



CITY OF CORCORAN  
Corcoran City Council Agenda  
November 22, 2021 - 7:00pm

**HYBRID MEETING OPTION AVAILABLE**

*The public is invited to attend the regular Council meetings at City Hall.*

**Meeting Via Telephone/Other Electronic Means**

**Call-in Instructions:**

+1 312 626 6799 US

**Enter Meeting ID: 820 6716 5900**

Press \*9 to speak during the Public Comment Sections in the meeting.

**Video Link and Instructions:**

<https://us02web.zoom.us/j/82067165900>

visit <http://www.zoom.us> and enter

**Meeting ID: 820 6716 5900**

Participants can utilize the Raise Hand function to be recognized to speak during the Public Comment sections in the meeting. Participant video feeds will be muted. **In-person comments will be received first, with the hybrid electronic means option following.**

For more information on options to provide public comment visit:

[www.corcoranmn.gov](http://www.corcoranmn.gov)

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Commission Representatives\***
5. **Open Forum – Public Comment Opportunity**
6. **Presentations/Recognitions**
  - a. Resolution Honoring Meredith Wu\*
7. **Consent Agenda**
  - a. Draft Minutes of November 10, 2021 Council Meeting\*
  - b. Financial Claims\*
  - c. Nonconformities Section 1030.010 Zoning Ordinance Amendment\*
  - d. Clarification of Benefits – Non-union Police Officers\*
  - e. Interim Administrator Appointment\*
  - f. CSAH 101 & Future 105<sup>th</sup> Ave Turn Lane Improvements – Pay Request 1\*
  - g. Corcoran Trail Street Improvements – Pay Request 1\*
  - h. Preliminary Plat and Variance Application for Skies Limit LLC “Bechtold Farm” at 10165 Bechtold Road\*
8. **Planning Business – Public Comment Opportunity**
  - a. Site Plan, Conditional Use Permit, and Preliminary Plat for Saint Therese Communities at 8200 County Road 116\*
  - b. Concept Plan for Corcoran Highway 55 Business Park\*
  - c. Concept Plan for Pulte Hackamore Properties\*
  - d. Concept Plan for 23185 County Road 10\*
9. **Unfinished Business – Public Comment Opportunity**
  - a. Draft 2022 General Fund Budget\*
  - b. Draft 2022 Water and Sewer Budgets\*
10. **New Business – Public Comment Opportunity**
  - a. Resolution Creating and Amending Job Descriptions \*
  - b. Training Opportunity – FBI National Academy\*
  - c. 2022 Police Staffing\*
  - d. Schedule Work Session – Water Supply Planning\*
11. **Staff Reports**
  - a. City Park Master Plan Update\*
  - b. Active Corcoran Planning Applications\*
12. **2021 City Council Schedule\***
13. **Adjournment**

*\*Includes Materials - Materials relating to these agenda items can be found in the Council Chambers Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at [www.corcoranmn.gov](http://www.corcoranmn.gov).*



# CITY OF CORCORAN

## MISSION

*THE CITY OF CORCORAN WILL PROVIDE HIGH-QUALITY PUBLIC SERVICES IN A COST-EFFECTIVE, RESPONSIBLE, AND PROFESSIONAL MANNER IN ORDER TO CREATE A PREFERRED ENVIRONMENT TO LIVE, WORK, PLAY, AND CONDUCT BUSINESS.*

## VISION

*THE CITY OF CORCORAN WILL BECOME A VIBRANT, CONNECTED COMMUNITY WHILE PRESERVING ITS NATURAL CHARACTER AND AGRICULTURAL ROOTS.*

## VALUES

*The following values are fundamental to the City of Corcoran's success and the fulfillment of our mission:*

***Honesty, Ethics, Integrity***

*We believe that honesty, ethics, and integrity are the foundation blocks of public trust and confidence.*

***Community Pride and Partnership***

*We believe in creating a strong sense of community through partnerships with civic organizations, school districts, and local businesses.*

***Efficient and Effective Service Delivery***

*We believe providing services to residents and businesses in an efficient and effective manner makes government easier to work with and creates a business friendly environment.*

***Community Safety***

*We will protect the community by maintaining or improving safety through police and fire protection and by investing and maintaining the infrastructure of the City.*

***Fiscal Responsibility***

*We believe that the prudent stewardship and opportunistic investment of public funds is essential for confidence in government and to position the City for future success.*

***Transparency***

*We believe that open, honest, and proactive communication is essential for an informed and involved citizenry. Processes and decision making should include opportunities to educate citizens and receive feedback.*

***Responsible Decision Making***

*We believe it is the responsibility of the City to address difficult issues now in order to avoid larger more difficult issues in the future.*

## CORE STRATEGIES

- *Enhance Corcoran's sense of place and identity.*
- *Provide diverse community amenities and recreational opportunities.*
- *Maintain excellence in safety and security for our community.*
- *Ensure high-quality, market-driven growth.*
- *Provide high-quality, innovative municipal services.*

ADOPTED MARCH 11, 2021

## STAFF REPORT

## Agenda Item 4.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By :</b> Brad Martens
<b>Topic :</b> Commission Representatives	<b>Action Required:</b> None – Informational

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### **Summary:**

The advisory commission representatives for the November 22<sup>nd</sup> Council meeting are as follows:

- Planning Commission: Mark Lanterman
- Parks and Trails Commission: Judy Strehler

### **Financial/Budget:**

N/A

### **Council Action:**

N/A

### **Attachments:**

N/A

**RESOLUTION NO. 2021-126**

**Motion By:**  
**Seconded By:**

**A RESOLUTION HONORING PLANNING COMMISSIONER MEREDITH WU**

**WHEREAS**, the City of Corcoran reluctantly accepted a resignation notice from Meredith Wu, from the Planning Commission at its November 10, 2021 meeting; and

**WHEREAS**, Meredith Wu has shown incredible dedication to the Corcoran community by serving on the Planning Commission since 2011; and

**WHEREAS**, during that time, Meredith Wu provided thoughtful and thorough reviews of dozens of land use applications, assisted in establishing and updating design guidelines for the City, participated in various sub-committees, and contributed in two updates to the Comprehensive Plan; and

**WHEREAS**, the City of Corcoran recognizes the time, energy, dedication, and leadership provided by Meredith Wu, during her decade of involvement in the Planning Commission; and

**WHEREAS**, the City of Corcoran hopes Meredith Wu will continue her involvement in the City in the future, beyond her service on the Planning Commission.

**NOW, THEREFORE BE IT RESOLVED**, by the City of Corcoran, that the City Council hereby honors Meredith Wu for her distinguished service to the City of Corcoran and residents of the City.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November, 2021.

\_\_\_\_\_  
Tom McKee – Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*



CITY OF CORCORAN  
**City Council Meeting Minutes**  
**November 10, 2021 - 7:00 pm**

The Corcoran City Council met on November 10, 2021, in Corcoran, Minnesota. The City Council meeting was held in person and the public was present in person and remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee, Councilor Bottema, Councilor Nichols, Councilor Schultz, and Councilor Vehrenkamp were present.

