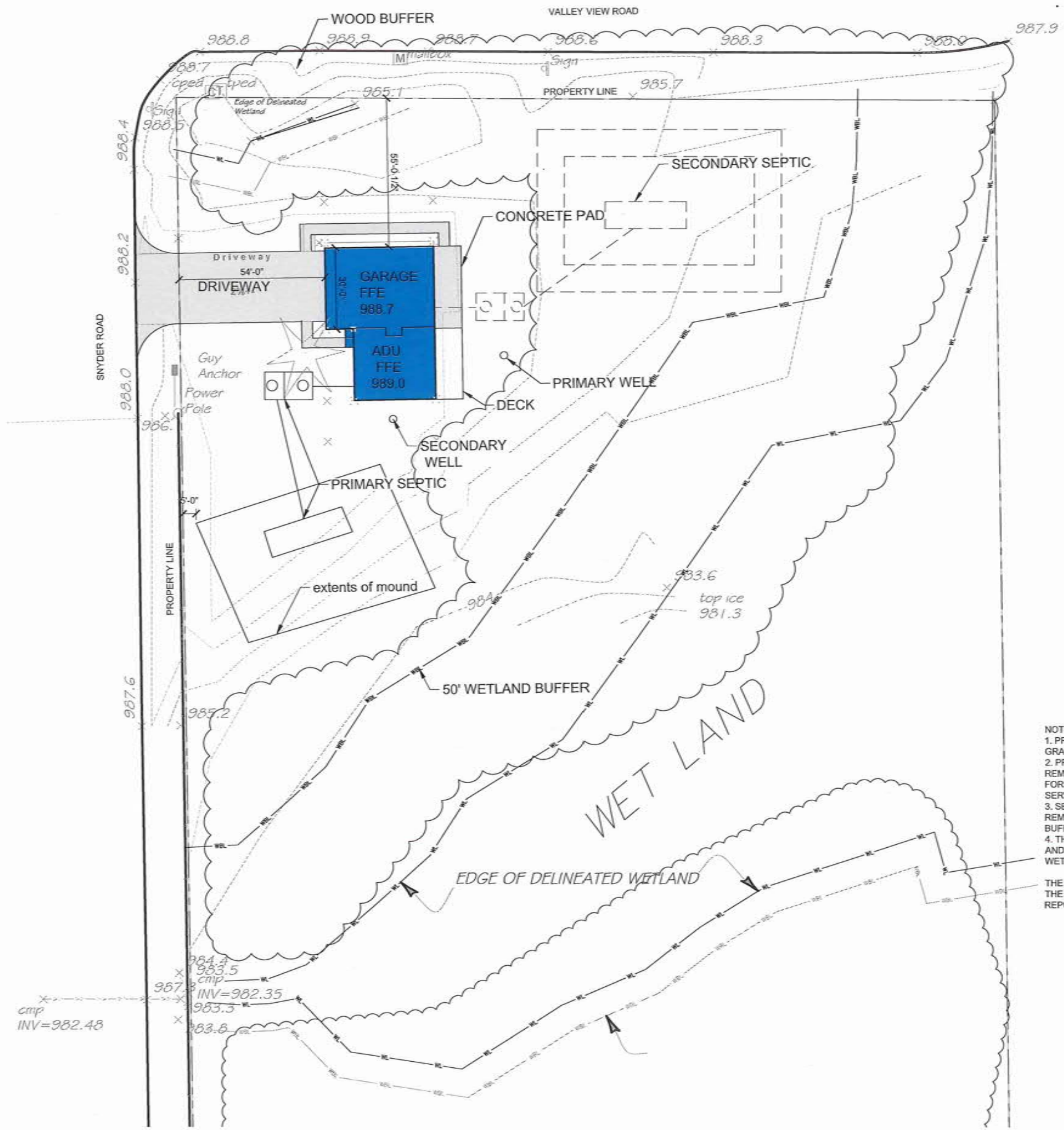
REVISIONS

**DEMARC**  
LAND SURVEYING & ENGINEERING  
7601 73rd Avenue North  
Minneapolis, Minnesota 55428  
(763) 560-3093  
DemarcInc.com

SURVEY FOR:  
**KEVIN HENN**  
6330 Snyder Road  
Corcoran, MN 55340

EXISTING CONDITIONS SURVEY

PROJECT: 89304  
FB No: 1117-14  
SHEET NO.  
1 OF 1



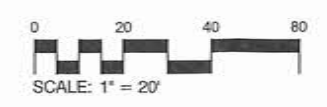
GARAGE AND ACCESSORY DWELING UNIT

6330 SNYDER ROAD  
COROCORAN, MN

- NOTES:
1. PRIMARY SEPTIC MOUND WILL BE SEEDED WITH NATIVE GRASS MIX
  2. PRIMARY SEPTIC MOUND REQUIRES MINIMAL TREE REMOVALS AND HAS EASY ACCESS FROM SNYDER ROAD FOR CONSTRUCTION AND DRIVEWAY ACCESS FOR SERVICE
  3. SECONDARY MOUND REQUIRES MASSIVE TREE REMOVALS OF OAKS AND ASH TREES AND THE WOOD BUFFER WILL HAVE TO BE REMOVED FOR CONSTRUCTION
  4. THE WETLAND IN THE NORTH EAST CORNER IS TYPE 1 AND FALLS OUTSIDE THE NRC MAP BOUNDARY; SEE WETLAND DELINEATION REPORT
- THE WETLAND IN THE SOUTH IS TYPE 1 AND FALLS INSIDE THE NRC MAP BOUNDARY; SEE WETLAND DELINEATION REPORT

REVISION	

SITE PLAN



L100



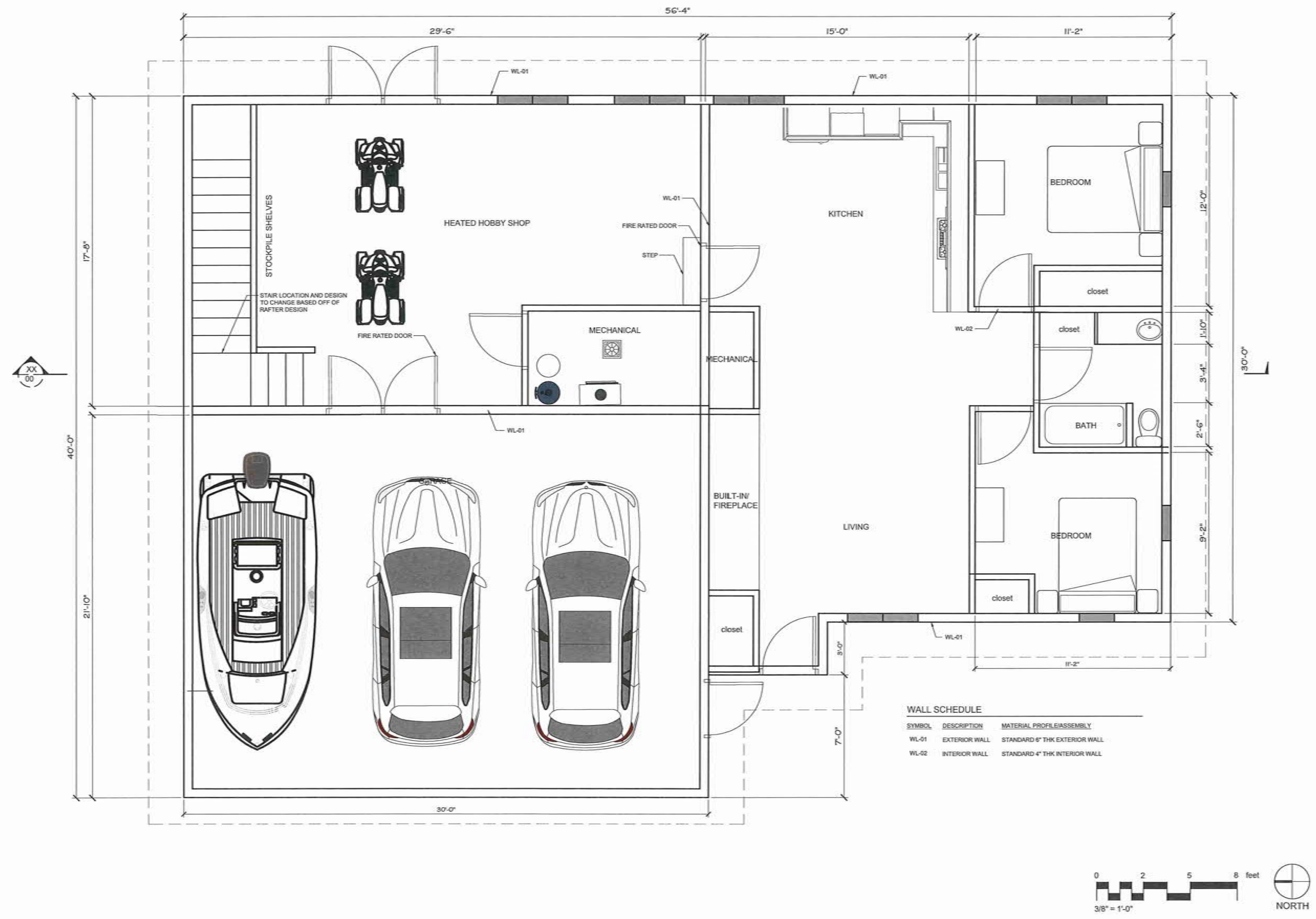
**GARAGE AND  
ACCESSORY  
DWELING UNIT**

6330 SNYDER ROAD  
COROCORAN, MN

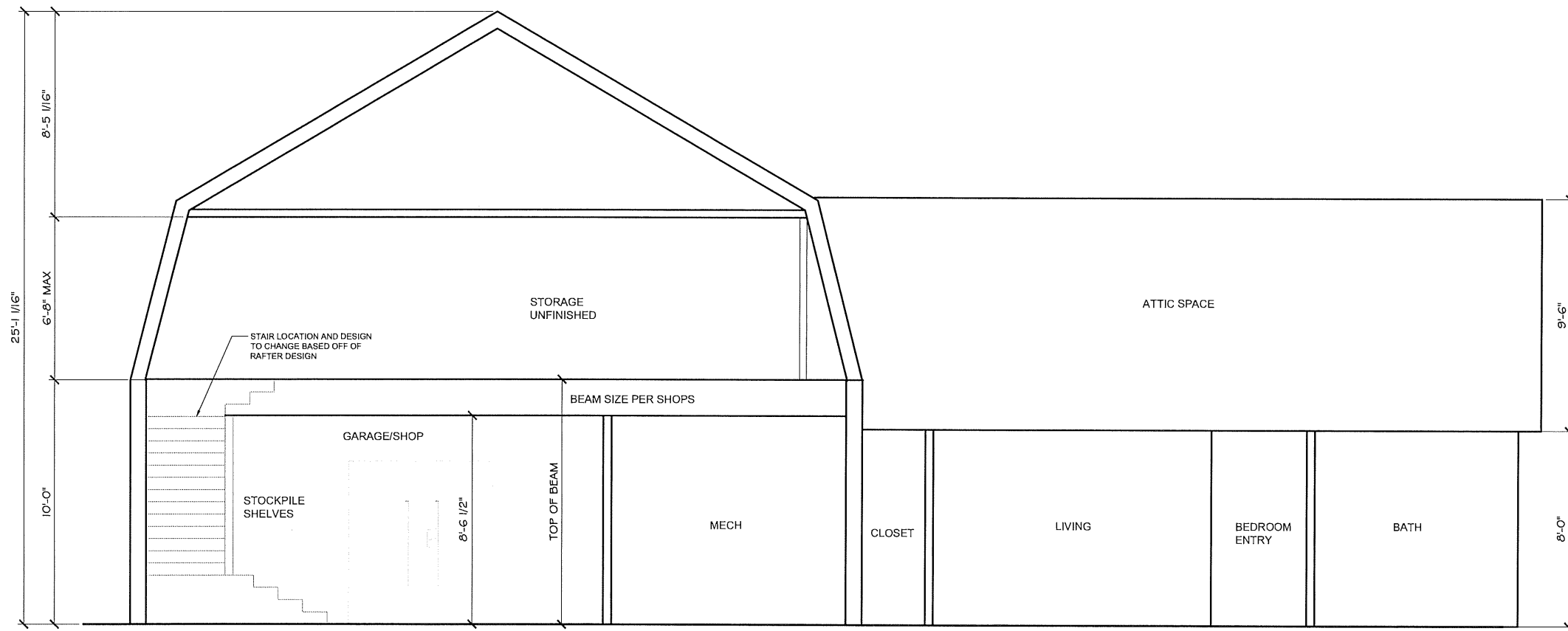
REVISION


**FLOOR PLAN**

**A101**





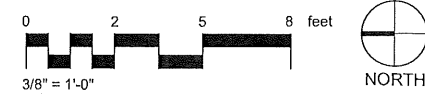


GARAGE AND  
ACCESSORY  
DWELING UNIT

6330 SNYDER ROAD  
COROCORAN, MN

REVISION	DATE

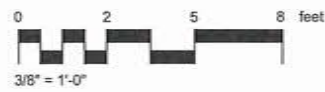
SECTION



A301



WEST ELEVATION



EAST ELEVATION



GARAGE AND  
ACCESSORY  
DWELING UNIT

6330 SNYDER ROAD  
CORCORAN, MN

REVISION \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ELEVATION

A302



SOUTH ELEVATION  
 0 2 5 8 feet  
 3/8" = 1'-0"



NORTH ELEVATION  
 0 2 5 8 feet  
 3/8" = 1'-0"

GARAGE AND  
 ACCESSORY  
 DWELING UNIT

6330 SNYDER ROAD  
 COROCORAN, MN

REVISION


ELEVATION

A303

February 16, 2021

# CITY OF CORCORAN

8200 COUNTY ROAD 116  
CORCORAN, MN 55340

Planning Commission and Council,

I am writing in support of the application for an accessory dwelling unit at 6330 Snyder Road. I have read the current 1040.020– URBAN RESERVE DISTRICT (UR) provisions for an accessory dwelling unit and it appears that the application satisfies the requirements.

I encourage the city to review the ordinance and consider relaxing some of the requirements for accessory dwelling units. The use of secondary dwellings on single properties has a long historic record. In Corcoran it was common, until relatively recent times, to have a second home for a hired hand and their family and many of these accessory dwelling units stand today. Over the years, most have been divided off with some acreage to facilitate sales. In more urban settings, carriage houses, guest houses, or servants' quarters were commonplace. Post WW II suburban planning created rules restricting or prohibiting these types of uses for various reasons, some of which society would not approve of today. Accessory dwelling units are making a return as a way to encourage affordable life-cycle housing and make more efficient use of land.

I will comment on the twelve current provisions in the Corcoran ordinance:

1. Not more than one accessory dwelling unit shall be allowed on a single-family detached lot. **This seems like a reasonable requirement.**
2. An accessory dwelling unit shall be located in an existing single-family home or above an attached or detached garage that is accessory to a single-family detached home. **The detached garage provision does not have a logical purpose. A separate garage may not**



be necessary if suitable storage and parking already exists on the lot. This provision may restrict the logical location of a dwelling building on a lot. Also, an elderly or disabled person living in the unit may, in some cases, not drive.

3. An attached or detached accessory dwelling unit shall comply with the same minimum building setback requirements as required for the living portion of the principal dwelling unit. This seems like a reasonable requirement.
4. An accessory dwelling unit shall be a clearly incidental and subordinate use, the gross floor area of which shall not exceed the gross floor area of the principal dwelling unit or 800 square feet, whichever is less. The first part of this seems reasonable. Using an 800 square foot maximum seems arbitrary and unnecessary. It appears to have been inserted as an easily administered number that does not require judgment and has little other purpose.
5. Unless otherwise specified in this Subdivision, a detached accessory dwelling unit shall be subject to the same regulations as provided for under Section 1030 of this Chapter. Section 1030 deals with general building standards. It also limits the square footage of accessory buildings. Provisions of Section 1030 are beyond the scope of my comments.
6. The exterior design of an accessory dwelling unit shall incorporate a similar architectural style, roof pitch, colors, and materials as the principal building on the lot. Using similar style, materials and color appears to be reasonable. Roof pitch seems more arbitrary. Some existing homes use more than one roof pitch.
7. The owner of the property shall reside in the principal dwelling unit or in the accessory dwelling unit. This is a reasonable provision to avoid absentee rental situations. In my research I have found reference to creative legal ways to circumvent this provision. There are some practical considerations that may also emerge upon the passing of an owner and the time required to process an estate and transfer ownership. Strict enforcement may prove difficult.
8. There shall be no separate ownership of the accessory dwelling unit. This is a reasonable provision.
9. In addition to the parking spaces required for the principal dwelling unit on the lot, 2 off-street parking spaces shall be provided for an accessory dwelling unit. Such accessory dwelling unit parking spaces shall not conflict with the principal dwelling unit parking spaces and shall comply with the requirements of this Chapter. It should be sufficient to say that adequate hard surface or covered parking, or future location of such, can be demonstrated. Whether that is zero additional, one additional or two appears to be situational. Providing two spaces for a grandparent who doesn't drive would simply be a waste of resources and would call additional attention to the accessory use. Providing one or two spaces for a rental unit would be reasonable.

10. An accessory dwelling unit shall have a separate address from the principal dwelling unit on the lot and shall be identified with address numbers. This is logical for emergency response and mail delivery. If there is a separate road access it makes sense to create a new house number. Otherwise, a designation as unit 1 and unit 2 should be sufficient. Adequate visible signage for emergency response should be required.
11. The interim use permit shall expire if the principal use of the property changes or the ownership of either the property or the principal use changes. The concept that this is an interim use and that the use changes once ownership changes is contrary to the concept of allowed accessory dwelling units. Does this mean that if an owner parent sells the property to one of their children, the use terminates and requires a new application?
12. The interim use permit shall be issued for 3 years in accordance with the procedures outlined in Section 1070.030 of the Zoning Ordinance. Such permits will be administratively reviewed every 3 years to ensure compliance with conditions of approval and ordinance requirements for accessory dwelling units. Interim uses found to be in compliance may be extended by the Zoning Administrator for periods of up to 3 years each. Once granted the use should be permanent, not interim. Requiring a 3-year renewal adds uncertainty, creates unnecessary administrative burden, and could discourage investments in accessory dwelling units. Under provisions of Section 1070.030 the use can be terminated “upon a change in the City’s zoning regulations which render the use nonconforming.” An investment in an accessory dwelling unit from scratch is likely to cost from \$150,000 to \$300,00 depending on the quality and the infrastructure improvements necessary. To lose the use at the whim of government seems unreasonable.

I respectfully ask that the Planning Commission and City Council review the Accessory Dwelling Unit concept and consider an update to the ordinance. It is possible that some zoning districts should have differing provisions. I would be happy to assist with research and input relating to this concept. Model ordinances exist and the use is becoming more common.

SINCERELY,

GEORGE B. GMACH

## STAFF REPORT

## Agenda Item 7i.

<b>Council Meeting:</b> February 25, 2021	<b>Prepared By:</b> Kevin Mattson
<b>Topic:</b> Authorization to Bid/Quote 2021 Road Materials	<b>Action Required:</b> Approval

---

### **Summary:**

Annually the City contracts for various road materials. Staff requests authorization to obtain quotes and bids for asphalt maintenance, sealcoating/fog seal, and gravel hauling services.

### **Financial/Budget:**

Costs to purchase the above services are included in the 2021 budget. Staff will adjust the ultimate project scope depending on the cost of the quotes and bids received.

### **Council Action:**

Authorize staff to obtain quotes and bids for asphalt maintenance, sealcoating/fog seal, and gravel hauling services.

### **Attachments:**

N/A

## STAFF REPORT

## Agenda Item 7j.

<b>Council Meeting:</b> February 25, 2021	<b>Prepared By:</b> Kevin Mattson, Pat Meister
<b>Topic:</b> Equipment Purchase – Bobcat Loaders	<b>Action Required:</b> Approval

---

### Summary:

The Public Works Department fleet includes two skid loaders:

- Skid loader with tracks: This is known as the “work horse” skid loader used for heavy duty items such as loading trucks, heavy lifting, and ditching, etc.; a slow moving, heavy piece of equipment for non-delicate work.
- Skid loader without tracks: This is a more nimble, smaller piece of equipment used for various smaller tasks such as asphalt patching, intersection sweeping, moving things around as needed; a fast moving, lighter piece of equipment for quick or delicate work.

Prior to 2013, the Public Works Department had two front-end loaders and one skid loader. A change was made to eliminate one of the more expensive front-end loaders and add a less expensive skid loader with tracks, capable of doing the work needed for the department the additional front-end loader provided.

In 2014, the City Council approved a plan to update the skid loaders annually, which is less expensive than replacing them later in the life cycle. The City budgets to replace the skid loaders annually from the Landscape/Ditching and Park Maintenance funds.

It is requested that the Council approves the purchase of the Bobcat Loaders.

### Financial/Budget:

The cost for the equipment is \$2,000 each (\$4,000 total); total pricing decreased by \$2,500 for 2021 due to market competition. Quotes attached to this report are based upon state contract pricing.

A cost breakdown comparing annual replacement versus retaining the equipment for 5 years is detailed below. Assistance with the estimation of maintenance and replacement costs were provided by the staff at Bobcat.

1. Replace annually: Average annual cost is \$2,000 annually
  - a. Annual cost of \$2,000 for upgrading
  - b. No maintenance cost other than oil change due to warranty
2. Retain for five years: \$17,100 or \$3,420 annually
  - a. Upgrade cost after five years estimated at \$12,500
    - i. Average annual depreciation value is \$500 more than purchase price (\$2,500)
    - ii. This estimate is very conservative, cost could reach \$25,000
  - b. Requires replacement tires/cutting edge at year 2 or 3 estimated at \$2,000
  - c. Annual maintenance after year one estimated at \$650 a year
    - i. Filters alone cost \$500 annually



**Options:**

1. Approve the purchase and trade of the Bobcat Loaders as recommended.
2. Decline to approve the purchase and trade of the Bobcat Loaders.

**Recommendation:**

Approve the purchase and trade of the Bobcat Loaders as recommended.

**Council Action:**

Consider a motion to approve the purchase and trade of the Bobcat Loaders as recommended.

**Attachments:**

1. Quote – T770 T4 Bobcat Compact Track Loader
2. Quote – S66 T4 Bobcat Skid Steer Loader



## Product Quotation

Quotation Number: 30636D030678

Date: 2021-02-17 13:13:01

Ship to	Bobcat Dealer	Bill To
CITY OF CORCORAN 9100 COUNTY RD 19 CORCORAN, MN 55357	Bobcat of Brainerd, Brainerd, MN 11570 MN-371 BUS A BRAINERD MN 56401 Phone: 763-263-0505 Fax: 763-262-0513 -----	CITY OF CORCORAN 9100 COUNTY RD 19 CORCORAN, MN 55357

Description	Part No	Qty	Price Ea.	Total
<b>T770 T4 Bobcat Compact Track Loader</b>	M0285	1	\$51,426.90	\$51,426.90
92 HP Turbo Tier 4 Diesel Engine	Lift Arm Support			
Air Intake Heater (Automatically Activated)	Lift Path: Vertical			
Auxiliary Hydraulics: Variable Flow	Lights, Front & Rear			
Backup Alarm	Operator Cab			
Bob-Tach	Includes: Adjustable Suspension Seat, Top & Rear			
Bobcat Interlock Control System (BICS)	Windows, Seat Bar, Seat Belt			
Controls: Bobcat Standard	Roll Over Protective Structure (ROPS) meets SAE-J1040 & ISO 3471			
Engine/Hydraulic Systems Shutdown	Falling Object Protective Structure (FOPS) meets SAE-J1043 & ISO 3449, Level I; (Level II is available through Bobcat Parts)			
Horn	Parking Brake: Spring Applied, Pressure Released (SAPR)			
Instrumentation: Engine Temp & Fuel Gauges, Hourmeter, RPM and Warning Lights	Tracks: Rubber, 17.7" wide			
	Warranty: 2 years, or 2000 hours whichever occurs first			
P69 Performance Package	M0285-P06-P69	1	\$5,219.20	\$5,219.20
Power Bob-Tach	Hydraulic Bucket Positioning			
7-Pin Attachment Control Kit	Automatic Ride Control			
High Flow	Reversing Fan			
2-Speed				
C37 Comfort Package	M0285-P07-C37	1	\$4,504.50	\$4,504.50
Enclosed Cab with AC/Heat	Deluxe Instrument Panel with Keyless Start			
Sound Reduction	Radio			
Cab Accessories Package	Heated Cloth Air Ride Suspension Seat			
Selectable Joystick Controls (SJC)	M0285-R01-C04	1	\$661.50	\$661.50
17.7" Multi-Bar Tracks	M0285-R09-C05	1	\$1,183.00	\$1,183.00
Roller Suspension Undercarriage	M0285-R21-C13	1	\$1,249.50	\$1,249.50
Telematics US	M0285-R51-C02	1	\$0.00	\$0.00
Rotating Beacon Kit	7129299	1	\$237.23	\$237.23
80" Severe Duty Bucket	7326129	1	\$1,232.72	\$1,232.72
--- Bolt-On Cutting Edge, 80"	6718008	1	\$176.20	\$176.20
<b>Total of Items Quoted</b>				<b>\$65,890.75</b>
Dealer P.D.I.				<b>\$0.00</b>
Freight Charges				<b>\$0.00</b>
Dealer Assembly Charges				<b>\$0.00</b>
Trade-in 2020 T770, C37, P69, STANDARD CONTROL, BUCKET				<b>(\$63,890.75)</b>
<b>Quote Total - US dollars</b>				<b>\$2,000.00</b>

### Notes:

DELIVERED WITH FUEL, BLOCK HEATER INSTALLED

All prices subject to change without prior notice or obligation. This price quote supersedes all preceding price quotes.

**Customer Acceptance:**

Purchase Order: \_\_\_\_\_

**Authorized Signature:**

**Print:** \_\_\_\_\_ **Sign:** \_\_\_\_\_ **Date:** \_\_\_\_\_



## Product Quotation

Quotation Number: 30636D030680

Date: 2021-02-16 16:49:12

Ship to	Bobcat Dealer	Bill To
CITY OF CORCORAN 9100 COUNTY RD 19 CORCORAN, MN 55357	Bobcat of Brainerd, Brainerd, MN 11570 MN-371 BUS A BRAINERD MN 56401 Phone: 763-263-0505 Fax: 763-262-0513 -----	CITY OF CORCORAN 9100 COUNTY RD 19 CORCORAN, MN 55357

Description	Part No	Qty	Price Ea.	Total
<b>S66 T4 Bobcat Skid Steer Loader</b> 74.0 HP Tier 4 V2 Bobcat Engine Auxiliary Hydraulics: Variable Flow Backup Alarm Bob-Tach Bobcat Interlock Control System (BICS) Controls: Bobcat Standard Cylinder Cushioning - Lift, Tilt Engine/Hydraulic Performance De-rate Protection Glow Plugs (Automatically Activated) Horn Instrumentation: Standard 5" Display (Rear Camera Ready) with Keyless Start, Engine Temperature and Fuel Gauges, Hour meter, RPM and Warning Indicators. Includes maintenance interval notification, fault display, job codes, quick start, auto idle, and security lockouts. Lift Arm Support	M0347	1	\$35,611.80	\$35,611.80
	Lift Path: Vertical Lights, Front & Rear LED Operator Cab Includes: Adjustable Vinyl Suspension Seat, Top and Rear Windows, Parking Brake, Seat Bar and Seat Belt Roll Over Protective Structure (ROPS) meets SAE-J1040 and ISO 3471 Falling Object Protective Structure (FOPS) meets SAE- J1043 and ISO 3449, Level I; (Level II is available through Bobcat Parts) Parking Brake: Wedge Brake System Tires: 31x12x16.5, 10 PR, Super Float Tires Two Speed Travel Warranty: 2 years, or 2000 hours whichever occurs first Machine IQ Telematics			
P69 Performance Package "Power Bob-Tach Attachment Control High Flow	M0347-P06-P69	1	\$3,797.00	\$3,797.00
	Two-Speed Dual Direction Bucket Positioning Automatic Ride Control Reversing Fan"			
C68 Comfort Package "Enclosed Cab with HVAC Sound Reduction Touch Display with Radio & Bluetooth	M0347-P07-C68	1	\$5,236.05	\$5,236.05
	Heated Cloth Air Ride Suspension Seat Premium LED Lights Rear View Camera"			
Selectable Joystick Controls	M0347-R01-C04	1	\$567.70	\$567.70
Rotating Beacon Kit	7375338	1	\$242.72	\$242.72
74" Heavy Duty Bucket	7272680	1	\$855.00	\$855.00
--- Bolt-On Cutting Edge, 74"	6718007	1	\$163.42	\$163.42
<b>Total of Items Quoted</b>				<b>\$46,473.69</b>
Dealer P.D.I.				<b>\$0.00</b>
Freight Charges				<b>\$0.00</b>
Dealer Assembly Charges				<b>\$0.00</b>
Trade-in S595, C37, P69, STANDARD CONTROLS, 2SPD, BUCKET				<b>(\$44,473.69)</b>
<b>Quote Total - US dollars</b>				<b>\$2,000.00</b>

**Notes:**

DELIVERED WITH FUEL, BLOCK HEATER INSTALLED

All prices subject to change without prior notice or obligation. This price quote supersedes all preceding price quotes.

**Customer Acceptance:**

Purchase Order: \_\_\_\_\_

**Authorized Signature:**

**Print:** \_\_\_\_\_ **Sign:** \_\_\_\_\_ **Date:** \_\_\_\_\_



**TO:** Corcoran City Council

**FROM:** Kendra Lindahl, Landform

**DATE:** February 18, 2021 for the February 25, 2021 City Council Meeting

**RE:** Request for Preliminary Plat, Variance and Administrative Permit from Wright-Hennepin Cooperative Electric Association at 19835 Larkin Road (PID 25-119-23-32-0001) (city file 20-048)

**60-DAY REVIEW DEADLINE:** March 5, 2021

### 1. Description of Request

The applicant is requesting approval of a preliminary plat to create a parcel for a new electric substation, a variance from the minimum lot size requirements in the Urban Reserve (UR) zoning district and an administrative permit for site plan approval for this essential service.

### 2. Planning Commission Review

The Planning Commission held a public hearing at the February 18<sup>th</sup> meeting.

In addition to the applicant, eight people spoke at the public hearing. The City also received two emails and one petition that were entered into the record.

The Planning Commission voted 4-1 (Jacobs voted nay) to recommend denial of the request based on the finding that the variance standards for the smaller lot size were not met.

The applicant has provided additional information for the City Council that was not available for the Planning Commission. They have a presentation for the February 25<sup>th</sup> Council meeting and a copy of that presentation has been attached to the Council packet.

### 3. Context

#### *Background*

On January 28, 2021, the City Council approved a wetland delineation waiver for the portion of the site that will be retained by the existing landowner. A wetland delineation would be required prior to any development on that lot.

#### *Zoning and Land Use*

The site is guided Low Density Residential and Mixed Residential and zoned UR. The property is in phase 2 (2025-2030) of the 2040 Sanitary Sewer Staging Plan.





*Surrounding Properties*

The properties to the north and east are guided Mixed Residential and Low Density Residential and zoned UR. The property to the south and west is guided Existing Residential and zoned UR.

*Natural Characteristics of the Site*

There are no natural resources identified in the Natural Resource Inventory Areas map. However, there is a potential wetland shown in the center of the site on the proposed outlet.

**4. Analysis:**

Staff has reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, and City Code requirements, as well as City policies.

**A. Level of Discretion in Decision-Making**

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outline in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the preliminary plat.

The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show that the variance standards have been met.

The City's discretion in approving an administrative permit is limited to whether the proposed plan meets the standards outline in the City's zoning ordinance. If it meets these standards, the City must approve the permit.

**B. Consistency with Ordinance Standards**

The applicant is proposing to purchase a portion of land from the existing property owner for a new electrical substation adjacent to the existing 69-kV transmission line. The property will be subdivided to create a new parcel in the southwest portion of the site to be purchased by Wright Hennepin Cooperative Electric Association and the remainder will be retained by the landowner.

Preliminary Plat

The preliminary plat would create one lot and one outlet. The applicant is requesting a variance from the minimum lot size in the UR district for Lot 1:

	<b>RSF-1 district</b>	<b>Lot 1 (substation site)</b>	<b>Outlet A</b>
<b>Minimum Lot Size</b>	20 acres	2.22 acres	35.50 acres
<b>Minimum Lot Width / Depth</b>	300 feet	327.38 feet / 300 feet	619.49 feet / 2,732.31 feet



<b>Front Yard Setback Major Roadways / Other Roads</b>	100 feet / 50 feet	100 feet	N/A
<b>Rear Yard Setback</b>	30 feet	30 feet	N/A
<b>Side Setback</b>	25 feet	47+ feet	N/A

If sewer and water were available to the site, the southern part of the property that is guided Low Density Residential, would be rezoned to RSF-2. The RSF-2 district has a minimum lot size of 11,000 sq. ft., a minimum lot width of 80 feet and no minimum lot depth.

The plat includes dedication of 4.16 acres of land for County Road 116 along Lot 1 and Outlot A and Larkin Road right-of-way (ROW). This dedication is a 60-foot ½ ROW for County Road 116 and a 33-foot ½ ROW for Larkin Road. The city standard would likely be for a 40-foot ½ ROW for Larkin, but the City has historically delayed dedication of right-of-way on outlots like this until the outlot is platted for development. Staff has included this as a condition of plat approval.

Standard drainage and utility easements are provided around the perimeter of the new lots and over the proposed stormwater pond. The developer must provide a stormwater maintenance agreement in recordable form for filing with the plat.

The City Engineer has reviewed the plans and noted concerns about the stormwater pond design that must be reviewed and approved prior to finalizing the plans. Compliance with the city engineer's memo has been included as a condition of approval.

The plans must be revised to relocated trees, shrubs and electrical units outside of the drainage and utility easement for the stormwater pond.

*Park Dedication*

The park dedication ordinance does not clearly outline the park dedication requirements for essential services.

- For schools, religious institutions and other non-profit organizations the dedication requirement shall be determined by the City Council based on anticipated use of City park facilities.
- For commercial and industrial land uses, the dedication requirement is 3% of land or equivalent market value in cash. The 2021 fee schedule establishes it as \$4,498.00/acre.

Staff believes that this use is most like an industrial use, which would require park dedication for Lot 1 as \$9,895.60. We have included this as a condition of approval in the draft resolution.

Variance

The applicant is requesting approval for a variance to allow a 2.2-acre lot where the UR district requires a 20-acre minimum lot size.

In order to approve the variances, the applicant must provide proof to the City that the following variance criteria have been met:





*1. That there are practical difficulties in complying with the Zoning Ordinance.*

The applicant is requesting approval to allow a 2.26-acre lot where the UR district requires a minimum lot size of 20 acres. The 20-acre minimum lot size is intended to preserve land in the MUSA (Metropolitan Urban Service Area) as large parcels that can be readily subdivided when municipal utilities become available. However, once the utilities become available, the property would be rezoned to RSF-2 and developed under those standards. Therefore, the City Council could find that requiring a 20-acre minimum lot size is a practical difficulty because it is a temporary situation only until municipal sewer and water are available (planned to become available 2025-2030) and that this Essential Service does not require municipal sanitary sewer and water.

Alternatively, the City Council could find that the primary obstacles to compliance appear to be financial. The applicant could purchase the entire 40 acre site for the substation or purchase 20 acres to comply with the ordinance minimum standards.

*2. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The City Council could find that the conditions upon which the variance are based are unique because the substation is needed to serve the new and existing development in Corcoran and needs to be in the MUSA but does not require municipal sewer and water like other uses. This use is one of the few uses in the MUSA that would not require these services.

However, the City Council could find that there are a number of UR zoned properties that would like to subdivide into smaller lots and that the circumstances are not unique to this property.

*3. That the granting of the variation will not alter the essential character of the locality.*

Granting the variance from the minimum lot size would not alter the essential character of the locality. The lot is similarly sized the existing lots in the Sturbridge and Oak Ridge Farm neighbors near the site. Once sewer and water become available, the parcel would be rezoned to districts compatible with the underlying land use and would allow 11,000 sq. ft. lots in the RSF-2 district.

*4. The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

Granting the variance would be in harmony with the general purposes and intent of the ordinance. The UR zoning district is to “retain these lands in their natural state or as agricultural uses until sanitary sewer, water, streets and other public infrastructure is available and new development occurs. This will allow orderly development to occur.” This subdivision would create a parcel for essential services/public infrastructure needed to serve existing and planned new development anticipated in the 2040 Comprehensive Plan.

*5. The variance is consistent with the Comprehensive Plan.*



The variance would allow subdivision of the property to create a new electric substation. The Comprehensive Plan growth management framework is to provide adequate infrastructure for the new development anticipated and that “all the necessary public infrastructure and services either are in place or will be built, and ensuring that proposed development will not place a disproportionate economic burden on the community.”

6. *The City may impose conditions on the variance to address the impact of the variance*

The administrative permit section of this report discusses potential conditions that could be considered to address the impact of the variance.

Administrative Permit

The electric substation is considered an “essential service” by the Zoning Ordinance. Essential Services are defined as “*the erection, construction, alteration or maintenance by private or public utilities, or municipal departments of underground or overhead telephone, gas, electrical, steam, hot water, waste, or water transmission, distribution, collection, supply or disposal systems, including poles, wires, mains, drains, sewers, pipes, conduits, cables, fire alarm boxes, police call boxes, traffic signals, hydrants and other similar equipment and accessories in connection therewith for the furnishing of adequate service by such private or public utilities or municipal departments. Essential services shall not include waste facilities*” and are allowed by administrative permit in the UR zoning district.

Essential services are allowed in all districts by administrative approval subject to the standards in Section 1030.090 of the Zoning Ordinance. They are allowed by right or by administrative permit in all districts because they are essential utilities that the city needs to function and the Council developed an ordinance with performance standards to ensure transition to adjacent uses. These types of services are likely to be located near development because development drives the need.

Typically, these uses would be approved administratively by staff, however, because the plat and variance are being sent to the City Council and Council, staff chose to share the administrative permit for site plan approval with the City Council and Council for action.

Section 1030.090 of the Zoning Ordinance, Subd. 4 establishes performance standards for essential services.

*Subd. 4. Performance Standards.*

*A. Except for electrical lines, phone lines, cable television lines, gas lines and similar linear facilities, all essential public services in the Agricultural and Residential zoning districts shall be located on land at least one acre in size. In all other zoning districts, parcels of land for essential services must be at least 1 ½ times the minimum lot area required in the zoning district.*

The ordinance requires a one acre minimum lot size for essential services in the residential zoning districts. The site complies with the one acre minimum lot size for essential services. However, new subdivisions must also comply with the zoning district standards. This means essential



services can go on an existing lot of record in UR district that is at least one acre in size, but new subdivisions must comply with 20-acre minimum lot size standards for the district.

*B. Utility substations and communications antennas permitted by the Corcoran City Code and this Ordinance shall be encouraged to be located on the same parcel; however, the parcel shall be large enough so that all structures and facilities comply with the required setbacks for the zoning district.*

Complies.

*C. The site shall be landscaped and maintained in accordance with Section 1060.070 (Landscaping) of this Ordinance. All above grade lift stations, pump stations, substations and similar structures not located in a building shall be screened.*

The site complies with the minimum landscape standards in Section 1060.070.

This essential service is somewhat different from a typical residential or commercial/industrial standards and does not neatly fall into either category. However, staff reviewed the application against the higher non-residential standard, which requires a minimum of:

- One overstory tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater and
- One understory shrub for each 300 square feet of building or one tree per 30 lineal feet of site perimeter, whichever is greater.

The site perimeter (1,247 feet total perimeter for Lot 1) requirements are the greater standard and require 25 overstory trees and 42 understory shrubs on this site. The plans exceed these minimum standards with 30 overstory conifer trees and 66 understory shrubs. However, the code says not more than 33% of the required trees shall be of one species. The plans should be revised to address these requirements and mix up the tree species on the east and north property lines.

Staff notes that the southern 50 feet of the property is covered by an easement for the existing transmission line, which prohibits overstory trees in that area. In order to provide additional screening to the south, the applicant has received permission from the easement holder to plan a staggered row of Rushmore Arborvitae in this area to provide screening of the substation.

A stormwater pond is located between the substation and the south and west property lines. A native prairie mix will be planted in this area. The city requires a stormwater maintenance agreement for stormwater ponds. This is a condition in the draft resolution.

Additionally, as noted earlier, staff has included a condition that landscaping and electrical equipment be removed from this stormwater drainage and utility easement area.

The site is enclosed with a 7-foot high chain link fence with barb wire at the top for security and complies with all structure setbacks. Fence details must be provided for review and approval by



staff. The landscaping is outside of the fencing and is intended to provide the required buffering. Staff finds that the proposed landscaping adequately buffers but does not fully screen the equipment. If the City Council finds that additional screening is required, they could add a condition that the chain link fence include slats for screening.

The area within the fence is crushed aggregate and driveway is proposed as Class 5. Section 160.060, Subd. 3 of the Zoning Ordinance requires off-street parking areas for non-residential uses to have a perimeter of poured, cast in place, concrete curb around the entire parking lot and shall be surfaced with asphalt, concrete, or other surface as approved by the City Engineer. The City engineer recommends that this area be paved. City essential service sites (the existing lift stations) all have paved parking areas.

While there are no employees and only occasional service calls, the plans must be revised to dimension the two parking stalls for service trucks.

*D. Buildings and structures shall be constructed to be compatible with the size, color, appearance and character of other structures in the zoning district.*

The substation facility is primarily electrical equipment, but does not have a small utility building. The plans show steel roofing (4:12 pitch) and textured block building finish. The applicant should provide material and color samples for review and approval by staff. This finish is typical for other City built utility buildings in residential areas.

However, if the City Council feels that a higher standard is required because of the visibility along CR 116, the variance would allow the City to attach conditions to create a higher standard of finish. Metal roofs are allowed provided they:

- Meet the standards adopted by the Minnesota State Building Code,
- Have concealed fasteners,
- Are high quality commercial thickness/weight,
- Have been treated with a factory applied color coating system against any fading or degradation

Integral colored or decorative concrete block is an acceptable finish for non-residential structures, but if the City Council felt a more residential character was desired, they could require an upgrade to one of the following materials, which are acceptable residential building materials:

- Face Brick.
- Natural stone or cultured stone.
- Wood provided the surfaces are finished for exterior use and wood of proven exterior durability is used, such as cedar, redwood, cypress.
- Stucco or EIFS.
- Vinyl siding
- Fiber cement siding
- Other materials deemed appropriate and subject to approval by the Zoning Administrator.



The flexibility to require an upgrade to the building materials could be part of a finding for approval of the variance. If desired, the City Council could modify condition 3c in the draft resolution to upgrade the materials.

*E. Facilities and equipment shall be removed within 6 months of becoming unnecessary or obsolete.*

Staff has included this as a condition of approval in the draft resolution.

*Subd. 5. Special Districts. Essential public services located in a special overlay district shall comply with the requirements and development guidelines in that district.*

N/A

*Subd. 6. All electrical, cable television, phone lines and similar facilities serving new development within the urban service area shall be located underground.*

N/A. This would apply to the new city well site or other similar facilities, but by definition cannot apply to a substation that needs to connect with the adjacent transmission line.

### Summary

Essential services are permitted in all zoning districts as an administrative approval, due to the essential nature of these utility services. Many of these services are city services but others are private utility companies. It is very common to have these located in residential districts.

The City has lift stations on residential property on the east side of town and in the Rush Creek Reserve development near existing homes and a city well house planned further north on CR 116 (as part of the Hunters Place 2<sup>nd</sup> Addition plat to be reviewed at this meeting). These facilities are located where the trunk infrastructure is built. Similarly, gas and electric substations tend to follow pipelines and transmission lines.

This applicant does have a variance request, which allows the City to consider material upgrades or additional screening that might not otherwise be required. As the City continues to develop, more and more essential services facilities will be required and the Council should be aware that standards applied to this site could become a base line for future city projects.

The City's discretion on this request is related to the variance.

- If the City finds that the variance standards have been met, they should approval all three applications. Staff has provided the draft resolution Approving the request that was presented to the Planning Commission.
- If the City finds that the variance standards have not been met, they should deny all three applications. Staff has provided a draft resolution for denial as recommended by the Planning Commission.



## 5. Recommendation:

Move to adopt Resolution 2021-14 denying the variance, preliminary plat and variance, as recommended by the Planning Commission.