Administrative Services Director Beise, Deputy Clerk Friedrich, City Engineer Torve, Director of Public Safety Gottschalk, and Lieutenant Burns were present. City Planner Lindahl, Planner Davis and Public Works Director Mattson were present via electronic means.

**1. Call to Order/Roll Call**

Mayor McKee called the meeting to order at 7:00 pm.

**2. Pledge of Allegiance**

Mayor McKee invited all in attendance to rise and join in the Pledge of Allegiance.

**3. Agenda Approval**

**MOTION:** made by Bottema, seconded by Nichols to approve the agenda as presented.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp

(Motion carried 5:0)

**4. Commission Representatives**

Mayor McKee noted Planning Commissioner Jacobs and Parks and Trails Commissioner Meister were present via electronic means.

**5. Open Forum (Public Comment Opportunity)**

Mayor McKee invited residents to communicate in-person or telephonically during the public comment opportunity. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the public comment opportunity.

**6. Presentations/Recognitions**

No presentations or recognitions were heard.

**7. Consent Agenda**

- a. Draft Minutes of October 28, 2021 Council Work Session Meeting
- b. Draft Minutes of October 28, 2021 Council Meeting
- c. Financial Claims
- d. 2022 Capital Improvement Plan – Grader Rebuild
- e. Ordinance Update – Park Rules
- f. Records Scanning Project

**MOTION:** made by Schultz, seconded by Bottema to approve consent agenda items 7a-f., as presented.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp

(Motion carried 5:0)

**8. Assessment Hearing Continuation**

- a. Certifying Delinquent Fees to Hennepin County

Administrative Services Director Beise reviewed the process for certifying delinquent recycling and

dust control fees to Hennepin County. Administrative Services Director Beise noted fee due dates, and added assessments of \$2,500 remaining balance for recycling, and \$3,500 remaining balance for dust control.

Mayor McKee open the Public Hearing. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the public hearing.

**MOTION:** by McKee, seconded by Vehrenkamp to close the Public Hearing.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp

(Motion carried 5:0)

**MOTION:** by Bottema, seconded by Nichols to approve Resolution 2021-124 Certifying the 2021 Delinquent Dust Control Fees to Hennepin County Auditor for Collection in 2022; and to approve Resolution 2021-125 Certifying the 2021 Delinquent Recycling Fees to the Hennepin County Auditor for Collection in 2022.

Council and staff discussed current delinquent balances were consistent with prior years' delinquent balances.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp

(Motion carried 5:0)

## 9. **Planning Business (Public Comment Opportunity)**

Mayor McKee noted residents are invited to participate in person and telephonically for public comment opportunity for items 9a-d. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the public comment opportunity.

- a. Rezoning, Site Plan, Conditional Use Permit, Variance, and Preliminary Plat for Garages Too

City Planner Lindahl reviewed the application history to date with the existing parcels, noted the property has been guided light industrial for approximately 20 years. City Planner Lindahl noted when sewer and water is available the property is rezoned to the zoning district compatible with underlying land use. City Planner Lindahl clarified the mini-storage unit parcel is an industrial lot, with the home lot remaining urban reserve. City Planner Lindahl noted the concept plan was reviewed in March by Council, with the Planning Commission recommending denial based on the municipal water services requirement. City Planner Lindahl reviewed architectural aspects and landscaping. City Planner Lindahl noted HWY 55 access is a temporary condition until a future frontage road is built and would then be a requirement of project to utilize the frontage road for access from HWY 55. City Planner Lindahl reviewed all stormwater requirements will be managed on-site, with city engineer ensuring state watershed and local regulations are met. Council and staff discussed the future entrance from Pioneer Trail or Rolling Hills Road to HWY 55 once the frontage road is built. Council and staff reviewed denial recommendation by Planning Commission was due to variance findings not being met, noting project was premature without availability of municipal sewer and water. Council noted sewer and water services are not necessary with this type of project. Council and staff discussed turn lanes and traffic implications on HWY 55, noting MnDOT indicated no improvements were necessary to HWY 55 with current driveway plans. City Planner Lindahl noted the driveway is in the City of Medina and applicant would be responsible to coordinate all driveway permits through the City of Medina. Council discussed Horseshoe Trail drainage issues with water runoff from parking lot and roof of project. City Planner Lindahl noted existing draining patterns will be maintained. City Engineer Torve identified a culvert on the residential parcel driveway adjacent to the project, was identified as a pinch point and noted the applicant would have the driveway redone. City Engineer Torve noted water drainage runs downhill, crosses the road, and continues to the north side. City Engineer Torve noted there is not a significant flow of water ending at the city drainage culvert. City Engineer Torve noted the existing water drainage system has been reviewed and stormwater improvements to parcel would necessitate a city project on stormwater drainage and downhill system. Council noted size of culverts would need to be enlarged, to be brought to current standard on the south side of the road with a future project.

Council and staff discussed future stormwater project improvement costs. Council noted obtaining a feasibility study for the area. Council noted an existing business operated from the parcel, traffic concerns, keyed gate access, and room for turning a trailer around in the area. City Planner Lindahl noted driveway design needs to be approved by engineering. City Planner Lindahl noted a home occupation license was issued to the previous business at the site. Council noted the application has received significant upgrades since the initial Planning Commission submission. Council and staff discussed watershed review, noting water suppression for building size, and noted fire break greater than 12,000 square feet. Council and staff discussed storage items not allowed, noting no automobile work or repair allowed in storage units, and business security monitoring.

Chris Scherber, applicant, discussed cameras and motion sensors on other properties owned, noting the same security on the project will exist, and noted gated access for the project. Mr. Scherber mentioned monitoring is continuous 24/7, noting there have not been many issues with the tenants. Mr. Scherber noted operation hours of 7:00 am to 9:00 pm for the mini storage business.

Council discussed including language for property improvements within the project. City Planner Lindahl noted if improvement is required to serve the project, a condition could be made, however there are no improvements identified on the project. City Planner Lindahl noted future projects could include adjacent property owners. Public Works Director Mattson explained the engineering conditions memo outlines the improvement process and noted a limited time to determine improvements prior to the preliminary plat. Council reviewed existing wetland issues within area prior to development construction and causes to the existing stormwater condition in area. Public Works Director Mattson noted if Council is considering a stormwater improvement project coinciding with applicants improved culvert on parcel, a feasibility study would be helpful to understand costs involved, prior to final plat application.

Commissioner Jacobs noted Planning Commission discussed addition of outhouses and trash receptacle not included on original site plan. City Planner Lindahl noted items were not included on revised site plan as it was not recommended by the Planning Commission, as Planning Commission recommended denial. City Planner Lindahl noted applicant spoke at the Planning Commission regarding both outhouses and trash receptacles. Council noted the trash handling ordinance and a required pickup services and conditions. Administrative Services Director Beise noted the ordinance language references specific definitions of use required for trash pickup, noting nuisance ordinance as an option for enforcement action regarding trash, if necessary. Council and staff reviewed connection and assessments. City Planner Lindahl noted trunk charges would still be applicable, though water connection would not. Council noted landscaping requirement of 52 trees and 207 shrubs, with 15 trees offsite, does not comply with code. City Planner Lindahl noted there is no credit in place for off-site trees. City Planner Lindahl indicated a change to condition 7d., could include language for credit on the offsite trees, and preserve existing trees on SE property line, plant 8 offsite trees to the north with 54 new trees and 207 shrubs. Council noted screening to the north is important and maintaining adherence to code requirements. Council and staff discussed Paragraph 9 referencing trees and shrubs near retaining wall on proposed landscaping design, noting importance of planting, and staking trees, and lot line screening regarding code and screening of affected parcels. Council and staff reviewed area for planting and landscaping requirements, size of building, and parcel size.

**MOTION:** by Vehrenkamp, seconded by Schultz to adopt Ordinance 2021-431 Amending Title X (Zoning Ordinance) of the City Code to Classify Certain Lane Located at 22400 State Highway 55 (PID 32-119-23-44-0001) (City File 21-016)

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carried 5:0)

**MOTION:** by Schultz, seconded by Vehrenkamp to approve Resolution 2021-94 Findings of Fact for Rezoning for 22400 State Highway 55 (PID 32-119-23-44-0001) (City File 21-016)

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carried 5:0)

**MOTION:** by Bottema, seconded by Schultz to approve Resolution 2021-95 Site Plan and Conditional Use Permit for the Properties Located at 22400 State Highway 55 and 6315 Horseshoe Bend Drive (PID 32-119-23-44-0001 and 32-119-23-44-0009) (City File 21-016); to approve Resolution 2021-96

Variance for the Properties Located at 22400 State Highway 55 and 6315 Horseshoe Bend Drive (PID 32-119-23-44-0001 and 32-119-23-44-0009) (City File 21-016); and to approve Resolution 2021-97 Preliminary Plat for the Properties Located at 22400 State Highway 55 and 6315 Horseshoe Bend Drive (PID 32-119-23-44-0001 and 32-119-23-44-0009) (City File 21-016)

Council noted consensus of feasibility study costs for improvements to project area prior to preliminary plat.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carried 5:0)

b. Planned Unit Development Amendment for Tavera

City Planner Lindahl outlined the approved stockpile includes a height limit of 20 feet at the Horseshoe extension and noted the current request adding 4 stockpiles on the southeast corner of the project. City Planner Lindahl reviewed options for modified conditions. Council and staff discussed stockpiles and circumstances of City not being informed. Public Works Director Mattson clarified the mass of stockpile cannot be spread out further. Council discussed options of increased height for existing stockpiles, altering stockpile locations, and stormwater runoff implications. Public Works Director Mattson noted existing stockpile, general area guidelines, increased height elevation of existing stockpile, and volume of dirt footprint of existing stockpile.

Paul Tabone, Lennar Homes, reviewed stockpiles, additional earthwork estimations and studies noting 35,000 is needed for northern section of project, and additional stockpiles are needed for grading in 2022. Mr. Tabone noted appropriate material staging for 3<sup>rd</sup> and 4<sup>th</sup> addition final plats. Mr. Tabone noted the soils are more difficult to work with than originally anticipated, and when grading is needed further north, the fill is available. Mr. Tabone noted removing fill from existing stockpiles to 20 feet, and moving dirt to other sites needing grading, and being prepared for spring. Mr. Tabone opined on factors considered in moving dirt to the north and then moving dirt again to the south, with the 1<sup>st</sup> and 2<sup>nd</sup> additions under construction, dirt would need to be hauled around the construction site and would impact County Road 116 and Hackamore Road traffic.

Council noted the northern middle stockpile can hold the volume of dirt, but fill is needed on the south when grading is completed. Council noted location of stockpile off Hackamore is not ideal. Council discussed standards, adherence to approved plans, and management of future grading stockpiles. Mr. Tabone noted the soil was unpredictable, but acknowledged problem of height issue, and utilizing the stockpile as soon as possible.

**MOTION:** made by Schultz, seconded by Bottema approving Resolution 2021-117 Planned Unit Development (PUD) Amendment for "Tavera 1<sup>st</sup> Addition" for Lennar (PID 35-119-23-41-0002) (City File 21-043) to include a change to condition 4 stating 'No building will be issued for the project until the stockpiles are moved as directed by Council and the site is brought into compliance'; and include a condition 5 stating 'The four stockpiles are approved through October 1, 2022. If the four stockpiles are required to remain beyond that date, the applicant must apply for an extension and present the request to the Council prior to that expiration date.'

Council and staff discussed difference of stockpiles and material actively being worked on, and reviewed changes to conditions within the Resolution. Council and staff clarified location of four additional stockpiles and addition of condition 5. Council discussed the previously approved stockpile and moving as much material to that specific stockpile as possible as part of condition 5. Council noted the previously approved stockpile was not out of compliance. Council and staff noted the previously approved stockpile height and footprint constraints allows enough information to determine stockpile size. Council noted adhering to the four stockpile violations and request by applicant on the four additional stockpiles.

Voting Aye: McKee, Bottema, Schultz, and Vehrenkamp  
(Motion carried 4:1)

Nay: Nichols

Mayor McKee called for a recess at 9:07 pm.

Mayor McKee called meeting back to order at 9:13 pm.

c. Campaign Sign Policy



Planner Davis outlined the campaign sign policy meetings and requests by Council. Planner Davis noted Council direction included consistent treatment of campaign signs with a-frame (or sandwich board) signs and are the only type of sign temporarily permitted in the right-of-way per City Code; and establishing a standard for campaign signs and a-frame signs to be at least 7-feet from the edge of the roadway, noting current policy states 15-feet from the edge of a roadway. Council discussed recent update to policy in 2015 to 15-feet as standard distance from edge of the road, and recommendation of staff to remain at 15-feet standard, and purpose of changing the standard. Council discussed complications for residents who do not have

15-feet to place a sign on property citing tree lines at the edge of roads as an example. Council discussed safety issue with installing signs 7-feet off the road.

**MOTION:** made by McKee, seconded by Nichols to amend campaign sign policy to allow for signs to be placed within the right-of-way but at least 7-feet from the edge of the roadway if signs do not obstruct vehicle and pedestrian traffic.

Voting Aye: McKee, and Nichols      Nay: Schultz, and Vehrenkamp      Abstain: Bottema  
(Motion fails 2:2:1)

Council discussed with failed vote, a-frame signs will be allowed up to the road right-of-way, but regular signs will not be. Council noted consistency in sign policies. Planner Davis clarified campaign sign policies, and noted the City can regulate the location, but not the size or number of signs. Council noted if a campaign sign is in the form of an a-frame, during campaign season, distance can be regulated by the city to 15- feet of the edge of road. Planner Davis noted current city code allows businesses to use a-frame signs for temporary advertisement, limited in size, and limited for 30 days at a time.