### Attachments

- a. Resolution 2021-14 Denying Preliminary Plat, Variance and Administrative Permit
- b. Resolution 2021-14 Approving Preliminary Plat, Variance and Administrative Permit
- c. Site Location Map
- d. City Engineer's Memo January 2, 2021
- e. Hennepin County Transportation comments dated January 7, 2021
- f. Applicant's narrative dated December 31, 2021
- g. Supplemental narrative information from the applicant January 19, 2021
- h. Preliminary Plat drawings dated January 26, 2021
- i. Civil drawings dated January 26, 2021
- j. Renderings dated January 19, 2021
- k. Neighborhood petition received January 17, 2021
- l. Email from Sanko dated February 2, 2021
- m. Email from Lanterman dated February 18, 2021
- n. Wright Hennepin Electric presentation slides

**RESOLUTION NO. 2021-14**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO DENY THE REQUEST FOR PRELIMINARY PLAT, VARIANCE AND ADMINISTRATIVE PERMIT FOR “SHAMROCK ADDITION” AT 19835 LARKIN ROAD (PID 25-119-23-32-0001) (CITY FILE 20-048)**

**WHEREAS**, the Wright-Hennepin Cooperative Electric Association has requested approval of a preliminary plat, variance and administrative permit for the property legally described as:

See Attachment A

**WHEREAS**, the Planning Commission reviewed the submitted preliminary plat, variance and administrative permit at a duly called Public Hearing and recommends denial, and;

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does deny the request for a variance, subject to the following findings:

1. That there are no practical difficulties in complying with the Zoning Ordinance. The applicant has not provided information to show that they cannot comply with the 20-acre minimum lot size in the Urban Reserve zoning district. The primary obstacle to compliance appears to be financial and economic impacts alone do not constitute a practical difficulty.
2. That the conditions upon which a petition for a variation is based are not unique to the parcel of land for which the variance is sought but were not created by the landowner. There are a number of properties zoned Urban Reserve that would like to subdivide into smaller lots. The circumstances are not unique to this property.
3. That the granting of the variation will alter the essential character of the locality because it will allow a use that is not compatible with the adjacent residential use.

**FURTHER, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does deny the request for a preliminary plat based on the finding that the minimum lot size standards are not met.

**FURTHER, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does deny the request for an administrative permit because the preliminary plat to create the lot for the administrative permit has been denied.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

**RESOLUTION NO. 2021-14**

**Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

***City Seal***



**RESOLUTION NO. 2021-14**

**Attachment A – Existing Legal Description**

The West Quarter of the Southwest Quarter and that part of the West Half of the Southwest Quarter of the Northwest Quarter lying South of Larkin Road, Section 25, Township 119, Range 23, Hennepin County, Minnesota.

**RESOLUTION NO. 2021-14**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A PRELIMINARY PLAT, VARIANCE AND ADMINISTRATIVE PERMIT FOR “SHAMROCK ADDITION” AT 19835 LARKIN ROAD (PID 25-119-23-32-0001) (CITY FILE 20-048)**

**WHEREAS**, the Wright-Hennepin Cooperative Electric Association has requested approval of a preliminary plat, variance and administrative permit for the property legally described as:

See Attachment A

**WHEREAS**, the Planning Commission reviewed the submitted preliminary plat, variance and administrative permit at a duly called Public Hearing, and;

**NOW, THEREFORE, BE IT RESOLVED** that the Corcoran City Council approves the request for a preliminary plat, variance and administrative permit subject to the following findings and conditions;

1. A preliminary plat is approved, in accordance with the plans received by the City on December 15, 2020 and revisions received on January 4, 2021 and January 19, 2021, except as amended by this resolution.
2. A variance is approved to allow for creation of a 2.2-acre Lot 1, where 20 acres is the minimum standard in the Urban Reserve district based on the following findings:
  - a. That there are practical difficulties in complying with the Zoning Ordinance. The applicant is requesting approval to allow a 2.22-acre lot where the UR district requires a minimum lot size of 20 acres. The 20-acre minimum lot size is intended to preserve land in the MUSA (Metropolitan Urban Service Area) in large parcels that can be readily subdivided when municipal utilities become available. However, once the utilities become available, the property would be rezoned to RSF-2 and developed under those standards. Requiring a 20 acre minimum lot size is a practical difficulty because it is a temporary situation only until municipal sewer and water are available (planned to become available 2025-2030) and that this Essential Service does not require municipal sanitary sewer and water.
  - b. That the conditions upon which a petition for a variation is based are unique to the parcel of land because the substation is needed to serve the new and existing development in Corcoran and needs to be in the MUSA but does not require municipal sewer and water like other uses. This use is one of the few uses in the MUSA that would not require these services.
  - c. Granting the variance from the minimum lot size would not alter the essential character of the locality. Once sewer and water become available, the property would be rezoned to districts compatible with the underlying land use and would allowed 11,000 sq. ft. lots in the RSF-2 district.

**RESOLUTION NO. 2021-14**

- d. The proposed variance would be in harmony with the general purposes and intent of the Ordinance. The UR zoning district is to “retain these lands in their natural state or as agricultural uses until sanitary sewer, water, streets and other public infrastructure is available and new development occurs. This will allow orderly development to occur.” This subdivision would create a parcel for essential services/public infrastructure needed to serve existing and planned new development.
  - e. The variance is consistent with the Comprehensive Plan. The variance would allow subdivision of the property to create a new electric substation. The Comprehensive Plan growth management framework is to provide adequate infrastructure for the new development anticipated and that “all the necessary public infrastructure and services either are in place or will be built, and ensuring that proposed development will not place a disproportionate economic burden on the community.”
  - f. The City may impose conditions on the variance to address the impact of the variance.
3. An Administrative Site Plan approval is granted for the electrical substation, subject to the following conditions:
    - a. The landscaping plan must be revised to ensure that not more than 33% of the proposed 30 trees are of any one species. A revised plan must be submitted for review and approval by staff.
    - b. The trees on the east and north property line should include more than one species per property line.
    - c. The applicant must provide building material samples and colors for review and approval by staff.
    - d. Fencing details must be provided for review and approval by the City.
    - e. The parking area shall be revised to show at least two parking stalls for service vehicles.
    - f. The parking area shall be paved as required by the City Engineer.
    - g. Landscaping and electrical equipment shall be shifted to be located outside of the drainage and utility easement for the stormwater pond. The revised plans shall be submitted for review and approval by the city.
  4. The applicant shall comply with all conditions in the Hennepin County Transportation comments dated January 21, 2021.
  5. The applicant shall comply with comments in the City engineer’s memo January 27, 2021.
  6. When Outlot A is developed additional right-of-way for Larkin Road shall be required.

**RESOLUTION NO. 2021-14**

7. The applicant shall enter into a Site Improvement Performance Agreement and provide a financial guarantee to protect the work.
8. Facilities and equipment shall be removed within 6 months of becoming unnecessary or obsolete.
9. The applicant must provide a landscape maintenance plan for review and approval by the City.
10. Right-of-way dedication shall be as shown on the preliminary plat. When Outlot A develops additional right-of-way will be required for Larkin Road.
11. The preliminary plat drawing should be revised to remove the note in the northwest corner regarding a proposed drainage and utility easement as the easement is not in that location but will be located over the entirety of Outlot A.
12. Prior to release of the final plat for recording:
  - a. A drainage and utility easement must be provided over the stormwater pond and shown on the plat.
  - b. The developer must enter into a stormwater maintenance agreement with the City. The agreement shall be recorded with the final plat.
  - c. Park dedication shall be due for Lot 1 based on the commercial park dedication rate in place at the time the final plat is released for recording. Park dedication shall be due for Outlot A when development is proposed.
13. Prior to issuance of building permits:
  - a. Lot monuments shall be installed as required by the Subdivision Ordinance.
  - b. Record the approving resolutions, mylar and all related documents at Hennepin County and provide proof of recording to the City.
  - c. The applicant shall provide the approved preliminary and final plat drawings to the City in an electronic (AutoCAD) format.
14. Approval of the preliminary plat shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of a final plat.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

**RESOLUTION NO. 2021-14**

**Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

***City Seal***

**RESOLUTION NO. 2021-14**

**Attachment A – Existing Legal Description**

The West Quarter of the Southwest Quarter and that part of the West Half of the Southwest Quarter of the Northwest Quarter lying South of Larkin Road, Section 25, Township 119, Range 23, Hennepin County, Minnesota.



# Hennepin County Property Map

Date: 1/13/2021



PARCEL ID: 2511923320001

OWNER NAME: Shamrock Land Llc

PARCEL ADDRESS: 19835 Larkin Rd, Corcoran MN 55340

PARCEL AREA: 38.87 acres, 1,693,161 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Farm

HOMESTEAD: Non-Homestead

MARKET VALUE: \$869,400

TAX TOTAL: \$10,055.38

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Farm

HOMESTEAD: Non-homestead

MARKET VALUE: \$1,258,200

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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# Technical Memo



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**To:** Kevin Mattson, PE, Director of Public Works

**From:** Kent Torve, PE City Engineer  
Steve Hegland, PE

**Date:** January 27<sup>th</sup>, 2021

**Subject:** Shamrock Substation - Plan Review

---

Wright-Hennepin Cooperative Electric Association submitted plans for the Shamrock Substation for City of Corcoran review. Plans dated December 15<sup>th</sup>, 2020 have been received December 21<sup>st</sup>, 2020 for the proposed Shamrock Substation. The following comments are regarding the plans submitted and should be considered and addressed. Additional reviews are to be expected as the project moves forward. Please provide written response to this review memo.

## **1.0 General**

- 1.1 The property owner shall own and maintain the stormwater infrastructure. A stormwater maintenance agreement will be required.
- 1.2 Access to County Road 116 to be reviewed and approved by Hennepin County.
- 1.3 Escrow will be necessary to cover City inspection, MS4 and Letter of Credit for Site Improvement Performance Agreement (at Final Plat).
- 1.4 Paving of the gravel access to the building will be required. Curb and gutter will not be required as the drainage patterns do not impact offsite properties and is consistent with city installed utility improvements.
- 1.5 Use applicable city detail plates, including landscaping.

## **2.0 Transportation**

- 2.1 Radius to comply with County standards (typically has been 35' or 40').
- 2.2 Road to be privately owned and maintained.

## **3.0 Stormwater Management and Grading**

### **Storm Sewer**

- 3.1 Outlet control structure to comply with City detail plate.
- 3.2 Riprap at flared ends to comply with City detail plate.
- 3.3 Provide energy dissipation at flared end sections per City detail plate.
- 3.4 Rock construction entrance to comply with City detail plate.
- 3.5 Provide detail for 4" TP underdrain.



Stormwater Management

- 3.6 Infiltration basins are not feasible in Corcoran's heavy soils. City prefers a system with a filtration bench and NURP pond system due to less long-term maintenance costs (these have been permitted by the WMO). A filtration basin will require drain tiles, cleanouts, vegetation plan, and sand cross section per City detail.
- 3.7 It appears that landscaping and site components are below the HWL of the pond. All site components shall be located outside of the HWL and all landscaping components within the basin shall be reviewed and approved by the city.
- 3.8 Use CN of 98 (instead of 96) for gravel surfaces.
- 3.9 100-year events are required to be conveyed through an OCS (not EOF).
- 3.10 Pond footprint is appropriately sized.
- 3.11 Pond grading to follow City detail.
- 3.12 EOF's to comply with City standard details.
- 3.13 EOF for stormwater basin to be set at 1' above HWL. Top of berm to be constructed minimum 6" above EOF elevation.
- 3.14 Show existing contours/drainage at property to the south. Verify drainage is not being affected.
- 3.15 City recommends adding a cleanout to the south end of the 4" TP underdrain north of the bend.
- 3.16 Show calculations to ensure 15" road culvert is adequate.
- 3.17 Identify where snow storage will be onsite. With filtration systems, location of snow storage and effects on premature fouling are a concern.

Grading

- 3.18 North berm needs to be adjusted to add swale for drainage conveyance to west to prevent ponding on adjacent property. Should bypass filtration basin.
- 3.19 Show drainage arrows on berms.
- 3.20 Show drainage arrows at site entrance. Minimum 1.5% slope on bituminous surfaces.
- 3.21 Show grading contours in pond/basin.

**4.0 Erosion Control, Misc.**

- 4.1 Silt fence to be added around pond perimeter prior to construction.
- 4.2 Berm shall have erosion control blanket as it is a 3:1 slope.
- 4.3 Owner shall be responsible to comply with SWPPP.
- 4.4 City of Corcoran is an MS4 city and site visits to be conducted weekly.
- 4.5 Provide detail for security fence.



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**5.0** **Plat**

- 5.1 Provide drainage easement over pond/basin and swales.

# HENNEPIN COUNTY

## MINNESOTA

January 7, 2021

Ms. Kendra Lindahl, AICP  
Principal Consultant  
City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

Re: Final Plat Review – Wright-Hennepin Electric Substation (Received 12/18/20)  
County Road (CR) 116  
Hennepin County Plat Review ID #3851A (Reviewed 12/22/20)

Dear Ms. Lindahl:

Please consider the following county comments of this final plat proposal by Wright-Hennepin Electric Cooperative to subdivide two acres of 40-acre vacant farmland to develop a substation.

**Access:** Pending preferred sight distance verification, we accept the proposed access on County Road (CR) 116, approximately 300 feet north of the south parcel boundary. With any potential future redevelopment, we recommend an internal street network connection to replace the CR 116 access.

**Right-of-way:** We appreciate and support the proposed 20-foot right-of-way dedication along CR 116, matching our preferred 60-foot half section.

**Storm Water / Drainage:** We support the proposed infiltration basin. Please ensure discharge rates remain less than existing flow rates. The county storm water system will not take water from new drainage areas. Additional treatments may be necessary if flow rates cannot match existing. *Contact: Drew McGovern at 612-596-0208 or [drew.mcgovern@hennepin.us](mailto:drew.mcgovern@hennepin.us)*

**Permits:** Please inform the developer that all construction within county right-of-way requires an approved Hennepin County permit prior to beginning construction. This includes, but is not limited to, driveway and street access, drainage and utility construction, trail development, and landscaping. *Contact: Michael Olmstead, Permits Coordinator at 612-596-0336 or [michael.olmstead@hennepin.us](mailto:michael.olmstead@hennepin.us)*

Please contact *Jason Gottfried: 612-596-0394, [jason.gottfried@hennepin.us](mailto:jason.gottfried@hennepin.us)* for further discussion.

Sincerely,



Carla Stueve, PE, PTOE  
County Highway Engineer

Hennepin County Transportation Project Delivery  
Public Works Facility, 1600 Prairie Drive, Medina, MN 55340  
612-596-0300 | [hennepin.us](http://hennepin.us)





# Hennepin County Natural Resources Map

Date: 6/8/2020

## Legend

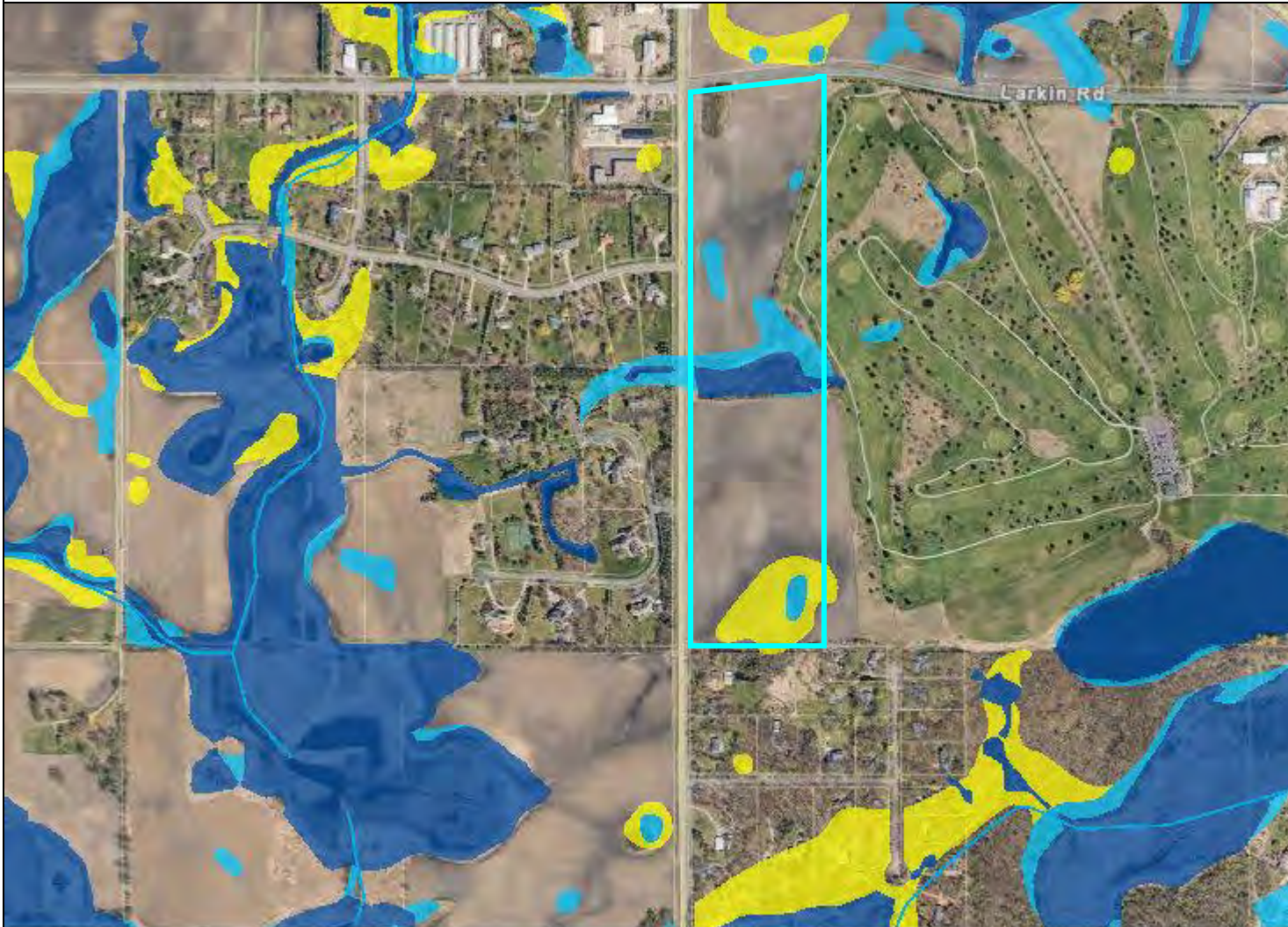
— Streams

## Wetlands

■ Potential Wetland - HCWI

■ Probable Wetland - HCWI

■ Probable Wetland - NWI



PID: 2511923320001  
Address: 19835 LARKIN RD,  
CORCORAN  
Owner Name: SHAMROCK LAND LLC  
Acres: 38.87

Comments:

1 inch = 800 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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**CERTIFICATE OF SURVEY  
AND  
PRELIMINARY PLAT  
OF  
SHAMROCK ADDITION**

**PROPERTY OWNER**  
Shamrock Land, LLC

**DEVELOPER:**  
Wright Hennepin Cooperative Electric Association  
Bryant Tauer  
P.O. BOX 330  
ROCKFORD MN 55373

**PROPERTY DESCRIPTION**  
The West Quarter of the Southwest Quarter and That Part of the West Half of the Southwest Quarter of the Northwest Quarter Lying South of Larkin Road, Section 25, Township 119, Range 23, Hennepin County, Minnesota.

**EXISTING PID:** 25-119-23-32-0001

**PROPERTY ADDRESS:** 19835 Larkin Road, Corcoran, MN 55340

**PROPOSED AREAS:**  
Outlot A: 35.50 Acres  
Lot 1 Block 1: 2.22 Acres  
Road right-of-way: 4.16 Acres

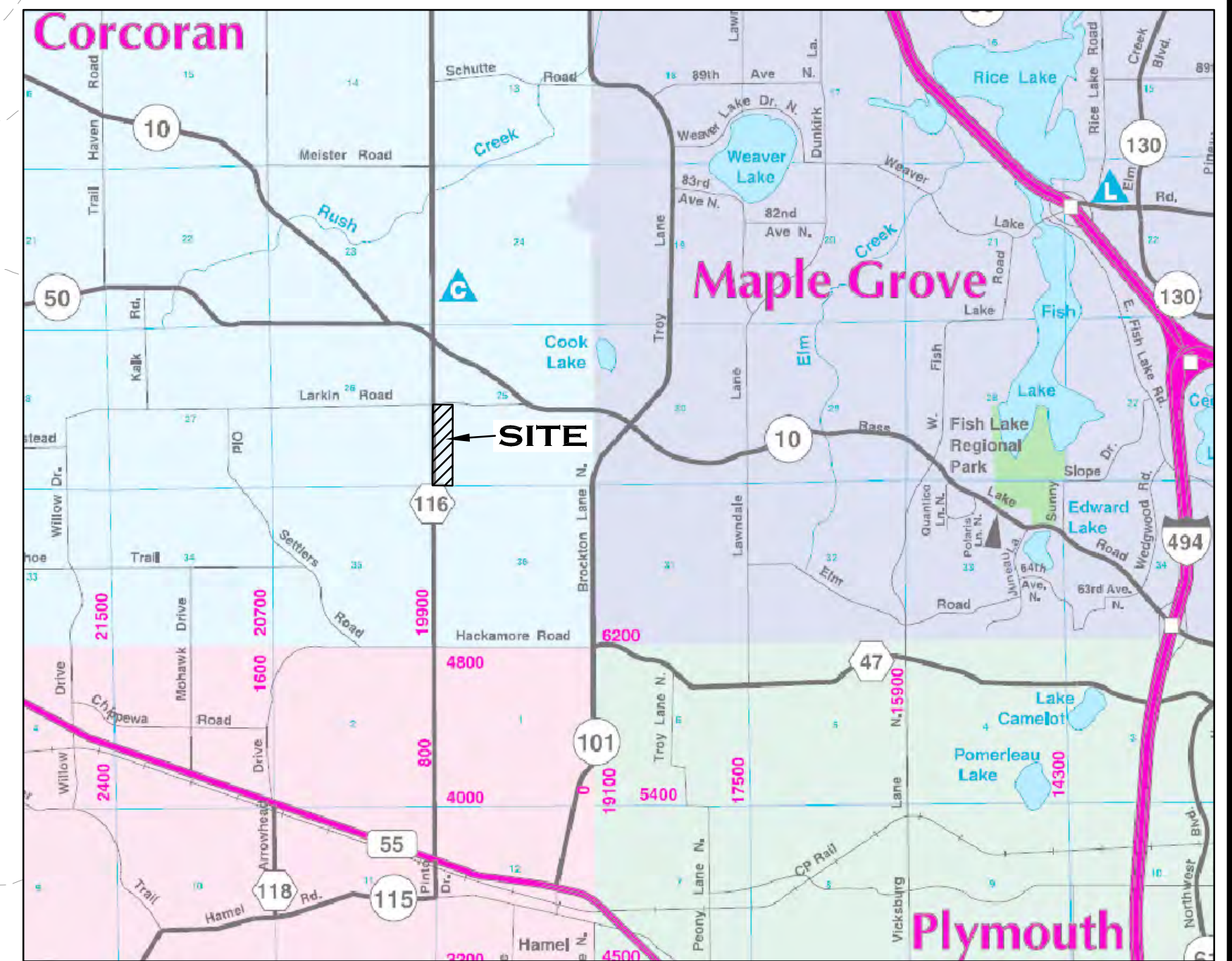
**SURVEYOR'S NOTES:**

- Matters of record are shown according to Commitment for Title Insurance issued by Stewart Title Guaranty Company, issuing agent Land Title, Inc., Commitment Number 616949, dated August 19, 2020.
- Existing watermain and "Permanent Easement" are shown according to civil construction plans titled "SE CORCORAN 2020 TRUNK WATERMAIN IMPROVEMENTS" by Wenck, Project No. 2294-0040, dated 4/17/2020, revised 09/29/2020. "Permanent Easement". The "Permanent Easement" is not mentioned in Commitment for Title Insurance referenced in Note #1.
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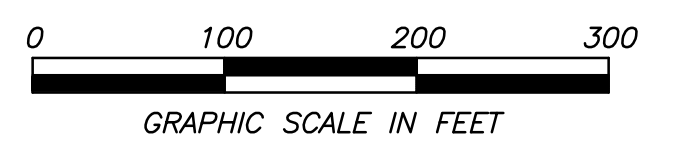
**LEGEND**

- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TEL./COMM
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- UTILITY POLE
- GUY WIRE
- TEL./COMM RISER
- SIGN
- WATERMAIN
- HYDRANT
- GATE VALVE
- EXISTING GROUND CONTOUR FROM MN DNR LIDAR DATA
- BITUMINOUS SURFACE

**VICINITY MAP**  
NO SCALE



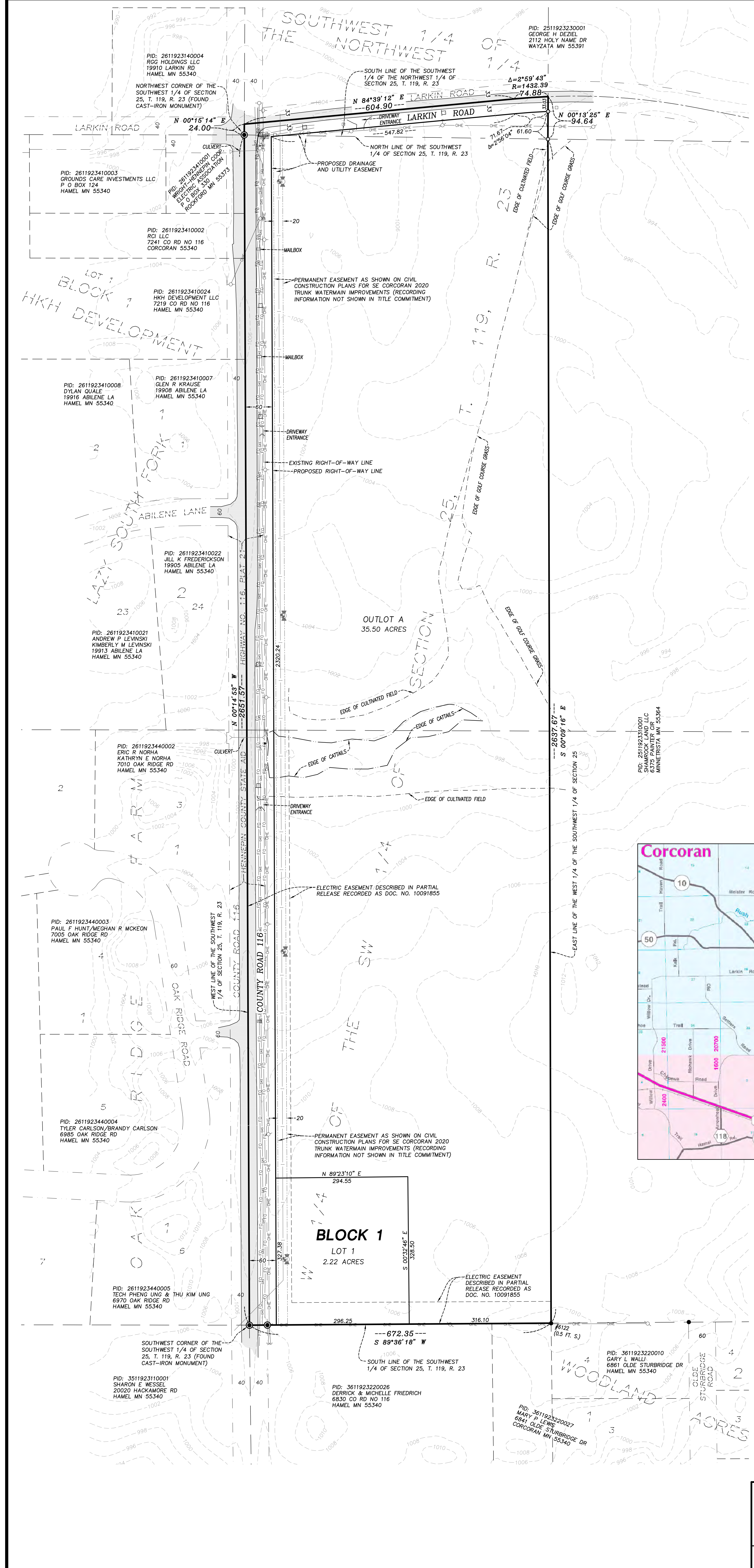
SOURCE: 2013 Hennepin County Highway Map



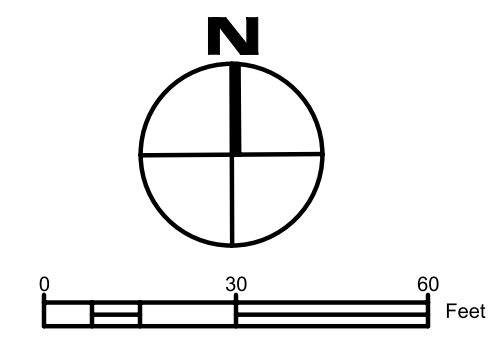
- DENOTES IRON MONUMENT SET
- DENOTES IRON MONUMENT FOUND
- ⊙ DENOTES CAST-IRON MONUMENT FOUND

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.  
Date 12/15/2020   
Abram A. Niemela  
License No. 48664

 708 1ST AVENUE NE, #1 BUFFALO, MN 55313 PH. 763.682.1781 WWW.MEYERROHLIN.COM				REVISIONS _____ _____ _____	
				DATE 12/15/2020	
DRAWN BY AAN	BOOK 391 PAGE 74	SHEET 1 OF 1 SHEETS	FILE NO. 20466		







**BENCHMARK**  
[Location]  
[Elevation = xxx.xx]

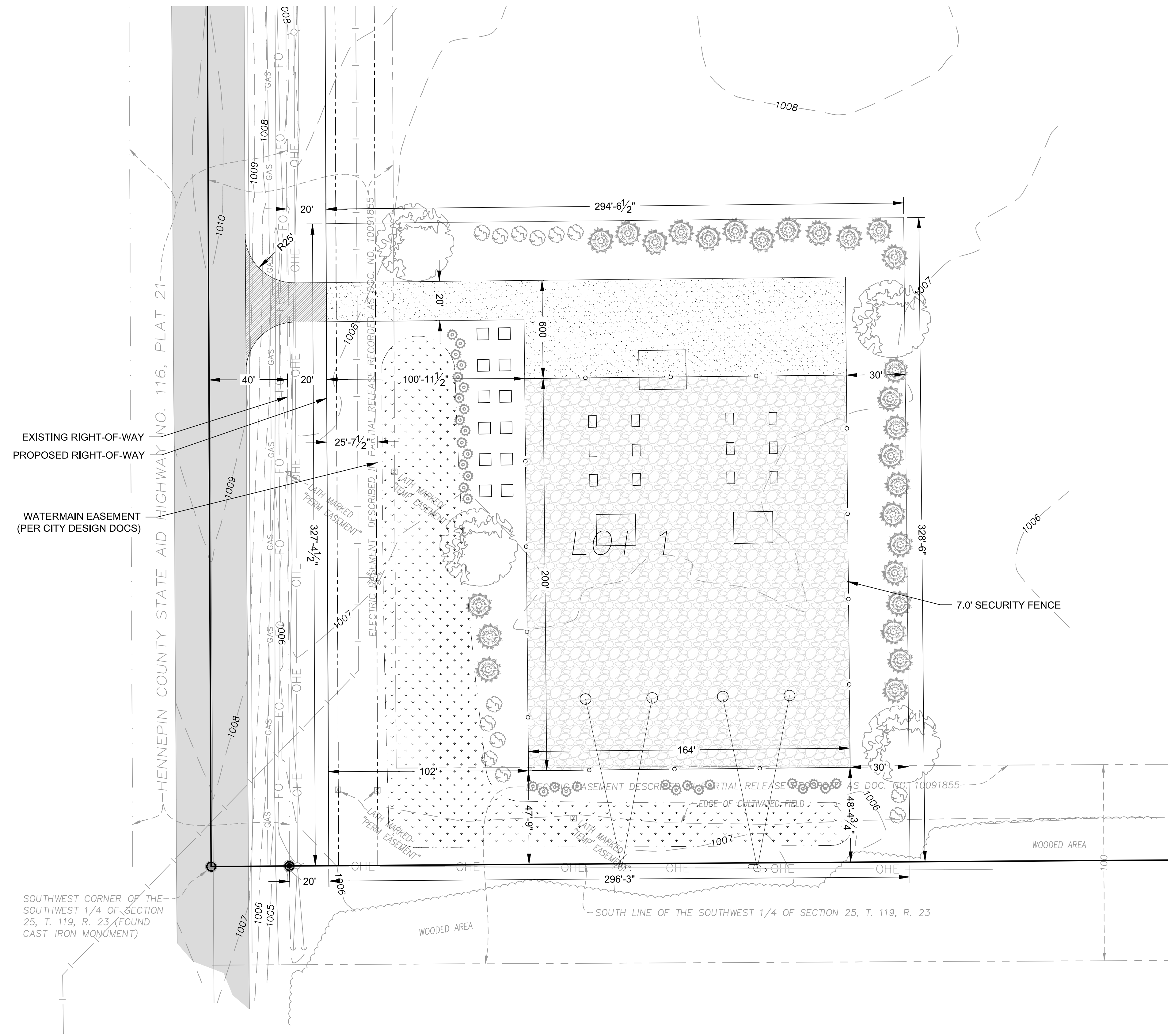
- LEGEND:**
- PROPERTY LINE
  - SETBACK
  - EASEMENT
  - EXISTING TREE LINE
  - CONTOUR
  - FENCE, CHAIN LINK
  - BITUMINOUS ASPHALT
  - CONCRETE
  - AGGREGATE, CL 5 OR CON-BIT
  - CRUSHED DRAINAGE ROCK
  - TREE OVERSTORY - DECIDUOUS
  - TREE OVERSTORY - CONIFEROUS
  - TREE UNDERSTORY
  - RUSHMORE ARBORVITAE (OR EQ)
  - INFILTRATION BASIN FORBS & GRASSES

**SITE DATA:**

TOTAL PROPERTY AREA: ±96,872 FT<sup>2</sup> (2.224 AC)  
 R.O.W. DEDICATION: ±6,548 FT<sup>2</sup> (0.150 AC)  
 EXISTING HARD SURFACE: 0 FT<sup>2</sup>  
 PROPOSED HARD SURFACE: ±44,730 FT<sup>2</sup>

SETBACK, FRONT: 100 FT  
 SETBACK, REAR: 30 FT  
 SETBACK, SIDE: 30 FT

NO WETLANDS PRESENT (NO-WETLAND DETERMINATION)



Print Date: 12/15/2020 1:05 PM  
 File Loc: C:\CIVIL\Methods, Inc\COM - Documents\17\_Projects\0600\_WHE Corcoran Substation\08\_DRAWINGS AND SPECIFICATIONS\CADD\Sheet\C20\_LAYOUT.dwg

**CIVIL METHODS, INC.**  
 1551 Livingston Avenue, Suite 104  
 West St. Paul, MN 55118  
 o: 763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DESIGNED: DMP  
 DRAWN: DMP  
 CHECKED: KEB

DATE / REVISION:  
 12-15-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN

TITLE: **LAYOUT**  
 SHAMROCK SUBSTATION  
 CORCORAN, MN

SHEET NO.: **C20**

DAVID M POGGI  
 DATE: 12-15-2020  
 LIC. NO.: 44573

## Shamrock Substation Summary

Wright-Hennepin Cooperative Electric Association (WH) is applying for Administrative Approvals from the City of Corcoran to build an electric substation called "Shamrock Substation" located at address 19835 Larkin Road, which constitutes an Essential Services as slowed by Section 1030.090. Great River Energy (GRE), WH's wholesale electric transmission supplier, owns the existing 69-kV transmission line along the proposed Shamrock Substation's south and west property lines and will provide the 69-kV power source. The substation design will have provisions to "double-end" in the future which will allow WH to double its load capacity and network distribution feeder capabilities if future residential and commercial load continues to grow in the area. Two new tap poles will be installed along GRE's existing transmission line on the south side of the property to feed the substation as part of the overall design. Great River Energy has existing easement rights to install the tap poles and perform any necessary right of way clearing.

Included in our application we have applied for a preliminary plat for the entire existing parcel split into 2, wetland waiver request for the remaining parcel not affected by the Shamrock Substation, and variance because the Urban Reserve district has a 20 acre minimum lot size. Twenty acres is excessive for electric substation purposes (i.e., the WH Shamrock Substation will consist of approximately two (2) acres). The contemplated substation and preliminary plat in relation thereto will allow WH to better-serve its members in the area and will accommodate anticipated residential and commercial in this area for years to come. Additional information on the variance request is per 1070.040 Subd. 2(B)

4

- a. WH's substation design requires approximately 1.25 acres for the substation + 1 acre for City of Corcoran property setbacks resulting in the need for approximately 2.25 acre site, which is 2.25 times larger than what is required of lots for essential public services in Agricultural and Residential zoning districts pursuant to Section 1030.090, Subd 4. While lots are required to be at least 20-acres in size in Urban Reserve zoning districts, a 20-acre electric substation site would be excessive and not in the public's, the City's, or WH's best interests. Furthermore, this design adheres to the standards set forth in the National Electrical Safety Code, which governs electric utility designs.
- b. Electrical substations are needed based on current and future electrical demands. This site requires a variance due to the demand of electrical growth current and forecasted in the Corcoran area to continue to serve reliable electricity during normal in inclement weather. Furthermore, this site is optimal for WH due to the proximity to the GRE transmission lines. Those placement of the GRE transmission lines in this area were outside of WH's control, and WH now desires to construct the substation in this location so that it has a minimal impact on future commercial and residential development.
- c. Electrical substations are designed and constructed in commercial, urban, and rural settings, and they consist of small footprints in the overall area the substation

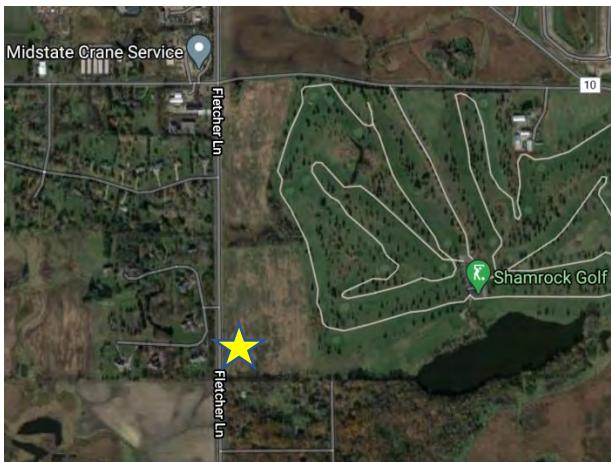
serves. Given WH's willingness to comply with the City's screening requirements, the presence of the substation will not alter the essential character of the locality, whether existing now or in the future.

- d. Like water & sewer, electricity is considered an essential service. To strike the best balance of cost to ratepayers and meet standards in public safety, local reliability and service quality, we desire to have the substation located in the general vicinity of the benefitting consumers that will use the power the substation produces in their homes and businesses at the size as shown on the attached designs and profiles. Additionally, as previously indicated, the substation will be located adjacent to the existing GRE transmission lines.
- e. WH has incorporated Corcoran's comprehensive plan with forecasted electrical demand when selecting the location and size of the site.



## Corcoran Substation information:

- **Why is Wright-Hennepin Cooperative Electric Association (WH) building a substation?**
  - There is an urgent need for additional infrastructure to facilitate the scale and scope of new development (a new development or developments) in the Corcoran area and to ensure reliability for current residents.
  - Based on recent residential and commercial growth trends, the load on the existing substation located at Larkin Road and County Road 116 is expected to increase by 50% over the next five years.
  - The existing substation location will not accommodate expansion due to its limited parcel size and capacity.
  - The new substation will ensure WH will continue to provide reliable electricity to members in the Corcoran area for decades to come.
  - The location of the proposed substation is consistent with the City of Corcoran's 2040 Comprehensive Plan and current housing developments.
- **What will the project look like?**
  - The property size is 2.224 acres.
  - The substation size within a fenced area is .75 acres.
  - The map on the left shows the location. The map on the right is a mockup of the site after completion.



STREET VIEW TO EAST

- **Why did WH choose this location?**
  - A robust due-diligence process was completed to identify a site that met all of the specifications for a new substation along with applicable zoning requirements.
  - This location was selected because it is:
    - Located along an existing transmission line that has enough capacity to accommodate future residential and commercial developments. The existing transmission line borders two of the four sides of the parcel.
    - Accessible to WH vehicles.
    - Accessible to existing distribution lines in the public right-of-way.
    - Optimal location in the WH distribution grid for serving the immediate growth and development needs of the City and for delivering high reliability to current members.
    - Large enough to accommodate flexible landscaping options.
    - Located on an undeveloped parcel of land.
  - This location will avoid the need for building new or extending existing high voltage transmission lines.
  - WH is in the process of finalizing all application requirements with City of Corcoran staff. The process involved several rounds of information exchange. Several design changes have already been incorporated in response to City requests.
  - The City of Corcoran has downtown development plans. This location is sufficiently far away so as not to interfere with those plans. Moreover, the substation allows the City to execute its plan for growth by providing adequate power and helps avoid the need to construct additional transmission lines through the city.
  - WH is a not-for-profit and all costs to provide reliable electricity are shared by the members through their electric rates. Affordable electricity is one of our top priorities, and costs of each project are carefully considered.
  
- **Will the substation be loud or bothersome?**
  - No. The substation will:
    - Be professionally landscaped, including a three-foot berm and at least 96 trees (30% more than required). WH is working closely with the City now to finalize a plan that ensures proper screening and aesthetics for the entire site.
    - Comply with all MN local noise standards and ordinances.
      - At 290 feet (the closest residence), noise from a single transformer would attenuate outside to 25-28 dBA, which is about the level of a whisper. Source: <https://ehs.yale.edu/sites/default/files/files/decibel-level-chart.pdf>
    - Adhere to all building and zoning requirements.
  - Many homeowners in Corcoran are members and WH is committed to being a good neighbor. We will strive to be responsive to member needs and questions.
  - Once constructed, there will be little traffic to and from the site.
  - WH has submitted a plan for storm water management.

WH, and other utilities, commonly build substations adjacent to residential areas in order to ensure reliable power: Consider these examples from elsewhere in WH's footprint:



**Lawndale Lane substation, Maple Grove**



**Bass Lake substation, Maple Grove**

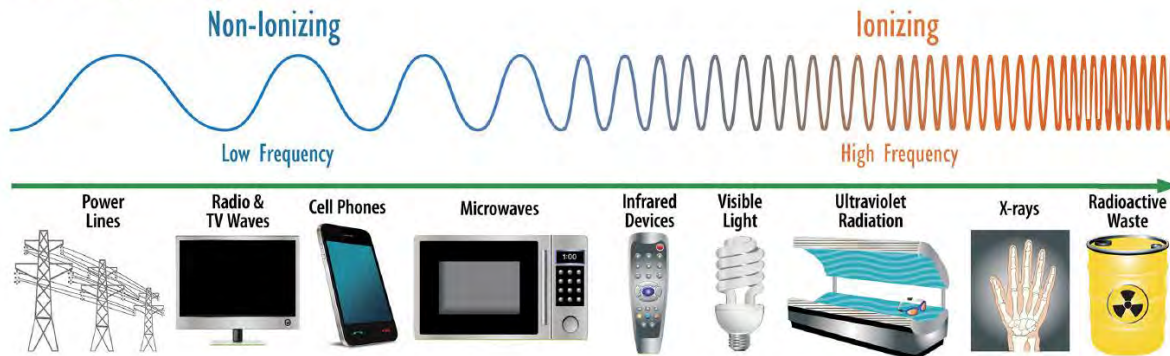


**Trail Haven substation, Rogers**

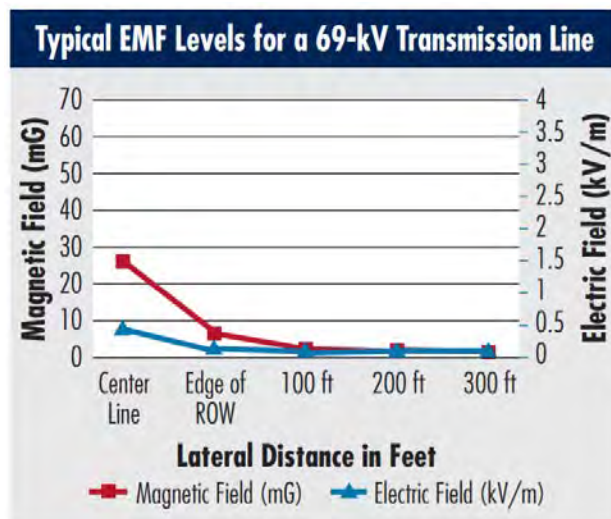
## What about Electric and Magnetic Fields (EMF)? Are there health and safety risks?

- Low frequency EMF, like that produced by electric systems, has been studied for more than 30 years by government and scientific institutions all over the world. The bulk of scientific evidence indicates that exposure to EMF does not cause adverse health outcomes. (see Sources and Useful Links)
- The proposed substation will easily meet safe EMF levels. In fact, the substation will have lower EMF levels than the existing transmission line on the site.
- WH and our power provider, Great River Energy (GRE), will make testing available upon request to verify EMF levels.

### Electromagnetic Spectrum



Source: [National Institute of Environmental Health Sciences](#)



Source: [Great River Energy](#)

### Other useful links:

- [Great River Energy EMF fact sheet](https://greatriverenergy.com/wp-content/uploads/2016/03/2016-EMF-Factsheet.pdf)  
(<https://greatriverenergy.com/wp-content/uploads/2016/03/2016-EMF-Factsheet.pdf>)
- [National Institute of Environmental Health Sciences](https://www.niehs.nih.gov/health/topics/agents/emf/index.cfm)  
(<https://www.niehs.nih.gov/health/topics/agents/emf/index.cfm>)
- [World Health Organization: Electromagnetic fields](https://www.who.int/health-topics/electromagnetic-fields#tab=tab_1)  
([https://www.who.int/health-topics/electromagnetic-fields#tab=tab\\_1](https://www.who.int/health-topics/electromagnetic-fields#tab=tab_1))



# Facts about Wright-Hennepin Cooperative Electric Association (WH):

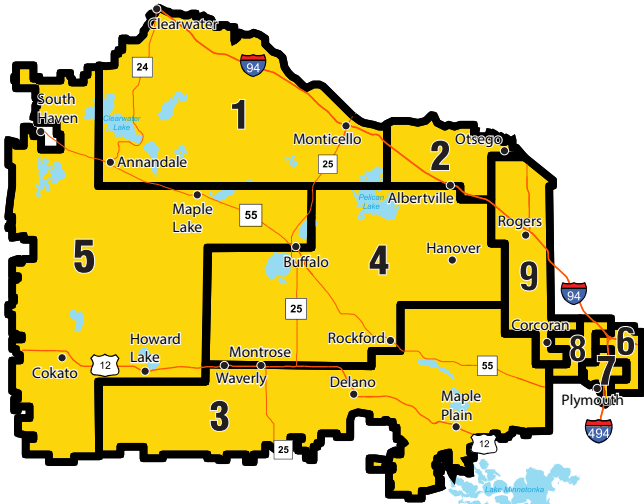
- Member-owned, not-for-profit electric utility that provides power to rural Wright and Western Hennepin County
- Serves more than 45,000 members (approximately 63% Residential and 37% Commercial & Industrial based on kWh)
- More than 2,000 live in Corcoran
- Established in 1937 and headquartered in Rockford, Minnesota
- Nine-member Board of Directors with a combined 169 years of service
- Democratically-elected board
- Employs approximately 150 full-time employees
- Electric rates are very competitive with other area power suppliers
- WH has returned more than \$68 million in capital credit refunds to its members since 1957

## WH'S MISSION

We deliver the power, products and competitive pricing essential for improving the quality of life of the members and communities we serve.

## WH'S VISION

To benefit our members, WH and its diversified businesses will outperform our competitors and sustain top 10 percent results in satisfaction, financial management, safety and reliability through 2022.



## Values That Guide Us

The needs of members always come first. To make sure of that, we follow the guidance of the seven cooperative principles adopted by the International Co-operative Alliance.

### THE SEVEN COOPERATIVE PRINCIPLES

1. Voluntary and Open Membership
2. Democratic Member Control
3. Member's Economic Participation
4. Autonomy and Independence
5. Education, Training and Information
6. Cooperation Among Cooperatives
7. Concern for Community





**CERTIFICATE OF SURVEY  
AND  
PRELIMINARY PLAT  
OF  
SHAMROCK ADDITION**

**RECEIVED**  
By Kendra Lindahl, AICP at 1:08 pm, Jan 26, 2021

**PROPERTY OWNER**  
Shamrock Land, LLC

**DEVELOPER:**  
Wright Hennepin Cooperative Electric Association  
Bryant Tower  
P.O. BOX 330  
ROCKFORD MN 55373

**PROPERTY DESCRIPTION**  
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**PROPERTY ADDRESS:** 19835 Larkin Road, Corcoran, MN 55340

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Road right-of-way: 4.16 Acres

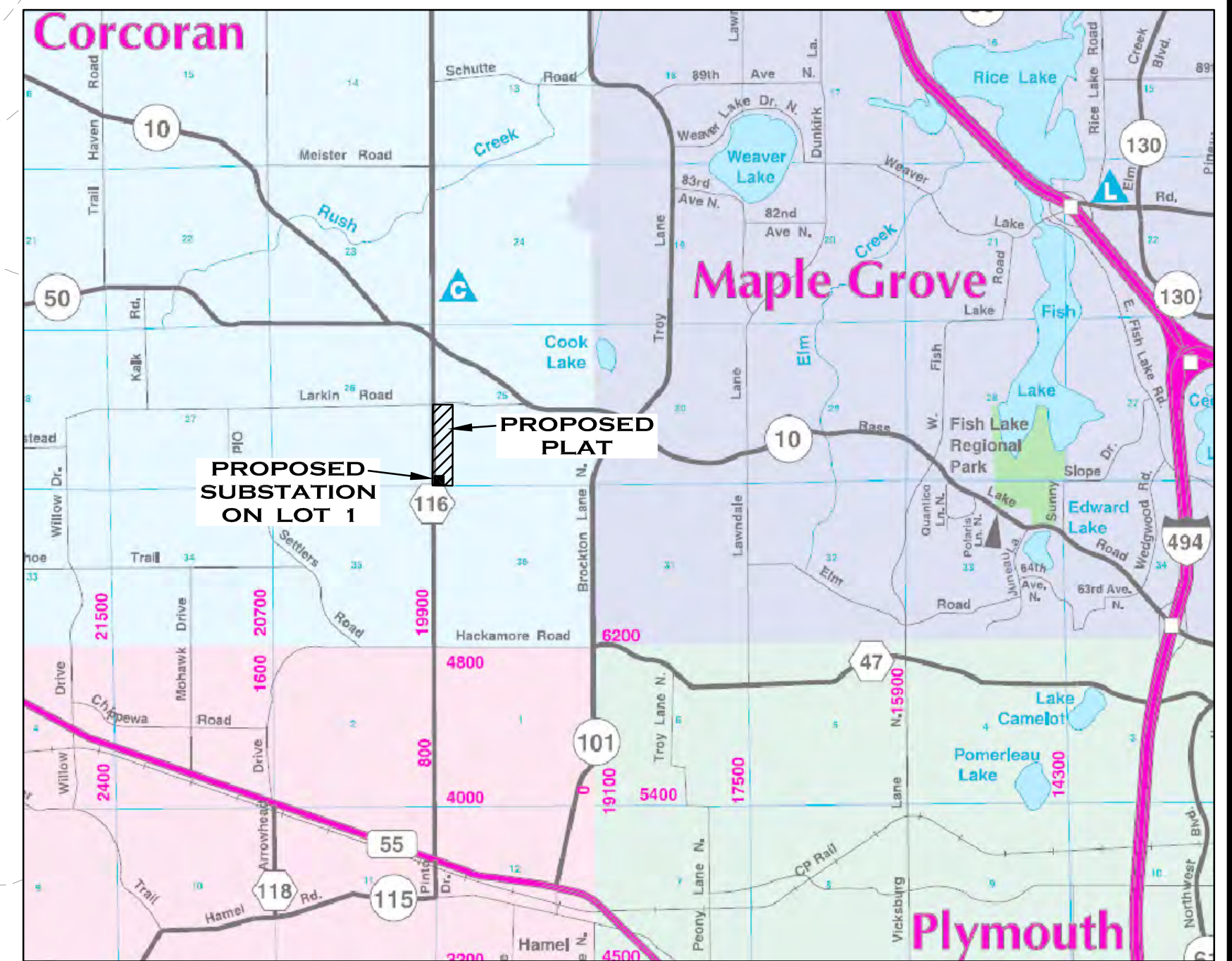
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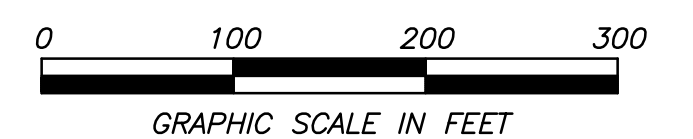
**LEGEND**

- OHE — OHE — OHE — OVERHEAD UTILITY LINE
- E — E — E — UNDERGROUND ELECTRIC
- T — T — T — UNDERGROUND TEL./COMM
- G — G — G — UNDERGROUND GAS
- FO — FO — FO — UNDERGROUND FIBER OPTIC
- ○ ○ ○ ○ UTILITY POLE
- — — GUY WIRE
- □ □ □ □ TEL./COMM RISER
- □ □ □ □ SIGN
- — — WATERMAIN
- — — HYDRANT
- — — GATE VALVE
- — — EXISTING GROUND CONTOUR FROM MN DNR LIDAR DATA
- ■ ■ ■ ■ BITUMINOUS SURFACE

**VICINITY MAP**  
NO SCALE



SOURCE: 2013 Hennepin County Highway Map



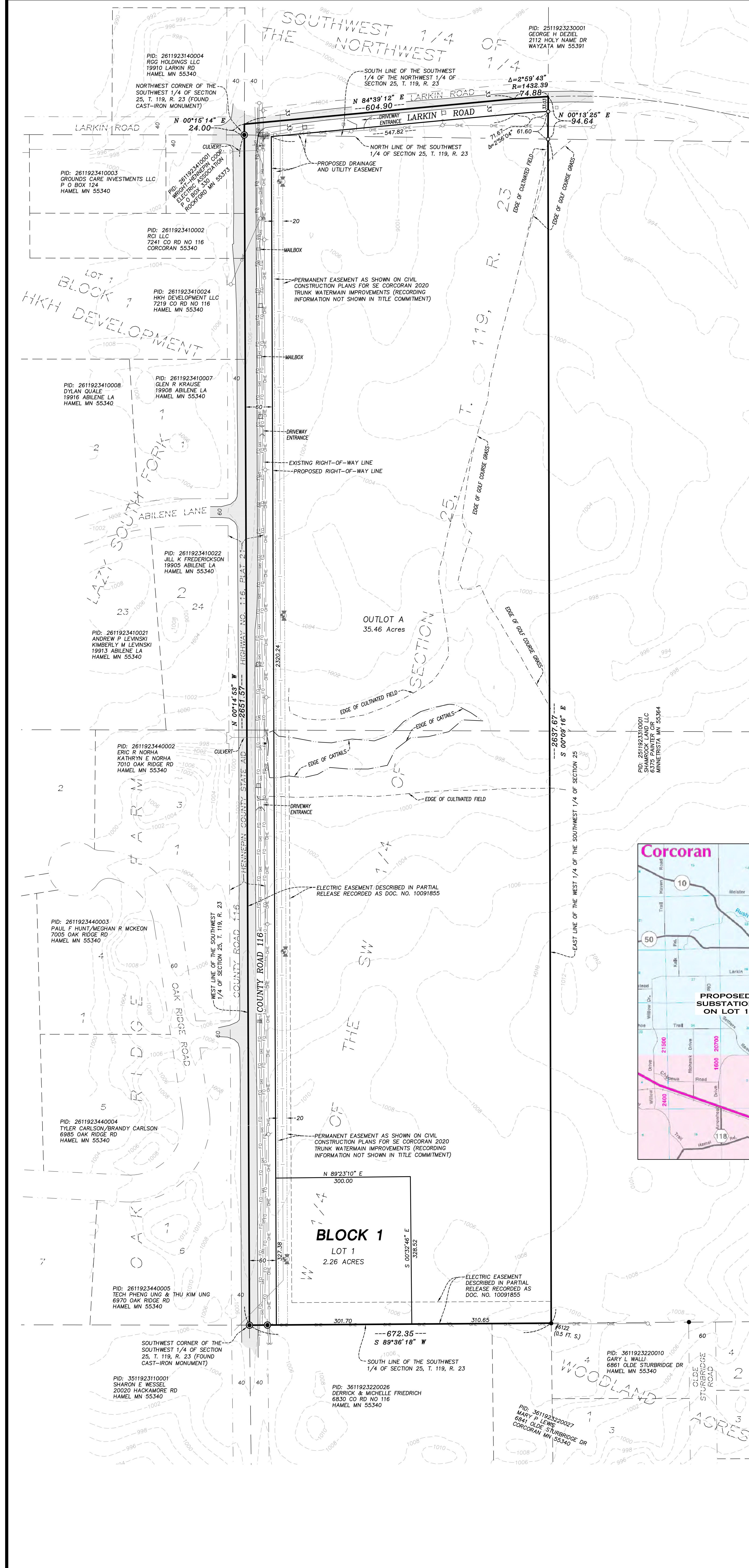
- DENOTES IRON MONUMENT SET
- DENOTES IRON MONUMENT FOUND
- DENOTES CAST-IRON MONUMENT FOUND

REVISED 01/04/2021: ADDED SUBSTATION ON VICINITY MAP

REVISED 01/25/2021: REVISED EAST LINE OF LOT 1

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.  
Date 12/15/2020  
*Abram A. Niemela*  
Abram A. Niemela  
License No. 48664

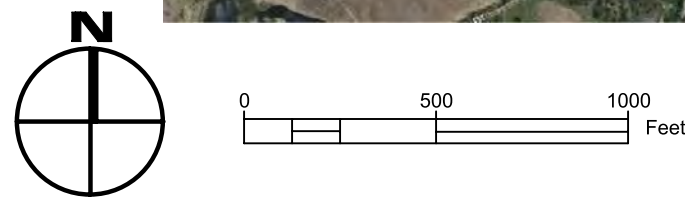
		<b>REVISIONS</b> 01/04/21 01/25/21	
		DATE 12/15/2020	
DRAWN BY AAN	BOOK 391 PAGE 74	SHEET 1 OF 1 SHEETS	FILE NO. 20466







PRELIMINARY PLANS FOR THE  
**SHAMROCK SUBSTATION**  
WRIGHT-HENNEPIN COOPERATIVE ELECTRIC ASSOCIATION  
CORCORAN, MN  
DECEMBER 2020



VICINITY MAP

PROJECT TITLE

CONTACTS

INDEX

NOTES

**OWNER:**  
Wright-Hennepin Cooperative Electric Association  
6800 Electric Drive  
Rockford, MN 55373  
Attn: Bryant Tauer  
Ph: 763.477.3000

**CITY / LGU:**  
City of Corcoran  
8200 County Rd 116  
Corcoran, MN 55340  
Attn:  
Ph: 763.420.2288

**SURVEY:**  
Meyer-Rohlin Land Services  
708 1st Avenue NE, #1  
Buffalo, MN 55313  
Attn: Abram Niemela, PLS  
Ph: 763.682.1781

**CIVIL & ENVIRONMENTAL:**  
Civil Methods, Inc.  
1551 Livingston Avenue, Ste. 104  
West St. Paul, MN 55118  
Attn: Dave Poggi, PE  
Ph: 763.210.5713

**WATERSHED DISTRICT:**  
Elm Creek Watershed Management Commission (ECWMC)  
3235 Fernbrook Lane  
Plymouth, MN 55447  
Attn:  
Ph: 763.553.1144

SHEET INDEX

T01	COVER SHEET
	EXISTING CONDITIONS SURVEY
C20	SITE LAYOUT
C30	GRADING & DRAINAGE
C60	EROSION & SEDIMENT CONTROL
C61	SWPPP
C80	DETAILS
L01	LANDSCAPING

THE EXISTING UTILITY INFORMATION SHOWN IN THIS PLAN HAS BEEN SURVEYED BY OTHERS; THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY 811 OR GOPHER STATE ONE CALL (1.800.252.1166).

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

- PLAN REFERENCES:
- MINNESOTA DEPT. OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
  - CITY ENGINEERS ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS, LATEST EDITION.
  - UNREINFORCED CONCRETE PER ACI 330R-08 AND ACI 330.1-03.



Print Date: 1/26/2021 11:52 AM  
File Loc: C:\CIVIL\Methods, Inc\COM - Documents\17\_Projects\0600\_WHE Corcoran Substation\08\_DRAWINGS AND SPECIFICATIONS\CID\Sheet\T01\_COVER.dwg

**CIVIL METHODS, INC.**  
1551 Livingston Avenue, Suite 104  
West St. Paul, MN 55118  
o:763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DESIGNED: DMP  
DRAWN: DMP  
CHECKED: KEB

DATE: 12-15-2020  
DAVID M POGGI  
LIC. NO.: 44573

DATE / REVISION:  
12-15-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION  
12-31-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION  
01-26-2021 Preliminary Plat Submittal. NOT FOR CONSTRUCTION

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
ROCKFORD, MN

TITLE: **COVER SHEET**  
SHAMROCK SUBSTATION  
CORCORAN, MN

SHEET NO: **T01**



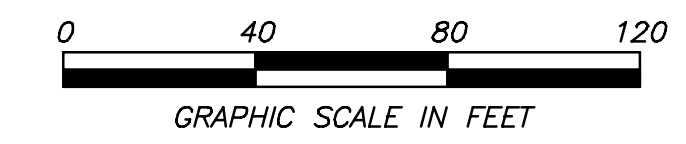
**EXISTING CONDITIONS / TOPOGRAPHY SURVEY  
FOR  
CORCORAN SUBSTATION  
WRIGHT - HENNEPIN COOPERATIVE  
ELECTRIC ASSOCIATION**

**SURVEYORS NOTES:**

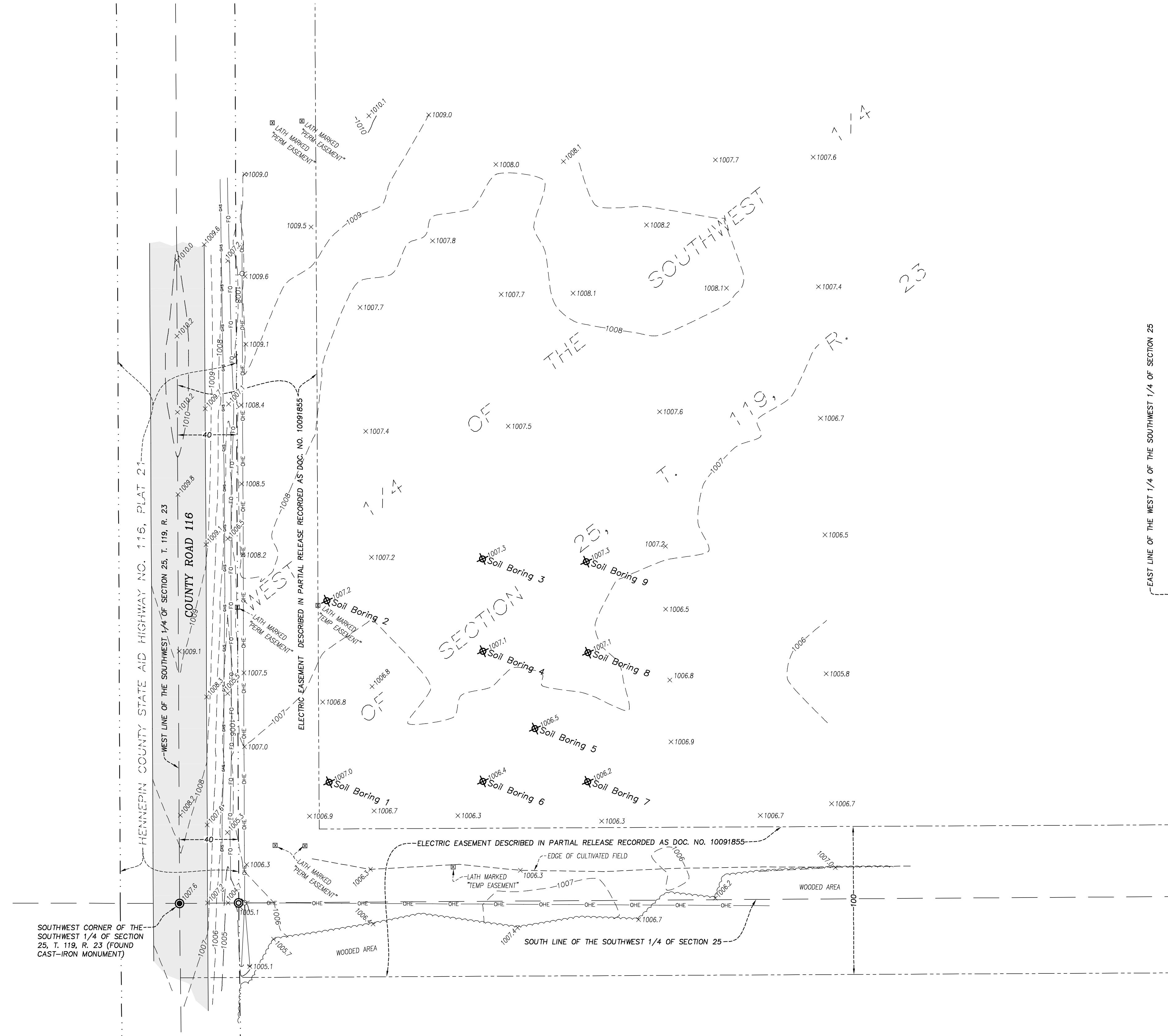
1. NO TITLE DOCUMENTATION WAS PROVIDED TO US FOR THIS SURVEY. MATTERS OF RECORD ARE SHOWN ACCORDING TO CURSORY REVIEW OF DOCUMENTS ON HENNEPIN COUNTY RECORDER'S WEBSITE. EASEMENTS AND/OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREON.
2. UTILITIES ARE SHOWN ACCORDING TO OBSERVED EVIDENCE AND GROUND MARKINGS PURSUANT TO GOPHER STATE ONE-CALL TICKET NO. 202790894 (NON-EXCAVATION LOCATE REQUEST). CONTACT GOPHER STATE ONE CALL PRIOR TO ANY EXCAVATION.
3. BENCHMARK: MN/DOT GEODETIC MONUMENT "2722 AC". ELEVATION = 992.04 (NAVD 88 DATUM)

**LEGEND**

	SOIL BORING LOCATION
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	SPOT ELEVATION
	BURIED GAS LINE
	BURIED FIBER OPTIC LINE
	OVERHEAD UTILITY LINE
	UTILITY POLE
	GUY WIRE
	FOUND LATH
	BITUMINOUS SURFACE



- DENOTES CAST-IRON MONUMENT FOUND
- DENOTES CAST-IRON R.O.W. MONUMENT FOUND
- DENOTES IRON MONUMENT FOUND



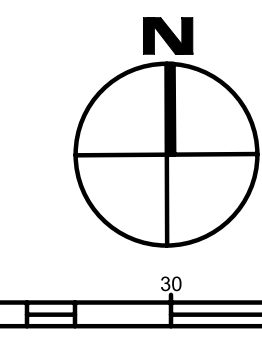
**PROJECT LOCATION**  
Part of the West 1/4 of the Southwest Quarter of Section 25, Township 119, Range 23, Hennepin County, Minnesota.

PID: 25-119-23-32-0001

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 11/16/2020  
Abram A. Niemela  
License No. 48664

708 1st Avenue NE, #1 Buffalo, MN 55313 PH. 763.682.1781 WWW.MEYERROHLIN.COM			
DRAWN BY AAN		BOOK 391 PAGE 74	SHEET 1 OF 1 SHEETS
REVISIONS		DATE 11/16/2020	
		FILE NO. 20466	



**BENCHMARK**  
[Location]  
[Elevation = xxx.xx]

**LEGEND:**

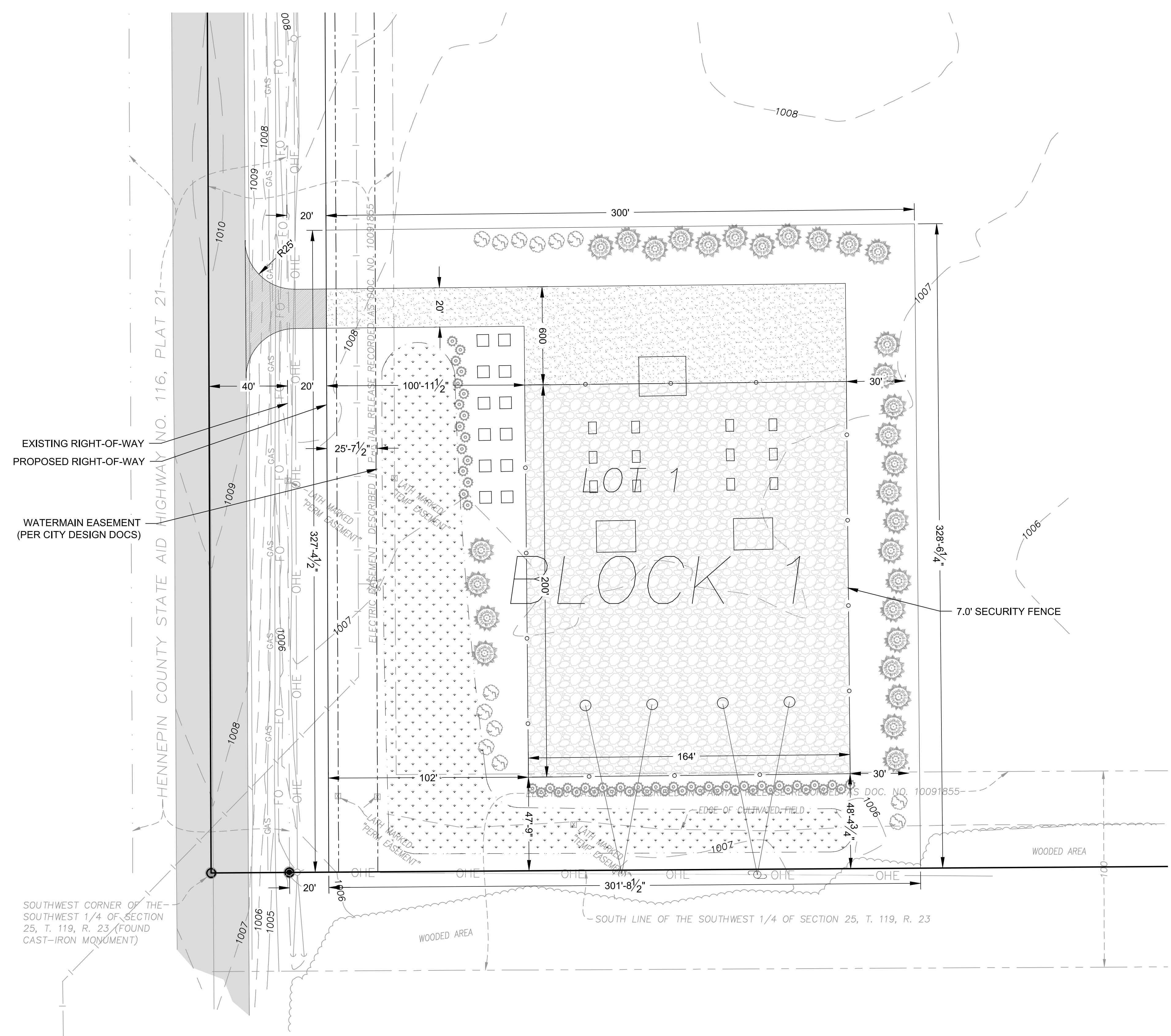
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- BITUMINOUS ASPHALT
- CONCRETE
- AGGREGATE, CL 5 OR CON-BIT
- CRUSHED DRAINAGE ROCK
- TREE OVERSTORY - DECIDUOUS
- TREE OVERSTORY - CONIFEROUS
- TREE UNDERSTORY
- RUSHMORE ARBORVITAE (OR EQ)
- INFILTRATION BASIN FORBS & GRASSES

**SITE DATA:**

TOTAL PROPERTY AREA: ±98,663 FT<sup>2</sup> (2.26 AC)  
 R.O.W. DEDICATION: ±6,548 FT<sup>2</sup> (0.15 AC)  
 EXISTING HARD SURFACE: 0 FT<sup>2</sup>  
 PROPOSED HARD SURFACE: ±44,700 FT<sup>2</sup>

SETBACK, FRONT: 100 FT  
 SETBACK, REAR: 30 FT  
 SETBACK, SIDE: 30 FT

NO WETLANDS PRESENT (NO-WETLAND DETERMINATION)



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 West St. Paul, MN 55118  
 o: 763.210.5713 | www.civilmethods.com

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DESIGNED: DMP  
 DRAWN: DMP  
 CHECKED: KEB

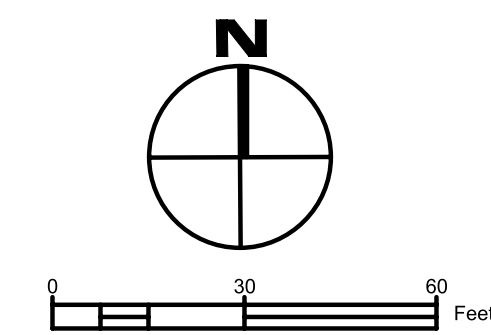
DATE: 12-15-2020  
 UIC. NO.: 44573

DATE / REVISION:  
 12-15-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION  
 12-31-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION  
 01-26-2021 Preliminary Plat Submittal. NOT FOR CONSTRUCTION

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN

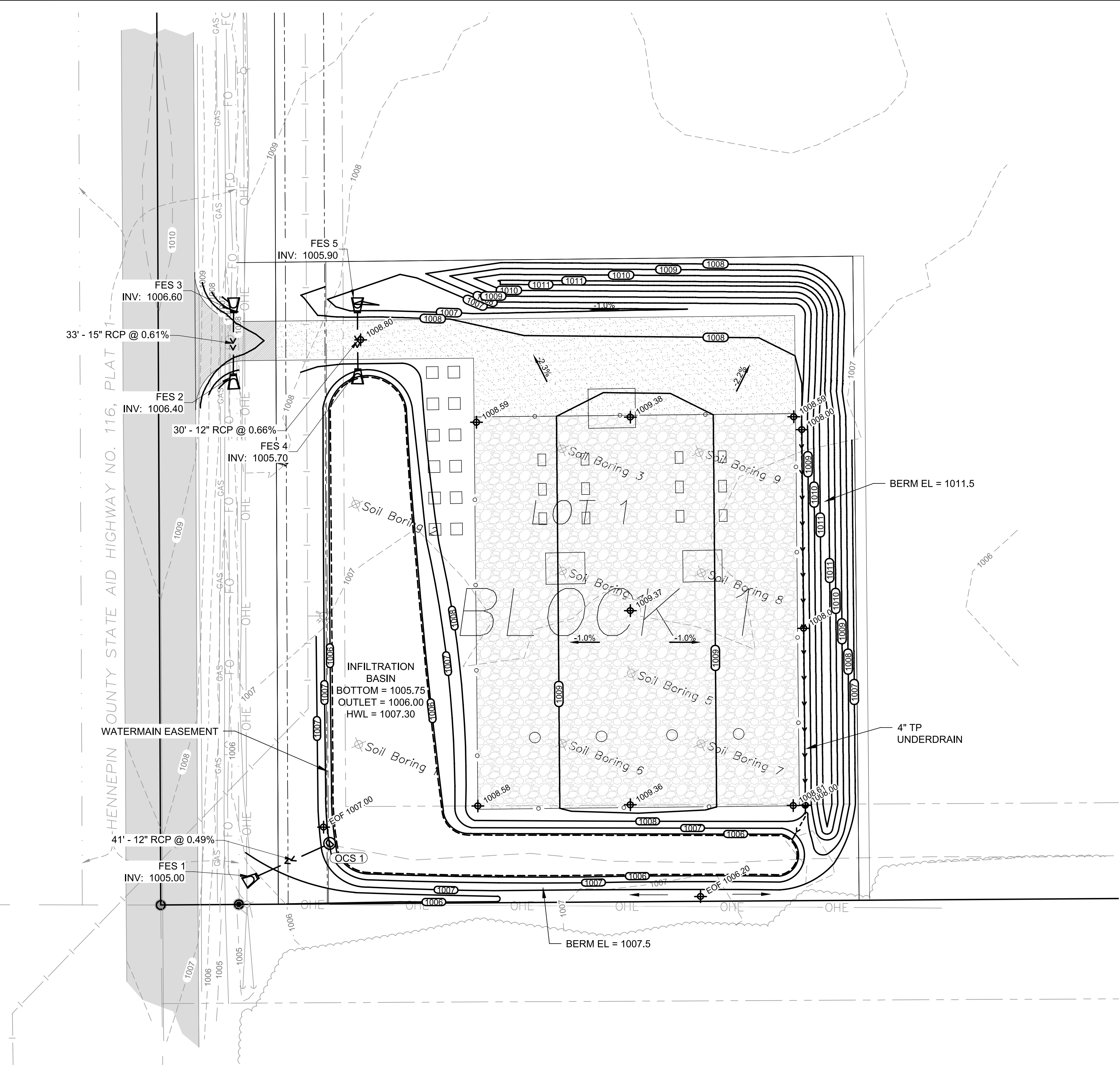
TITLE: **LAYOUT**  
 SHAMROCK SUBSTATION  
 CORCORAN, MN

SHEET NO.: **C20**



**BENCHMARK**  
[Location]  
[Elevation = xxx.xx]

- LEGEND:**
- PROPERTY LINE
  - SETBACK
  - EASEMENT
  - CONTOUR
  - FENCE, CHAINLINK
  - TREELINE
  - AGGREGATE, 3/4" CLEAR, CRUSHED
  - CONCRETE
  - AGGREGATE, CLASS 5 / CONBIT
  - SPOT ELEVATION
  - DRAINAGE DIRECTION
  - STORM SEWER / CULVERT
  - PERFORATED UNDERDRAIN



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DESIGNED: DMP  
 DRAWN: DMP  
 CHECKED: KEB

DATE: 12-15-2020  
 DATE: 12-15-2020  
 DATE: 01-25-2021

DAVID M POGGI  
 LIC. NO.: 44573

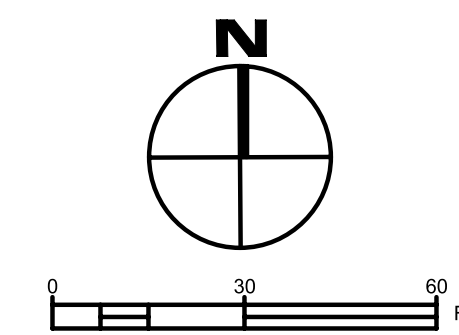
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 01-25-2021 Preliminary Plat Submittal. NOT FOR CONSTRUCTION

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN

TITLE: **GRADING**  
 SHAMROCK SUBSTATION  
 CORCORAN, MN

SHEET NO.: **C30**

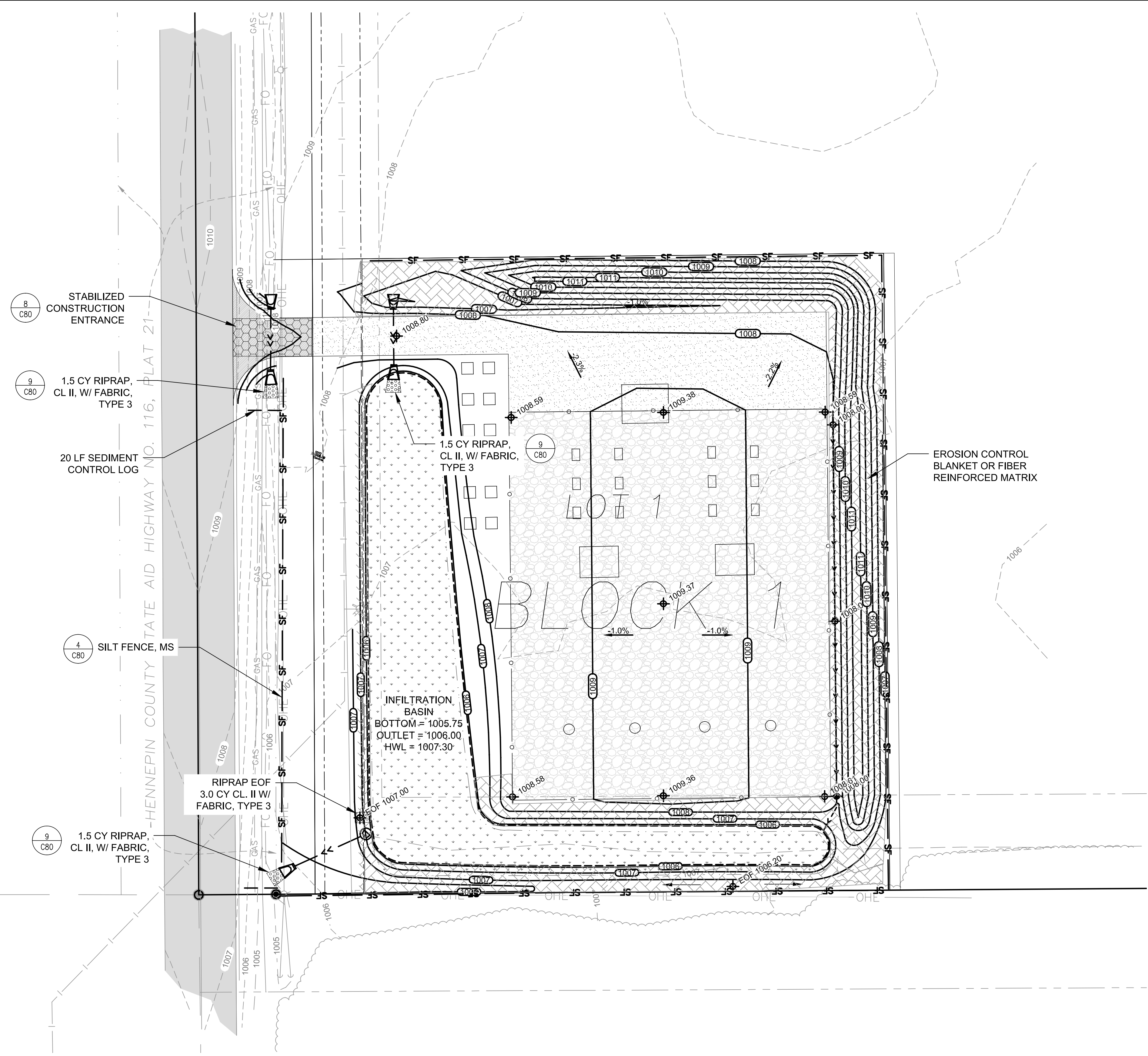




BENCHMARK  
[Location]  
[Elevation = xxx.xx]

**LEGEND:**

PROPERTY LINE	—
EASEMENT	- - -
CONTOUR	—
RAIN GARDEN PLANTINGS	+
ROCK RIPRAP, RANDOM CRUSHED	⊘
EROSION CONTROL BLANKET, CAT 0, OR HYDRAULIC MULCH MATRIX	⊘
EROSION CONTROL BLANKET, CAT. 3	⊘
STABILIZED CONST. ENTRANCE	⊘
SILT FENCE	SF
SEDIMENT CONTROL LOG	—
DETAIL ID: NO. / SHEET	X / Y



- SEDIMENT CONTROL & TURF RESTORATION NOTES:**
1. Topsoil, vegetation, and erosion control items installed and maintained per Mn/DOT 2571-2575.
  2. Perimeter sediment controls shall be installed as indicated prior to site disturbance, and shall be installed to allow for high-flow bypass or overflow to prevent failure during significant rainfall.
  3. In addition to this sheet, Contractor must be familiar with the SWPPP plan sheet. SWPPP shall remain onsite at all times, as noted in "Record Retention" section of SWPPP.
  4. Silt fence shall be of type indicated on the plan (Mn/DOT 3886).
  5. Contractor is responsible for keeping sediment from leaving the property, including vehicle tracking. Should sediment be tracked offsite onto adjacent street, Contractor shall sweep Within 24 hours.
  6. Install silt fence or sediment control log around any soil stockpiles that will be present for more than 7 days (if no perimeter controls in place to prevent sediment transport).
  7. Install sediment control logs around rim of bioretention basins immediately after construction and leave in place until construction has ended and site is stabilized with vegetation.
  8. Sediment control logs shall be minimum 6" diameter wood or straw (Mn/DOT 3897).
  9. Devices shall be inspected weekly and after all rainfall events exceeding 1", and maintained as necessary to keep the intended functional condition.
  10. Accumulated sediment shall be removed from sediment control devices when  $\frac{1}{3}$  of device height has been reached.
  11. After rough grading is completed, and topsoil spread, areas shall be seeded and blanketed (or sodded) within 7 days. Areas not being actively worked must be covered with temporary seed within 14 days.
  12. Random crushed riprap per Mn/DOT 3601 shall be of class and quantity as indicated, and shall include geotextile fabric (3733).
  13. Seed in mowed areas shall be Mn/DOT Mix 25-131, low maintenance turf or approved equal. All other areas to be seeded with Mix 35-241 (native prairie).
  14. Seed infiltration basin, bioretention basin / rain garden bottoms with Mn/DOT Mix 33-261.
  15. Infiltration basin shall be covered with hydraulic mulch matrix (3884) or Category 0 blanket (3885).
  16. Ditch bottoms and slopes greater than 3:1 shall include erosion control blanket, Cat. 3N (3885.2.A) or hydraulically applied fiber reinforced matrix (approved by engineer).
  17. Turf shall be installed by a qualified professional and/or per the Mn/DOT Seeding Manual (latest edition), at rates indicated in the manual.
  18. Perimeter sediment controls shall remain in place until vegetation is growing / established in all disturbed areas.
  19. Erosion during construction shall be repaired by the Contractor within 24 hours of discovery.

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 DRAWN: DMP  
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DATE: 12-15-2020  
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 DATE: 01-25-2021

DAVID M POGGI  
 LIC. NO.: 44573

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 01-25-2021 Preliminary Plat Submittal. NOT FOR CONSTRUCTION

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN

TITLE: **EROSION & SEDIMENT CONTROL**  
 SHAMROCK SUBSTATION  
 CORCORAN, MN

SHEET NO.: **C60**



ALL CONSTRUCTION ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MPCA'S **GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES/SDS PROGRAM (MNR100001)**. All sheets of this planset, as well as the related Project SWMP, are hereby referenced as part of this SWPPP; any related pages shall be revised as appropriate for differing site conditions. Specific reference permit sections included in parentheses throughout.

**SITE AND CONSTRUCTION DESCRIPTION:**

This project includes site grading for a new electric substation in the City of Corcoran, Hennepin County, MN (Lat: 45.080683, Long: -93.542332).

The site work will include disturbance of approximately 2 acres for the construction of the new electric substation pad, drive, and associated site grading. Approximately 8,000 CY of material will be moved on-site, and all areas will be stabilized and restored as indicated in the plans. Riprap will be installed at all storm sewer and culvert pipe outlets.

The existing site is a natural area and no groundwater or soil contamination is anticipated (16.15).

The Contractor shall sign the MPCA NPDES Construction Stormwater Permit application as "Operator" and be solely responsible for meeting the erosion and sediment control requirements of the permit.

Disturbed Area: 2.0 acres  
 Pre-Construction Impervious Area: 0.0 acres  
 Post-Construction Impervious Area: 1.0 acres  
 Newly Created Impervious Area: 1.0 acres  
 Permanent Stormwater Treatment Required (If >1.0 acre): YES

**PERMANENT STORMWATER MANAGEMENT:**

Permanent stormwater management is required by the MPCA, Elm Creek Watershed Management Commission, and the City of Corcoran, and is described in detail in the project Stormwater Management Plan (SWMP) document. In summary, the site has been designed to infiltrate a WQV of 1.1" from the site impervious area, which will be pretreated in grass swale areas. Discharge rates from the site have been mitigated to not exceed pre-development conditions.

Seasonal high water table (SHWT) elevations have been approximated with soil borings indicating mottled soils at an elevation of 1002.0 in the area of the proposed infiltration basin. A minimum of 3' of separation is provided (as required) from bottom of infiltration to SHWT elevation, or alternative BMPs are used.

Soils at the site are primarily lean clays and clay loams as determined with geotechnical soil borings. The soils are of low permeability HSG Type C and D.

The majority of the site drains to the southwest into the highway ditch. The easterly portion of the property drains to a field depression east of the property, which overflows back to the west along the southern property line.

The project site does not discharge to an Impaired Water within 1 mile, as defined by the State's Impaired Waters List.

**EROSION & SEDIMENT CONTROL**

- The contractor shall use phased construction whenever practical to minimize disturbed area at any one time.
- A 50' natural buffer shall be preserved within surface waters adjacent to construction. If not feasible, redundant (double) perimeter sediment controls separated by 5.0' are required. Special Waters require 100' buffer.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than **7 days** after the construction activity in that portion of the site has temporarily or permanently ceased.
- The following shall be installed within **24 hours** of connection to surface water or property edge:
  - Energy dissipation (riprap) at all outlet aprons
  - Stabilization of temporary or permanent drainage swales within 200' of property boundary or connection to surface water (e.g., storm sewer inlet, drainage swale, etc.)
- A vehicle tracking BMP must be installed at the site entrance where haul vehicles are entering and exiting the site, including: rock pad, slash mulch, wash rack, etc. Streets must be swept within 24 hours of discovery of offsite tracking.
- Temporary stockpiles must have silt fence or other applicable sediment control device around the base of the pile.
- The Contractor shall be responsible to control sediment-laden surface water from leaving site. All mobilized sediment that has left the construction zone shall be collected by the contractor and properly disposed of at no additional cost to the owner.
- Any fines levied due to inadequate erosion or sediment control practices, sediment discharging from the site, etc., shall be the responsibility of the Contractor.**
- Inlets shall be protected from sediment at all times, with appropriate protection installed for each phase of development.
- Infiltration / filtration basins shall not be excavated to final grade until contributing drainage area has been fully stabilized, unless rigorous are incorporated to keep sediment from draining to the basins (16.4).
- When excavating to within 3' of final grade of infiltration / filtration system, areas shall be staked to ensure vehicles and equipment do not compact the soil.
- Adjacent roads must be inspected and kept clear of sediment; roads to be swept within 24 hours of tracked sediment discovery.
- Additional temporary BMPs may be required to reduce the potential for sediment transport during construction. If deemed necessary by onsite personnel, Engineer or Owner shall be contacted immediately for approval or guidance, if available. Otherwise best judgment shall be used to provide rapid stabilization or sediment controls as necessary to minimize potential pollutant discharge.