#### d. Sign Ordinance Update

Planner Davis reviewed history of sign ordinance updates, and overview of requests by Council to address treatment of construction signs. Planner Davis noted Council direction included consistent standard for treatment of a-frame (or sandwich board) signs and campaign signs placed in the right-of-way, substitution clauses, and procedure for permitting. Council discussed signs for multiple businesses and a-frame signs, setback distance of signs, pedestrian walkways, and right-of-way. Planner Davis noted changes to language for permitting process and include instructions on permits that are denied, and the applicant's appeal rights. Planner Davis reviewed updated definition of construction signs and construction sites, and construction sign provisions language. Council and staff discussed the 7-foot limit and a-frame signs in the downtown core area and streets, pedestrian walkways and sign curb limits, and maximum setbacks. Council and staff discussed separating a-frame signs from construction signs and removal of standard g.

**MOTION:** made by Nichols, seconded by McKee to adopt Ordinance 2021-434 Amending the Text of Chapter 84.02 of the Corcoran City Code Related to Temporary Sign and Sign Permit Provisions with amendment removing standard g., referencing sandwich board and a-frame signs. (City File 21-027)

Voting Aye: McKee, Nichols, Schultz, and Vehrenkamp      Nay:      Abstain: Bottema  
(Motion carried 4:0:1)

Planner Davis noted on Resolution 2021-106, under Therefore, Be It Resolved, the Findings 1, referencing sandwich boards will need to removed.

**MOTION:** made by Schultz, seconded by McKee to approve Resolution 2021-106 Findings of Fact for an Ordinance Amending the Text of Chapter 84 of the Corcoran City Code with amendment removing Findings 1., referencing sandwich board and a-frame signs. (City File 21-027)

Voting Aye: McKee, Nichols, Schultz, and Vehrenkamp      Nay:      Abstain: Bottema  
(Motion carried 4:0:1)

**MOTION:** made by McKee, seconded by Schultz to adopt Ordinance 2021-435 Summary of Ordinance 2021-434. (City File 21-027)

Planner Davis noted deletion of references to a-frame and sandwich board in the summary ordinance. Mayor McKee amended motion to delete any a-frame or sandwich board reference within the summary ordinance.

Voting Aye: McKee, Schultz, and Vehrenkamp  
(Motion fails 3:0:2)

Nay:

Abstain: Bottema and Nichols

**MOTION:** made by McKee, seconded by Schultz to adopt Ordinance 2021-435 Summary of Ordinance 2021-434 as amended. (City File 21-027)

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carries 5:0)

#### 10. Unfinished Business (Public Comment Opportunity)

Mayor McKee invited residents to participate in person and telephonically to comment on Unfinished Business. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the public comment opportunity.

##### a. Request for Proposals – Executive Search Firm

Administrative Services Director Beise summarized the RFP for an executive search firm to assist with the recruitment process. Council discussed city administrator job description and directed current City Administrator Martens to refine current job description and bring back to a future Council meeting. Council noted scheduling a work session with the recruiter rather than a sub-committee. Administrative Services Director Beise noted a work session would be a public meeting. Council discussed the city administrator interview process and noting attendance of full council would require a public meeting.

**MOTION:** made by McKee, seconded by Schultz directing staff to issue a request for proposals as presented.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carried 5:0)

#### 11. New Business (Public Comment Opportunity)

Mayor McKee invited residents to participate in person and telephonically to comment on New Business. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the public comment opportunity.

Councilmember Vehrenkamp requested an item be added under New Business to discuss church steeples, bell towers, etc., and ability for entity to rebuild structures in case of weather-related incidents.

**MOTION:** made by McKee, seconded by Schultz to add 11e., as New Business with presentation by Councilmember Vehrenkamp.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carried 5:0)

##### a. Draft 2022 Fee Schedule

Administrative Services Director Beise reviewed the 2022 Draft Fee Schedule. Administrative Services Director Beise noted review of credit card vendor utilization, options, and potential credit card fees. Administrative Services Director Beise outlined charges by City including flat fees and valuation permit fees. Council inquired about credit card percentage fees, and fee limit to 1.49 percent, with city portion cost of 2 percent. Finance Manager Ung noted a 2 percent city fee would be paid from Enterprise Fund. Council and staff discussed permit fees, financial analysis of fees and ongoing so no change at this time, but possibly in the first or second quarter of 2022. Council and staff discussed TLAC fees in the NE and SE portions of the city, city fees per acre, noting review of current TLAC fees in relation to estimated future costs, and adjusting the trunk fees where applicable. Council and staff noted the recent moratorium on building in the NE portion of Corcoran, places the emphasis on fees in the SE portion of Corcoran regarding anticipated cost.

##### b. Planning Commission Resignation

Administrative Services Director Beise reviewed resignation from Planning Commissioner Meredith Wu. Council discussed options for filling vacancy.

**MOTION:** made by Bottema, seconded by Schultz to appoint Gerald Van Den Einde to the Planning Commission. Council noted Commissioner Wu's commitment and service to the Planning Commission.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp  
(Motion carried 5:0)

c. Policy for Tabling Items

Administrative Services Director Beise requested feedback from Council. Council discussed 60-day decision-making process regarding application review, and subsequent 60-day extension requests by applicant. Council and staff discussed monetary implications to applicant and escrow balances. Council discussed implementing a policy that stops the City's review timeline. City Planner Lindahl noted historically extensions have been granted by applicant with tabling an item to continue discussions. Council directed staff to consult with city attorney to review language on applicant-requested extension letter that are pulled from an agenda regarding 14-day review period and bring back to Council at a future meeting.

d. Firearm Ordinance Update

Lieutenant Burns reviewed firearms ordinance updates and made a request for two Councilmembers to volunteer for a committee to review updates. Council and staff reviewed current ordinance regarding firearms, target practice, and shooting times. Councilmember Vehrenkamp and Bottema volunteered to participate on the committee. Director of Public Safety Gottschalk reviewed the process for subcommittee participation and putting together recommendations on updates prior to work session for more public comment.

e. Ordinance Review of Bell Tower, Tower, and Upper Ridgeline on Churches

Council asked staff to review ordinances relating to bell towers, towers, and upper ridgelines of churches. Planner Davis noted spires are addressed as an architectural element and are exempt from height limitations. Council and staff discussed the purpose of updating ordinance pertaining to bell towers, towers, and upper ridgelines of churches, and what code currently states. Council noted creation of a subcommittee regarding current ordinance of bell towers, towers, spires, and architectural elements above the ridgeline of churches.

**12. Staff Reports;** none received.

**13. 2021 City Council Schedule**

The schedule was included but not reviewed.

**14. Adjournment**

**MOTION:** made by McKee, seconded by Bottema to adjourn.

Voting Aye: McKee, Bottema, Nichols, Schultz, and Vehrenkamp

(Motion carried 5:0)

Meeting adjourned at 10:21 pm.