**CONSTRUCTION IMPLEMENTATION SCHEDULE & PHASING**

- Install perimeter silt fence / sediment logs, and construction entrance as shown prior to site disturbance.
- Complete soil stripping and rough grading of site.
- Minimize construction traffic in infiltration footprint once rough grading complete; stake to keep vehicles outside of area.
- Install culvert pipes and storm sewer.
- Install aggregate surfacing and underdrains.
- Replace topsoil and establish vegetative cover.
- Complete site restoration and final stabilization measures (remove temporary controls after construction activity has ceased and vegetation is established).
- Submit Notice of Termination (NOT) to MPCA within 30 days.

**DEWATERING & BASIN DRAINING**

- Dewatering water, if necessary, must be discharged to a temporary or permanent sediment basin when feasible; if not feasible, appropriate BMPs must be used to prevent sediment-laden water from discharging downstream.
- Use appropriate energy dissipation measures on all discharges to prevent erosion at discharge outlet. Discharge must not cause nuisance or erosive conditions to downstream properties or receiving channels. Excessive inundation of downstream wetlands is not permitted (if applicable).
- If filters with backwash water are used, all backwash water must be hauled offsite for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner not causing erosion.

**INSPECTIONS & MAINTENANCE**

- The contractor must routinely inspect the construction site once every 7 days during construction, and within 24 hrs of receiving more than ½" of rain in 24 hrs. Rainfall amounts must be measured by a properly installed rain gage onsite, or from a weather station within 1 mile of the project, or from a weather reporting system with site specific radar rainfall summaries (11.11).
- All inspections and rainfalls > ½" must be recorded and retained onsite with the SWPPP. Inspections shall include: date/time, name of individual, date & amount of rainfall, findings, corrective actions, observed discharge/location/description, any proposed SWPPP amendments.
- Inspections may be suspended when work is stopped due to frozen conditions. The Contractor's inspector must resume inspections within 24 hours after runoff occurs at the site or prior to resuming construction, whichever comes first.
- Silt fence (or related perimeter control device) must be maintained when accumulated sediment reaches ½ the height of the device, or if device becomes ineffective (by the end of the next business day following discovery).
- Permanent and temporary sediment basins, if applicable, shall be drained and cleaned when sediment depth reaches ½ of original storage volume; complete within 72 hrs of discovery. Must be cleaned prior to project completion.
- Non-functional BMPs must be repaired or replaced by the end of the next business day following discovery.
- Inspect downstream ditch / drainage system for signs of erosion or sediment buildup during each inspection; stabilize within 7 days.
- Inspect vehicle exit locations and adjacent streets; remove sediment from surfaces within 1 day.

**POLLUTION PREVENTION**

- All solid waste generated at the site must be disposed of in accordance with all applicable federal and state regulations.
- All hazardous materials must be properly stored/contained to prevent spills or leaks; materials must be properly disposed of per applicable regulations, including Minn. Rule Ch. 7045. Restricted access storage areas must be provided to prevent vandalism.
- Vehicle or equipment washing must be confined to a defined area (minimum of 100' from pond or drainage ditch); runoff containing any hazardous materials must be collected and properly disposed of. Defined area must be delineated with heavy-duty silt fence (incidental); no engine degreasing is allowed on-site.
- Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscape materials must be under cover to prevent pollutant discharge, or protected by similar means to minimize potential contact with stormwater.
- Concrete and other washout waste must be effectively contained - solid and liquid washout waste must not contact ground and must be disposed of properly in compliance with MPCA rules. A sign must be installed at washout area requiring personnel to utilize the proper facilities for disposal of concrete and other wastes.
- The contractor is solely responsible for monitoring air pollution and ensuring that it does not exceed levels set by any agency or LGU. This includes dust created by work performed at the site; air pollution and dust control measures are incidental to the contract. The engineer may require additional dust control measures to be implemented, as necessary.
- Adequate temporary restroom facilities shall be present onsite in a stable and secure location during construction operations, and shall be maintained in an adequate functioning condition.

**FINAL STABILIZATION**

- The Contractor must ensure final site stabilization meets the Permit requirements, and submit the NOT within 30 days.
- Final stabilization includes uniform perennial vegetative cover of at least 70% of the expected final growth density over the entire pervious surface area, or other equivalent cover to prevent soil erosion.
- All temporary synthetic and structural BMPs must be removed as part of final stabilization.

**RECORD RETENTION**

- The SWPPP, all revisions to it, and inspection & maintenance records are the responsibility of the Contractor and must remain at the site during construction hours. The materials may be kept in a field office, onsite vehicle, or "SWPPP Mailbox".
- Training documentation shall be provided by Contractor as outlined below and required.
- The SWPPP, project permits, inspection/maintenance logs, stormwater maintenance agreements, and stormwater management design calculations must be retained for 3 years after submittal of permit NOT. Contractor shall provide Owner or Engineer copies of inspection and maintenance logs prior to final payment.

**TRAINING REQUIREMENTS**

- The permittees must comply with the training requirements as outlined in Section 21 of the Permit. The Contractor shall have a trained individual performing BMP installations and inspections, as required.
- Training table (below) to be completed prior to construction, as appropriate.

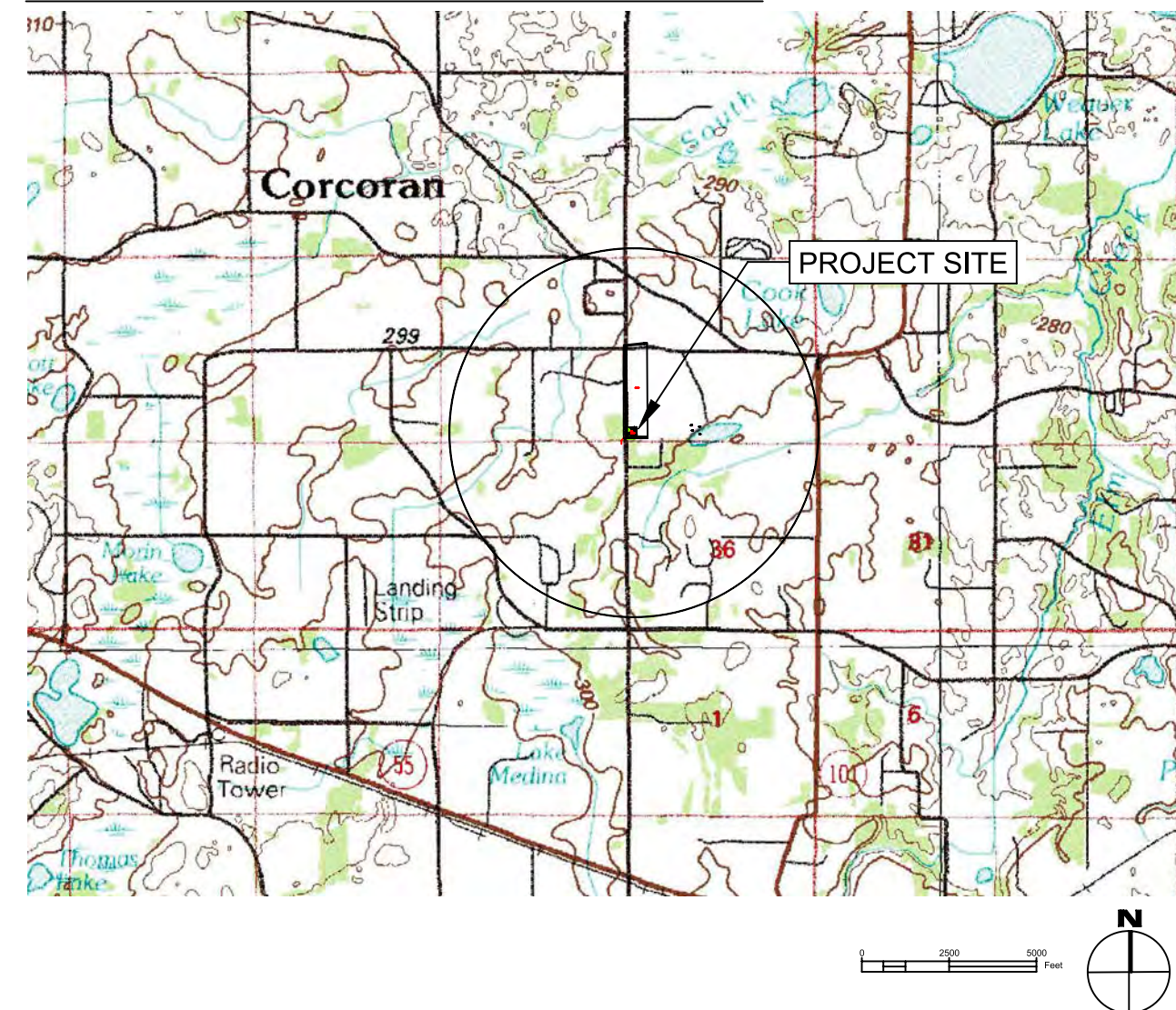
**RESPONSIBLE PARTIES & TRAINING SUMMARY**

	COMPANY	CONTACT	PHONE	TRAINING DATE	COURSE / ENTITY	CONTENT
OWNER:	Wright-Hennepin Electric	Bryant Tauer		NA	NA	NA
SWPPP PREPARER:	CIVIL METHODS, INC.	Dave Poggi	763.210.5713	8/31/2018	CM I EDU SERIES	SWPPP PREP FOR 2018 NPDES PERMIT
GENERAL CONTRACTOR / INSPECTOR:						
EROSION & SEDIMENT CONTROL INSTALLER:						
PERMANENT BMP OPERATOR / MAINTAINER:				NA	NA	NA

**SOILS MAP**



**DOWNSTREAM SURFACE WATERS AND WETLANDS**



**EROSION & SEDIMENT CONTROL QUANTITIES**

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 DATE: 12-15-2020  
 DAVID M POGGI  
 LIC. NO.: 44573

DESIGNED: DMP  
 DRAWN: DMP  
 CHECKED: KEB

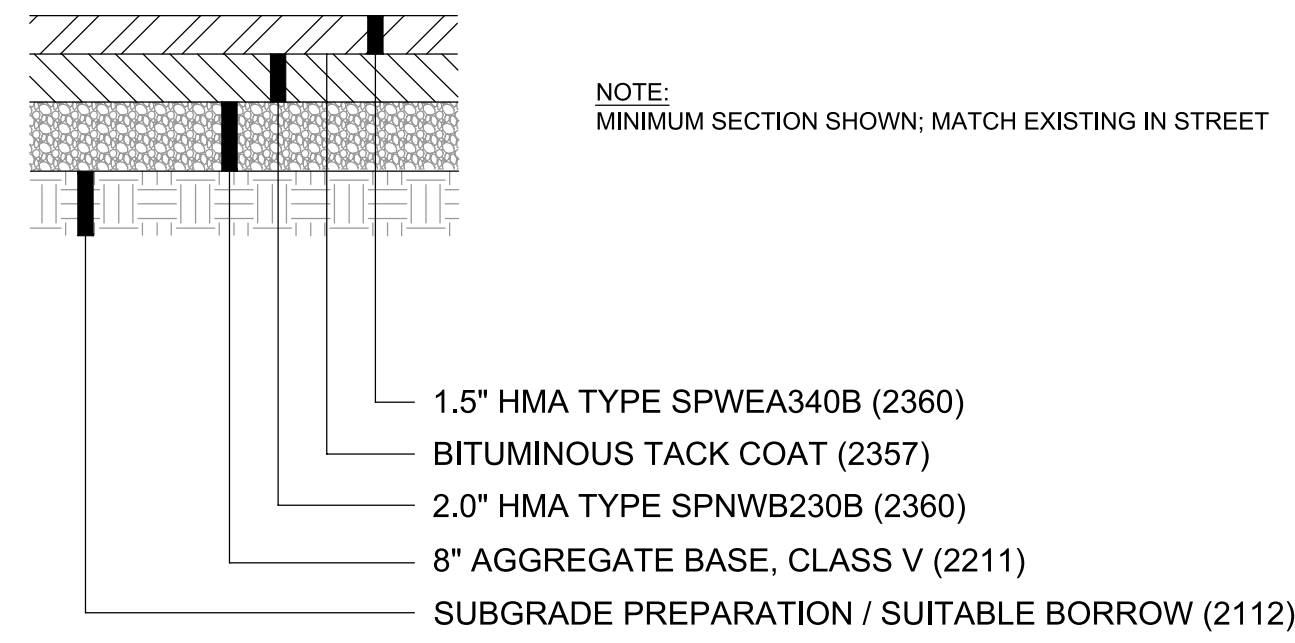
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OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN

TITLE: **SWPPP**  
 SHAMROCK SUBSTATION  
 CORCORAN, MN

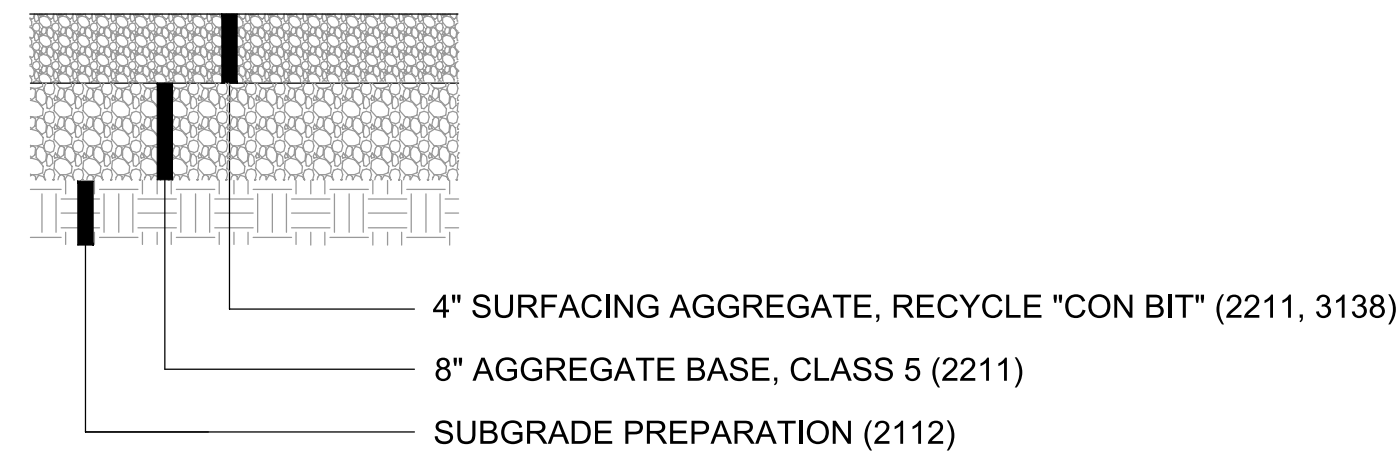
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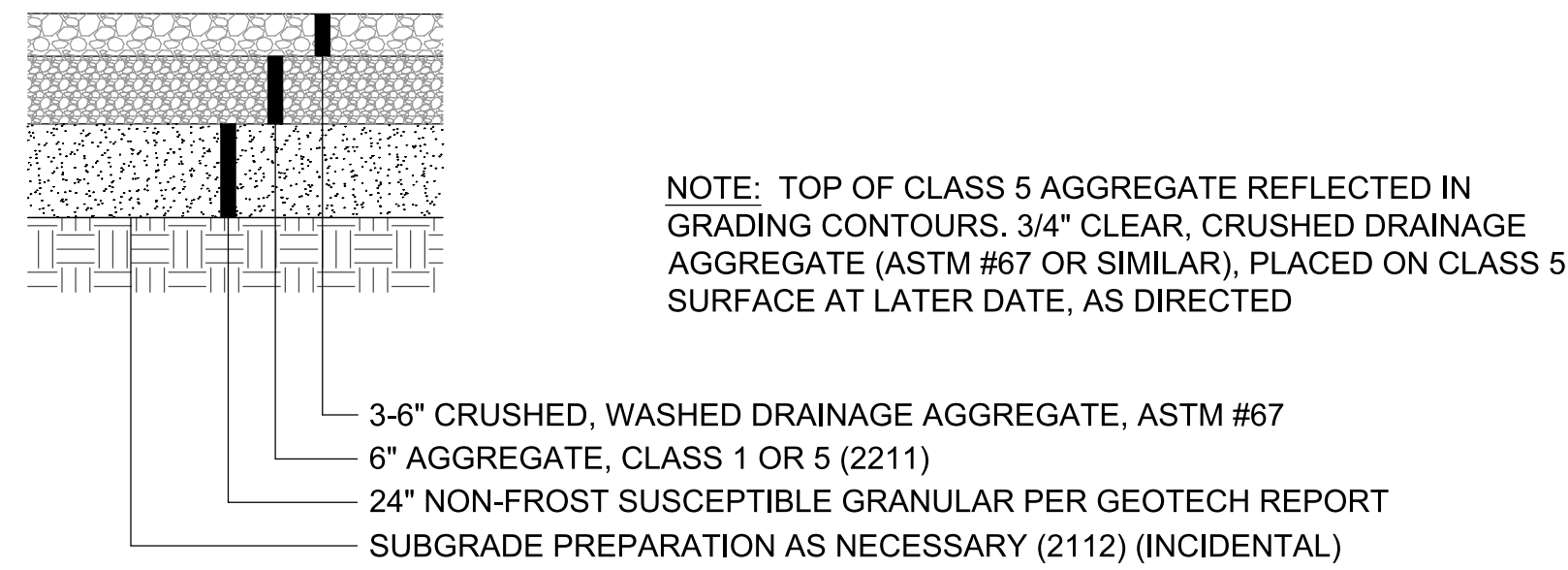


NOTE:  
MINIMUM SECTION SHOWN; MATCH EXISTING IN STREET

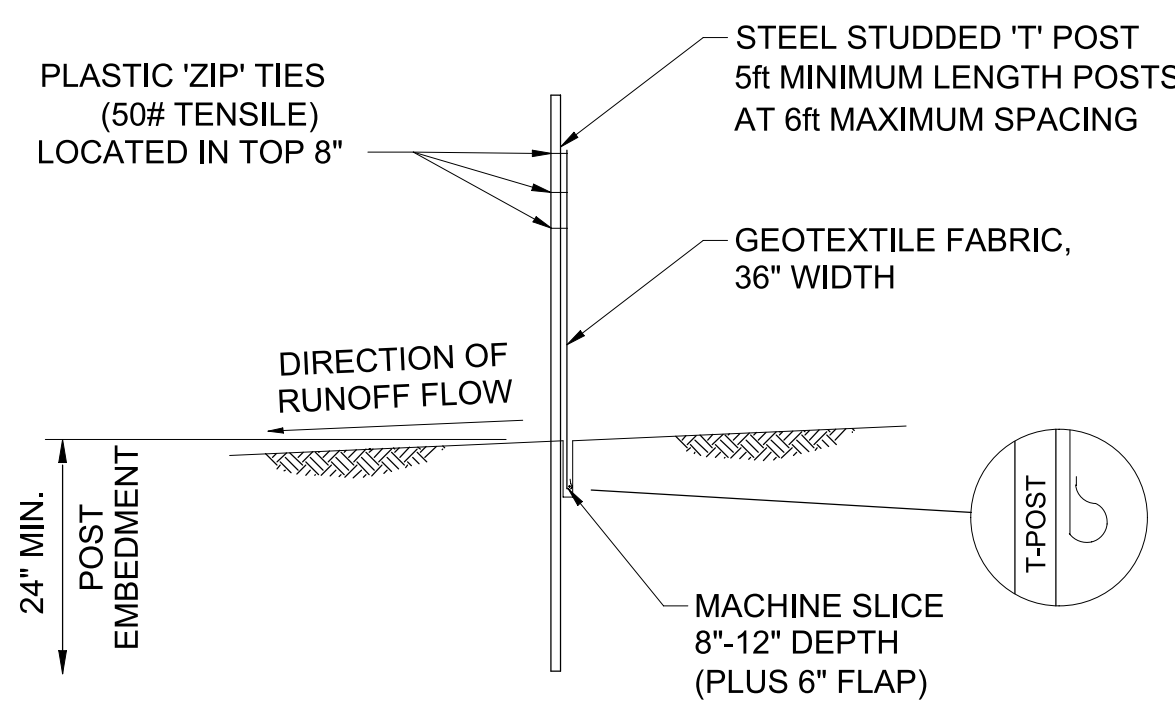
1 ASPHALT PAVEMENT SECTION



2 RECYCLE CON-BIT SECTION



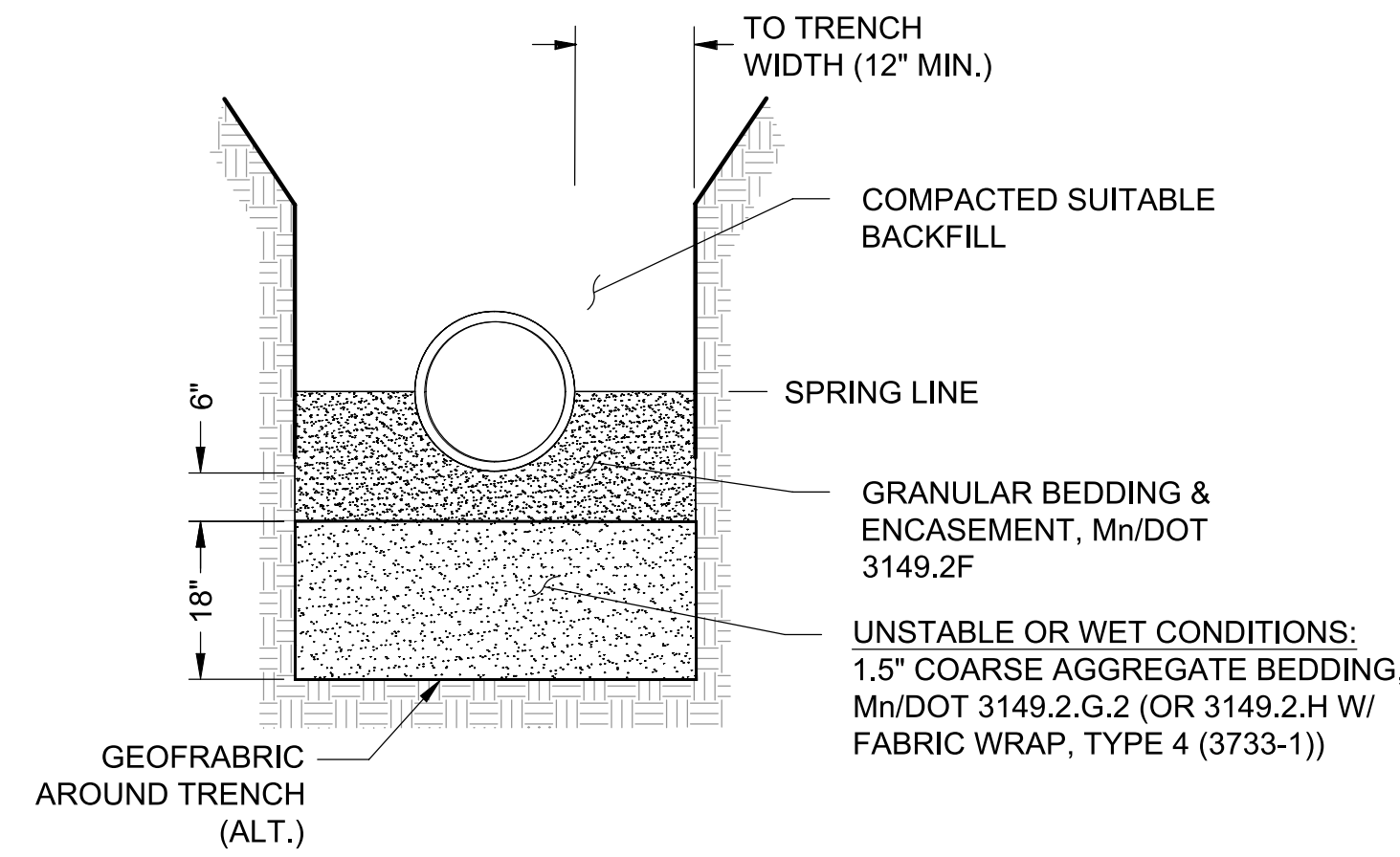
3 AGGREGATE SUBSTATION PAD



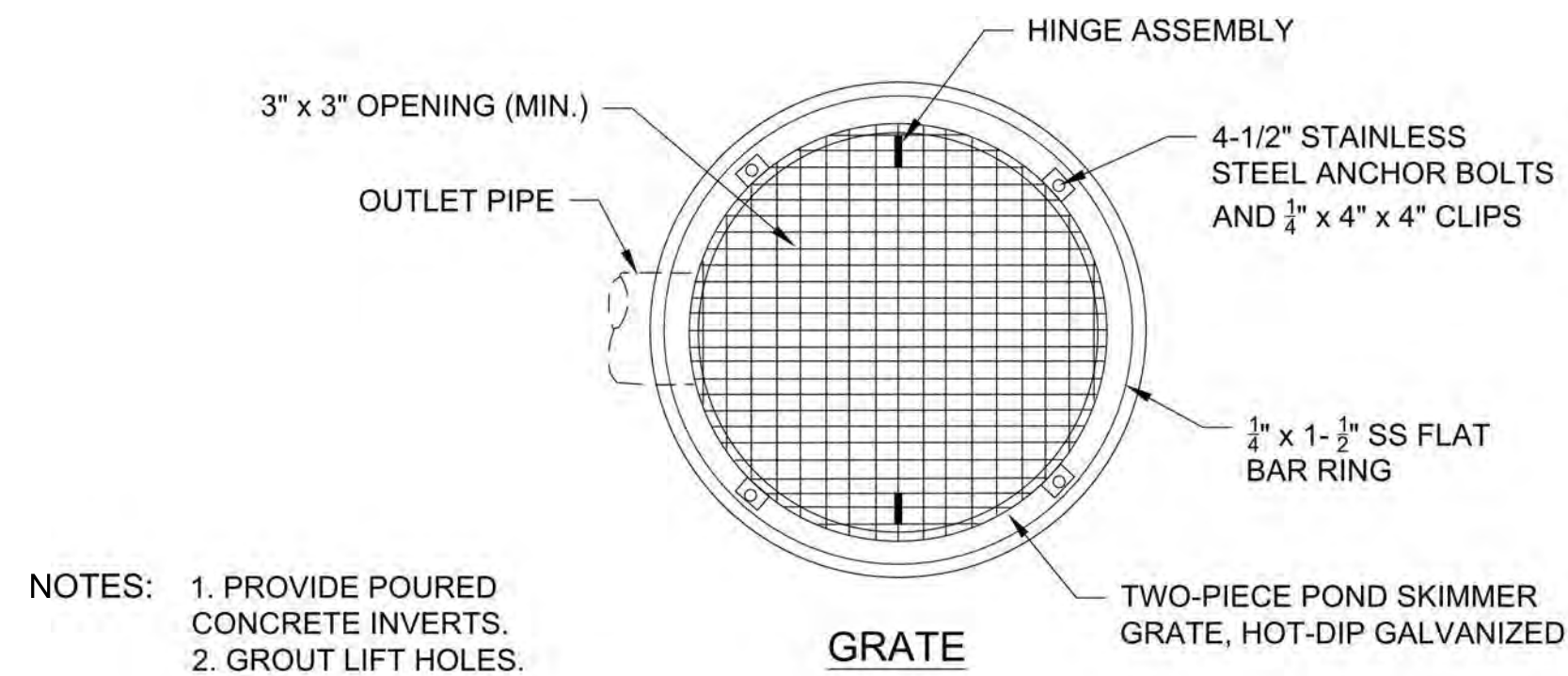
4 SILT FENCE - MACHINE SLICED

PIPE INSTALLATION NOTES:

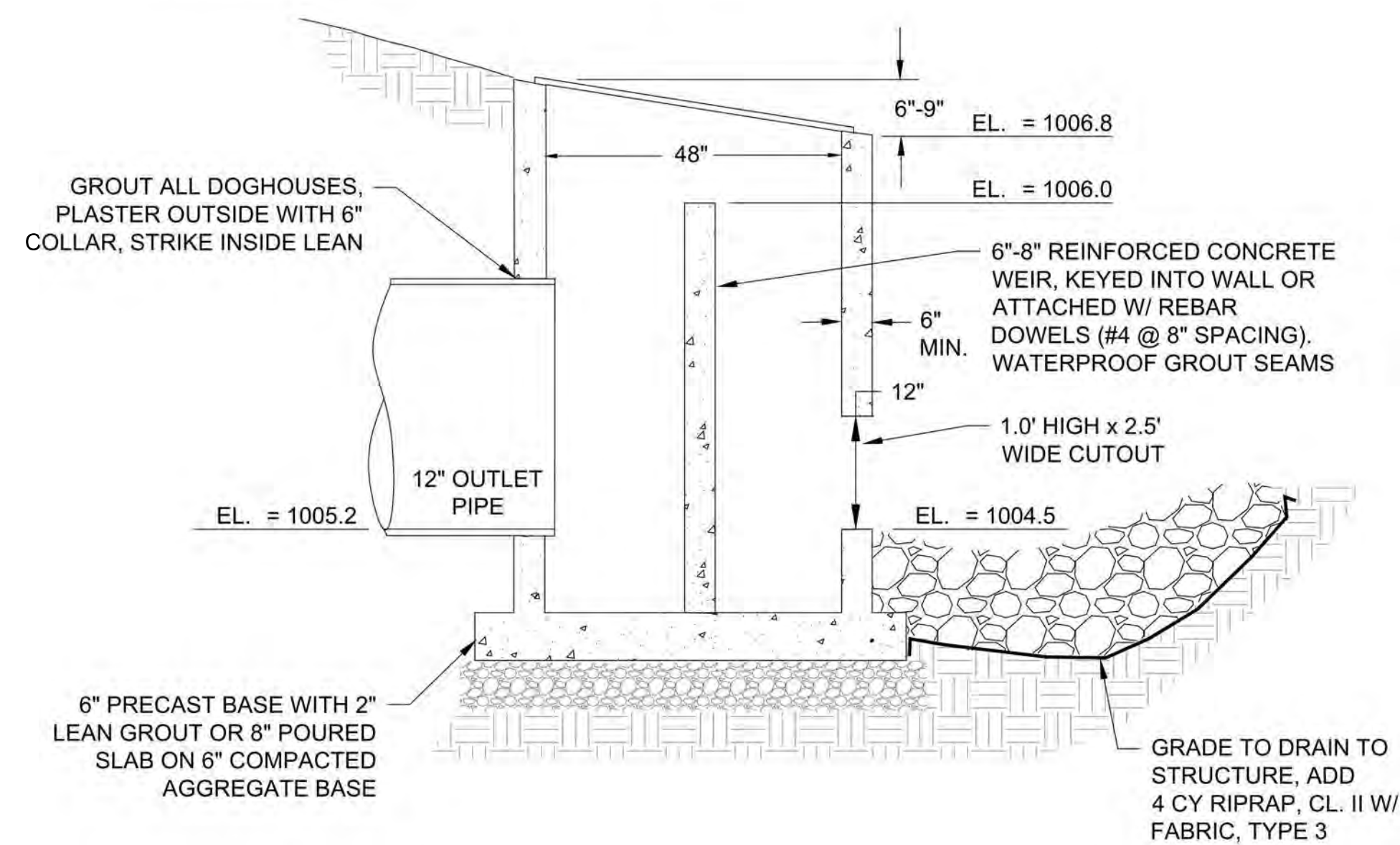
1. Granular bedding & encasement shall conform to Mn/DOT specification 3149.2F.
2. Encasement, foundation and backfill material is incidental to storm sewer pipe construction.
3. Culvert inverts shall be kept clean during construction; the contractor is responsible to clean all pipe that has been contaminated during construction.
4. Joints shall include rubber gaskets and be water-tight.
5. Contractor may, at its own discretion, wrap joints with geotextile fabric in lieu of placing mastic in the joint.
6. Bedding and encasement shall be compacted to 90% Standard Proctor using Specified Density Method, or as recommended by manufacturer, whichever is denser.
7. Backfill shall be compacted to Specified Density Method:
  - (a) 100% Standard Proctor from subgrade elevation down 3 feet.
  - (b) 95% Standard Proctor from bottom of excavation up to 3 feet Below subgrade elevation.



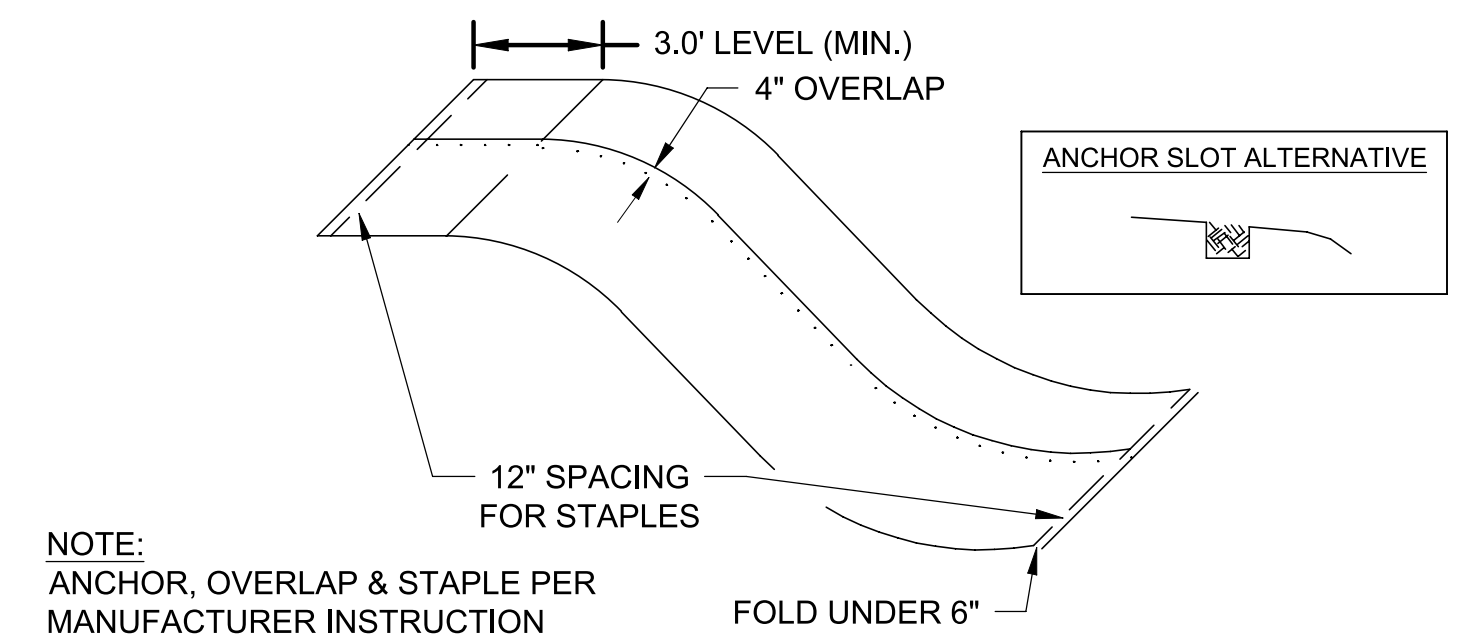
5 CONCRETE PIPE TRENCH



- NOTES:
1. PROVIDE POURED CONCRETE INVERTS.
  2. GROUT LIFT HOLES.

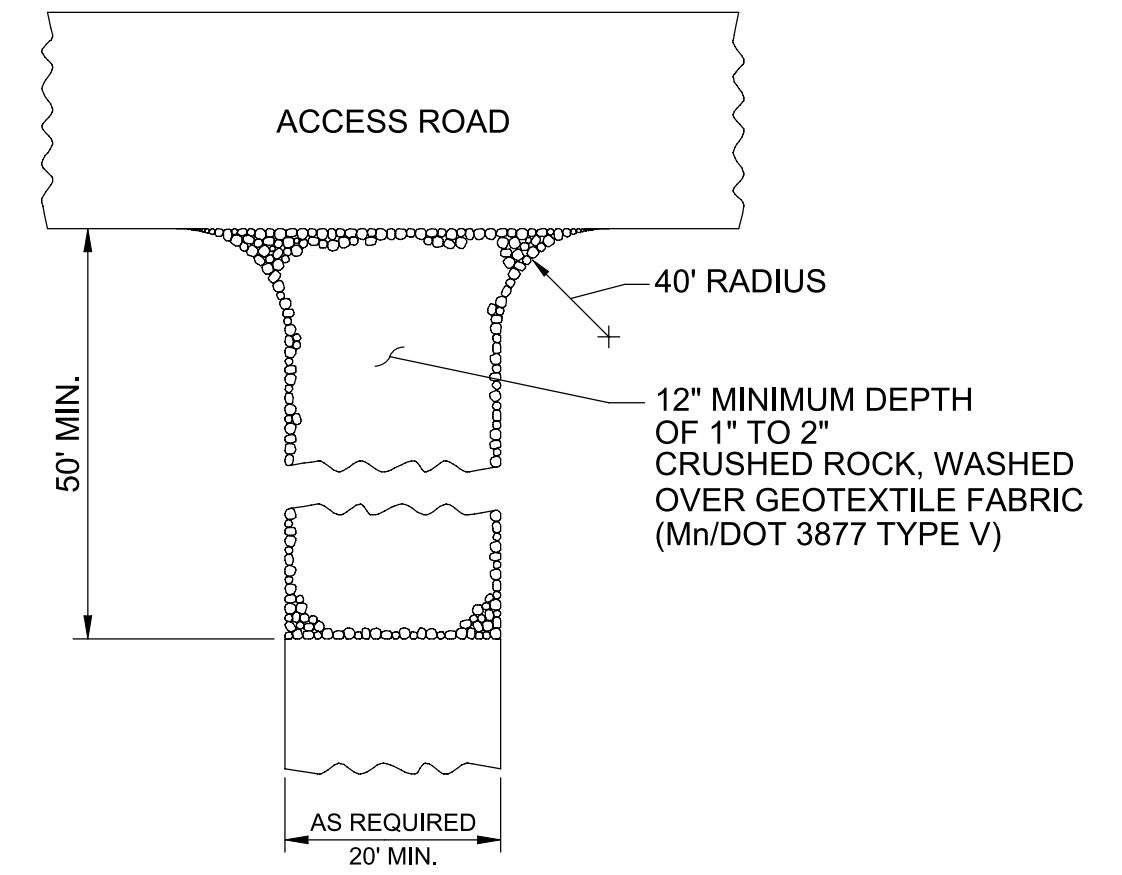


6 BASIN OUTLET CONTROL STRUCTURE

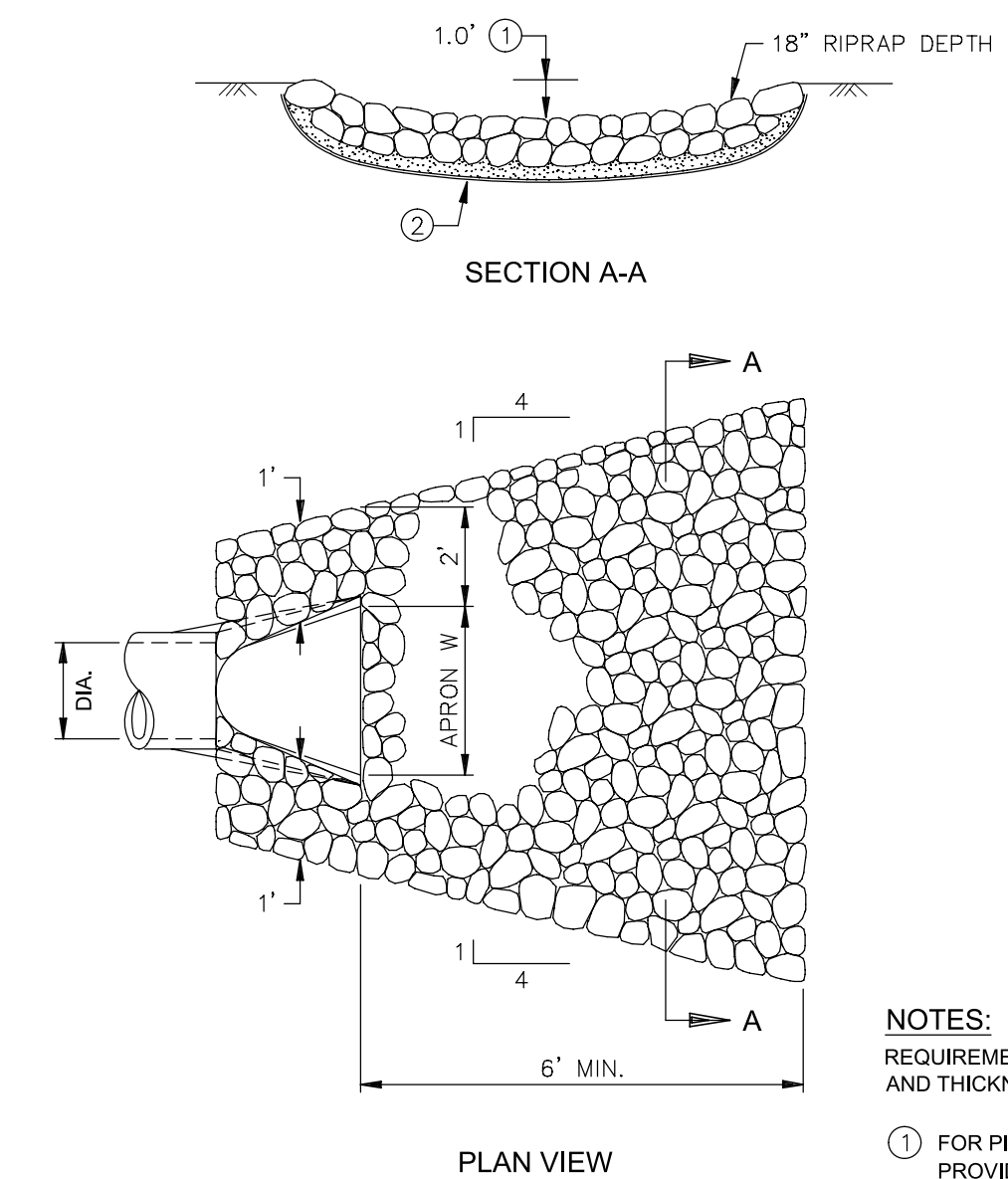


NOTE:  
ANCHOR, OVERLAP & STAPLE PER  
MANUFACTURER INSTRUCTION

7 EROSION CONTROL BLANKET INSTALLATION



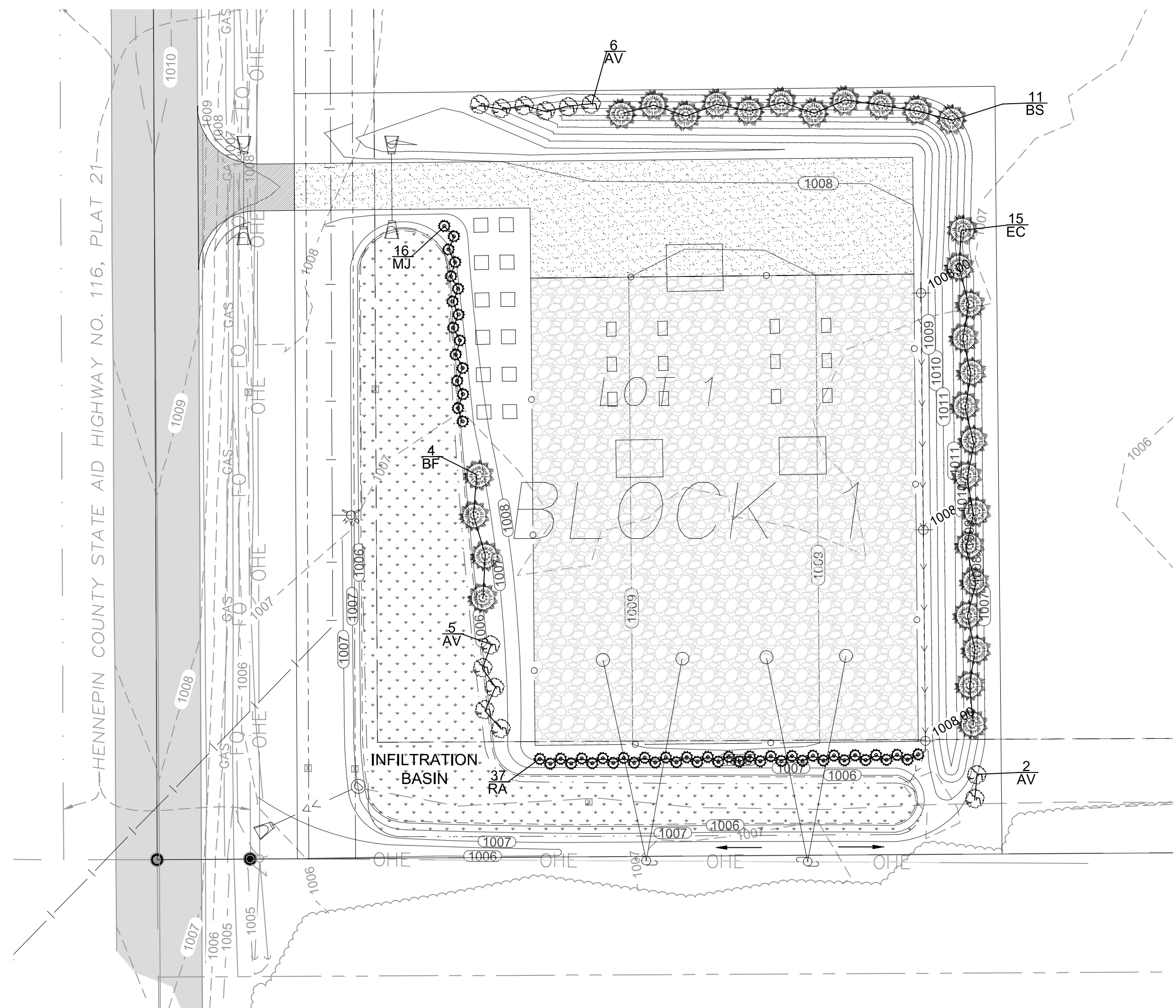
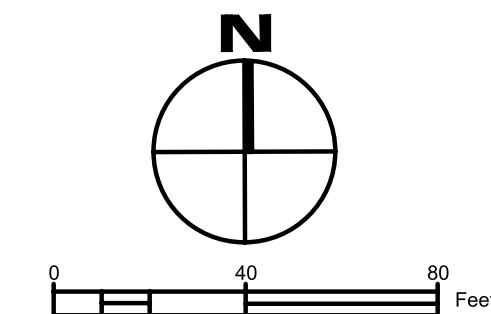
8 ROCK CONSTRUCTION ENTRANCE