Michelle Friedrich – Deputy Clerk

**Agenda Item 7b.**  
**Council Meeting Date: 11/22/2021**  
**Prepared By: Maggie Ung**

**FINANCIAL CLAIMS**

**CHECK RANGE**

Agenda Item:

	<u>FUND #500 ESCROW CLAIMS</u>	
Paid to	Amount	Project name
SEE THE REGISTER FOR #500 CLAIMS		

	<u>\$0.00</u>	
<b>Total</b>	<b>Total Fund #500 =</b>	\$ -
	(See attached Payments Detail)	

Agenda Item:

	<u>ALL OTHER FINANCIAL CLAIMS</u>	\$ 1,057,801.57
	(See attached Check Detail Register)	
	<b>Total Checks</b>	<b>\$ 1,057,801.57</b>
	<b>Total of Auto Deductions</b>	<b>\$ 3,077.51</b>

	<u>TOTAL EXPENDITURES FOR APPROVAL</u>	<u>\$ 1,060,879.08</u>
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	<u>Auto Deductions / Electronic Fund Transfer / Other Disbursements</u>		
Date	Paid to	Amount	
11/3/2021	7 West	\$ 73.60	Pd Training - Meal
11/3/2021	Olde Brick House St. Cloud	\$ 84.61	Pd Training - Meal
11/3/2021	MN Dept Of Agriculture	\$ 230.06	Tree Giveaway Certificate
11/4/2021	Green Mill - St Cloud	\$ 27.00	Pd Training - Meal
11/5/2021	Green Mill - St Cloud	\$ 36.39	Pd Training - Meal
11/5/2021	Best Western St Cloud	\$ 368.28	Pd Training - Lodging
11/5/2021	Best Western St Cloud	\$ 368.28	Pd Training - Lodging
11/5/2021	Best Western St Cloud	\$ 368.28	Pd Training - Lodging
11/8/2021	Green Mill - St Cloud	\$ 26.47	Pd Training - Meal
11/8/2021	The Patagonia & Gilibe	\$ 92.20	Pd Training - Meal
11/8/2021	Dick's Sporting Goods	\$ 207.74	Park & Recreation Supplies
11/8/2021	Dick's Sporting Goods	\$ 207.82	Park & Recreation Supplies
11/8/2021	Dick's Sporting Goods	\$ 207.82	Park & Recreation Supplies
11/8/2021	Walmart	\$ 474.65	Park & Recreation Supplies
11/9/2021	ZOOM	\$ 14.99	Zoom For Council Worksession
11/9/2021	ZOOM	\$ 69.88	Zoom For Council Meetings
11/10/2021	Propper E-Commerce In	\$ 174.93	Pd Shirts
11/11/2021	Fleetio	\$ 30.00	Pd Software
11/12/2021	Autozone	\$ 14.51	Pd Vehicle Maintenance
<b>Total</b>		<u>\$ 3,077.51</u>	

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**10100 Farmers State Bank**

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031432	11/22/2021	<b>ADP, LLC</b>			
E 100-41941-300		Professional Srvs (GENERAL)	\$25.00	588627470	PAYROLL SERVICES
E 100-41941-300		Professional Srvs (GENERAL)	\$274.56	589095111	PAYROLL SERVICES
E 100-41941-300		Professional Srvs (GENERAL)	\$290.67	590006922	PAYROLL SERVICES
E 100-41941-300		Professional Srvs (GENERAL)	\$279.93	590932169	PAYROLL SERVICES
E 100-41941-300		Professional Srvs (GENERAL)	\$269.19	591930137	PAYROLL SERVICES
		<b>Total ADP, LLC</b>	\$1,139.35		

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031433	11/22/2021	<b>AMAZON CAPITAL SERVICES</b>			
E 100-43100-210		Operating Supplies (GENERAL)	\$40.77	17YH-CM6J-T	PW SUPPLIES
		<b>Total AMAZON CAPITAL SERVICES</b>	\$40.77		

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031434	11/22/2021	<b>B&amp;B SHEET METAL &amp; ROOFING</b>			
E 100-43100-223		Building Repair Supplies	\$425.20	59093	PW BUILDING MAINTENANCE
		<b>Total B&amp;B SHEET METAL &amp; ROOFING</b>	\$425.20		

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031435	11/22/2021	<b>BEAUDRY OIL COMPANY</b>			
E 100-43100-212		Motor Fuels	\$1,148.09	1918278	GASOLINE
E 100-42100-212		Motor Fuels	\$1,754.28	1918280	SQUAD FUEL
E 100-43100-212		Motor Fuels	\$306.88	1918281	FUEL
E 100-43100-212		Motor Fuels	\$783.89	1921112	DIESEL
		<b>Total BEAUDRY OIL COMPANY</b>	\$3,993.14		

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031436	11/22/2021	<b>BIFFS INC.</b>			
E 100-45200-210		Operating Supplies (GENERAL)	\$62.15	W840964	RENTAL
E 100-45200-210		Operating Supplies (GENERAL)	\$27.32	W840965	RENTAL
E 100-45200-210		Operating Supplies (GENERAL)	\$89.47	W840966	RENTAL
E 100-45200-210		Operating Supplies (GENERAL)	\$62.15	W840967	RENTAL
		<b>Total BIFFS INC.</b>	\$241.09		

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031437	11/22/2021	<b>BOBCAT OF BRAINERD</b>			
E 416-43100-580		Other Equipment	\$4,646.64	01-4508	BOBCAT ANGLE BROOM B4LR02381
E 100-45200-221		Maintenance Projects	\$2,000.00	112021	BOBCAT RENTAL
		<b>Total BOBCAT OF BRAINERD</b>	\$6,646.64		

Paid Chk#	Date	Vendor	Check Amt	Invoice	Comment
Paid Chk# 031438	11/22/2021	<b>BOYER TRUCKS</b>			
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$424.41	003P11947	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$366.08	003P12476	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$293.34	003S2945	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2946	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2947	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2948	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2949	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2950	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$271.50	003S2957	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2958	PW REPAIR
E 100-43100-220		Repair/Maint Supply (GENERAL)	\$103.50	003S2959	PW REPAIR