- NOTES:
- REQUIREMENTS FOR GEOTEXTILE TYPE, RIPRAP SIZE AND THICKNESS WILL BE DESIGNATED IN THE PLANS.
1. FOR PIPES GREATER THAN OR EQUAL TO 30", USE 1.5' PROVIDE "BOWL" FOR ENERGY DISSIPATION.
  2. GEOTEXTILE FILTER FABRIC SHALL COVER THE BOTTOM AND SIDES OF THE AREA EXCAVATED FOR THE RIPRAP

9 RIPRAP AT FLARED END SECTION





**LANDSCAPING SUMMARY:**

LOT PERIMETER = 1,247 FT

**OVERSTORY TREE: 1 PER 50 FT PERIMETER**  
 REQUIRED: 25 TREES  
 PROVIDED: 30 TREES

**UNDERSTORY TREE: 1 PER 30 FT PERIMETER**  
 REQUIRED: 42  
 PROVIDED: 66

**PLANT SCHEDULE**

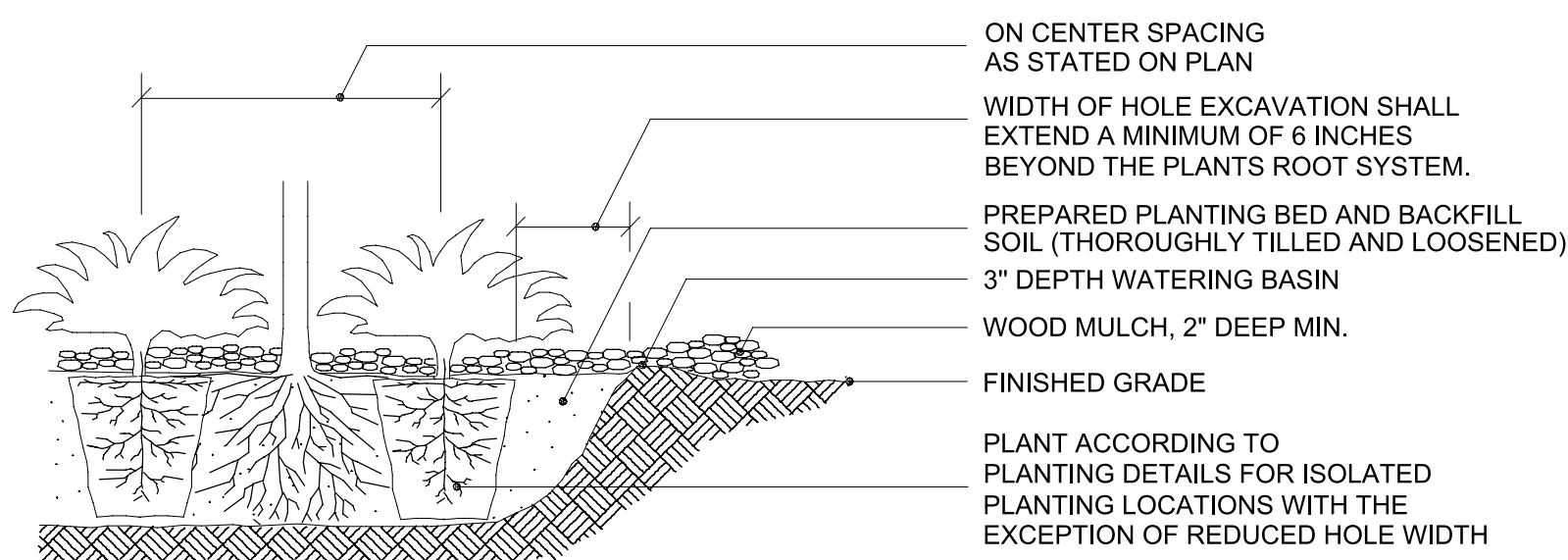
TREES					
KEY	QTY	COMMON NAME	BOTANICAL NAME	ROOT	CAL/SIZE
BS	11	Black Hills (White) Spruce	<i>Picea glauca 'densata'</i>	B&B	4'-6'
BF	4	Balsam Fir	<i>Abies balsamea</i>	B&B	4'-6'
EC	15	Eastern Red Cedar	<i>Juniperus virginiana</i>	B&B	4'-6'
SHRUBS / UNDERSTORY					
KEY	QTY	COMMON NAME	BOTANICAL NAME	ROOT	CAL/SIZE
AV	13	Arrowwood Viburnum	<i>Vibernum dentatum</i>		1.5"
RA	37	Rushmore Arborvitae	<i>Thuja occidentalis 'Rushmore'</i>		4'-6'
MJ	16	Medora Juniper	<i>Juniperus scopulorum 'Medora'</i>		4'-6'

**LEGEND:**

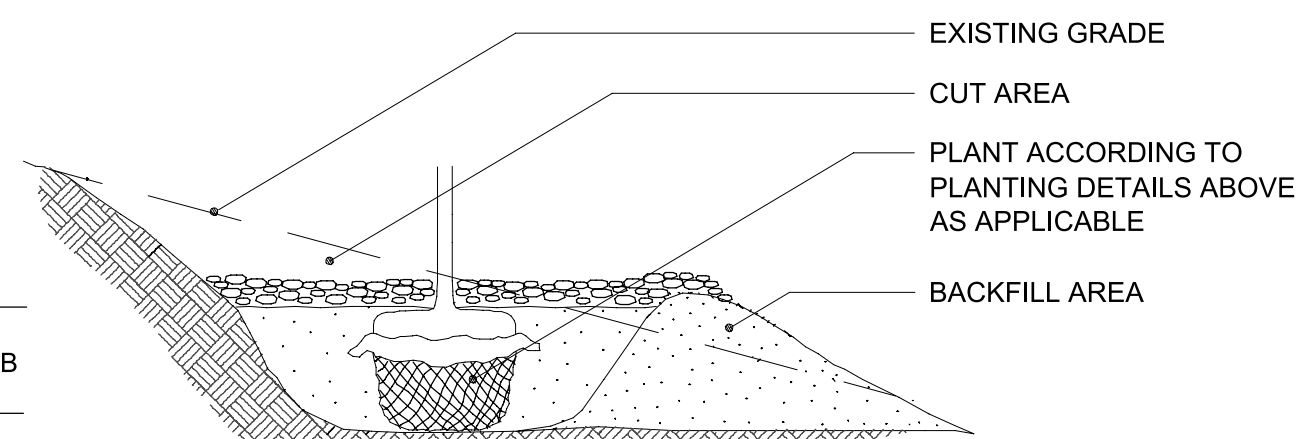
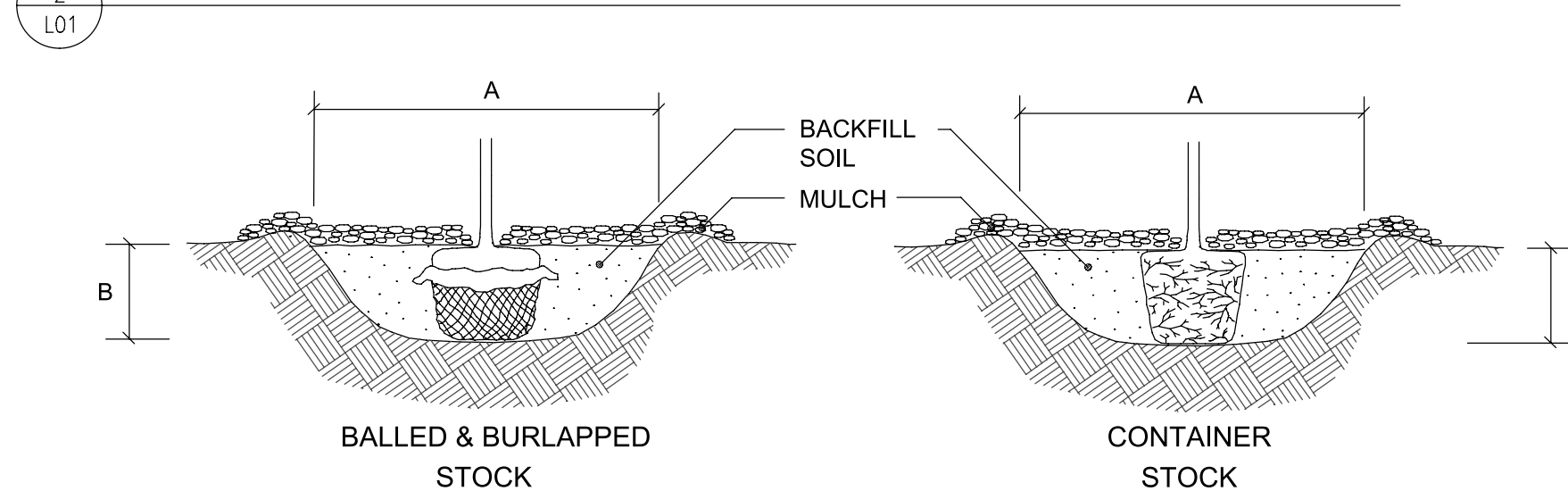
PROPERTY LINE	—
SETBACK	- - - -
EASEMENT	- · - · -
EXISTING TREE LINE	~ ~ ~ ~
CONTOUR	- · - · -
FENCE, CHAIN LINK	— · — · —
BITUMINOUS ASPHALT	[Pattern]
CONCRETE	[Pattern]
AGGREGATE, CL 5 OR CON-BIT	[Pattern]
CRUSHED DRAINAGE ROCK	[Pattern]
TREE DECIDUOUS	[Symbol]
TREE CONIFEROUS	[Symbol]
TREE UNDERSTORY	[Symbol]
INFILTRATION BASIN FORBS & GRASSES	[Symbol]

**NOTES:**

- SEE EROSION CONTROL PLAN FOR ADDITIONAL GROUND COVER INFORMATION.
- TREES MAY BE SUBSTITUTED WITH SIMILAR SPECIES GIVEN AVAILABILITY (NO MORE THAN 33% OF ANY ONE SPECIES OF TREE). CONTAINER STOCK MAY BE SUBSTITUTED FOR B&B AS APPROPRIATE.
- CONIFEROUS TREES SHALL BE 4'-6" TALL AND DECIDUOUS TREES 2.5" DIAMETER UPON INSTALLATION.
- TREES AND SHRUBS SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER INSTALLATION. DEAD OR DISEASED PLANTS WITHIN THIS PERIOD SHALL BE REPLACED AT CONTRACTOR EXPENSE.
- THE PLANTING DETAILS REPRESENT ADEQUATELY DRAINED SOIL CONDITIONS. THE CONTRACTOR SHOULD EXERCISE DISCRETION IN SETTING PLANTS 1"-3" HIGHER IN POORLY DRAINED SOILS.
- ON 2:1 SLOPES OR GREATER, DO NOT CONSTRUCT THE UPHILL HALF OF THE WATERING BASIN.
- ON WET, POORLY DRAINED SOILS, DO NOT CONSTRUCT WATERING BASIN.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE IN HEAVY POORLY DRAINED OR IMPERVIOUS SOILS.
- PLANTS SHOULD BE SET AT THE PROPER DEPTH WHEREBY THE BEGINNING TAPER OF THE ROOT FLARE IS AT THE SAME ELEVATION AS THE FINISHED SOIL GRADE. THIS SHOULD BE THE SAME DEPTH AS THE PLANTS WERE GROWN AT IN THE NURSERY. NOTE THAT THE ROOTS OF BALLED AND BURLAPPED PLANTS ARE UNACCEPTABLE WHEN THEY ARE COVERED BY MORE THAN 4" OF SOIL IN THE TOP OF THE BALL.
- DELAY MULCH PLACEMENT IF NECESSARY TO ALLOW MORE TIME FOR EXCESS SOIL MOISTURE TO EVAPORATE FROM PLANTING AREAS BEFORE PLACING MULCH.



**2 MASS PLANTING BEDS**



**NOTE:**  
 1. EXTENDED EXCAVATION AND BACKFILL SOIL TO A POINT DOWNSLOPE EQUAL TO OR LOWER IN ELEVATION THAN THE BOTTOM OF THE HOLE DIRECTLY BENEATH THE PLANT TO INSURE ADEQUATE DRAINAGE IN HEAVY SOILS. GRANULAR SOIL MUST BE ADDED AS BACKFILL IN AREAS OF POOR DRAINAGE.

**1 ISOLATED PLANTINGS**

**BALLED & BURLAPPED STOCK**

- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING AS DIRECTED BY ENGINEER.
- SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL AT THE SAME DEPTH (IF PROPER) AS IT WAS GROWN IN THE NURSERY.
- PLANT SHALL BE PLACED IN PLANTING HOLE WITH BURLAP AND WIRE BASKET, IF USED, INTACT. ONCE IN PLACE, THE PLANT SHALL BE BACKFILLED TO WITHIN 12" OF THE TOP OF THE ROOTBALL AND WATERED. THE TOP LOOPS OF THE WIRE BASKETS SHALL BE REMOVED AND THE BURLAP SHALL BE FOLDED OR CUT BACK.
- PLUMB AND BACKFILL WITH THE BACKFILL SOIL SPECIFIED.
- APPLY WATER TO SETTLE PLANTS AND FILL VOIDS THEN CONSTRUCT 3" DEPTH WATERING BASIN.
- WATER THOROUGHLY WITHIN 2 HOURS.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
- BIODEGRADABLE TWINE MAY BE LEFT ON AS SUPPORT BETWEEN THE ROOT BALL AND ROOT COLLAR UNTIL THE END OF THE PLANT ESTABLISHMENT PERIOD AT WHICH TIME IT MUST BE CUT AND TOTALLY REMOVED FROM THE ROOT COLLAR. THE TWINE MUST BE TIED OR RETIED TO MID-LEVEL LOOPS OR POINTS ON THE BASKET. USE OF NONBIODEGRADABLE TWINE SHALL NOT BE PERMITTED.

**CONTAINER STOCK**

- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING AS DIRECTED BY ENGINEER.
- REMOVE CONTAINER AND SCORE OR PRUNE OUTSIDE OF SOIL MASS TO REDIRECT CIRCLING FIBROUS ROOTS AS NECESSARY. SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL AT THE SAME DEPTH (IF PROPER) AS IT WAS GROWN IN THE NURSERY.
- APPLY WATER TO SETTLE PLANTS AND FILL VOIDS THEN CONSTRUCT 3" DEPTH WATERING BASIN.
- WATER THOROUGHLY WITHIN 2 HOURS.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

**PLANTING HOLE DIMENSIONS**  
 (MINIMUM WIDTH DOES NOT APPLY IN MASS PLANTING BEDS)

PLANT TYPE	PLANT SIZE (UP TO AND INCLUDING)	MINIMUM APPROXIMATE HOLE WIDTH (INCHES)	
		A	B
CONIFEROUS TREES	3' B.B.	42	11
	4' B.B.	51	13
	5' B.B.	60	13
	6' B.B.	66	15
	7' B.B.	72	16
	8' B.B.	81	18
CONTAINER GROWN PLANTS	9' B.B.	90	20
	10' B.B.	102	21
	#1 cont.	18	6
	#2 cont.	23	7.5
	#3 cont.	29	8.5
	#5 cont.	30	11
	#7 cont.	37	11
	#10 cont.	44	14
	#15 cont.	45	15
	#20 cont.	60	17
	#25 cont.	72	16

**NOTE:**  
 AT LEAST 1/3 OF ALL CONIFER BRANCHES WILL CONTAIN TERMINAL BUDS

Print Date: 1/26/2021 11:54 AM  
 File Loc: C:\CIVIL\Methods, Inc\GMI - Documents\17\_Projects\0600\_WHITE CORCORAN SUBSTATION\08\_DRAWINGS AND SPECIFICATIONS\CID\Sheet\LOT\_Landscaping.dwg

**CIVIL METHODS, INC.**  
 1551 Livingston Avenue, Suite 104  
 West St. Paul, MN 55118  
 o:763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 DESIGNED: DMP  
 DRAWN: DMP  
 CHECKED: KEB  
 DATE: 12-15-2020  
 DATE: 12-15-2020  
 DATE: 12-15-2020  
 LIC. NO.: 44573

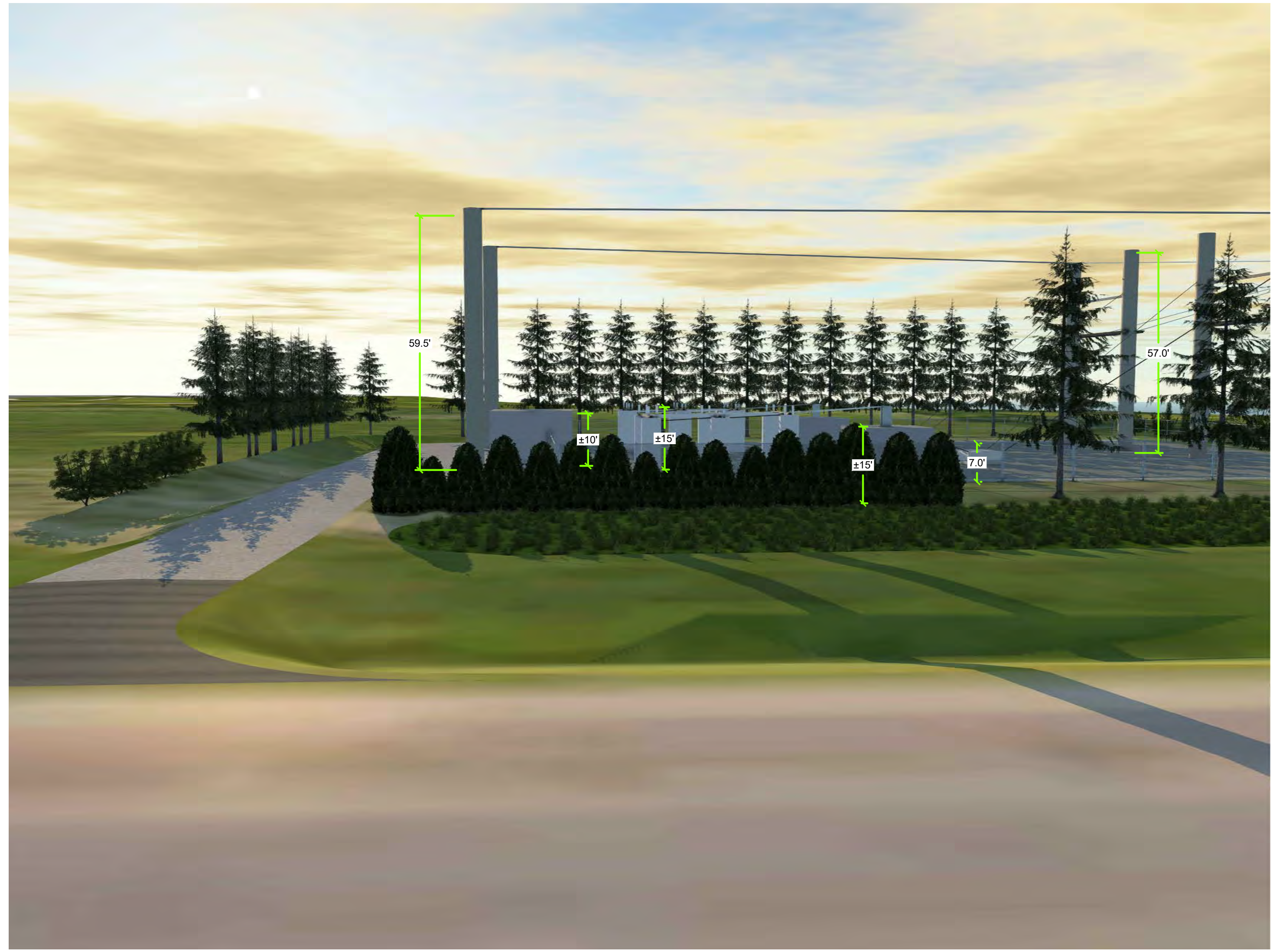
DATE / REVISION:  
 12-15-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION  
 12-31-2020 Preliminary Plat Submittal. NOT FOR CONSTRUCTION  
 01-26-2021 Preliminary Plat Submittal. NOT FOR CONSTRUCTION

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN

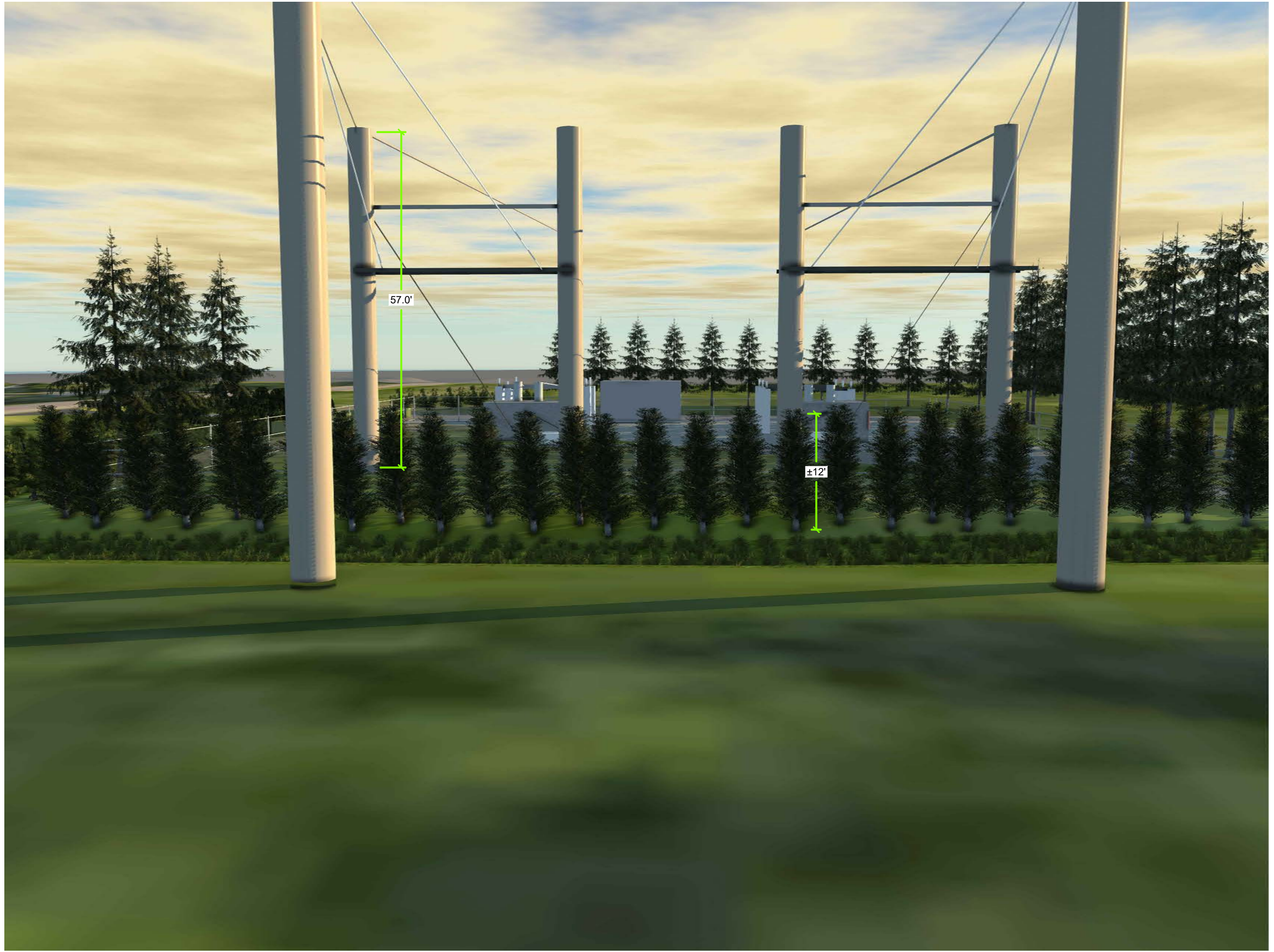
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 SHAMROCK SUBSTATION  
 CORCORAN, MN

SHEET NO: **L01**





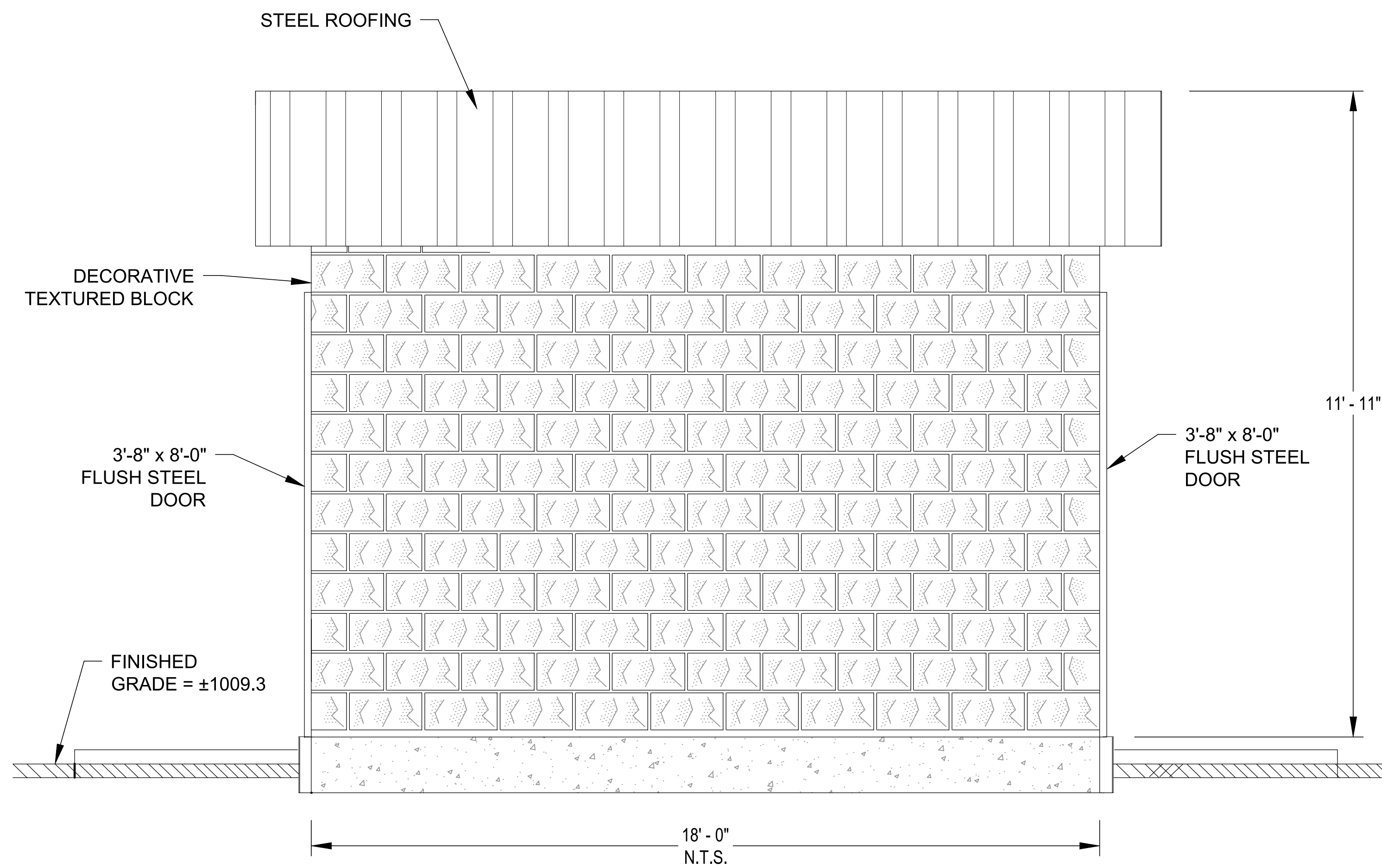
**STREET VIEW TO EAST**



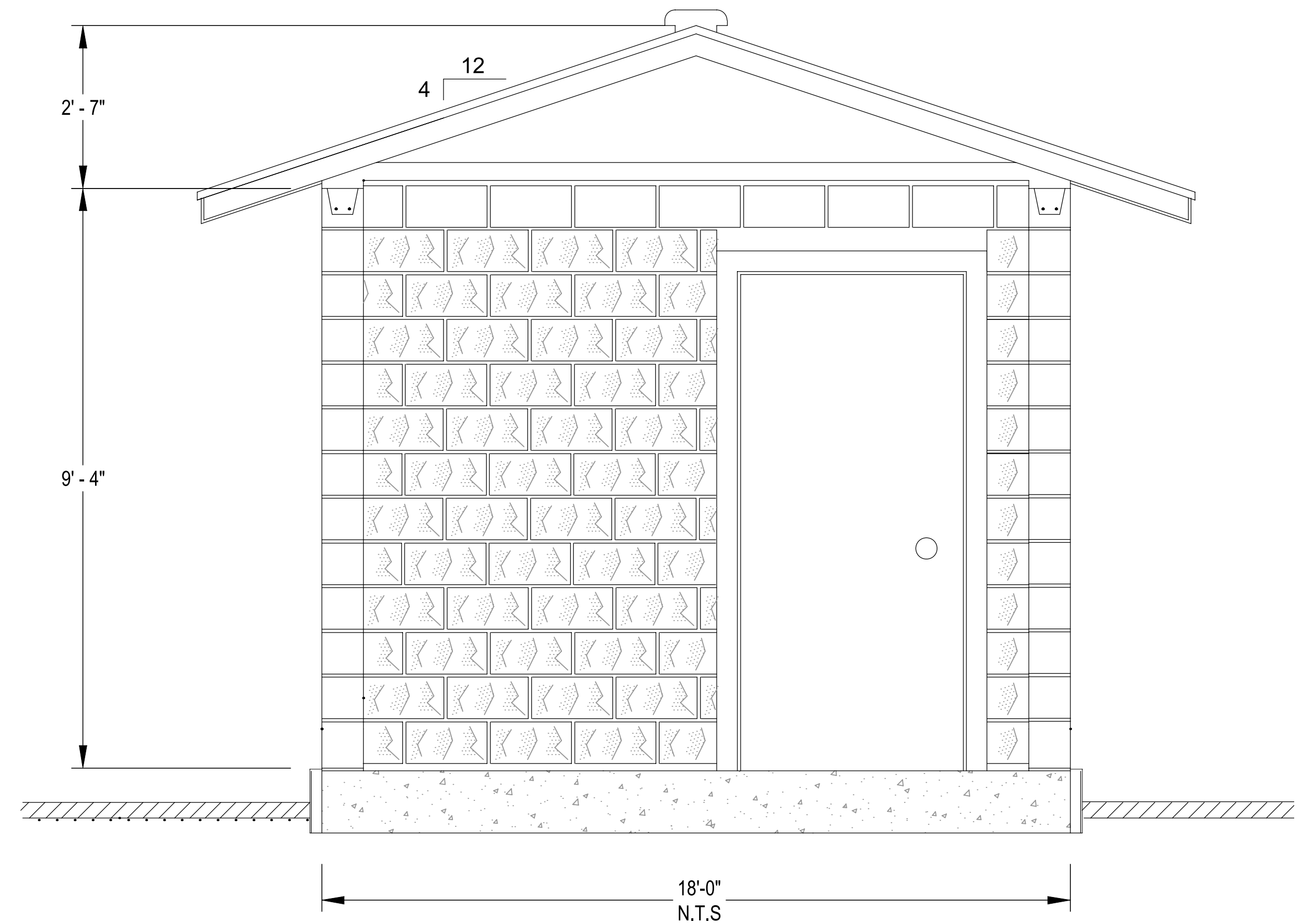
**OFFSITE VIEW TO NORTH**

Print Date: 1/15/2021 11:20 AM  
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**WEST ELEVATION**



**NORTH ELEVATION**



**SAMPLE IMAGE**

Print Date: 12/31/2020 11:44 AM  
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**CIVIL METHODS, INC.**  
 1551 Livingston Avenue, Suite 104  
 West St. Paul, MN 55118  
 o: 763.210.5713 | www.civilmethods.com

OWNER: **WRIGHT-HENNEPIN ELECTRIC**  
 ROCKFORD, MN


TITLE: **ARCHITECTURAL ELEVATIONS**  
 SHAMROCK SUBSTATION  
 CORCORAN, MN

SHEET NO:  
**V02**



## Say NO to WH Electric Substation Near Oak Ridge Farm and Olde Sturbridge Neighborhoods!




 [Michelle Friedrich](#) started this petition to Corcoran City Council Mayor Tom McKee and [7 others](#)

WH Electric Coop is proposing to build a 2 1/2 acre substation just north of 6830 County Road 116, on property owned by Shamrock Golf Course at 19835 Larkin Road. The substation will connect to the existing power lines that currently run the length of the property at 6830 County Road 116 and 19835 Larkin Road. The substation is not a small station like on the corner of Larkin Road and County Road 116, it will cover 2 1/2 acres of current farmland. The substation is directly across from Oak Ridge Farm on County Road 116. Electrical substations emit EMF radiation, with various scientific reports supporting a link between EMF radiation and leukemia in some people. Electrical substations directly impact property values located near them. There is a better location for the substation in Corcoran rather than next to existing residential properties in the Olde Sturbridge and Oak Ridge Farm neighborhoods. Once this substation is constructed, we will not be able to suggest a more suitable location, so we need to act very soon. The preliminary plat is going to the Corcoran Planning Commission on Feb 4, and City Council on February 25. Please reach out to Corcoran City Council in the attached letter, and the Planning Commission to oppose this electrical substation location.

244 have signed. Let's get to 500!

Saint Paul, 55125  
United States 

Display my name and comment on this petition

 [Sign this petition](#)

By signing, you accept Change.org's [Terms of Service](#) and [Privacy Policy](#), and agree to receive occasional emails about campaigns on Change.org. You can unsubscribe at any time.

**From:** [easanko@comcast.net](mailto:easanko@comcast.net)  
**To:** [Brad Martens](#)  
**Cc:** [easanko@comcast.net](mailto:easanko@comcast.net)  
**Subject:** Planning Commission 2/4 Agenda Item 6d - WH Electric  
**Date:** Tuesday, February 2, 2021 11:18:07 AM

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Mr. Martens, please pass this email on to the members of the Planning Commission so that they receive and can review it in advance of the 2/4 meeting. Thank you.

Ellen Sanko

\*\*\*\*\*

To: Corcoran Planning Commission Members

We are reaching out to you to voice our **opposition** to the Wright-Hennepin Cooperative Electric request to build a new electric substation at 19835 Larkin Road, Corcoran. At this location, the project would require a zoning variance from residential to light industrial. It is my understanding that there is property available near the industrial park that is already zoned for light industrial and is therefore in proximity of the requested location. A residential area is not the appropriate location for building an electric substation and there is no need for a zoning variance to be even considered for this project since more suitable and properly zoned options are available.

The Wright-Hennepin project will have a significant and lasting impact on the future of the City, mostly in a positive way for the community as a whole, but it would most certainly have a **detrimental impact** on the existing residential areas (including the recently approved Tavera development) if the project were to go forward at the proposed Larkin Road location.

Perhaps just as important as the zoning issue, is the question of whether a large electric substation is what the City of Corcoran wants as a focal point at one of the gateways to the city. Corcoran can and should do better than that! The substation is understandably “essential”, but what is also essential is that the overall vision and character of the city be kept front of mind.

At this time of significant development in the Corcoran area, the Planning Commission and the Corcoran City Council have a huge responsibility to preserve the character of Corcoran, protect the integrity of the guidance found in the 2040 Comprehensive Plan, and to guide the city’s development toward a city that we are all proud to be a part of. We urge you to do the right thing and deny this zoning variance request and re-direct this project from the Larkin Road residential area to an already designated commercial zone, where it belongs.

Thank you.

Mike & Ellen Sanko

6720 County Road 116  
Corcoran, MN 55340



February 4, 2021

**Via Email to City Administrator, Brad Martens**

Members of the Corcoran Planning Commission  
Corcoran City Hall  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

Re: Request for Preliminary Plat, Variance and Administrative Permit from  
Wright-Hennepin Cooperative Electric Association at 19835 Larkin Road (PID 25-  
119-23-32-0001) (city file 20-048)

Dear Members of the Corcoran City Planning Commission,

Please accept this letter, which addresses some of my concerns about the Wright-Hennepin Cooperative Electric Association's ("Wright-Hennepin") request for a variance for its proposed electrical substation. I have reviewed City Staff's report, which analyzes the application under the City's variance requirements. I respectfully disagree with parts of Staff's analysis. Please understand that this letter does not, and is not intended to, contain each and every fact and statement of law relevant to this matter; I simply included enough to demonstrate the correctness of my position.

Wright-Hennepin "...is requesting approval for a variance to allow a 2.2-acre lot where the UR district requires a 20-acre minimum lot size." (See Landform Ltr., Jan. 28, 2021 at 3). The City Code prohibits the grant of such a variance unless an applicant (e.g., Wright-Hennepin) shows, among other things, "[t]hat the conditions upon which a petition for a variation is based are *unique to the parcel of land* for which the variance is sought and *were not created by the landowner*." (Corcoran City Code § 970.030(b), *emphasis added*).

In its analysis under § 970.030(b), Staff posits, simply, that

"...the conditions upon which a petition for a variation is based are unique to the parcel of land because the substation is needed to serve the new and existing development in Corcoran and needs to be in the MUSA but does not require municipal sewer and water like other uses. This use is one of the few uses in the MUSA that would not require these services."

(Landform Ltr., Jan 28, 2021 at 4, *see also attached* Draft Resolution § 2(b)).

This reasoning is fundamentally flawed and should be rejected. First, the "need to serve the new and existing development in Corcoran" is not a condition unique to the parcel

of land described in Wright-Hennepin's application. Indeed, the issue of serving electricity to new and existing developments is a non-specific condition that could be applicable to any parcel within Corcoran's limits, if it is a condition that could be unique to land at all. Second, Staff's report does not expound upon the reason why an electrical substation "needs to be in the MUSA," but regardless, it is not a condition unique to the parcel. Indeed, my property, and that of dozens if not hundreds of other Corcoran residents, is also within the MUSA boundary.<sup>1</sup> A variance is not the appropriate remedy for a condition that is shared throughout City. For these reasons, Wright-Hennepin has not established that there is a condition unique to the property that justifies the grant of a variance.

In its analysis, Staff failed to address the second prong of § 970.030(b). That is, "[t]hat the conditions upon which a petition for a variation is based...*were not created by the landowner.*" The sole cause of the variance request is because of Wright-Hennepin's concurrent request for a preliminary plat. The landowner, by selling part of a conforming lot to make a non-conforming lot, is literally creating (or proposing to create) the condition upon which the variance request is based.<sup>2</sup>

While there are other valid concerns about the application of the variance standard to Wright-Hennepin's request, for the sake of brevity I have intentionally limited my written comments to those detailed above.

I understand that the City Council has a high level of discretion in the decision whether to grant a variance because the burden of proof is on the applicant. Wright-Hennepin has not met this burden. I respectfully request that this Commission recommend to the Council that the variance application be denied. I am sincerely thankful for the opportunity to be heard on this matter. Thank you, members of the Planning Commission, for your time and hard work for the City.

Sincerely,



---

Mark Lanterman  
6936 Oak Ridge Road, Corcoran

---

<sup>1</sup> Indeed, the definition of a variance is "...A modification or variation of the provisions of this Ordinance where it is determined that by reason of special and unusual circumstances *relating to a specific lot...*" (Corcoran City Code § 1020.020, *emphasis added*).

<sup>2</sup> I note that Staff points out that "the Planning Commission could find that the primary obstacles to compliance appear to be financial. The applicant could purchase the entire 40 acre site for the substation or purchase 20 acres to comply with the ordinance minimum standards." (See Landform Ltr., Jan. 28, 2021 at 4). See also Corcoran City Code § 1070.040 subd. 2(b), "Economic considerations alone do not constitute practical difficulties."

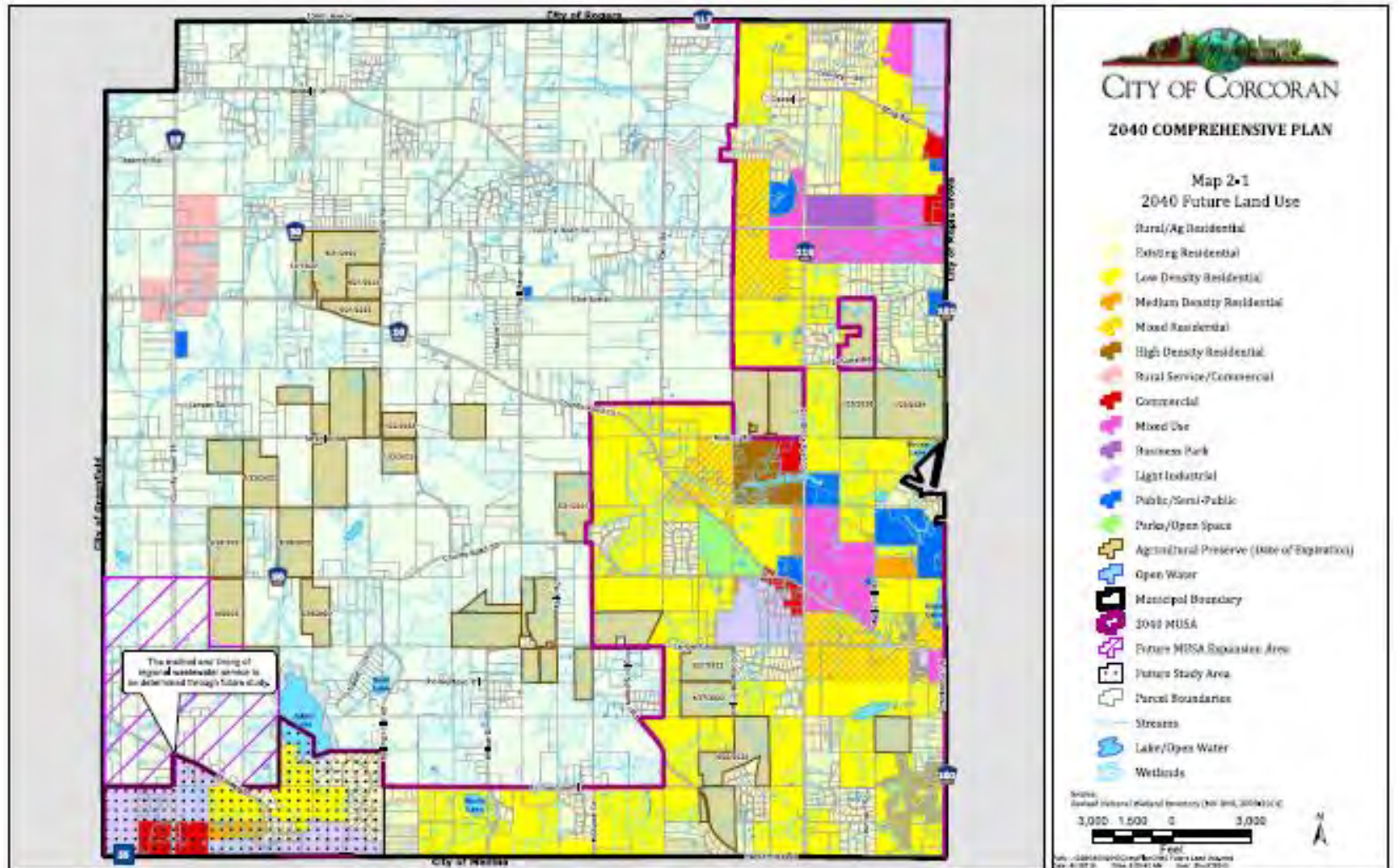
# Wright-Hennepin - City of Corcoran Proposed Substation

February 2021

# Why are we here?

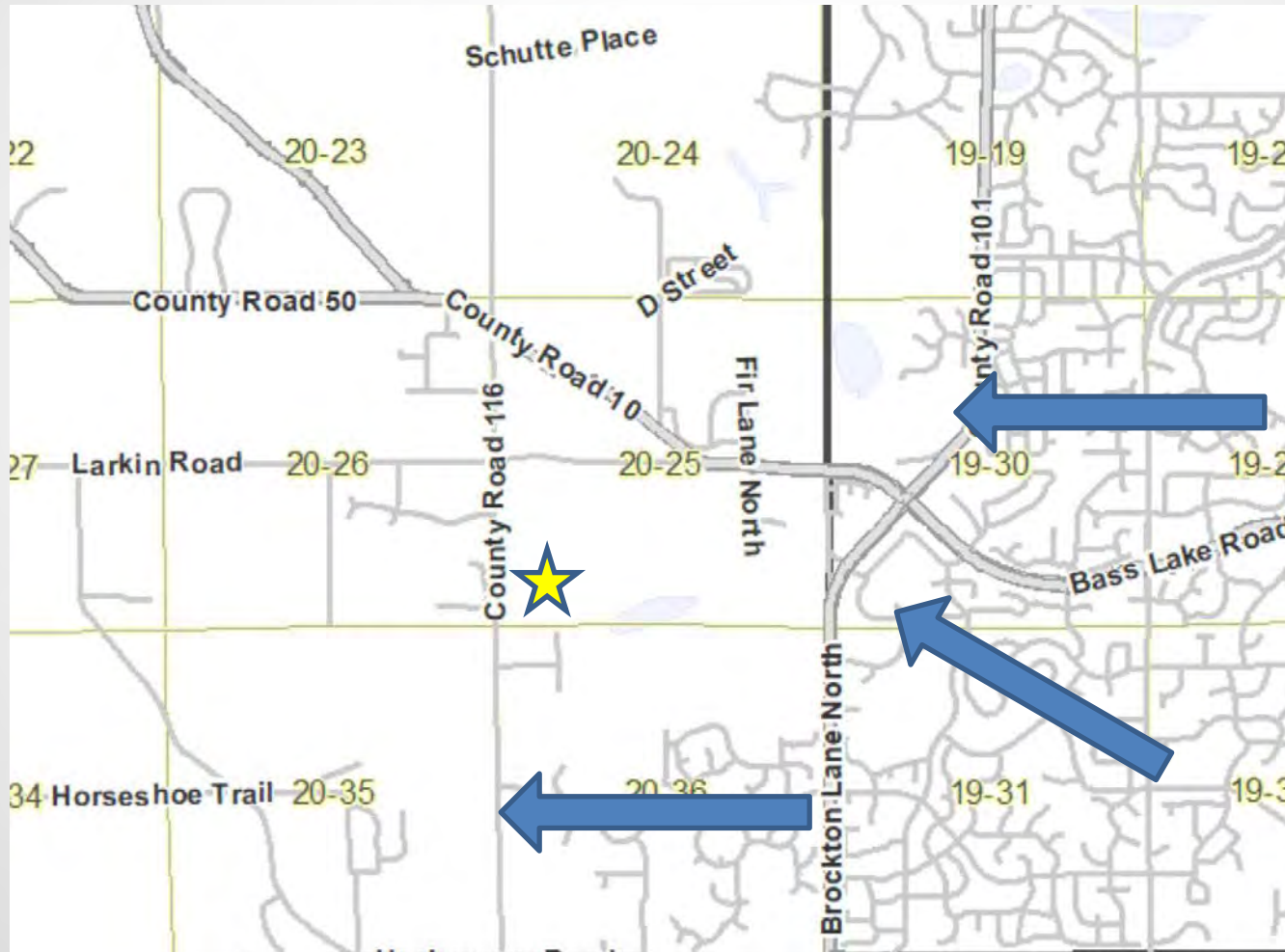
- To accommodate its growth plan, the City of Corcoran requires the addition of significant new electric service capability
- The current electric distribution infrastructure is inadequate to serve this growth
- Consequently, the area requires a new substation to ensure safe, reliable and affordable power for area homes and businesses

# City of Corcoran 2040 Comprehensive Plan





# Corcoran Development Movement



# Wright-Hennepin's Response

- In response to the City's needs, WH launched a comprehensive evaluation and due diligence process to identify the best site for a new substation
- This process evaluates sites using a range of criteria including:
  - Power reliability needs
  - Power quality needs
  - Access and proximity of electric infrastructure (distribution and transmission lines)
  - Access and proximity of right-of-way
  - Land availability
  - Community impacts
  - Zoning requirements
  - City needs
  - Costs
  - Other requirements
- Consequently, the number of feasible sites was limited

# Current Substation

- Existing Corcoran Substation
  - Located on southeastern corner of Larkin and County Road 116
  - Constructed in 1952
  - Load forecasted to exceed baseline capability by 2023
  - Current small footprint does not meet new setback requirements nor allow for expansion
- Consequently, this is not a feasible site and an alternative is required



# WH and City of Corcoran Proposed Site

- Zoned Urban Reserve
  - Does not require rezoning
  - Allows for essential services
  - Variance requested from 20-acre minimum site
- Site:
  - 2.26 acres (excludes 60 ft right-of-way)
  - .75 acres of fenced section
  - Optimal location to serve immediate growth and development
  - Consistent with the City of Corcoran's 2040 Comprehensive Plan
  - Undeveloped land
  - Avoids the need for building new or extending high voltage transmission lines
  - Located near existing distribution and transmission lines





# WH and City of Corcoran Proposed Site

- Large enough to accommodate flexible landscaping options
- Unencumbered future right-of-way for distribution feeders
- Accessible to WH vehicles
- Willing seller
- Ensures reliable electricity to Corcoran residents for decades to come





# WH and City of Corcoran Proposed Site

View from County Road 116

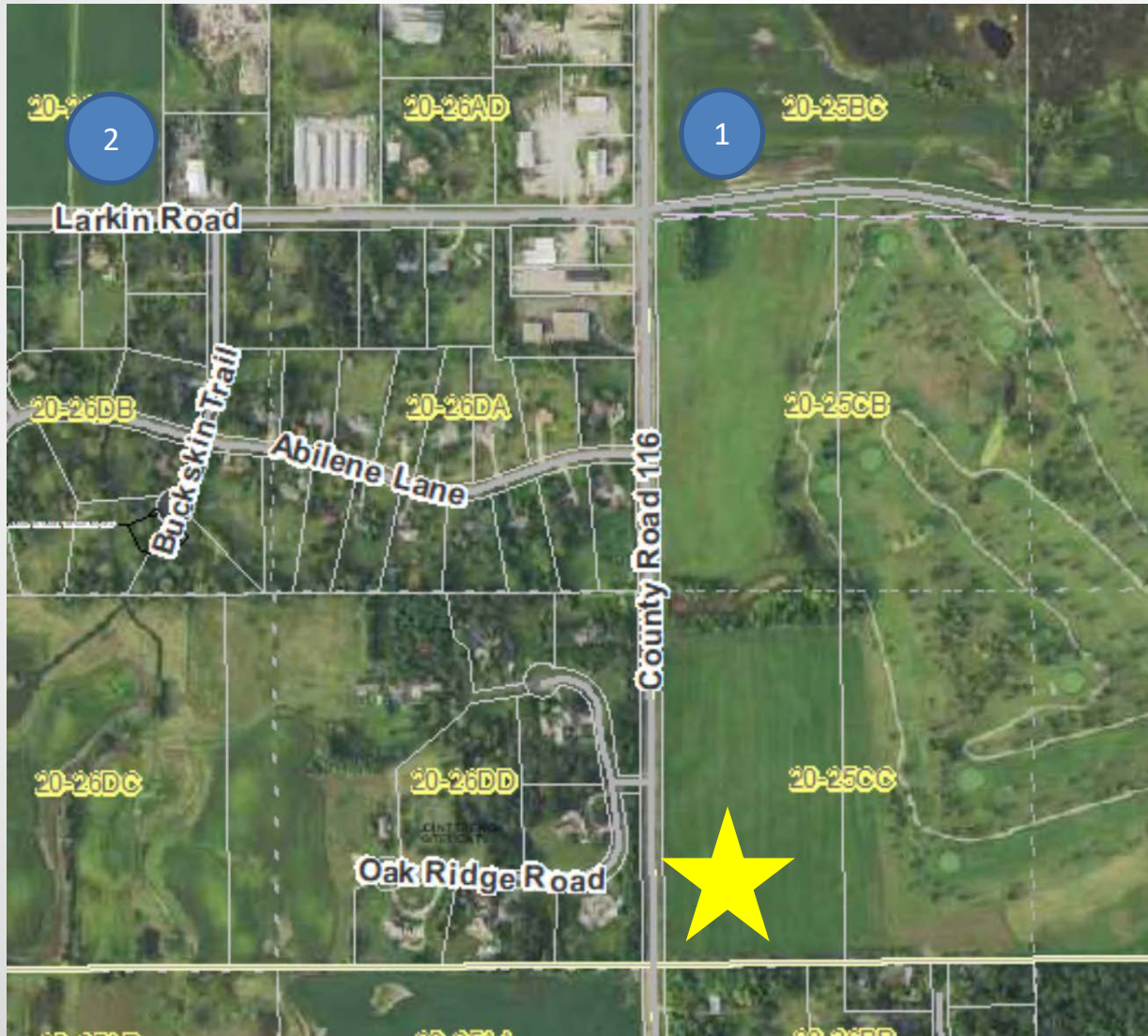


View from South Side of Property



- Substantial screening on all sides
  - 30% more trees than required
- Set back: 100 feet from County Road 116 right-of-way

# Alternatives Considered



# Larkin and County Road 116

- Intersection of Larkin and County Road 116
  - Immediately across from current substation
  - Found to be feasible but increases costs for WH members (including those in Corcoran)
- City staff had concerns with this site
  - Closer to downtown Corcoran
  - Considered inconsistent with City's plans along that intersection
  - Concerned about impact to future city center development
  - WH abandoned this option to accommodate City wishes





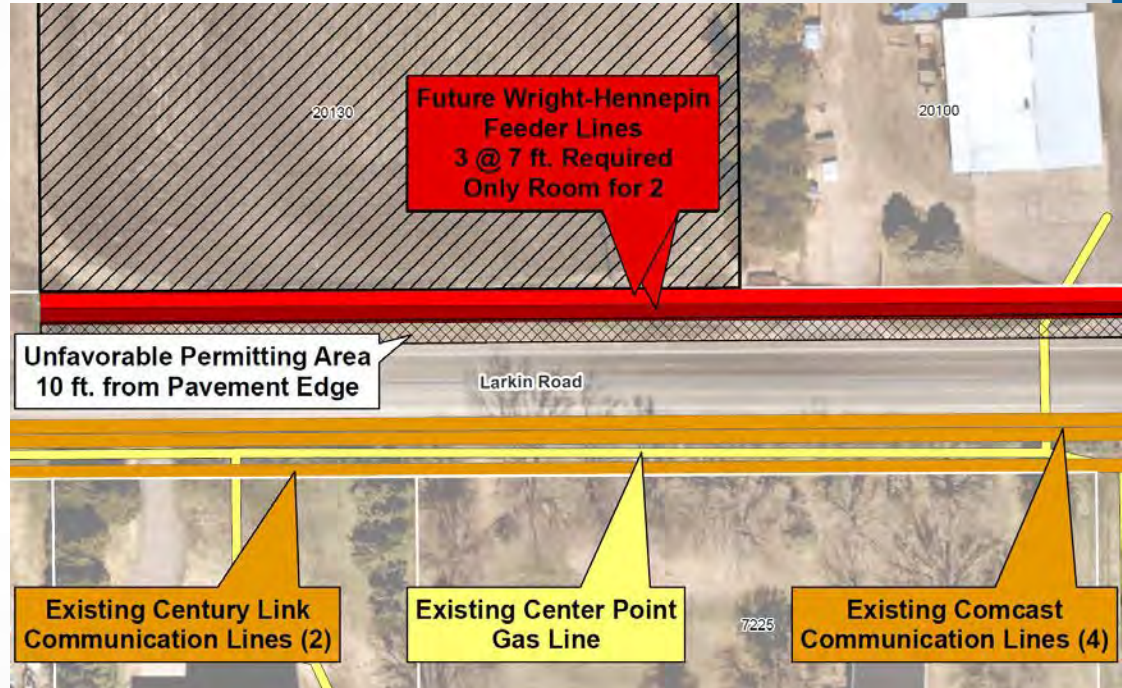
# Larkin Road near Buckskin Trail

- This location increases risks and costs including:
  - Multiple residents directly across street
  - More disruptive to businesses along Larkin
    - Requires directional boring
  - Decreases reliability due to future moves in driveways and business entrances
  - Right-of-way is much more congested and less accommodating to repairs
  - More distant from the residential load it is designed to serve, making it less efficient and reliable
  - Obtaining ownership is more uncertain due to multiple owners



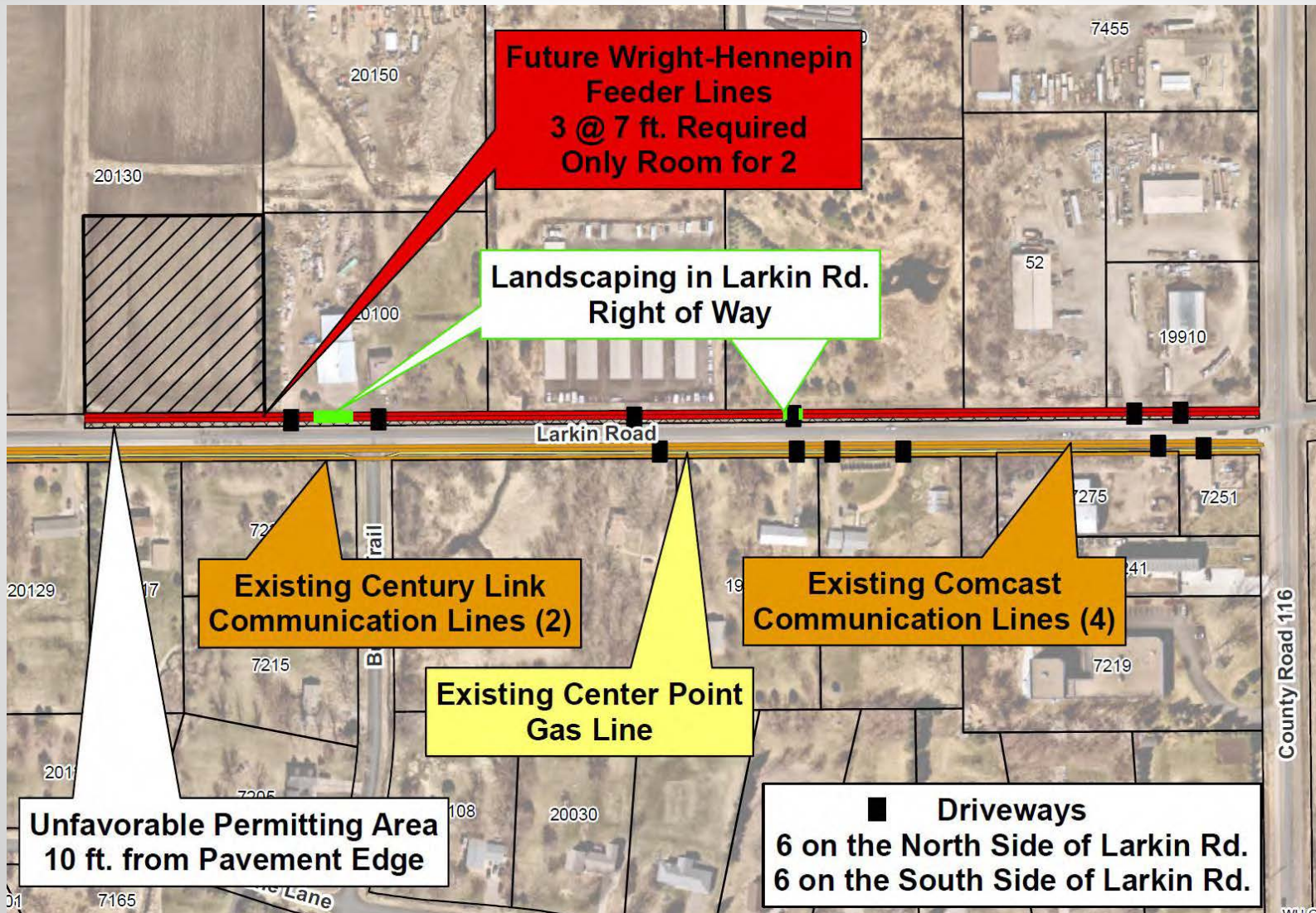
# Larkin Road near Buckskin Trail Right-of-Way

- Lines being placed:
  - 3 directional borings
  - 8 feeders
- Developed right-of-way limits construction practices
- Existing utilities and setbacks limit right-of-way availability
- Operational Concerns:
  - Faults
  - Dig-ins
  - Future road construction
- Bottom line: this site would significantly reduce reliability





# Larkin Road near Buckskin Trail Right-of-Way





# Feeder Installation Differences

Future installation along Co Rd 116



installation along Larkin Ave



# Larkin Road near Buckskin Trail

- This site increases costs for WH members (including those in Corcoran) by almost \$1 million, including:
  - Construction: \$725k
    - \$400k Additional infrastructure
    - \$325k Directional boring of feeders vs. trenching
  - Relocation: \$200k
    - A road expansion will result in relocation of distribution lines
  - Total additional cost: \$925k



# Conclusion

- In response to City growth needs, WH must build a new substation.
- Time is not on our side. Electric capacity for the City will be exhausted as early as 2023.
- WH, with input from City staff, developed the site along Co Rd 116 after a comprehensive evaluation of all relevant needs and impacts.
- The site along Co Rd 116 has the lowest risks, least community impact, lowest costs and best reliability.
- Consequently, we urge you to approve the variance and secure the site along Co Rd 116 for the benefit of Corcoran residents for years to come.



# Questions?





105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

**TO:** Corcoran City Council

**FROM:** Kevin Shay through Kendra Lindahl, Landform

**DATE:** February 18, 2021 for the February 25, 2021 City Council Meeting

**RE:** Front Setback Variance for the Property located at 20795 Larkin Road (PID 27-119-23-41-0013) (city file no. 20-046)

**120-DAY REVIEW DEADLINE:** April 20, 2021

### 1. Application Request

The applicant has requested approval of a variance to allow a reduced front yard setback to allow 12.35 feet on the eastern private drive frontage and 2.63 feet on the southern private drive frontage where 50 feet is required.

### 2. Planning Commission Review

The Planning Commission reviewed this item at a specially scheduled February 18<sup>th</sup> meeting. In addition to the applicant, one person spoke on this item.

The Planning Commission voted 5-0 to recommend denial of the variance request.

### 3. Context

#### *Level of City Discretion in Decision-Making*

The City's discretion in approving or denying a variance is limited to whether or not the proposed project meets the standards in the Zoning Ordinance for a variance. The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show that the variance standards have been met.

#### *Zoning and Land Use*

The property is in the Rural Residential (RR) District and is guided Rural/Ag Residential on the Future Land Use Map.

#### *Surrounding Properties*

The surrounding properties are also zoned Rural Residential (RR) and guided Rural/Ag Residential.



### *Natural Characteristics of the Site*

The site is an undeveloped residential lot with wooded areas on the east and west sides of the lot.

## **4. Analysis of Request**

### Variance

The 5.2-acre parcel at 20795 Larkin Road was recently platted as part of “Larkin Road Addition” which created a lot for the existing home that fronts on Larkin and this lot for a new residential home. The plat was approved with no deviations from the zoning ordinance standards. The approved plat showed the required setback lines and included footprint for a new house in compliance with the ordinance standards.

In December 2020, the applicant applied for a building permit with the home shown on the attached survey which does not meet the required front setback standards. The applicant has requested a variance to reduce the front yard setback adjacent to the private drive easement on the eastern and southern sides of the lot. The zoning ordinance requires a 50-foot setback in the Rural Residential zoning district where a lot abuts a public street or private drive easement. The applicant has requested a reduction of this setback to:

- 12.35 feet from the private drive easement on the eastern side of the lot where 50 feet is required and
- 2.63 feet from the private drive easement on the southern side of the lot where 50 feet is required.

The applicant also included an alternative location for the home on the survey but staff has not reviewed this location as this was not the location requested by the applicant. Staff notes that while the home design as shown cannot fit in this portion of the site, it could be located south of the private drive in compliance with ordinance standards.

The burden of proof is on the applicant to show that all of the following variance criteria from Section 1070.040 Subd. 2(B) have been met:

1. *That there are practical difficulties in complying with the Zoning Ordinance.*

The narrative from the applicant states that the practical difficulty in complying with the Zoning Ordinance comes from the geography and he states that private drives were never intended to restrict the rights of an individual homeowner. He also describes that the other available areas of the site that can accommodate a house do not accommodate a walkout basement or would require additional utility work.

Staff does not view these reasons as a practical difficulty. Mr. Kariniemi was the developer of the subdivision. The lot was approved through the preliminary and final plat process with a sample building pad that meets the required setbacks. Mr. Kariniemi did not design the proposed home within the approved area and is now seeking deviation



from the code requirements to build a specific home in this location. However, there other locations on the 5.2-acre site that can accommodate this floor plan or plans could be modified to fit in this area of the lot.

Economic considerations, such as increased construction costs, are not considered practical difficulties under the law.

2. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The applicant's narrative states that the unique condition for this parcel of land is that there is a private drive which restricts the property where there would normally be a driveway.

Staff does not believe this is a unique condition to the parcel as all newly created parcels are required to have frontage on either a public street or private drive and to meet the setback from the public road or private drive easement. Additionally, the conditions for this property were created by the landowner through the preliminary and final plat approval processes, which allowed him to create the required frontage through a private drive rather than a public street.

3. *That the granting of the variation will not alter the essential character of the locality.*

The granting of the variance will alter the essential character of the locality. The single-family home is consistent with the area but the setback reductions are not consistent with rural character of the Rural Residential district. The character of the rural residential neighborhoods is preserved through larger lot size and greater setbacks.

4. *The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

The purpose of the Rural Residential district is to maintain the rural character of the City through larger lot size and setbacks. The proposed variance is a large reduction in the front yard setback and is not in harmony with the purpose and intent of the zoning ordinance.

5. *The variance is consistent with the Comprehensive Plan.*

The Comprehensive Plan is established to guide future development within the city. The Comprehensive Plan does not identify any goals or implementation items that are achieved through the requested variance. The guidance for the Rural/Ag Residential land use is to maintain the rural experience for the residents of the area and this is not accomplished through a variance to reduce the front yard setback by such a drastic amount.

With the findings given above, staff does not believe the variance criteria has been met.



## 5. Conclusions

The City Council must determine if the variance standards have been met.

- If the Council finds that the variance standards have not been met, they should recommend denial of the variance.
- If the Council finds that the variance standards have been met, they may recommend approval of the variance and provide findings of fact to show how the variance standards have been met.

## 6. Recommendation

Move to adopt Resolution 2021-18 denying the front yard setback variance for 20795 Larkin Road.

### **Attachments**

1. Resolution 2021-18 denying the Variance
2. Site Location Map
3. Engineer's Memo dated January 27, 2021
4. Applicant's Narrative dated December 14, 2020
5. Survey received December 14, 2020

**RESOLUTION NO. 2021-18**

**Motion By:**  
**Seconded By:**

**DENYING VARIANCE FOR A REDUCED FRONT YARD SETBACK FOR NATE KARINIEMI  
AT 20795 LARKIN ROAD (PID 27-119-23-41-0013) (CITY FILE 20-046)**

WHEREAS, Nate Kariniemi ("the applicant") has requested approval of a variance to allow a reduced front yard setback to construct a single family home on an existing 5.2-acre parcel legally described as:

*Lot 2, Block 1, Larkin Road Addition, Hennepin County, Minnesota.*

WHEREAS, the Planning Commission has reviewed the variance at a duly called Public Meeting and recommends denial, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does deny the request for a variance, subject to the following findings:

1. That there are no practical difficulties in complying with the Zoning Ordinance. Mr. Kariniemi was the developer of the subdivision. The lot was approved through the preliminary and final plat process with a sample building pad that meets the required setbacks. Mr. Kariniemi did not design the proposed home within the approved area and is now seeking deviation from the code requirements to build a specific home in this location. However, there other locations on the 5.2-acre site that can accommodate this floor plan or plans could be modified to fit in this area of the lot. Economic considerations, such as increased construction costs, are not considered practical difficulties under the law.
2. That the conditions upon which a petition for a variation is based are not unique to the parcel of land for which the variance is sought and were created by the landowner. All newly created parcels are required to have frontage on either a public street or private drive and to meet the setback from the public road or private drive easement. Additionally, the conditions for this property were created by the landowner through the preliminary and final plat approval processes, which allowed him to create the required frontage through a private drive rather than a public street.
3. That the granting of the variation will alter the essential character of the locality. The single-family home is consistent with the area but the setback reductions are not consistent with rural character of the Rural Residential district. The character of the rural residential neighborhoods is preserved through larger lot size and greater setbacks.
4. The proposed variance would not be in harmony with the general purposes and intent of the Ordinance. The purpose of the Rural Residential district is to maintain the rural character of the City through larger lot size and setbacks. The proposed



**RESOLUTION NO. 2021-18**

variance is a large reduction in the front yard setback and is not in harmony with the purpose and intent of the zoning ordinance.

5. The variance is not consistent with the Comprehensive Plan. The Comprehensive Plan is established to guide future development within the city. The Comprehensive Plan does not identify any goals or implementation items that are achieved through the requested variance. The guidance for the Rural/Ag Residential land use is to maintain the rural experience for the residents of the area and this is not accomplished through a variance to reduce the front yard setback by such a drastic amount.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 25<sup>th</sup> day of February 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*



# Hennepin County Property Map

Date: 1/28/2021



PARCEL ID: 2711923410013

OWNER NAME: Willow1 Llc

PARCEL ADDRESS: 20795 Larkin Rd, Corcoran MN 55340

PARCEL AREA: 5.18 acres, 225,786 sq ft

A-T-B: Torrens

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Residential

HOMESTEAD: Homestead

MARKET VALUE: \$40,000

TAX TOTAL: \$622.20

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Vacant Land-residential

HOMESTEAD: Non-homestead

MARKET VALUE: \$125,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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# Engineer's Memo



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**To:** Kevin Mattson, PE, Director of Public Works  
**From:** Kent Torve, PE, City Engineer  
**Date:** January 25<sup>th</sup>, 2021—  
**Subject:** Kariniemi Variance\_ Larkin Road

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A lot along Larkin Road has a single family lot with private drive and is requesting variance from setbacks. Engineering and Public Works reviewed for infrastructure system impacts.

## **Site Plan Comments**

- Westerly swale is shown as draining south which is consistent with prior plans.
- Easterly/Southeasterly grading is steeper than original plans.
  - If grading is within the 60-foot driveway easement and steeper than 3:1, a retaining wall and encroachment agreement would be necessary.
  - This will be reviewed at building permit.

4a) There are practical difficulties in complying with the zoning ordinance due to geography and that Private Drives were never intended to govern and restrict the rights of an individual homeowner on the use of his own private property. Due to elevations the property has only one building site that accommodates a full walkout basement, which is the highest and best use of the property. The other site that may accommodate a house is across the creek that runs East / West. That would require routing utilities, septic (assuming the permitted septic is utilized) and a long driveway across a protected waterway.

b) This property is unique in that I was required (as a condition of using my building entitlement) to construct a stretch of Private Drive that enters my own private property where no other citizen or city service provider would desire or have the right to enter. The Private Drive concept is intended to govern roads and access points that are used by multiple parties. This Private Drive concept is a misnomer in this case because it is simply my driveway, that only my family would use, for the purpose of entering our garage. Why have a city mandated setback from my own driveway that I desire to use for entering my garage? Also how does the city or citizens benefit from me building a smaller house?

c) The granting of the variance will not alter the essential character of the locality because of the location on our own private property. If there is any "altering" it would be to the benefit of my neighbor to the north by allowing me to build my house slightly further south away from our shared property line. I am trying to build a driveway and house identical in nature to what my neighbor to the east just built. My neighbor to the east built a house with no setback from the driveway.

d) The purpose and intent of the ordinance is to allow for safety, access and home sites that conform with the surrounding rural residential area. If anything, granting this variance allows more harmony with the spirit and intent of the rural residential area.

e) The variance is consistent with the Comp Plan. There are no additional building entitlements and property beyond mine is a large wetland area.

f) I would prefer to build my current house design and site plan but I've also shown the setbacks if I were to move the house north to the northern setback.

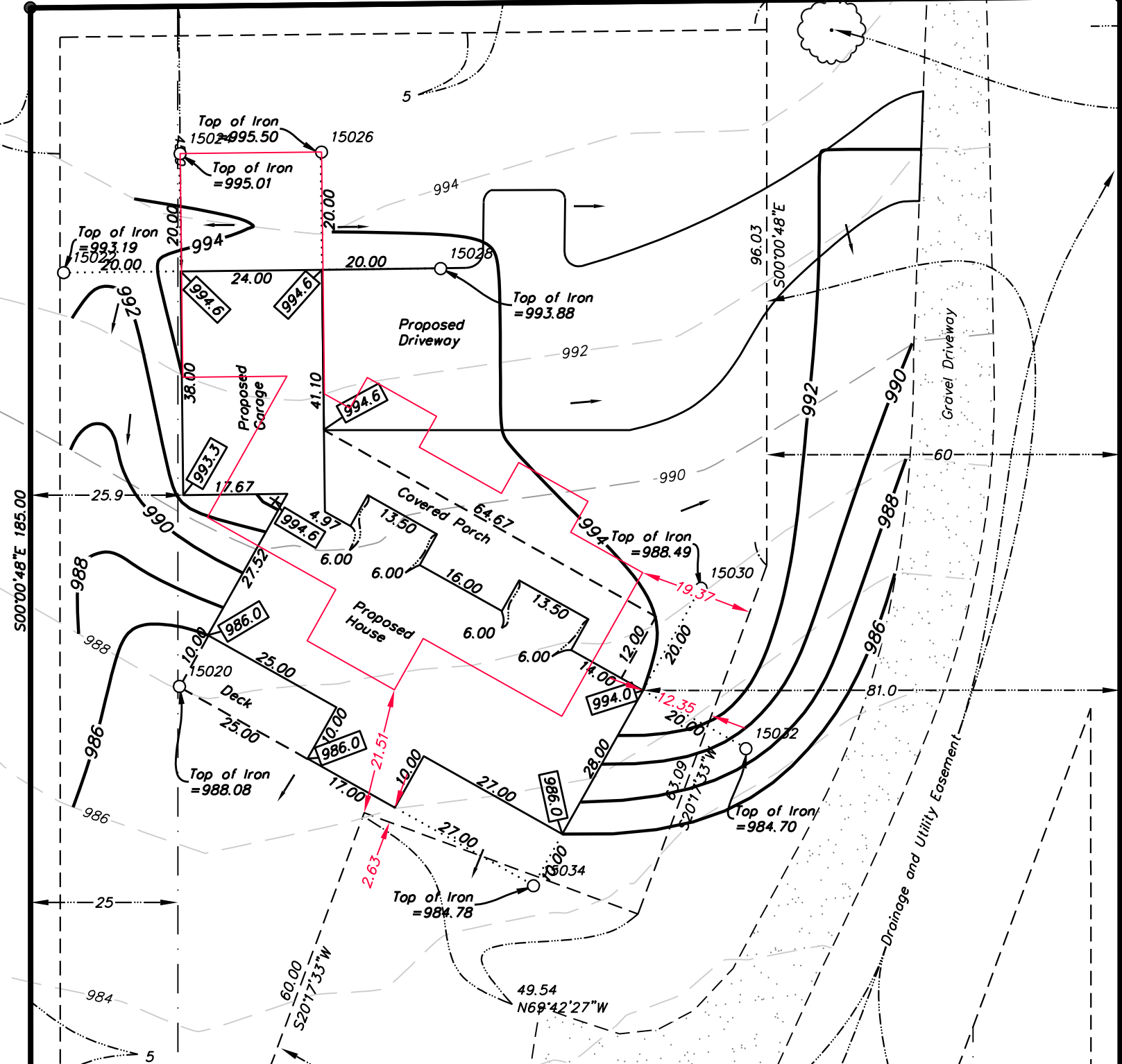
10110

996

S89°23'24"W 185.00

10111

Benchmark:  
Nail in Southerly Side  
of 20" Maple Tree  
Elevation=996.78



3

5

984

5

Top of Iron = 984.78

49.54  
N69°42'27"W

S00°00'48"E 185.00

Gravel Driveway

Drainage and Utility Easement

Proposed Garage

Proposed Driveway

Proposed House

Covered Porch

Deck



- NOTATION**
- Symbol: Circle with dot → Description: DEPT. TANK COVER
  - Symbol: Circle with cross → Description: LEAK POT
  - Symbol: Circle with 'X' → Description: COMMUNICATION POINT
  - Symbol: Circle with 'E' → Description: ELECTRIC METER
  - Symbol: Circle with 'P' → Description: POT POLE
  - Symbol: Circle with 'M' → Description: MONITOR EEE
  - Symbol: Circle with 'P' → Description: POWER POLE
  - Symbol: Circle with 'P' → Description: POWER POLE ACCESS
  - Symbol: Circle with 'P' → Description: PR. POWER EEE
  - Symbol: Circle with 'P' → Description: CURED IRON MONUMENT
  - Symbol: Circle with 'P' → Description: SET IRON PIPE INTO P...
  - Symbol: Circle with 'P' → Description: OVERHEAD WIRE
  - Symbol: Circle with 'P' → Description: TREE
  - Symbol: Circle with 'P' → Description: DEAD TREE
  - Symbol: Circle with 'P' → Description: TREE TO BE REMOVED
  - Symbol: Circle with 'P' → Description: EDITION CURB
  - Symbol: Circle with 'P' → Description: EDITION CONCRETE
  - Symbol: Circle with 'P' → Description: EDITION GRAVED DRIVE
  - Symbol: Circle with 'P' → Description: DRAINAGE DETENTION
  - Symbol: Circle with 'P' → Description: PROPERTY LINE
  - Symbol: Circle with 'P' → Description: EDITION CURB
- PROPOSED**
- Symbol: Dashed line → Description: PROPOSED
  - Symbol: Dashed line → Description: 10' A...
  - Symbol: Dashed line → Description: PROPOSED DRAINAGE
  - Symbol: Dashed line → Description: SF
  - Symbol: Hatched box → Description: PROPOSED
  - Symbol: Box with 'P' → Description: PRIMARY
  - Symbol: Box with 'P' → Description: PRIVATE DRIVE
  - Symbol: Box with 'P' → Description: PAVED DRIVE
  - Symbol: Box with 'P' → Description: DRAINAGE
  - Symbol: Box with 'P' → Description: PROPOSED
  - Symbol: Box with 'P' → Description: ET...

**GENERAL NOTES**

- DEPT. EEE DATA ARE PRELIMINARY AND SHOULD BE VERIFIED BY A M... PRIOR TO CONSTRUCTION.
- IMPROVEMENTS TO ROAD RIGHT-OF-WAY ARE TO BE DONE IN ACCORDANCE WITH CITY STANDARDS.
- PAVED DRIVE APPROXIMATELY DETERMINED TO BE MORE TRIBUTARY.

**WETLAND DATA**

PROPERTY ADDRESS: 20801 LARKIN ROAD, CORCORAN, MN


WETLAND BUFFER: No cutting or disturbance is allowed in this buffer area. This area provides critical wildlife habitat and protects the water quality of the wetland.