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			Check Amt	Invoice	Comment
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$103.50	003S2960	PW REPAIR
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$103.50	003S2961	PW REPAIR
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$103.50	003S2962	PW REPAIR
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$103.50	003S2963	PW REPAIR
<b>Total BOYER TRUCKS</b>			\$2,493.83		
<hr/>					
Paid Chk# 031439	11/22/2021	<b>CENTERPOINT ENERGY HOUSTON</b>			
E 100-45200-380	Utility & Services (GENERAL)		\$0.00		NATURAL GAS
E 100-41941-380	Utility & Services (GENERAL)		\$33.75		NATURAL GAS
E 100-43100-380	Utility & Services (GENERAL)		\$33.74		NATURAL GAS-9100
<b>Total CENTERPOINT ENERGY HOUSTON</b>			\$67.49		
<hr/>					
Paid Chk# 031440	11/22/2021	<b>CENTURY LINK</b>			
E 100-45200-321	Telephone		\$73.58	112021	LAND LINE 763-420-4061
E 100-43100-321	Telephone		\$73.58	112021	LAND LINE/FIRE MONITORING-9100
<b>Total CENTURY LINK</b>			\$147.16		
<hr/>					
Paid Chk# 031441	11/22/2021	<b>CINTAS - 470</b>			
E 100-41941-210	Operating Supplies (GENERAL)		\$3.32		CITY HALL
E 100-43100-210	Operating Supplies (GENERAL)		\$0.00		PUBLIC WORKS
E 100-41941-210	Operating Supplies (GENERAL)		\$85.85		CITY HALL - RUGS
E 100-41941-210	Operating Supplies (GENERAL)		\$0.00		CITY HALL
E 100-42100-223	Building Repair Supplies		\$0.00		FLOOR MATS - POLICE
E 100-43100-210	Operating Supplies (GENERAL)		\$46.73	4100624437	PW SCRAPER
E 100-43100-417	Uniforms		\$164.01	4100624494	PW UNIFORMS
E 100-43100-210	Operating Supplies (GENERAL)		\$12.35	4101323661	PUBLIC WORKS
E 100-42100-223	Building Repair Supplies		\$11.66	4101323743	FLOOR MATS - POLICE
E 100-43100-210	Operating Supplies (GENERAL)		\$79.05	4101323745	TOWELS
E 100-43100-417	Uniforms		\$164.01	4101323778	UNIFORMS
<b>Total CINTAS - 470</b>			\$566.98		
<hr/>					
Paid Chk# 031442	11/22/2021	<b>CIRCLE K FLEET</b>			
E 100-42100-212	Motor Fuels		\$481.32	75677731	PD FUEL
<b>Total CIRCLE K FLEET</b>			\$481.32		
<hr/>					
Paid Chk# 031443	11/22/2021	<b>COMCAST-INTERNET</b>			
E 100-41941-321	Telephone		\$134.17	112021	CITY HALL INTERNET
E 100-42100-321	Telephone		\$134.18	112021	PD INTERNET
<b>Total COMCAST-INTERNET</b>			\$268.35		
<hr/>					
Paid Chk# 031444	11/22/2021	<b>COMPUTER INTEGRATION TECH</b>			
E 100-41951-300	Professional Srvs (GENERAL)		\$445.50	317458	SERVICES REMOTE SUPPORT
E 100-41951-300	Professional Srvs (GENERAL)		\$198.00	317459	SECURITY REMOTE SERVICES
E 100-41951-207	Computer Supplies		\$980.00	317983	OFFICE AGREEMENT
E 100-41951-300	Professional Srvs (GENERAL)		\$595.00	318241	BACKUP MANAGEMENT
<b>Total COMPUTER INTEGRATION TECH</b>			\$2,218.50		
<hr/>					
Paid Chk# 031445	11/22/2021	<b>COPPER PENNEY TRAINING</b>			
E 100-42100-208	Training and Instruction		\$500.00	568	PD TRAINING

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<b>Total COPPER PENNEY TRAINING</b>		\$500.00		
<b>Paid Chk# 031446 11/22/2021 ECM PUBLISHERS INC</b>				
E 429-43100-352	General Notices and Pub Info	\$71.23	861458	NOV 10 PH ASSESSMENT DELIQUENCIES
E 100-41941-210	Operating Supplies (GENERAL)	\$43.54	861459	ORDINANCE 2021-428
E 100-41941-210	Operating Supplies (GENERAL)	\$39.57	861460	ORDINANCE 2021-430
E 100-41941-210	Operating Supplies (GENERAL)	\$43.54	861461	ORDINANCE 2021-433
E 100-41941-210	Operating Supplies (GENERAL)	\$35.62	861462	ORDINANCE 2021-437
<b>Total ECM PUBLISHERS INC</b>		\$233.50		
<b>Paid Chk# 031447 11/22/2021 FASTENAL COMPANY</b>				
E 100-43100-210	Operating Supplies (GENERAL)	\$54.36	MNTC4171872	PW SUPPLIES
<b>Total FASTENAL COMPANY</b>		\$54.36		
<b>Paid Chk# 031448 11/22/2021 GOLDEN ACRES GOLF COURSE</b>				
R 100-43100-34300	Public Works Permits/Fees	\$250.00	12-012	GRADING PERMIT REFUND 12-012
<b>Total GOLDEN ACRES GOLF COURSE</b>		\$250.00		
<b>Paid Chk# 031449 11/22/2021 HENNEPIN COUNTY AR</b>				
E 100-43100-300	Professional Srvs (GENERAL)	\$7.50	1000174542	VIEW RECORD
<b>Total HENNEPIN COUNTY AR</b>		\$7.50		
<b>Paid Chk# 031450 11/22/2021 HENNEPIN COUNTY INFO TECH</b>				
E 100-42100-323	Radio Units	\$1,416.73	1000174209	RADIO LEASE FEE
E 100-43100-210	Operating Supplies (GENERAL)	\$220.95	1000174276	RADIO FLEET FEE
<b>Total HENNEPIN COUNTY INFO TECH</b>		\$1,637.68		
<b>Paid Chk# 031451 11/22/2021 HENNEPIN COUNTY SHERIFF FOUNDA</b>				
E 100-42100-301	Prisoner	\$397.08	1000173688	JAIL CHARGES
<b>Total HENNEPIN COUNTY SHERIFF FOUNDA</b>		\$397.08		
<b>Paid Chk# 031452 11/22/2021 HOLIDAY COMPANIES</b>				
E 100-42100-220	Repair/Maint Supply (GENERAL)	\$25.00	10302021	PD CAR WASH
<b>Total HOLIDAY COMPANIES</b>		\$25.00		
<b>Paid Chk# 031453 11/22/2021 INTEGRATED PROTECTION SYSTEMS</b>				
E 416-42100-210	Operating Supplies (GENERAL)	\$837.50	76450	PD AUDIO INSTALLATION
<b>Total INTEGRATED PROTECTION SYSTEMS</b>		\$837.50		
<b>Paid Chk# 031454 11/22/2021 J H LARSON CO</b>				
E 100-41941-400	Repairs & Maint Cont (GENERAL)	\$148.06	S102604035.0	CH MAINTENANCE
E 100-41941-400	Repairs & Maint Cont (GENERAL)	\$21.26	S102604048.0	CH MAINTENANCE
<b>Total J H LARSON CO</b>		\$169.32		
<b>Paid Chk# 031455 11/22/2021 JODIE PETERSON</b>				
E 100-41400-208	Training and Instruction	\$30.58	112021	TRAINING MILEAGE REIMBURSEMENT
<b>Total JODIE PETERSON</b>		\$30.58		
<b>Paid Chk# 031456 11/22/2021 KOTHRAD SEWER WATER EXCAVATIN</b>				