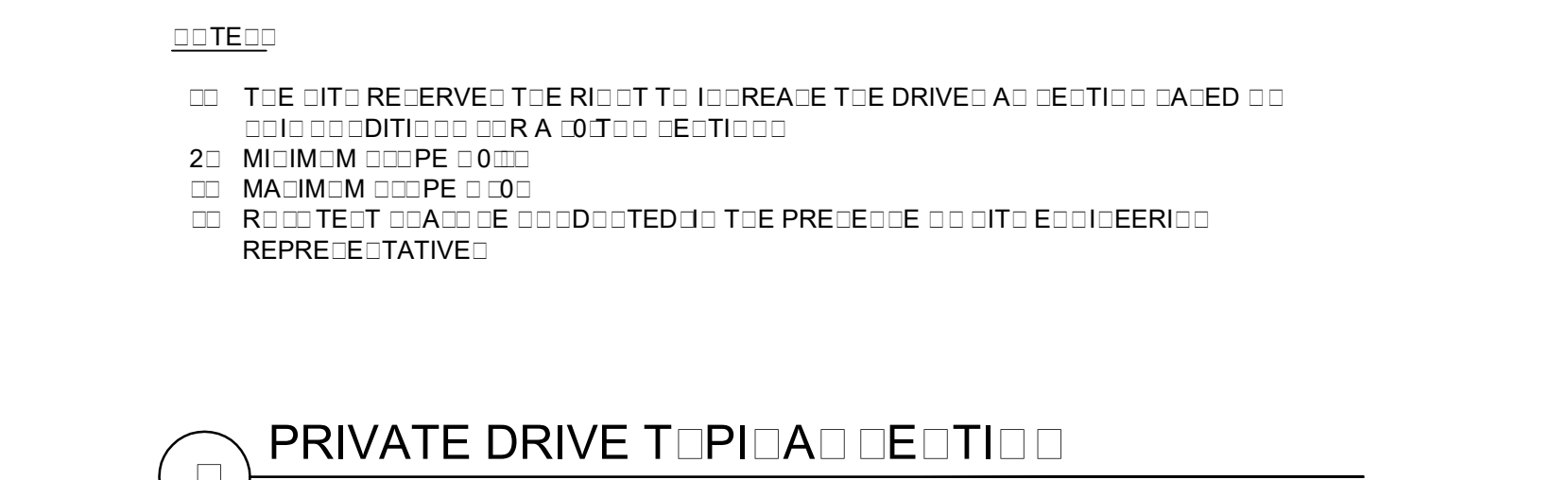
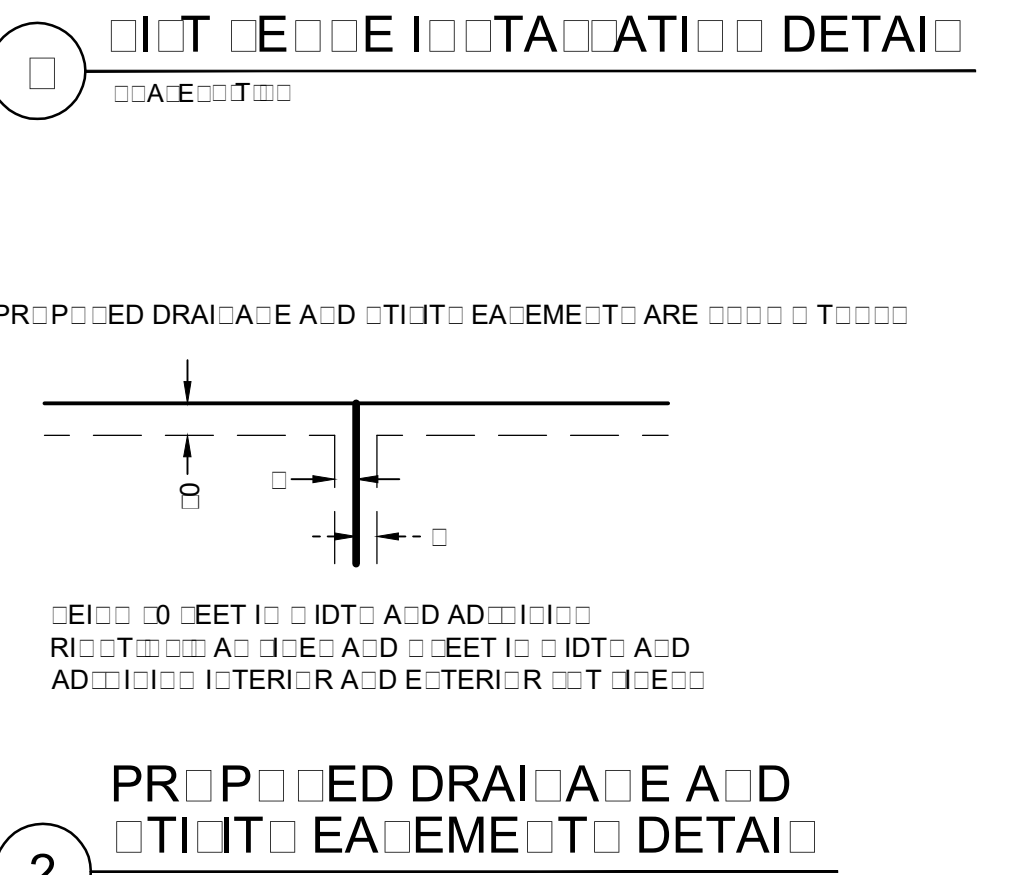
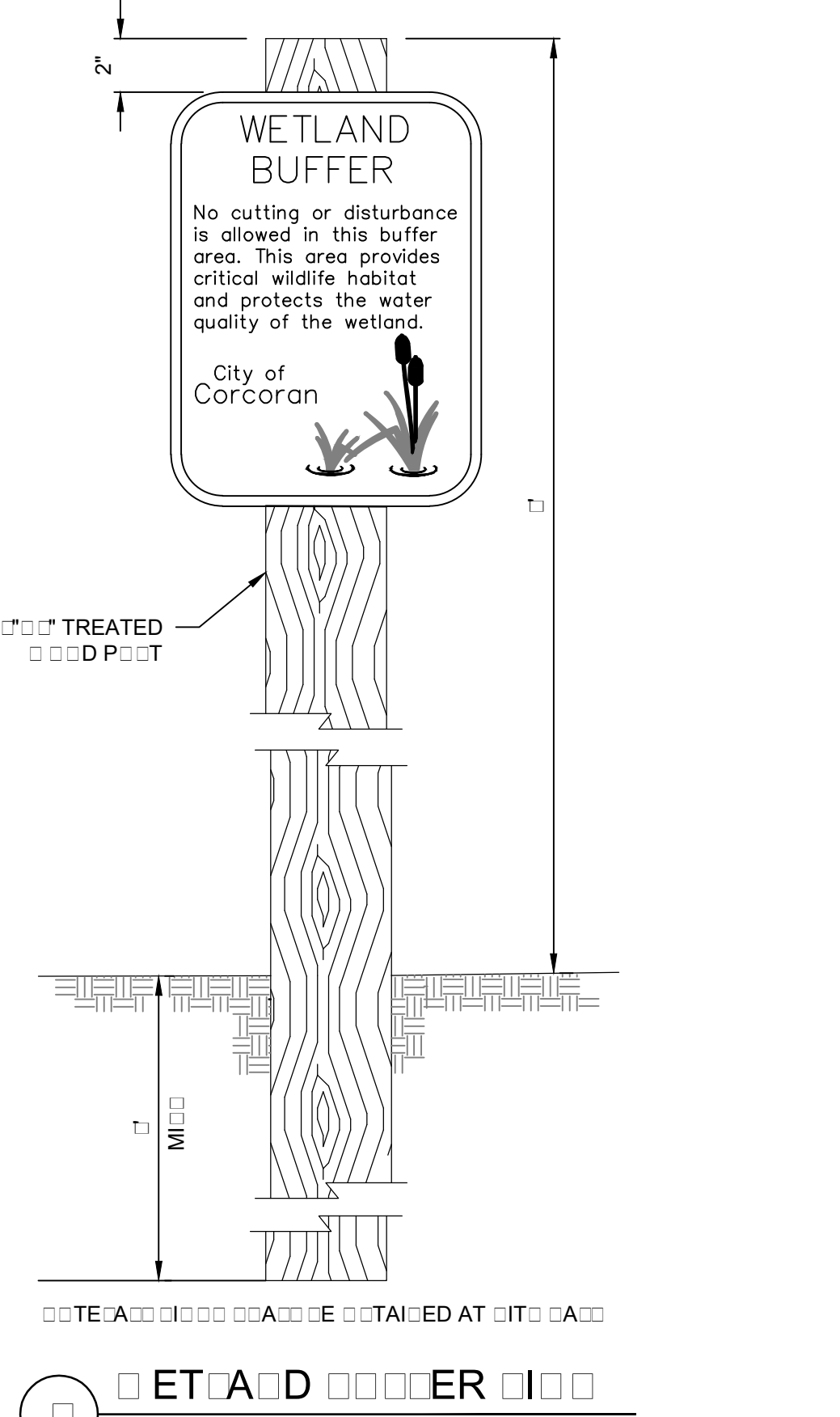
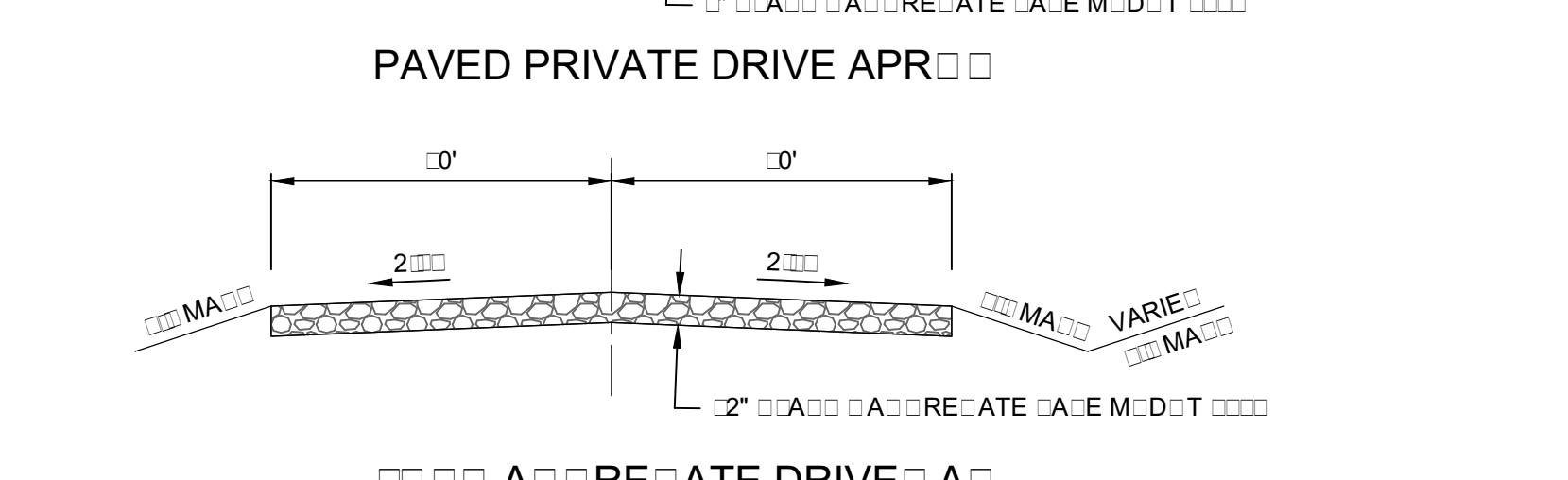
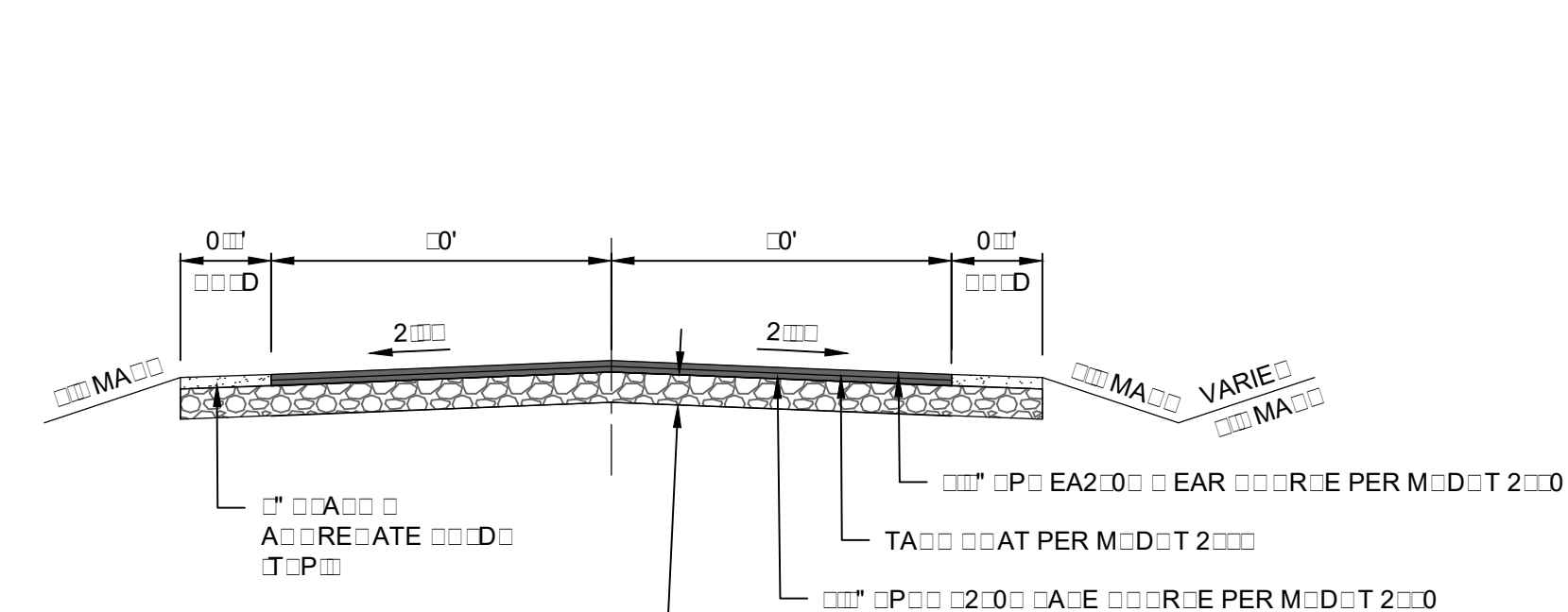
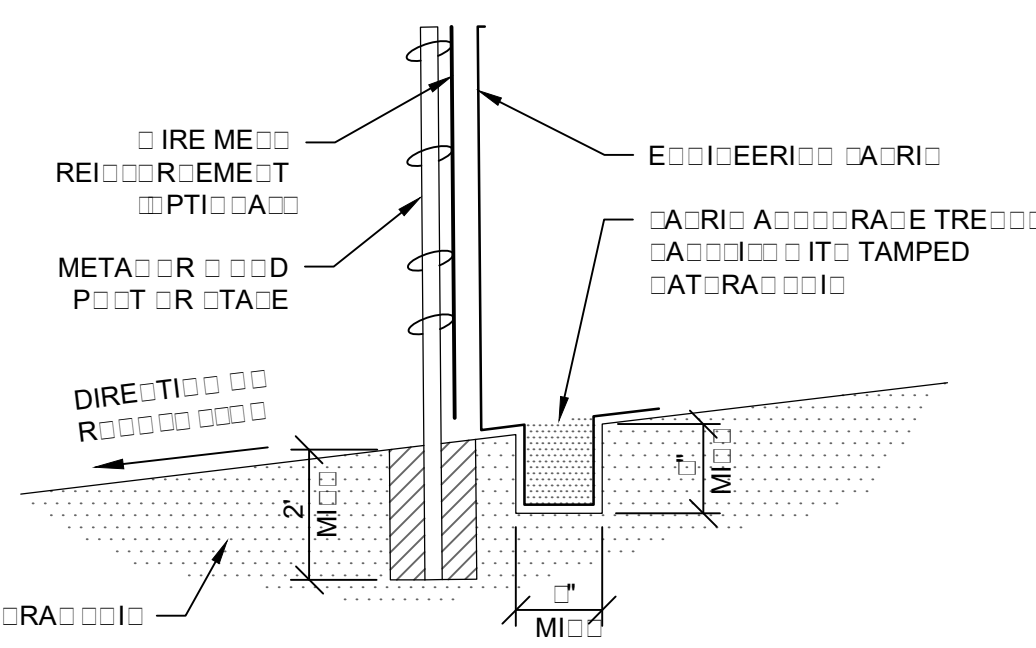
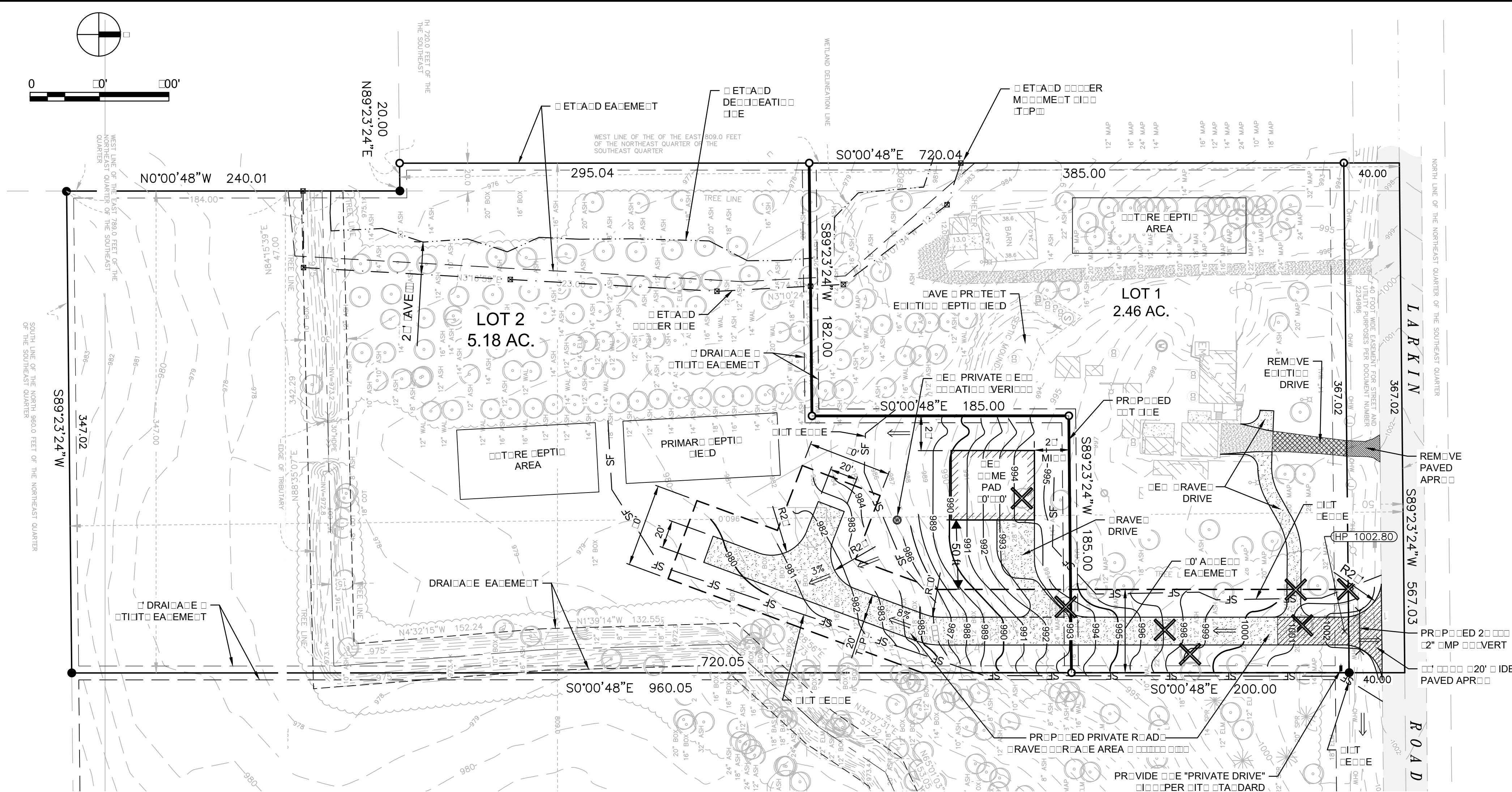
City of Corcoran

**GENERAL DATA**

PROPOSED DRAINAGE AND DETENTION ARE...

PROVIDED ET... AREA...

CALL 48 HOURS BEFORE DIGGING  
**Utilities Underground Location Center**  
**DIAL 811**  
  
 Know what's below,  
 Call before you dig.



NO.	DATE	DESCRIPTION OF REVISIONS
5		
4		
3	3/08/19	PER CITY COMMENTS
2	12/05/18	PER CITY COMMENTS
1	11/02/18	PRELIMINARY PLAT APPLICATION

DESIGNED: RLS  
 DRAWN: JN  
 CHECKED BY:  
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: ROBERT L. SWANSON  
 SIGNATURE: *NOT FOR CONSTRUCTION*  
 DATE: 3/08/19 LICENSE # 24094

**ANDERSON ENGINEERING**  
 Anderson Engineering of Minnesota, LLC  
 13605 1st Avenue North  
 Suite 100  
 Plymouth, MN 55441  
 763-412-4000 (o) 763-412-4090 (f)  
 www.ae-mm.com

PRELIMINARY PLAT

20801 LARKIN ROAD  
 PRELIMINARY PLAT  
 CORCORAN, MINNESOTA

COMM. NO. 15016  
 PLOTTED: 15016  
 DRAWING NO. C1

Y:\15000\15016 BLUEWATER BLDG - 15.7 AC PARCEL - CORCORAN\07 Civil\01 CAD files\01 SHEETS\15016\_PRELIM\_PLAT.dwg  
 Xref Filename: \15016\_c\_base\15016\_c\_s1\_Survey\15016\_24x36 Title Block  
 Mar 07, 2019 - 10:23am - jnguyen





From Site to Finish

105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

**TO:** Corcoran City Council  
**FROM:** Kevin Shay through Kendra Lindahl, Landform  
**DATE:** February 17, 2021 for the February 25, 2021 City Council Meeting  
**RE:** Concept Plan for Scherber Storage at 22400 State Highway 55 (PID 32-119-23-44-0001) (city file no 21-002)

**60-Day Review Deadline:** March 14, 2021

### 1. Application Request

Craig Scherber has submitted a request for a concept plan to construct five storage buildings on a 5.04-acre parcel. There is an existing home with accessory buildings on the property today.

### 2. Context

#### *Zoning and Land Use*

The subject property is guided Light Industrial in the 2040 Future Land Use Plan and zoned Urban Reserve. The properties to the south and west are guided Light Industrial and zoned Light Industrial. The properties to the north and east are guided Existing Residential and zoned Urban Reserve.

The property is located in the Metropolitan Urban Service Area (MUSA) and is in stage 2030-2035 of the Sanitary Sewer Plan.

#### *Natural Characteristics of the Site*

There is a stand of trees located on the south portion of the eastern lot line.

### 3. Analysis of Request

#### *Concept Plan*

The applicant is proposing a concept plan for five storage buildings. A rezoning will be required to change the zoning from the existing Urban Reserve (UR) to Light Industrial (I-1). The rezoning would be consistent with the future land use; however, Section 1040.125 of the Zoning Ordinance states "New development within this district will be allowed only when a full range of municipal services and facilities are available to serve the area." Municipal services are not available to the site; therefore, a variance to allow development in advance of municipal service availability will be required.





### *Setbacks*

The I-1 Light Industrial standards in Section 1040.125, Subd. 7 of the Zoning Ordinance require:

Front Yard Setback (south lot line)	50 feet
Side Yard Setback (east and west lot line)	20 feet
Rear Yard Setback (north lot line)	50 feet
Adjacent to residential (north and east lot line)	50 feet
Maximum Principal Building Height	45 feet
Maximum Impervious Surface Coverage	70%

This existing lot of record has no frontage on a public street, so the front lot line is determined to be the lot line where access is provided (south). The setback shown on the concept plan for building A from the east lot line is 49.5 feet where 50 feet is required. This should be revised to comply with a formal submittal.

### *Access/Streets*

The property has access to State Highway 55 via a private drive that passes through the two southern properties before accessing Highway 55. A portion of the private drive is located outside of Corcoran and within the city limits of Medina. Therefore, a joint approval process will be necessary as the project moves forward.

Additionally, MnDOT will have review and approval authority for the access. The applicant will need to coordinate with MnDOT regarding any required improvements to Highway 55.

The private drive is shown at 20-foot wide with a length of 910 feet on the concept plan. Public Safety recommends a 26-foot wide private drive to meet fire code requirements. The City will require that the applicant provide a copy of the existing private driveway agreement. This agreement may need to be updated to accommodate the larger easement for an industrial use rather than and single-family home.

A future frontage road is planned to connect Pioneer Trail and Rolling Hills Road, south of the proposed concept plan. When the frontage road is constructed the access for this property will be via the frontage road instead of Highway 55.

Access to each of the buildings is provided through paved areas located in front of each of the buildings. Public Safety has recommended changes to the internal accesses for better fire truck access which includes a looped road to provide access surrounding building E and C, an additional two feet of width on the access between buildings A and B and for turning radius for 40-foot fire trucks to be shown.

### *Buildings/Architecture*

There are 5 buildings shown on the concept plan as A through E. The square footage and number of rental storage units for each building is shown below:



- A (9,000 sq. ft.) – 5 rental units
- B (10,800 sq. ft.) – 6 rental units
- C (13,800 sq. ft.) – 8 rental units
- D (13,800 sq. ft.) – 8 rental units
- E (13,800 sq. ft.) – 8 rental units
- Total (61,200 sq. ft.) – 35 rental units

Section 1060.050 Subd. 1(C) provides the building standards for non-residential zoning districts. The applicant did not provide building material information for all of the structures but did indicate in the narrative that Building “A” is designed as the feature building containing higher quality materials including stone veneer base and cap, lap siding and trim. This appears to comply with ordinance standards.

### *Landscaping*

No landscape is depicted on the concept plan. The property will be subject to the landscape standards in Section 1060.070 of the City Code which will require the following:

- *One overstory tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater.*
- *The planting screen shall consist of hardy trees that will provide a minimum of 80 percent opacity year-round. Planting screens shall contain a mix of overstory and understory plantings and a mix of deciduous and coniferous materials.*

The proposed concept would be required to plant 61 trees with the total building square footage proposed. The north and east lot lines would also be required to plant screening to buffer from the adjacent residential district.

### *Utilities*

The developer indicates in his narrative that the site does not require sanitary sewer or water--he does not believe that fire suppression is required for this use and no other water use is required on site. This site is located inside of the MUSA boundary and is required to be developed with sewer and water; however the applicant is proposing to be served by individual water wells and septic sites. This will require a variance to develop a property within the MUSA boundary without sewer and water.

### Conclusion

The proposed use is consistent with the planned future land use in this district. The question for the Council is whether the project is premature. Should development be delayed until sanitary sewer and water are available to serve the site or is the Council supportive a variance to allow development without sanitary sewer and water access?



If the Council indicates support for the application, the next step would be for the applicant to submit the applications for rezoning, site plan and variance approval.

#### **4. Recommendation**

The applicant is requesting comments on this sketch plan. Any comments given by the City Council are advisory in nature and non-binding.

While the comments are non-binding, the applicant will consider the comments from the City Council when they prepare their formal submittal.

#### **Attachments**

- a. Location Map
- b. Engineer's Memo dated February 17, 2021
- c. Public Safety memo dated February 4, 2021
- d. Applicant's Narrative dated January 13, 2021
- e. Concept Plan dated January 13, 2021
- f. Future Land Use Map
- g. Zoning Map
- h. 2040 Staging Plan





# Hennepin County Property Map

Date: 2/18/2021



PARCEL ID: 3211923440001

OWNER NAME: M J Dvoracek & C J Dvoracek

PARCEL ADDRESS: 22400 State Hwy No 55,  
Corcoran MN 55340

PARCEL AREA: 5.04 acres, 219,587 sq ft

A-T-B: Abstract

SALE PRICE: \$122,500

SALE DATA: 08/1987

SALE CODE: Warranty Deed

ASSESSED 2019, PAYABLE 2020  
PROPERTY TYPE: Residential  
HOMESTEAD: Homestead  
MARKET VALUE: \$341,000  
TAX TOTAL: \$4,996.72

ASSESSED 2020, PAYABLE 2021  
PROPERTY TYPE: Residential  
HOMESTEAD: Homestead  
MARKET VALUE: \$369,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2021

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To: Kevin Mattson, City of Corcoran                      From: Kent Torve, City Engineer  
Steve Hegland, PE

Project: Garages Too Hwy 55 Storage Facility              Date: 2/16/21

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**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Industrial Site Improvement Project Concept Plan C, Prepared by Civil Engineering Site Design, Dated 01/08/21
2. Project Development Narrative, New Warehouse/Storage Facility 22400 State Highway 55, Dated 01/13/21

**Comments:**General:

1. Comments provided are high level comments based on the concept plan schematic provided. Additional comments should be anticipated on future submittals on the details of the development.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran.

Plat:

1. The applicant shall show all drainage and utility easements and all platting requirements met per the City Code. Drainage and utility easements shall be provided as standard per City requirements.
2. Easements should be provided over all infrastructure used for the conveyance and treatment of stormwater.
3. Easements should be provided over any/all public infrastructure if applicable.
4. All existing easements for access to the site should be provided to the City for review.

Erosion Control/SWPPP

1. Preparation of an erosion control plan of and compliance with an SWPPP shall be required for construction.

Transportation

1. In accordance with code all parking areas shall have a perimeter curbing and paved parking.
2. All easements for access shall be provided.

February 16, 2021

Scherber Garages Too Concept

Kevin Mattson

Page 2 of 2

3. The applicant has indicated that they have been in communication with MNDOT. As the access is onto Highway 55, the applicant should continue to work with MNDOT and should obtain an access permit or any other approvals necessary.
4. The need for fire access around the building shall be determined by Public Safety.
5. A future frontage road is planned for this area connecting Pioneer Trail and Rolling Hills Road. The Site appears north of the future road corridor, but ultimate access will be provided via this future frontage road.

#### Grading /Stormwater

1. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
2. The City's Stormwater Guidelines shall be used for stormwater systems and modeling.
3. WMO typically requires that the model P8 or a similar calculation to demonstrate that the site meets the total phosphorous and total suspended solids reduction standards for all treatment practices.
4. Provide a hydraulic stormwater model to ensure that the proposed development meets all required rate control standards and does not adversely impact surrounding properties.
5. Grading on the site should be in such a manner as to control all reasonable runoff from the site and water shall not be discharged at a higher rate onto any portion of an adjacent property than which discharged during the existing conditions.
6. The concept plan shows a stormwater pond in the NE corner of the pond. The discharge from this location shall be reviewed closely to ensure that it is managed properly and does not adversely affect downstream properties.
7. If filtration is required for the site, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used.

#### Watermain/Sanitary Sewer

1. The applicant indicates that no sewer and water facilities are necessary or provided for the site.
2. Public Safety should review the need for any future fire protection within the property.
3. If not used with the current development, any wells which service the existing property should be abandoned by a licensed contractor.
4. The existing septic system should be abandoned by a licensed contractor.

**End of Comments**



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

# Memo

**To:** Planning (Planner Lindahl)  
**From:** Lieutenant Ryan Burns  
**Date:** February 4, 2021  
**Re:** Public Safety Plan Review

---

A Public Safety plan review meeting was held on 02/03/2021 in attendance were: Lieutenant Ryan Burns, Fire Chief Feist, Fire Chief Dave Malewicki, Fire Chief Leuer, Building Inspector Todd Geske, and Construction Services Coordinator Pritchard. The following are comments from the meeting:

### Scherber Garages

1. Fire truck access around building E on the West side, to the North, then to the East past building C , to the South creating a perimeter road or a loop for fire department tankers.
2. 26 foot access between buildings A and B.
3. Show turning radius for 40 foot fire trucks between buildings B and C, and D and E without a looped connection.
4. Private driveway to be 26 feet wide to meet fire code. Allows traffic to pass. Roadway to be asphalt, built to city 9 ton specification.
5. Grade of private driveway to be reviewed by engineering and fire department before construction.

### Napa Property

1. On site hydrant if not connected to city water.
2. Show off site hydrant locations.
3. Work with fire department for F.D.C connection prior to construction.

This memo serves as a preliminary review and assumes that all specifications not articulated in the concept meet City standards. Additional fire and building codes will apply.

# Project Development Narrative

January 13, 2021

New Warehouse / Storage Facility  
22400 State Highway 55, Corcoran, Minnesota  
Page 1/2

## Overview

Garages Too, LLC proposes this project for the City of Corcoran's consideration. The Project will be located at 22400 State Highway 55 in Corcoran, Minnesota. Building spaces will be leased to companies and private individuals seeking protected and secure storage for their possessions ranging from company vehicles, supplies, automobiles, recreational vehicles, trucks and trailers. Each rental space has its own entrance, its individual level of interior finishes, its own power, heat and lighting and may operate its business out of the leased space within one or all of these buildings. However, no public traffic or extended employee presence will be allowed for this development and no outdoor storage will be allowed on this property.

## Programming

Business model research revealed area market needs in the leasing of large volume storage spaces with limited office space. This was evident in the west metro of Hennepin County for small service-oriented businesses as well as certain private individuals. To meet this market need the Project has been designed with the following features:

- 1) Five Total Buildings- development proposes five (5) stand-alone buildings to maximize development in most efficient manner; identified as Buildings "A" thru "E" (see attached Concept Plan)
- 2) Building "A" Signature Unit- storage unit with special features identifying it as the main focal point of project
- 3) Typical Rental Unit
  - a) Large Warehouse Space- 12' x 12' high overhead door; 60' depth for large items
  - b) Electrical Service- 200amp with separate / individual meters
  - c) Heating System- ceiling mounted individual direct-fired natural gas heaters for each unit

## Site Development

The existing access drive will be upgraded to a 20 ft wide drive with bituminous pavement to provide access to the facility. No change to Highway 55 is anticipated other than the improvement connected to the wider road. No turn lane improvements are required for Highway 55 as this facility will generate only 20 trips per day far below the 100 daily trips threshold required for any new turn lane<sup>1</sup>. Chapter 3 of Mn/DOT Access Management Manual includes a series of requirements or warrants when considering design criteria for its roadway system<sup>2</sup>. None of the 9 warrants listed in Chapter 3 of the manual are triggered by this project. Five separate buildings are served by bituminous paving. Surface storm water will be collected and routed to a storm water management basin on-site with discharge on-grade. Discharge point would be protected with rip-rap to address erosion. No exterior storage is allowed on the property.



### **Building Construction**

- Project consists of 5 masonry structures, using decorative masonry units for all exterior walls and wood roof trusses with asphalt shingle roofing, pre-finished metal fascia, and soffits; 14'-0" truss bearing height, pre-finished doors and windows (see attached example building elevations)
  - Building "A" – 5 individual rental units; the signature design feature is finished with stone veneer base and stone cap, lap siding and trim
  - Building "B" – 6 individual rental units
  - Building "C" – 8 individual rental units
  - Building "D" – 8 individual rental units
  - Building "E" – 8 individual rental units
- Total Individual Rental Units = 35
- No plumbing is planned in any of the structures, no well or septic are included in this development
- No outdoor / exterior storage is allowed at any time

### **Site Information**

Parcel Identification Number (PIN): 321-192-440001  
Total parcel size: 5.04 acres  
Development Density: FAR = 0.28

### **Executive Summary**

Storage space is in demand and this development responds to fill that need in the local area. The buildings are attractive, well-built, and will be a welcomed addition to the City of Corcoran.

### Footnotes:

- 1 Tod Sherman Email, dated 12-14-20 (attached)  
Tod Sherman, Planning Director  
Office of Planning, Program Management and Transit  
1500 West County Road B-2  
Roseville, MN 55113  
(651) 234-7794  
[Tod.sherman@state.mn.us](mailto:Tod.sherman@state.mn.us)
- 2 Mn/DOT Access Management Manual – Chapter 3 (attached)  
Section 3.4.9 Turn Lanes  
<http://www.dot.state.mn.us/accessmanagement/resources.html>

## Scott Dahlke @ CESD

---

**From:** Sherman, Tod (DOT) <tod.sherman@state.mn.us>  
**Sent:** Monday, December 14, 2020 8:13 AM  
**To:** Scott Dahlke @ CESD  
**Cc:** Muhic, P Cameron (DOT)  
**Subject:** RE: 22410 State Hwy No 55, Corcoran -- potential project  
**Attachments:** Local Government Guide December April 2018.pdf

Hi Scott:

Thank you for the question. As discussed with Craig, the warrants for both a right turn lane and a left turn lane are met if the driveway is expected to serve 100 trips per day. Therefore, for example, if a development is expected to attract 50 customers per day, this would equate to 50 trips into the development and 50 trips out of the development for a total of 100 trips.

I don't anticipate that the other criteria will apply in this case, but the full list of criteria is located at: <http://www.dot.state.mn.us/accessmanagement/resources.html> on the last two pages of Chapter 3.

Attached is our Local Government Guide which outlines our development review process and the information that we would like to have for our reviews. Our formal reviews are usually conducted at the same time the City reviews the plans. Do you have a timeframe for when the plans will be submitted to the City?

Tod Sherman  
Planning Director  
Office of Planning, Program Management and Transit  
1500 West County Road B-2  
Roseville, MN 55113  
651-234-7794  
Tod.sherman@state.mn.us

---

**From:** Scott Dahlke @ CESD <sdahlke@civilesd.com>  
**Sent:** Friday, December 11, 2020 1:49 PM  
**To:** Sherman, Tod (DOT) <tod.sherman@state.mn.us>  
**Subject:** 22410 State Hwy No 55, Corcoran -- potential project

**This message may be from an external email source.**

Do not select links or open attachments unless verified. Report all suspicious emails to Minnesota IT Services Security Operations Center.

---

Hi Tod,

I am working on a potential project at 22410 State Hwy 55, Corcoran. Owner Craig Scherber has indicated he reached out to you a number of weeks back and discussed access. There are currently 2 driveways and we would be proposing to remove 1 of them with this project. The project is proposed to be multi-tenant large unit garage/storage. Owner Craig Scherber has 3 other locations for these structures in the metro are and typical tenants are very low volume traffic

generators. Traffic generation at the site is estimated to average 10 cars per day. Attached is a concept plan of the proposed project for reference.

We have been asked to obtain clarification of what would trigger a turn lane on Hwy 55. Could you forward criteria and/or thresholds that would trigger a turn lane. And if a turn lane were required, what configuration would be required?

Give me a call or email with any questions.

Thanks,  
Scott Dahlke  
Civil Engineering Site Design, LLC  
PO Box 566  
118 E. Broadway St.  
Monticello, MN 55362  
763-314-0929 office  
612-619-8625 cell  
[sdahlke@civilesd.com](mailto:sdahlke@civilesd.com)



View from 28th Street



View of West Building Entering Property



5075 Holly Lane North - Unit 7  
 Minneapolis, Minnesota 55446  
 (763) 831-3173  
 info@sdk-architects.com

I HEREBY CERTIFY THAT THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT IN THE STATE OF MINNESOTA.

MN REG #17979      DATE

New Storage Facility  
**GARAGES TOO, LLC**  
 28th Street SE - Rockford Township, Mn

**REVISIONS**

#	Description	Date

**EXTERIOR VIEWS**

Project Number: 19-004  
 Date: DEC 19, 2019  
 Drawn By: SDK  
 Checked By:  
 ISSUED for REVIEW  
**PR-1**  
 Scale: 12" = 1'-0"



# NEW STORAGE / WAREHOUSE FACILITY

# EBERSOLE AVENUE LLC

2604 ebersole avenue southeast - whispering winds industrial park - rockford township, minnesota



I HEREBY CERTIFY THAT THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT IN THE STATE OF MINNESOTA.

6-30-2017  
MN REG #17979 DATE

New Facility  
Scherber Office / Warehouse II  
Ebersole Avenue - Rockford Township, Minnesota

### PROJECT DIRECTORY:

**OWNER:**  
EBERSOLE AVENUE LLC  
305 LAKEVIEW AVENUE  
TONKA BAY, MINNESOTA 55331  
(612) 810-8400  
CONTACT: MR. CRAIG SCHERBER

**ARCHITECT:**  
SDK ARCHITECTS LLC  
5075 HOLLY LANE NORTH - UNIT 7  
MINNEAPOLIS, MINNESOTA 55446  
(763) 331-5178  
CONTACT: STEPHEN D. KRAUSE

**CIVIL ENGINEER:**  
CIVIL ENGINEERING SITE DESIGN  
118 EAST BROADWAY STREET  
P.O. BOX 566  
MONTICELLO, MINNESOTA 55362  
(763) 314-0929  
CONTACT: SCOTT DAHLKE

### BUILDING CODE SUMMARY:

<b>BUILDING CODES:</b>	2015 MINNESOTA STATE BUILDING CODE (MSC) 2015 MINNESOTA STATE ACCESSIBILITY CODE (MAC)	<b>BUILDING HEIGHT / STORIES:</b>	TOTAL ALLOWABLE 40'-0" / 2 STORIES (PER MSC) TOTAL ACTUAL 30'-2" / 1 STORY
<b>OCCUPANCY:</b>	WAREHOUSE / STORAGE SPACES OFFICE SPACES	<b>TYPES OF CONSTRUCTION:</b>	GENERAL / TYPICAL USE- FIRE RATED ASSEMBLIES REQUIRED FIRE RATED EXTERIOR WALLS REQUIRED
	S-2 (LOW-HAZARD STORAGE) LIMITED TO LESS THAN 10% OF TOTAL BUILDING AREA		NONE (PER TABLE 601) NONE (PER TABLE 602)
<b>CONSTRUCTION TYPE:</b>	V-8	<b>STORAGE OF COMMERCIAL TRUCKS:</b>	FIRE RATED WALLS (IF OVER 5,000 SF)
<b>OCCUPANCY SEPARATION:</b>	NONE REQUIRED		2-HOUR FIRE RATING (PER TABLE 706.4)
<b>BUILDING AREA CALCULATIONS:</b>	BASIC ALLOWABLE AREA (S-2) AREA INCREASE- FRONTAGE $I_f = [F/P \cdot 0.25] W / 30$ $I_f = [1190 / 1190 \cdot 0.25] 30 / 30$ $= 0.75$	<b>ADDITIONAL REQUIREMENTS- FIRE WALL TERMINATES AT UNDERSIDE OF ROOF DECK</b>	ALL COMBUSTIBLES SHALL BE PROTECTED w/ 1-HOUR FIRE RATED ASSEMBLY WITHIN 48" OF FIRE WALL (SECTION 706.6-2.1)
	13,500 SF 10,125 SF (75%)	<b>AUTOMATIC FIRE SUPPRESSION SYSTEMS:</b>	NONE REQUIRED
<b>AREA INCREASE- SPRINKLERS</b>	NOT APPLICABLE		
<b>TOTAL ALLOWABLE AREA</b>	23,625 SF (PER BUILDING)		
<b>TOTAL ACTUAL AREA</b>	NORTH BUILDING 12,657 SF SOUTH BUILDING 14,280 SF		

### GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND EASEMENTS.
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES FOR ALL TRADES.
- DO NOT SCALE DRAWINGS. DISTORTIONS EXIST DUE TO REPRODUCTION PROCESS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- FURNISH AND INSTALL ILLUMINATED EXIT LIGHTS AT ALL EXTERIOR DOORS AS REQUIRED BY APPLICABLE CODES.
- EXIT DOORS SHALL HAVE SUCH FASTENING OR HARDWARE THAT THEY MAY BE OPENED FROM THE INSIDE BY TURNING A SINGLE KNOB \*USING A CLOSED FIST) WITHOUT THE USE OF A KEY.
- ACCESS IS REQUIRED AS MANDATED BY THE 2015 MINNESOTA STATE ACCESSIBILITY CODE (MAC).
- PROVIDE A DESIGNATED SPACE ADJACENT THE BUILDING FOR THE SEPARATION, TEMPORARY STORAGE AND COLLECTION OF RECYCLABLE MATERIALS.
- DRAWINGS AND SPECIFICATIONS ARE SUPPLEMENTAL TO EACH OTHER. WORK SPECIFIED, BUT NOT SHOWN, OR SHOWN, BUT NOT SPECIFIED, SHALL BE PERFORMED AS THOUGH MENTIONED IN BOTH DRAWINGS AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EXPANSION / CONTROL JOINTS IN ALL MATERIALS, SYSTEMS AND BUILDING CONFIGURATIONS INCLUDING CAULKING/ SEALANTS AS REQUIRED. JOINTS SHALL BE PLACED NO MORE THAN 15'-0" ON-CENTER BOTH DIRECTIONS IN CONCRETE SLABS; 20'-0" TO 25'-0" ON-CENTER FOR MASONRY WALLS AND 20'-0" TO 30'-0" ON-CENTER BOTH DIRECTIONS FOR GYPSUM BOARD WALLS, SOFFITS, CEILING, ETC.
- ALL USERS OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR REVIEWING A COMPLETE SET OF PLANS TO CONFIRM DESIGN INTENT. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON THEIR DISCOVERY.

### VICINITY / LOCATION MAPS:



### SHEET INDEX:

**GENERAL INFORMATION:**  
G.001 COVER / TITLE SHEET

**CIVIL DRAWINGS:**  
C-0 PROJECT LOCATION PLAN  
C-1 SITE PLAN  
C-2 GRADING PLAN  
C-3 STORM SEWER UTILITY PLAN  
C-4 EROSION CONTROL PLAN

**ARCHITECTURAL DRAWINGS:**  
A1.0 ARCHITECTURAL SITE PLAN  
A1.1 FLOOR PLAN- NORTH BUILDING  
A1.2 FLOOR PLAN- SOUTH BUILDING  
A1.3 ROOF PLANS  
A1.4 FOUNDATION PLAN- NORTH BUILDING  
A1.5 FOUNDATION PLAN- SOUTH BUILDING  
A1.6 ROOF FRAMING PLAN- NORTH BUILDING  
A1.7 ROOF FRAMING PLAN- SOUTH BUILDING  
A2.0 EXTERIOR ELEVATIONS- NORTH BUILDING  
A2.1 EXTERIOR ELEVATIONS- SOUTH BUILDING  
A3.0 BUILDING SECTIONS  
A3.1 WALL SECTIONS

REVISIONS		
#	Description	Date

**COVER / TITLE SHEET**

Project Number: 17-004  
Date: JUN 30, 2017  
Drawn By: SDK  
Checked By: SDK

**CONSTRUCTION**  
**G.001**

Scale: 12" = 1'-0"



# SCHERBER OFFICE / WAREHOUSE

## ROCKFORD TOWNSHIP, MINNESOTA

### PROJECT DIRECTORY:

#### OWNER:

MR. CRAIG E. SCHERBER  
305 LAKEVIEW AVENUE  
TONKA BAY, MN 55331  
(612) 810-8400

#### ARCHITECT:

SDK ARCHITECTS LLC  
2020 SHENANDOAH COURT - UNIT C  
MINNEAPOLIS, MINNESOTA 55447  
(763) 331-5178  
CONTACT: STEPHEN D. KRAUSE

#### CIVIL ENGINEER:

CIVIL ENGINEERING SITE DESIGN  
118 EAST BROADWAY STREET  
MONTICELLO, MN 55362  
(763) 314-0929  
CONTACT: MR. SCOTT DAHLKE



5075 Holly Lane North - Unit 7  
Minneapolis, Minnesota 55446  
(763) 331-5178  
info@sdk-architects.com

I HEREBY CERTIFY THAT THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT IN THE STATE OF MINNESOTA.

MN REG #17979 DATE

NEW FACILITY  
Scherber Office / Warehouse  
EBERSOLE AVENUE NE - ROCKFORD TOWNSHIP, MN

### BUILDING CODE SUMMARY:

BUILDING CODES	2015 MINNESOTA BUILDING CODE	BUILDING HEIGHT / STORIES	
OCCUPANCY	33	TOTAL ALLOWABLE	40' / 2 STORIES
"B" - OFFICE / WAREHOUSE		TOTAL ACTUAL	37' / 1 STORY
CONSTRUCTION TYPE	V-B	TYPES OF CONSTRUCTION	
OCCUPANCY SEPARATION	NONE REQUIRED	FIRE RATED ASSEMBLIES REQUIRED	NONE REQUIRED
BUILDING AREA REGULATIONS	9,000 SF	FIRE RATED EXTERIOR WALLS REQUIRED	NONE REQUIRED
AREA INCREASE - FRONTAGE	3,908 SF (43%)	FIRE PROTECTION SYSTEMS	NONE REQUIRED
$f_1 = [F/P - 0.25] W / 30$		FIRE BARRIERS	NONE REQUIRED
$f_1 = [325 / 475 - 0.25] 30 / 30$		FIRE AREA SEPARATIONS REQUIRED	
$= 0.43$			
TOTAL ALLOWABLE AREA	12,908 SF		
TOTAL ACTUAL AREA	9,402 SF		

### GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND EASEMENTS.
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES FOR ALL TRADES.
- DO NOT SCALE DRAWINGS. DISTORTIONS EXIST DUE TO REPRODUCTION PROCESS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- FURNISH AND INSTALL ILLUMINATED EXIT LIGHTS AT ALL EXTERIOR DOORS AS SHOWN ON THE DRAWINGS.
- EXIT DOORS SHALL HAVE SUCH FASTENING OR HARDWARE THAT THEY MAY BE OPENED FROM THE INSIDE BY TURNING A SINGLE KNOB (USING A CLOSED FIST) WITHOUT THE USE OF A KEY.
- ACCESS IS REQUIRED AS MANDATED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA).
- DRAWINGS AND SPECIFICATIONS ARE SUPPLEMENTAL TO EACH OTHER. WORK SPECIFIED, BUT NOT SHOWN, OR SHOWN, BUT NOT SPECIFIED, SHALL BE PERFORMED AS THOUGH MENTIONED IN BOTH DRAWINGS AND SPECIFICATIONS.
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### VICINITY / LOCATION MAPS:



### SHEET INDEX:

GENERAL INFORMATION:  
G.001 TITLE SHEET

CIVIL DRAWINGS:  
C1 SITE PLAN  
C2 GRADING PLAN  
C3 EROSION CONTROL PLAN

ARCHITECTURAL DRAWINGS:  
A.101 ARCHITECTURAL SITE PLAN  
A.102 FLOOR PLAN / SCHEDULES  
A.103 ROOF PLAN / WALL TYPES  
A.104 EXTERIOR BUILDING ELEVATIONS  
A.105 BUILDING / WALL SECTIONS

REVISIONS		
#	Description	Date

COVER SHEET

Project Number: 15-002  
Date: MARCH 10, 2015  
Drawn By: SDK  
Checked By: SDK

G.001

Scale: 12" = 1'-0"



# NEW STORAGE FACILITY

# QUAM BUSINESS BUILDING

Quam Avenue NE / 57th Street NE - St. Michael, Minnesota



I HEREBY CERTIFY THAT THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT IN THE STATE OF MINNESOTA.

MN REG #17979      DATE

New Storage Facility  
**Quam Business Building**  
Quam Avenue NE / 57th Street NE - St. Michael, Minnesota

### PROJECT DIRECTORY:

**OWNER:**  
GARAGES TOO, LLC  
305 LAKEVIEW AVENUE  
TONKA BAY, MINNESOTA 55331  
(612) 810-8400  
CONTACT: MR. CRAIG SCHERBER

**ARCHITECT:**  
SDK ARCHITECTS LLC  
5075 HOLLY LANE NORTH - UNIT 7  
MINNEAPOLIS, MINNESOTA 55446  
(763) 331-5178  
CONTACT: STEPHEN D. KRAUSE

**CIVIL ENGINEER:**  
CIVIL ENGINEERING SITE DESIGN  
118 EAST BROADWAY STREET  
P.O. BOX 566  
MONTICELLO, MINNESOTA 55362  
(763) 314-0929  
CONTACT: SCOTT DAHLKE

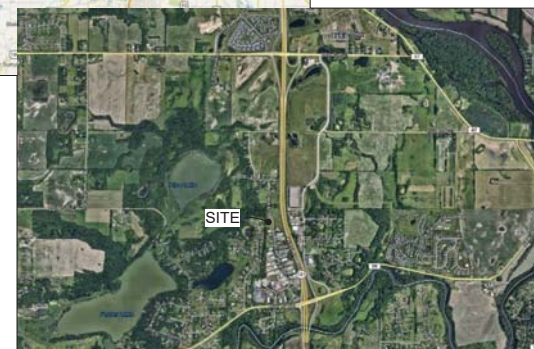
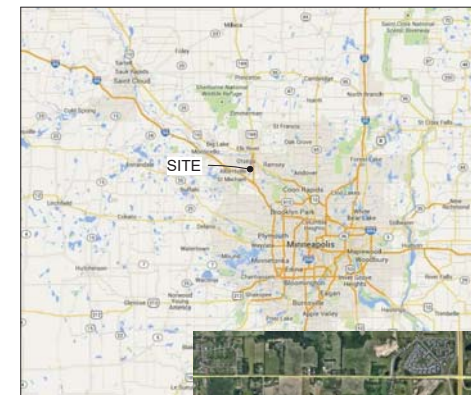
### BUILDING CODE SUMMARY:

<b>BUILDING CODES:</b>	2015 MINNESOTA STATE BUILDING CODE (MSC) 2015 MINNESOTA STATE ACCESSIBILITY CODE (MAC)	<b>BUILDING HEIGHT / STORIES:</b>	TOTAL ALLOWABLE 40'-0" / 2 STORIES (PER MSC) TOTAL ACTUAL 33'-3" / 1 STORY
<b>OCCUPANCY:</b>	S-2 (LOW-HAZARD STORAGE)	<b>TYPES OF CONSTRUCTION:</b>	GENERAL, TYPICAL USE
WAREHOUSE / STORAGE SPACES		FIRE RATED ASSEMBLIES REQUIRED	NONE (PER TABLE 601)
<b>CONSTRUCTION TYPE:</b>	V-8	FIRE RATED EXTERIOR WALLS REQUIRED	NONE (PER TABLE 602)
<b>OCCUPANCY SEPARATION:</b>	NONE REQUIRED	<b>STORAGE OF COMMERCIAL TRUCKS:</b>	
<b>BUILDING AREA CALCULATIONS:</b>		FIRE RATED WALLS (IF OVER 5,000 SF)	2-HOUR FIRE RATING (PER TABLE 706.4)
BASIC ALLOWABLE AREA (S-2)	13,500 SF	<b>ADDITIONAL REQUIREMENTS:</b>	ALL COMBUSTIBLES SHALL BE PROTECTED w/ 1-HOUR FIRE RATED ASSEMBLY WITHIN 48" OF FIRE WALL (SECTION 706.6-2.1)
AREA INCREASE- FRONTAGE	12,690 SF (94%)	FIRE WALL TERMINATES AT UNDERSIDE OF ROOF DECK	
$I_f = [F/P \cdot 0.25] W / 30$		<b>AUTOMATIC FIRE SUPPRESSION SYSTEMS:</b>	NONE REQUIRED
$I_f = [814 / 814 \cdot 0.25] 37.79 / 30$			
$= 0.94$			
AREA INCREASE- SPRINKLERS	NOT APPLICABLE		
TOTAL ALLOWABLE AREA	26,190 SF		
TOTAL ACTUAL AREA	19,850 SF		

### GENERAL NOTES:

- 1) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND EASEMENTS.
- 2) ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES FOR ALL TRADES.
- 3) DO NOT SCALE DRAWINGS. DISTORTIONS EXIST DUE TO REPRODUCTION PROCESS.
- 4) THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- 5) FURNISH AND INSTALL ILLUMINATED EXIT LIGHTS AT ALL EXTERIOR DOORS AS REQUIRED BY APPLICABLE CODES.
- 6) EXIT DOORS SHALL HAVE SUCH FASTENING OR HARDWARE THAT THEY MAY BE OPENED FROM THE INSIDE BY TURNING A SINGLE KNOB USING A CLOSED FIST WITHOUT THE USE OF A KEY.
- 7) ACCESS IS REQUIRED AS MANDATED BY THE 2015 MINNESOTA STATE ACCESSIBILITY CODE (MAC).
- 8) PROVIDE A DESIGNATED SPACE ADJACENT THE BUILDING FOR THE SEPARATION, TEMPORARY STORAGE AND COLLECTION OF RECYCLABLE MATERIALS.
- 9) DRAWINGS AND SPECIFICATIONS ARE SUPPLEMENTAL TO EACH OTHER. WORK SPECIFIED, BUT NOT SHOWN, OR SHOWN, BUT NOT SPECIFIED, SHALL BE PERFORMED AS THOUGH MENTIONED IN BOTH DRAWINGS AND SPECIFICATIONS.
- 10) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EXPANSION / CONTROL JOINTS IN ALL MATERIALS, SYSTEMS AND BUILDING CONFIGURATIONS INCLUDING CAULKING/ SEALANTS AS REQUIRED. JOINTS SHALL BE PLACED NO MORE THAN 15'-0" ON-CENTER BOTH DIRECTIONS IN CONCRETE SLABS; 20'-0" TO 25'-0" ON-CENTER FOR MASONRY WALLS AND 20'-0" TO 30'-0" ON-CENTER BOTH DIRECTIONS FOR GYPSUM BOARD WALLS, SOFFITS, CEILING, ETC.
- 11) ALL USERS OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR REVIEWING A COMPLETE SET OF PLANS TO CONFIRM DESIGN INTENT. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON THEIR DISCOVERY.