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E 100-41941-380	Utility & Services (GENERAL)	\$450.00	26795	CITY HALL TANK CLEANING
<b>al KOTRADE SEWER WATER EXCAVATIN</b>		\$450.00		
<hr/>				
Paid Chk# 031457	11/22/2021	<b>LANDFORM</b>		
G 500-20400	Ravinia 5th & 6th	\$183.75	32268	RAVINIA 5TH ADDITION F INAL PUD & PLAT 16-015
G 500-20430	Bass Lk Cross FP, FPUD, 17-022	\$157.50	32269	Bass Lk Cross FP, FPUD, 17-022
G 500-20442	Bass Lake Est. FP, PUD 17-036	\$325.75	32269	Bass Lake Est. FP, PUD 17-036
G 500-20436	Pulte Encore - PUD Skch 17-029	\$271.75	32270	Pulte Encore Final PUD and FP 18-027
G 500-20465	Ravinia 10th FP & PUD 18-034	\$131.25	32270	Ravinia 10th FP & PUD 18-034
G 500-20436	Pulte Encore - PUD Skch 17-029	\$412.25	32271	Pulte Bellwether 2nd Addition Final Plat and PUD 19-001
G 500-20488	Rush Creek Reserve	\$71.00	32272	RUSH CREEK RESERVE FP & FPUD 20-030
G 500-20497	Kariniemi PP 20-016	\$61.75	32272	KARINEIMI FINAL PLAT 20-036
G 500-20215	Henn ADU IUP 20-045	\$106.50	32272	KARINEIMI FINAL PLAT 20-036
E 100-41910-300	Professional Srvs (GENERAL)	\$35.50	32273	URBAN CONSERVATION SUBDIVISION 21-011
G 500-20227	D&D Service CUP SP VAR 21-012	\$71.00	32273	D&D Service CUP SP VAR 21-012
G 500-20228	Garages RZ, VAR, SP/CUP 21-016	\$501.50	32273	GARAGES RZ 21-016
E 100-41910-300	Professional Srvs (GENERAL)	\$105.00	32273	ZONING & LAND USE MAP UPDATE 21-020
G 500-20221	Franzen Minor Subd #20-049	\$106.50	32273	FRANZEN FINAL PLAT 21-021
G 500-20361	Bechtold Farm	\$4,315.00	32273	BECHTOLD FARM 21-030
G 500-20201	Building Permits Payable	\$176.00	32273	KARINIEMI ROEHLKE SKETCH 20-033
E 100-41910-300	Professional Srvs (GENERAL)	\$1,018.00	32273	TAVERA 2ND ADD FP AND FPUD 21-036
G 500-20436	Pulte Encore - PUD Skch 17-029	\$3,017.50	32273	AMBERLEY & BELLWETHER 6TH FP AND FPUD 21-037
G 500-20471	St. Therese Sketch Plan 19-006	\$4,652.00	32273	ST THERESE PP SP CUP 21-042
G 500-20332	Lennar Tavera Development	\$1,041.50	32273	TAVERA PUD AMEND STOCKPILE 21-043
G 500-20201	Building Permits Payable	\$585.00	32273	TAVERA 3RD ADDITION FP AND FPUD 21-044
E 100-41910-300	Professional Srvs (GENERAL)	\$245.50	32273	TMOBILE MINOR SPA 21-045
G 500-20356	Magnan Dev Rights	\$71.00	32273	MAGNAN PP AND FP 21-046
G 500-20201	Building Permits Payable	\$401.75	32273	HWY 55 SKETCH PLAN 21-047
G 500-20201	Building Permits Payable	\$281.00	32273	PULTE HACKAMORE SKETCH PLAN 21-048
G 500-20201	Building Permits Payable	\$142.00	32273	NE DISTRICT PLAN 21-050
E 100-41910-300	Professional Srvs (GENERAL)	\$4,198.00	32273	CITY BUSINESS
E 100-41920-300	Professional Srvs (GENERAL)	\$3,619.00	32273	CODE ENFORCEMENT
E 100-41910-300	Professional Srvs (GENERAL)	\$100.00	32273	CITY MEETINGS
<b>Total LANDFORM</b>		\$26,404.25		
<hr/>				
Paid Chk# 031458	11/22/2021	<b>LOBERG ELECTRIC INC</b>		
E 100-43100-223	Building Repair Supplies	\$112.50	27958	PW BUILDING REPAIR
<b>Total LOBERG ELECTRIC INC</b>		\$112.50		
<hr/>				
Paid Chk# 031459	11/22/2021	<b>MADDEN, GALANTER, HANSEN LLP</b>		
E 100-41600-304	Legal Fees	\$95.00	102021	LEGAL FEES
<b>Total MADDEN, GALANTER, HANSEN LLP</b>		\$95.00		
<hr/>				
Paid Chk# 031460	11/22/2021	<b>MAPLE GROVE, CITY OF</b>		
E 601-49400-311	Water Purchased	\$52,676.06	21121	JULY/AUG/SEPT WATER
<b>Total MAPLE GROVE, CITY OF</b>		\$52,676.06		
<hr/>				
Paid Chk# 031461	11/22/2021	<b>MARTENS, BRAD</b>		



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E 100-41300-210	Operating Supplies (GENERAL)	\$13.44	112021	MILEAGE REIMBURSEMENT
E 100-41300-210	Operating Supplies (GENERAL)	\$50.00	112021	CELL PHONE REIMBURSEMENT
G 100-21709	Dependent Care FSA Withhold	\$333.00	112021	DEPENDENT CARE REIMBURSEMENT
<b>Total MARTENS, BRAD</b>		\$396.44		
<hr/>				
Paid Chk#	031462	11/22/2021	<b>MARTIN MARIETTA AGGREGATES</b>	
E 100-43100-232	Gravel	\$224.83	33644168	CLASS 2 MATERIAL
E 100-43100-232	Gravel	\$225.40	33710480	CLASS 2 MATERIAL
E 100-43100-232	Gravel	\$445.75	33726199	CLASS 2 MATERIAL
<b>Total MARTIN MARIETTA AGGREGATES</b>		\$895.98		
<hr/>				
Paid Chk#	031463	11/22/2021	<b>MENARDS MAPLE GROVE</b>	
E 100-41941-210	Operating Supplies (GENERAL)	\$11.89	89000	CH SUPPLIES
<b>Total MENARDS MAPLE GROVE</b>		\$11.89		
<hr/>				
Paid Chk#	031464	11/22/2021	<b>METRO WEST INSPECTION SERVICES</b>	
E 100-42400-300	Professional Svcs (GENERAL)	\$23,237.68	3048	FINAL INSPECTIONS
<b>Total METRO WEST INSPECTION SERVICES</b>		\$23,237.68		
<hr/>				
Paid Chk#	031465	11/22/2021	<b>METROPOLITAN COUNCIL ENVIRO</b>	
E 602-49450-312	MCES Sewage Treatment	\$6,213.01	0001131720	MATERIAL TREATMENT
<b>Total METROPOLITAN COUNCIL ENVIRO</b>		\$6,213.01		
<hr/>				
Paid Chk#	031466	11/22/2021	<b>METROPOLITAN COUNCIL MCES</b>	
E 602-49450-310	Other Professional Services	\$73,804.50	2021	SAC ACTIVITY
<b>Total METROPOLITAN COUNCIL MCES</b>		\$73,804.50		
<hr/>				
Paid Chk#	031467	11/22/2021	<b>MN BCA</b>	
E 100-42100-208	Training and Instruction	\$25.00	20022	OFFENDER REGISTRATION
<b>Total MN BCA</b>		\$25.00		
<hr/>				
Paid Chk#	031468	11/22/2021	<b>NORTH MEMORIAL EMS EDUCATION</b>	
E 100-42100-208	Training and Instruction	\$210.00	10292021	EMR REFRESHER
E 100-42100-209	Police Reserves	\$140.00	10292021	EMR REFRESHER
<b>Total NORTH MEMORIAL EMS EDUCATION</b>		\$350.00		
<hr/>				
Paid Chk#	031469	11/22/2021	<b>OPG-3 INC</b>	
E 100-41951-207	Computer Supplies	\$3,154.00		
<b>Total OPG-3 INC</b>		\$3,154.00		
<hr/>				
Paid Chk#	031470	11/22/2021	<b>ST MICHAEL SPINAL REHAB CENTER</b>	
E 100-43100-300	Professional Svcs (GENERAL)	\$190.00	112021	DOT PHYSICAL
<b>Total ST MICHAEL SPINAL REHAB CENTER</b>		\$190.00		
<hr/>				
Paid Chk#	031471	11/22/2021	<b>STEELMAN, PAULA</b>	
E 100-42100-208	Training and Instruction	\$71.16	112020	CPD DEPT MEETING SUPPLIES
E 100-42100-208	Training and Instruction	\$35.46	112020	CPD DEPT MEETING SUPPLIES
<b>Total STEELMAN, PAULA</b>		\$106.62		