### VICINITY / LOCATION MAPS:



### SHEET INDEX:

**GENERAL INFORMATION:**  
G.001 COVER / TITLE SHEET

**CIVIL DRAWINGS:**  
C0 PROJECT LOCATION PLAN  
C1 SITE PLAN  
C2 GRADING & DRAINAGE PLAN  
C3 STORM SEWER UTILITY PLAN  
C4 STORM WATER POLLUTION PREVENTION PLAN  
C5 EXISTING CONDITIONS & REMOVALS PLAN  
C6 DETAILS  
C7 LANDSCAPE PLAN

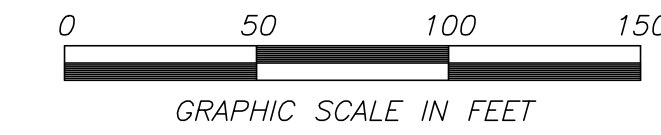
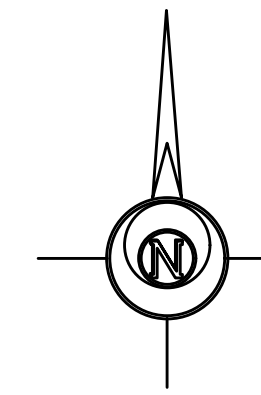
**ARCHITECTURAL DRAWINGS:**  
A1.0 SITE DEVELOPMENT PLAN  
A1.1 FLOOR PLAN  
A1.2 ROOF PLAN  
A1.3 FOUNDATION PLAN  
A1.4 ROOF FRAMING PLAN  
A2.0 EXTERIOR ELEVATIONS  
A3.0 BUILDING SECTIONS  
A3.1 WALL SECTIONS

REVISIONS		
#	Description	Date

### COVER / TITLE SHEET

Project Number: 19-005  
Date: MAY 2, 2019  
Drawn By: SDK  
Checked By: SDK  
ISSUED for BIDDING  
**G.001**  
Scale: 12" = 1'-0"





EXISTING P.I.D. \_\_\_\_\_  
321-192-440001

EXISTING PARCEL AREA \_\_\_\_\_  
5.04 ACRES GROSS

EXISTING ZONING \_\_\_\_\_  
UR URBAN RESERVE

PROPOSED ZONING \_\_\_\_\_  
I-1 LIGHT INDUSTRIAL

**PROPOSED BUILDINGS**

BUILDING A	9,000 SF
BUILDING B	10,800 SF
BUILDING C	13,800 SF
BUILDING D	13,800 SF
BUILDING E	13,800 SF
<b>TOTAL</b>	<b>61,200 SF</b>

**ACCESS**

PRIVATE DRIVE TO MN HWY 55  
LENGTH = 910 LF  
WIDTH = 20 FT

CLIENT:

**GARAGES TOO, LLC**

305 Lakeview Ave.  
Tonka Bay, MN 55331

Craig Scherber  
(612)810-8400

**INDUSTRIAL SITE IMPROVEMENT PROJECT**  
22400 State Highway No. 55  
Corcoran, Minnesota 55340

**CONCEPT PLAN C**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: \_\_\_\_\_ Reg. No. \_\_\_\_\_  
PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
115 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civileng.com

REVISIONS:

DATE	01/08/21
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

HORIZONTAL SCALE  
1 inch = \_\_\_\_\_ feet  
(FULL SIZE SHEET 22 X 30)

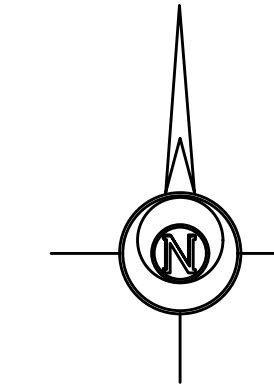
VERTICAL SCALE  
1 inch = \_\_\_\_\_ feet

FILE NO. 00796

**1/2**

Concept Plan





0 100 200 300  
GRAPHIC SCALE IN FEET

EXISTING P.I.D. \_\_\_\_\_  
321-192-440001

EXISTING PARCEL AREA \_\_\_\_\_  
5.04 ACRES GROSS

EXISTING ZONING \_\_\_\_\_  
UR URBAN RESERVE

PROPOSED ZONING \_\_\_\_\_  
I-1 LIGHT INDUSTRIAL

PROPOSED BUILDINGS

BUILDING A	9,000 SF
BUILDING B	10,800 SF
BUILDING C	13,800 SF
BUILDING D	13,800 SF
BUILDING E	13,800 SF
	<u>61,200 SF</u>

ACCESS \_\_\_\_\_  
PRIVATE DRIVE TO MN HWY 55  
LENGTH = 910 LF  
WIDTH = 20 FT

CLIENT:  
**GARAGES TOO, LLC**  
305 Lakeview Ave.  
Tonka Bay, MN 55331  
Craig Scherber  
(612)810-8400

**INDUSTRIAL SITE IMPROVEMENT PROJECT**  
22400 State Highway No. 55  
Corcoran, Minnesota 55340

**CONCEPT PLAN C  
EXPANDED VIEW**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: \_\_\_\_\_ Reg. No. \_\_\_\_\_  
PREPARED BY: **CIVIL ENGINEERING**  
**SITE DESIGN**  
118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civileng.com

REVISIONS:	VERTICAL SCALE 1 inch = _____ feet
	HORIZONTAL SCALE 1 inch = _____ feet (FULL SIZE SHEET 22 x 30)

DATE	01/08/21
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00796




























# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 2-1 2040 Future Land Use

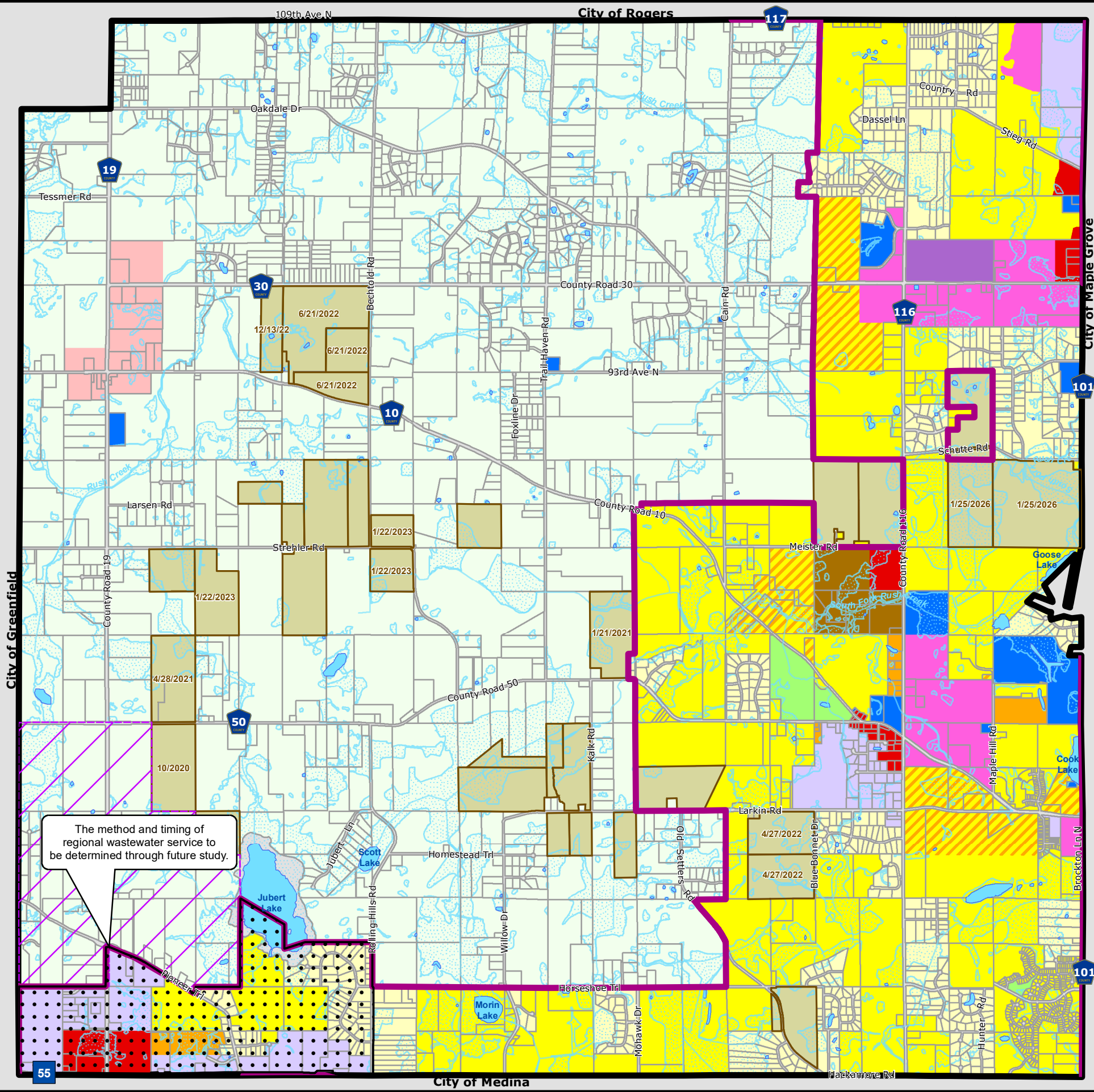
-  Rural/Ag Residential
-  Existing Residential
-  Low Density Residential
-  Medium Density Residential
-  Mixed Residential
-  High Density Residential
-  Rural Service/Commercial
-  Commercial
-  Mixed Use
-  Business Park
-  Light Industrial
-  Public/Semi-Public
-  Parks/Open Space
-  Agricultural Preserve (Date of Expiration)
-  Open Water
-  Municipal Boundary
-  2040 MUSA
-  Future MUSA Expansion Area
-  Future Study Area
-  Parcel Boundaries
-  Streams
-  Lake/Open Water
-  Wetlands

Source:  
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



Feet

































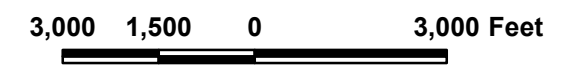


# CITY OF CORCORAN

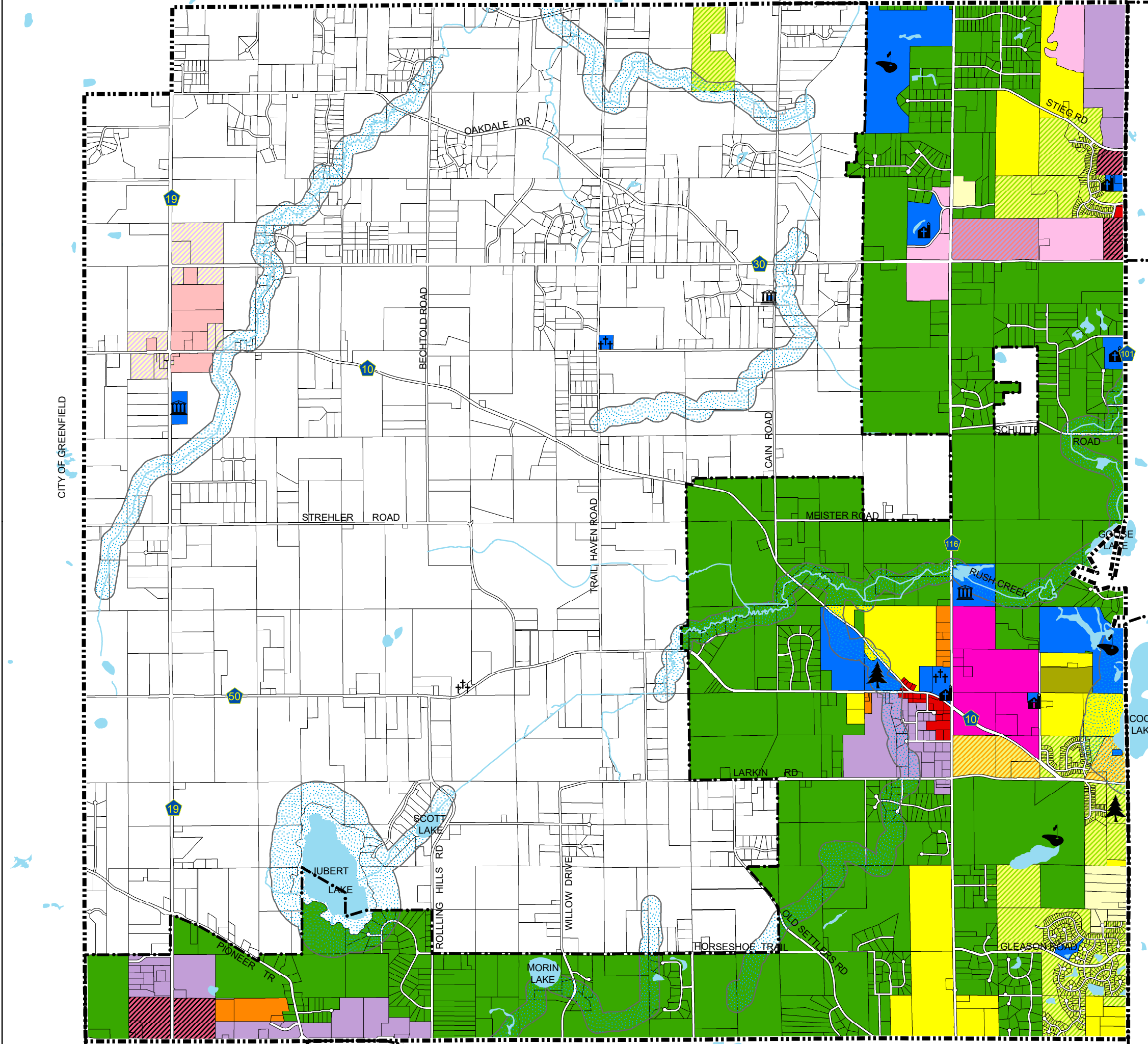
## Official Zoning Map

### Zoning Districts:

-  UR Urban Reserve
-  RR Rural Residential
-  RSF-1 Single Family Residential 1
-  RSF-2 Single Family Residential 2
-  RSF-3 Single and Two Family Residential 3
-  RMF-1 Medium Density Residential
-  RMF-2 Mixed Residential
-  RMF-3 High Density Residential
-  MP Manufactured Home Park
-  P-1 Public / Institutional
-  TCR Transitional Rural Commercial
-  CR Rural Commercial
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  DMU Downtown Mixed Use
-  GMU General Mixed Use
-  BP Business District
-  I-1 Light Industrial
-  PUD Planned Unit Development
-  Cemetery
-  Church
-  Golf Course
-  Government Building
-  Public Park
-  2040 Metropolitan Urban Service Area
-  City Limit
-  Open Water
-  Shoreland Overlay District



Updated September 2020  
Adopted June 2011















CITY OF GREENFIELD

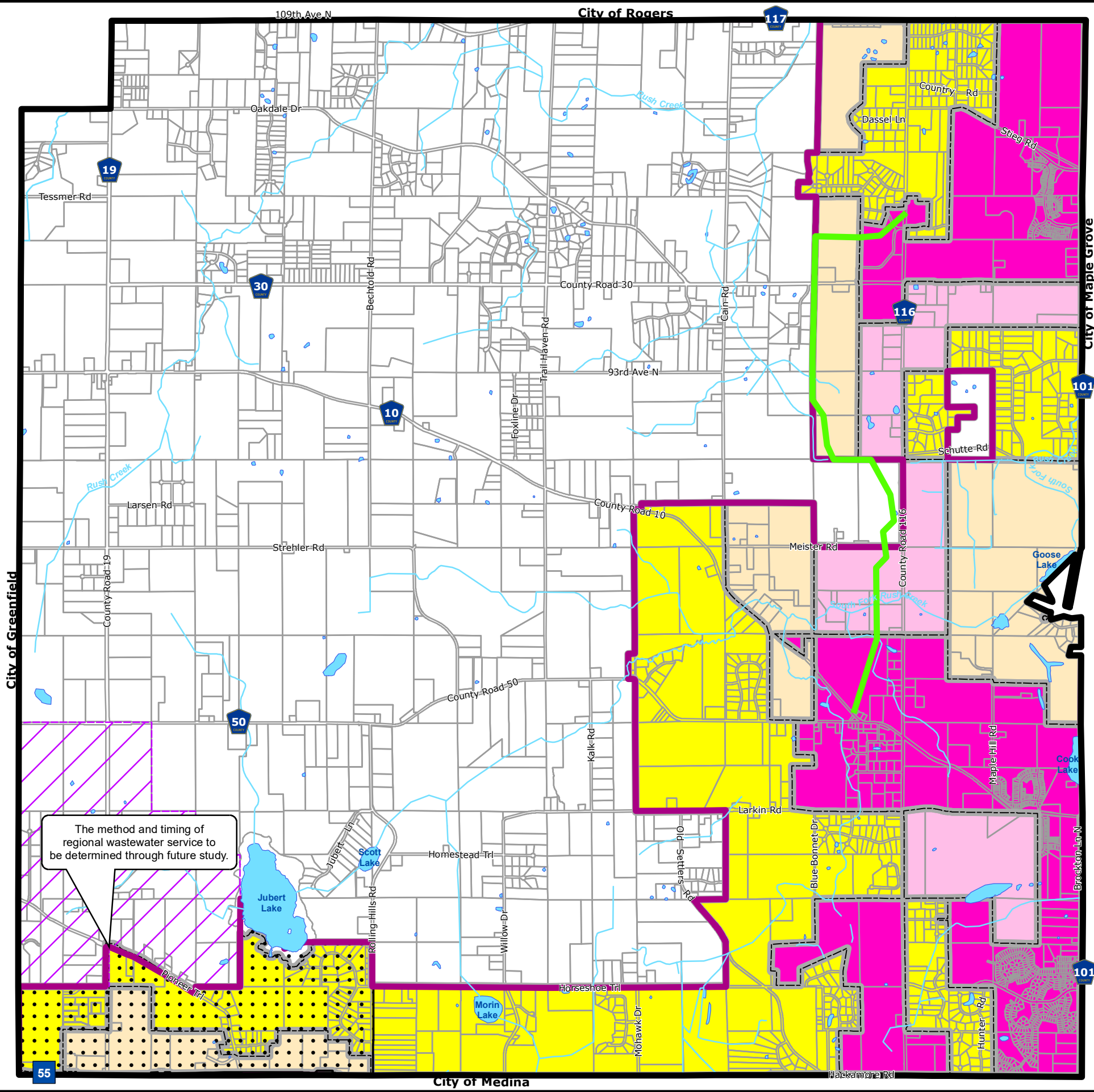


# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

Map 2-2  
2040 Staging Plan

-  2020-2025
-  2025-2030
-  2030-2035
-  2035-2040
-  SE/NE District Gravity Connector Trunk
-  Municipal Boundary
-  2040 MUSA
-  Future MUSA Expansion Area
-  Future Study Area
-  Parcel Boundaries
-  Streams
-  Lake/Open Water



3,000 1,500 0 3,000



Feet





**TO:** Corcoran City Council

**FROM:** Kendra Lindahl, Landform

**DATE:** February 16, 2021 for the February 25, 2021 City Council Meeting

**RE:** Proposed Work Plan for Residential Zoning District Ordinance Updates

**REVIEW DEADLINE:** N/A

## 1. Description of Request

The City Council identified a number of 2021 goals, including a review of specific sections of the city code. The first item is a review and update of the residential district standards in the Zoning Ordinance. We have been asked to prepare work plan for a review of Residential Districts.

## 2. Draft Work Plan

It is our understanding the priority is to review the residential zoning districts to ensure that the uses currently allowed in residential districts are appropriate and have performance standards that meet the City's goals for development.

Our work plan anticipates a 6-month process kicking off in March with adoption in August. Tentative dates are included in the work plan below, but can be modified as needed.

Each task is outlined below with an estimated number of anticipated meetings and task deliverables.

- 1) *Project Scoping.* Gathering additional information about City Council goals is a critical foundation for the effort. We will:
  - a) Conduct individual virtual meetings with Council members to identify concerns about the existing ordinance and goals for the ordinance update process (March).
  - b) Following these individual meetings, we will schedule a Council work session to review the feedback and present a work plan and project schedule for Council consideration (March 25<sup>th</sup>).
- 2) *Ordinance Drafting.* After Council approval of the project goals, we will:
  - a) Schedule a joint work session with the Planning Commission and City Council to review the Council work plan and goals and discuss options to address the issues identified. We will research the issues and provide draft language for consideration a future meeting (April 25<sup>th</sup>).
  - b) Schedule a council work session to review draft ordinance language based on the outcomes of the joint work session (May 27<sup>th</sup>).
  - c) Schedule a virtual public input process. Depending on the scope of the work, this could be a virtual open house or a webpage for public comment on the website (June).
  - d) Schedule a work session and provide an update to the City Council on the public comments. Revise the draft ordinance as directed by the Council (June 24<sup>th</sup>).



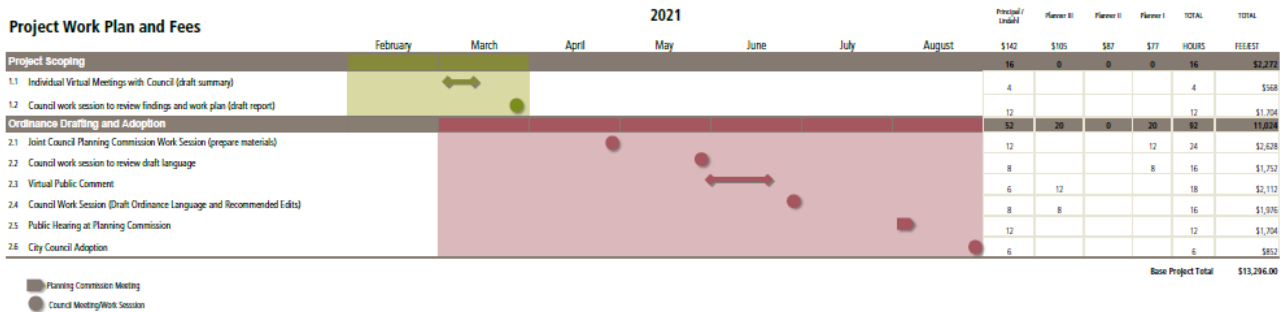
- e) Hold Public Hearing at Planning Commission (August 5<sup>th</sup>).
- f) Present at City Council for adoption (August 26<sup>th</sup>).

**Deliverables:**

- Project Schedule in a format that can be shared with the community
- Virtual meetings with five council members
- Three Council work sessions
- One Joint Planning Commission/City Council Work Session
- Public Input opportunity
- Public Hearing at the Planning Commission
- City Council meeting to adopt ordinance
- Prepare reports and materials for meetings

**Fee Proposal**

Our work plan shows the tasks with a budget of \$13,296.00 (108 staff hours); however, the budget and schedule can be modified as directed by the City Council.



**3. Recommendation**

Move to modify the work plan as desired and direct staff to initiate the ordinance update as outlined in this memo.



## STAFF REPORT

## Agenda Item 10a.

<b>Council Meeting:</b> February 25, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Planning Commission Appointments	<b>Action Required:</b> Approval

---

### Summary:

Planning Commission members are appointed by the City Council on staggered terms. The following Commissioner terms are set to expire at the end of February:

- Meredith Wu
- Jeff Dickman

Commissioner Wu is interested in continuing on the commission and her application is attached. Commissioner Dickman has informed staff that he is unable to make the commitment in the capacity any further at this time and is not re-applying.

The City has not received any other applications for the Planning Commission for consideration. Staff will publish the vacancy and accept applications for future consideration.

### Financial/Budget:

Planning Commission members serve without compensation.

### Options:

1. Appoint Meredith Wu to the Planning Commission for a term expiring February 29, 2024.
2. Decline one or both of the appointments.

### Recommendation:

Appoint Meredith Wu to the Planning Commission for a term expiring February 29, 2024.

### Council Action:

Consider a motion appoint Meredith Wu to the Planning Commission for a term expiring February 29, 2024.

### Attachments:

1. Commission Application – Meredith Wu





# CITY OF CORCORAN

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*www.ci.corcoran.mn.us*

## COMMISSIONS APPLICATION

Please indicate by order which of the following you are interested in (1, 2, 3 etc.):

- Parks and Trails Commission**  
Meets the 3<sup>rd</sup> Thursday of the month at 7:00 pm at Corcoran City Hall
- Planning Commission**  
Meets the 1<sup>st</sup> Thursday of the month at 7:00 pm at Corcoran City Hall
- Watershed Commission**  
Meets the 2<sup>nd</sup> Wednesday of the month, 11:30 am at Maple Grove City Hall
- Charter Commission**  
Meets once yearly at Corcoran City Hall
- \_\_\_\_\_

The City welcomes you as an applicant for consideration for one of the City’s commissions. Residents of Corcoran are eligible to apply for appointment to any of the City’s commissions as established by the City Council. Please complete the following information, attach extra sheets if necessary, and return in the enclosed envelope. Accommodations will be provided, upon request, to allow individuals with disabilities to participate in the application process.

### DATA PRACTICES ADVISORY

The City is required to provide the following information to you. Under Minnesota law, your name and home address are public information, which must be provided to anyone who requests it. If appointed to a commission, the following information will also be public: education and training background, previous work experience, work location, a work telephone number, and any expense reimbursement. The other information requested below is classified as private. This information will be used by the Commissioners, and the City Council in determining qualification for appointment to a commission. Therefore, all of the information will be provided to the Commissioners and City Council in a public forum and will be reviewed in public. Failure to provide the requested information may result in forfeiture of a Commission appointment.

*Continued on the next page...*



# CITY OF CORCORAN

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**Please complete the information below:**

Name: Meredith Wu		
Address: [REDACTED]		
Phone: (h)	(w)	(c) [REDACTED]
Fax:	E-mail: [REDACTED]	

Please answer the following questions (use the back side if more space is needed):

**1) How long have you been a Corcoran resident?**

11 years

**2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.**

Served on Planning Commission for Corcoran since 2012

**3) Please describe why you feel qualified to serve on the Commission for which you are applying, including any other relevant experience with the issues faced by the Commission.**

Professional experience as a registered architect and project manager working with clients on residential and commercial projects. Interest in serving on the Planning Commission as Corcoran transitions from a rural community into an outer suburb of the twin cities metropolitan area.

*Continued on the next page...*



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**4) Why are you interested in serving on this Commission?**

I have perspectives to offer regarding building design, urban planning and sustainable design objectives. Corcoran is dealing with rapid change as development moves into the region.

---

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

*Meredith Mly*

1/11/2021

Applicant Signature

Date

## STAFF REPORT

## Agenda Item 10b.

<b>Council Meeting:</b> February 25, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Parks and Trails Commission Appointments	<b>Action Required:</b> Approval

---

### Summary:

Parks and Trails Commission members are appointed by the City Council on staggered terms. The following Commissioner terms are set to expire at the end of February:

- Val Nybo
- Judy Strehler

Both commissioners are interested in continuing to serve on the Parks and Trails Commission and are recommended for reappointment. The City has not received any other applications for the Parks and Trails Commission for consideration.

### Financial/Budget:

Planning Commission members serve without compensation.

### Options:

1. Appoint Val Nybo and Judy Strehler to the Parks and Trails Commission for terms expiring February 29, 2024.
2. Decline one or both of the appointments.

### Recommendation:

Appoint Val Nybo and Judy Strehler to the Parks and Trails Commission for terms expiring February 29, 2024.

### Council Action:

Consider a motion appoint Val Nybo and Judy Strehler to the Parks and Trails Commission for terms expiring February 29, 2024.

### Attachments:

1. Commission Application – Val Nybo
2. Commission Application – Judy Strehler



# CITY OF CORCORAN

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[www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

## COMMISSIONS APPLICATION

Please indicate by order which of the following you are interested in (1, 2, 3 etc.):

- Parks and Trails Commission**  
Meets the 3<sup>rd</sup> Thursday of the month at 7:00 pm at Corcoran City Hall
- Planning Commission**  
Meets the 1<sup>st</sup> Thursday of the month at 7:00 pm at Corcoran City Hall
- Watershed Commission**  
Meets the 2<sup>nd</sup> Wednesday of the month, 11:30 am at Maple Grove City Hall
- Charter Commission**  
Meets once yearly at Corcoran City Hall
- \_\_\_\_\_

The City welcomes you as an applicant for consideration for one of the City's commissions. Residents of Corcoran are eligible to apply for appointment to any of the City's commissions as established by the City Council. Please complete the following information, attach extra sheets if necessary, and return in the enclosed envelope. Accommodations will be provided, upon request, to allow individuals with disabilities to participate in the application process.

### DATA PRACTICES ADVISORY

The City is required to provide the following information to you. Under Minnesota law, your name and home address are public information, which must be provided to anyone who requests it. If appointed to a commission, the following information will also be public: education and training background, previous work experience, work location, a work telephone number, and any expense reimbursement. The other information requested below is classified as private. This information will be used by the Commissioners, and the City Council in determining qualification for appointment to a commission. Therefore, all of the information will be provided to the Commissioners and City Council in a public forum and will be reviewed in public. Failure to provide the requested information may result in forfeiture of a Commission appointment.

*Continued on the next page...*

Administrative Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

Police Department Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

Public Works Offices  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652





# CITY OF CORCORAN

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Please complete the information below:

Name: Valerie Nybo		
Address: [REDACTED]		
Phone: (h) [REDACTED]	(w) [REDACTED]	(c) [REDACTED]
Fax: [REDACTED]	E-mail: [REDACTED]	

Please answer the following questions (use the back side if more space is needed):

- How long have you been a Corcoran resident? 27 years.
- Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.
  - NW Area Jayees - 1994 - present (Alumni)
    - Project chair - Treasurer - President
  - Corcoran Country Daze Committee - 2003 - present
  - Parks & Trails Commission - 2004 - present
- Please describe why you feel qualified to serve on the Commission for which you are applying, including any other relevant experience with the issues faced by the Commission.

From working with other community groups, I have experienced that decisions / recommendations may not please everyone. But need to be what best represents the entire community.

Continued on the next page...



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#### 4) Why are you interested in serving on this Commission?

If we plan for our future, our community will have a variety of outdoor recreation for all to enjoy.

---

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

Valerie Nybo

**Applicant Signature**

1.27.21

**Date**

---

**Administrative Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

**Police Department Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

**Public Works Offices**  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652



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## COMMISSIONS APPLICATION

Please indicate by order which of the following you are interested in (1, 2, 3 etc.):



**Parks and Trails Commission**

Meets the 3<sup>rd</sup> Thursday of the month at 7:00 pm at Corcoran City Hall

**Planning Commission**

Meets the 1<sup>st</sup> Thursday of the month at 7:00 pm at Corcoran City Hall

**Watershed Commission**

Meets the 2<sup>nd</sup> Wednesday of the month, 11:30 am at Maple Grove City Hall

**Charter Commission**

Meets once yearly at Corcoran City Hall

The City welcomes you as an applicant for consideration for one of the City's commissions. Residents of Corcoran are eligible to apply for appointment to any of the City's commissions as established by the City Council. Please complete the following information, attach extra sheets if necessary, and return in the enclosed envelope. Accommodations will be provided, upon request, to allow individuals with disabilities to participate in the application process.

### DATA PRACTICES ADVISORY

The City is required to provide the following information to you. Under Minnesota law, your name and home address are public information, which must be provided to anyone who requests it. If appointed to a commission, the following information will also be public: education and training background, previous work experience, work location, a work telephone number, and any expense reimbursement. The other information requested below is classified as private. This information will be used by the Commissioners, and the City Council in determining qualification for appointment to a commission. Therefore, all of the information will be provided to the Commissioners and City Council in a public forum and will be reviewed in public. Failure to provide the requested information may result in forfeiture of a Commission appointment.

*Continued on the next page...*

**Administrative Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

**Police Department Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

**Public Works Offices**  
9100 County Road 19  
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Phone: 763-420-2652



# CITY OF CORCORAN

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Please complete the information below:

Name: <i>Judy Strehlen</i>		
Address: [REDACTED]		
Phone: (h) [REDACTED]	(w)	(c)
Fax:	E-mail: [REDACTED]	

Please answer the following questions (use the back side if more space is needed):

1) How long have you been a Corcoran resident?

*27 years*

2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.

*parks & Trails*

3) Please describe why you feel qualified to serve on the Commission for which you are applying, including any other relevant experience with the issues faced by the Commission.

*I've been on this commission for a few years, would love to see in the continuing growth*

*Continued on the next page...*

Administrative Offices  
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Corcoran, MN 55340  
Phone: 763-420-2288

Police Department Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

Public Works Offices  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652



# CITY OF CORCORAN

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#### 4) Why are you interested in serving on this Commission?

*Because its growing!*

---

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

*Judy A. Strehler*

Applicant Signature

*2/15/2021*

Date

---

**Administrative Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

**Police Department Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

**Public Works Offices**  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652





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105 South Fifth Street,  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

# MEMORANDUM

**DATE** February 18, 2021  
**TO** Brad Martens  
**CC** City Council, Planning Commission, Parks & Trails Commission  
**FROM** Kendra Lindahl, City Planner  
**RE** Active Corcoran Planning Applications

*Projects/Comments in blue italics are new*

Project marked with an \* have moved from active to complete.

The following is a summary of project status for current, active projects:

1. **Certificate of Compliance for the Orht property located at 20600 County Road 30 (PID 11-119-23-23-0004) (city file no. 20-038).** The request is to allow ground mounted solar on the residential property. The application is currently incomplete pending a certificate of survey/site plan, but may be administratively approved if the ordinance standards are met.
2. **Final Plat and Final Planned Unit Development for “Tavera” (city file no. 20-042).** The application for the first phase of this development includes 33 single family homes south of the main entrance off County Road 116. *The item is scheduled for Planning Commission on March 4<sup>th</sup> and City Council action on March 25<sup>th</sup>.*
3. **Final Plat for the Property located at 23825 Tessmer Road (PID 07-119-23-22-0001) and 10005 CR 19 (PID 07-119-23-21-0002) (city file no. 20-043).** The applicant is requesting final plat approval for the subdivision which will create three lots and one outlot. *The item is scheduled for City Council action on March 25<sup>th</sup>.*
4. **Preliminary Plat and Final Plat for “Hunters Place 2<sup>nd</sup> Addition” at 10110 CR 116 (PID 12-119-23-22-0001) (city file no. 20-044).** The City is requesting approval of a subdivision to create two lots – one for the existing Lother home and one for the new city well site (an essential service). *The public hearing was continued from the February 4<sup>th</sup> Planning Commission meeting to February 18<sup>th</sup> and City Council action is scheduled on February 25<sup>th</sup>.*
5. **Interim Use Permit for an Accessory Dwelling Unit at 6330 Snyder Road (PID 35-119-23-43-0002) (city file no. 20-045).** Kevin Henn has requested approval of an accessory dwelling unit in an accessory building. *The public hearing was continued from the February 4<sup>th</sup> Planning Commission meeting to February 18<sup>th</sup> and City Council action is scheduled on February 25<sup>th</sup>.*
6. **Variance for a front yard setback reduction at 20795 Larkin Road (PID 27-119-23-41-0013) (city file no. 20-046).** Nate Kariniemi has requested approval for a setback variance for construction of a new home on a lot he recently subdivided. *The item was continued from the February 4<sup>th</sup> Planning Commission meeting to February 18<sup>th</sup> and City Council action is scheduled on February 25<sup>th</sup>.*
7. **Rezoning, Preliminary Plat and Preliminary PUD Plan for Cook Lake Highlands (PID 25-119-23-14-0003) (city file no. 20-047).** Trek Development has requested approval for a mixed use development with a senior co-op, market rate apartment, villa homes, day care and memory care. *This item is scheduled for Parks and Trails Commission review on February 18<sup>th</sup>, a public hearing at the March 4<sup>th</sup> Planning Commission meeting and City Council action on March 25<sup>th</sup>.*

8. **Wright-Hennepin Cooperative Electric Association request for Wetland Waiver, Preliminary Plat, Variance and Administrative Permit at 19835 Larkin Road. (PID 25-119-23-32-0001) (city file 20-048).** The applicant has submitted a request for a new electric substation (an essential service) on the southwest portion of the site. *The wetland waiver was approved by the City Council on January 28<sup>th</sup>. The preliminary plat, variance and administrative permit public hearing was continued from the February 4<sup>th</sup> Planning Commission meeting to February 18<sup>th</sup> and City Council action is scheduled on February 25<sup>th</sup>.*
9. **Preliminary Plat and Variance for the Property located at 23020 Strehler Road (PID 17-119-23-32-0003) (city file no. 20-049).** Greg Franzen has requested approval of a subdivision to create three lots and a variance from the minimum lot frontage standards. *The application is currently incomplete and will be scheduled for Planning Commission and City Council action when complete.*
10. **Concept Plan Review for a New Warehouse / Storage Facility at 22400 State Highway 55 (PID 32-119-23-44-0001) (city file no. 21-002).** Craig Scherber has submitted a request for concept plan review for a storage facility. *The application is scheduled for City Council review on February 25<sup>th</sup>.*
11. **Interim Use Permit (IUP) for a Conditional Home Occupation License (CHOL) at 23405 CR 30 (PID 07-119-23-42-0003) (city file no. 21-003).** Jason Larson has requested approval of an IUP for a CHOL to allow auto detailing. *The application is scheduled for a public hearing at the Planning Commission on March 4<sup>th</sup> and City Council review on March 25<sup>th</sup>.*
12. **Conditional Use Permit, Variance and Site Plan for a new NAPA at 19905 75<sup>th</sup> Avenue (PID 26-119-23-11-0040) (city file no. 21-004).** Kinghorn Construction, on behalf of REH Auto LLC., has requested approval of a conditional use permit, variance and site plan for a new 16,400 sq. ft. building. *The item is currently incomplete. It was tentatively scheduled for a public hearing at the Planning Commission on March 4<sup>th</sup>, but will be tabled while the applicant completes the application and may be scheduled for the April Planning Commission and City Council meetings.*
13. **Easement Vacation for Refuge at Rush Creek Wetland Mitigation Bank (PID 03-119-23-13-0002) (city file no. 21-005).** Chris Rains has requested approval of an easement vacation and proposes new easements to be dedicated over a proposed wetland bank on the property. *The application is scheduled for a public hearing at the City Council on March 25<sup>th</sup>.*
14. **Lot Line Adjustment for the Property located at 20420 Duffney Circle (PID 11-119-23-23-0004 and PID 11-119-23-31-0005) (city file no. 21-006).** Shawn and Michele Tharp have requested approval of a lot line adjustment. *The application is currently incomplete, but will be administratively approved when the missing items are received from the applicant.*
15. **Conditional Use Permit and Site Plan for the Property located at 23240 County Road 30 (PID 07-119-23-13-0003) (city file no. 21-007).** Trevor Scherber has requested approval of a conditional use permit and site plan approval to operate a business at 23240 County Road 30. *The application is currently incomplete. The application is tentatively scheduled for a public hearing at the Planning Commission on April 1<sup>st</sup> and City Council review on April 22<sup>nd</sup>.*
16. **Certificate of Compliance for an Agricultural Building at 21600 Larkin Road (PID 28-119-23-13-0002) (city file no. 21-008).** Ernie Mayers has submitted an application for a certificate of compliance for a new agricultural building. *State law exempts buildings that are used solely for agricultural purposes from the building permit requirements, but not the zoning ordinance requirements. Staff is reviewing the application for completeness. If complete, the application may be administratively approved.*
17. **Meadow Trails 2<sup>nd</sup> Addition Preliminary Plat, Final Plat and Variance (PID 35-119-23-12-0002) (city file no. 21-009).** Lennar has submitted a request for a subdivision to create two outlots for the Dempsey property. *This property has preliminary plat approval as part of the Tavera project, but the applicant is requesting approval to allow the property to be split in two outlots to allow them to purchase the property in two phases. Staff is reviewing the application for completeness. If complete, the application may be scheduled for the April Planning Commission and City Council meetings.*

18. **Variance for a deck and porch at 6433 Bluestem Circle (PID 36-119-23-42-0032) (city file no. 21-010).** Andrew and Pamela Krominga have requested approval of a variance from the rear yard setback requirements to build a four-season porch and deck on their new home in the Ravinia development. Staff is reviewing the application for completeness. If complete, the application may be scheduled for the April Planning Commission and City Council meetings.

The following projects were recently acted upon and will be closed out:

1. **\*PUD Sketch Plan Review for Van Blaricom and Schober properties for “Bellwether” (PID 01-119-23-34-0002 and 01-119-23-43-0002) (city file no. 20-050).** Pulte Homes has submitted a request for sketch plan review for a mix of single family homes and villa homes on the 77-acre site. *The concept plan was reviewed by the City Council on January 28<sup>th</sup>.*
2. **\*Initiation of Agricultural Preserve Expiration at 19550 Schutte Farm Road (PID 13-119-23-21-0006) (city file no. 21-001).** Tom and Ann Schlangen have requested expiration of the Agricultural Preserve designation. *The item was approved by the City Council on January 28<sup>th</sup>.*

# City of Corcoran 2021 City Council Schedule

Agenda Item 12.

## March 11, 2021

- Planning Commission Annual Report
- Parks and Trails Commission Annual Report
- Charter Commission Appointment (review applications and discuss process)
- Diamond Lake Regional Trail Corridor Update – Approve Preferred Route
- Code Enforcement Violation – Westside Tire
- Resolution in support of HC bridge project
- MS-4 stormwater permit work plan
- Appaloosa Woods Feasibility Study Approval – Call Public Hearing
- City Center Drive Appraisal or Letter of Benefit
- K9 Program Update
- 2021 Mission, Vision, Core Strategies, and Short-term Goals

## March 25, 2021

- Active Corcoran Planning Applications
- Cook Lake Rezoning, Preliminary Plat, and PUD
- Tavera Final Plat – 1<sup>st</sup> Addition
- Larson Interim Use Permit for Conditional Home Occupation Licence on CR 30
- Software RFP (finance, etc.)
- Easement Vacation – Refuge at Rush Creek
- Resolution for Meadow Trails (Dempsey property)
- Finance position job description

## April 8, 2021

- Bring Your Own Device Policy
- Reschedule November 11, 2021 Council meeting
- Water Fee Feasibility Study Discussion – Trunk Stormwater Fee
- Assessment Policy Review – Corcoran Trail East/West
- Discussion on Open Book meeting vs. Local Board of Appeals and Equalization (December 1 deadline)

## April 22, 2021

- Active Corcoran Planning Applications
- Recruitment process – Maintenance Worker
- NAPA CUP, VAR and SP (city 21-004)
- Scherber Roll Off Conditional Use Permit and Site Plan