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<b>Paid Chk# 031472 11/22/2021 STEVE NEURURER BACKGROUND INV.</b>					
E 100-42100-300	Professional Srvs (GENERAL)		\$1,080.00	112021	PD BACKGROUND INVESTIGATION
E 100-42100-300	Professional Srvs (GENERAL)		\$1,158.75	112021	PD BACKGROUND INVESTIGATION
E 100-42100-300	Professional Srvs (GENERAL)		\$1,046.25	112021	PD BACKGROUND INVESTIGATION
E 100-42100-300	Professional Srvs (GENERAL)		\$405.00	112021	PD BACKGROUND INVESTIGATION
E 100-42100-300	Professional Srvs (GENERAL)		\$990.00	112021	PD BACKGROUND INVESTIGATION
<b>Total STEVE NEURURER BACKGROUND INV.</b>			<b>\$4,680.00</b>		
<b>Paid Chk# 031473 11/22/2021 SYMBOL ARTS</b>					
E 100-42100-417	Uniforms		\$250.00	0413798	BADGE STATE SEAL
<b>Total SYMBOL ARTS</b>			<b>\$250.00</b>		
<b>Paid Chk# 031474 11/22/2021 TRANSUNION RISK &amp; ALTERNATIVE</b>					
E 100-42100-300	Professional Srvs (GENERAL)		\$75.00	112021	PD INVESTIGATIONS
<b>Total TRANSUNION RISK &amp; ALTERNATIVE</b>			<b>\$75.00</b>		
<b>Paid Chk# 031475 11/22/2021 TRUE NORTH STEEL</b>					
E 100-43100-229	Culverts		\$1,034.24	BL0000014194	CULVERTS
<b>Total TRUE NORTH STEEL</b>			<b>\$1,034.24</b>		
<b>Paid Chk# 031476 11/22/2021 UNITED STATES TREASURY</b>					
E 100-41900-431	Misc Expense		\$1,436.59	CP220 032021	TAX ADJUSTMENT
E 100-41900-431	Misc Expense		\$6,101.74	CP220 122020	TAX ADJUSTMENT
<b>Total UNITED STATES TREASURY</b>			<b>\$7,538.33</b>		
<b>Paid Chk# 031477 11/22/2021 VERIZON WIRELESS</b>					
E 100-42100-323	Radio Units		\$0.00	9891509894	RADIO UNITS
E 100-42100-321	Telephone		\$1,392.26	9891509894	CELL SERVICE
E 100-41900-321	Telephone		\$0.00	9891509894	CELL SERVICE
<b>Total VERIZON WIRELESS</b>			<b>\$1,392.26</b>		
<b>Paid Chk# 031478 11/22/2021 WENCK ASSOCIATES, INC.</b>					
G 500-20471	St. Therese Sketch Plan 19-006		\$436.00	1849172	ST THERESE TRANSPORTATION
E 100-43170-299	Watershed LGU		\$2,947.50	1849173	RESIDENT ITEMS
E 100-43170-299	Watershed LGU		\$1,282.50	1849173	ERNIE MAYERS WCA VIOLATION
G 500-20201	Building Permits Payable		\$90.00	1849173	WAWRA
G 500-20201	Building Permits Payable		\$60.00	1849173	BECHTOLD ROAD (SKIES LIMIT)
E 100-43170-299	Watershed LGU		\$450.00	1849173	HENNEPIN COUNTY CSAH 10 CULVERT
G 500-20201	Building Permits Payable		\$780.00	1849173	19615 COUNTY ROAD E WCA
G 500-20213	Van Blairicom WCA		\$420.00	1849173	VAN BLAIRICOM WCA
G 500-20436	Pulte Encore - PUD Skch 17-029		\$60.00	1849173	BELLWETHER WCA
G 500-20438	Bass Lk CR M/I HomeEngineering		\$441.81	1849174	BASS LAKE CROSSING
G 500-20423	Bass Lake Est Skch PUD 17-015		\$1,008.78	1849174	BASS LAKE ESTATES
G 500-20423	Bass Lake Est Skch PUD 17-015		\$329.84	1849174	COLD STORAGE CROSSINGS
G 500-20459	Refuge of Rush Creek FP 18-028		\$65.00	1849174	REFUGE AT RUSH CREEK WETLAND BANK
G 500-20477	Scherber CR30 WCA LGU		\$5,176.25	1849174	SCHERBER HWY 55
G 500-20221	Franzen Minor Subd #20-049		\$367.50	1849174	FRANZEN PRELIMINARY PLAT
G 500-20216	Kariniemi Variance 20-046		\$715.50	1849174	ROEHLKE/KARINIEMI

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G 500-20227	D&D Service CUP SP VAR 21-012	\$2,282.25	1849174	D&D
G 500-20497	Kariniemi PP 20-016	\$453.20	1849174	KARINEIMI ROLLING HILLS
G 500-20361	Bechtold Farm	\$4,199.00	1849174	BECHTOLD FARM DEVELOPMENT
E 601-49400-234	Inspections	\$276.00	1849175	PULTE UTILITY CONNECTION
E 602-49450-234	Inspections	\$276.00	1849175	PULTE UTILITY CONNECTION
E 100-42400-303	Engineering Fees	\$269.50	1849175	PULTE BUILDING PERMIT SURVEY REVIEW
E 601-49400-234	Inspections	\$88.00	1849175	RAVINIA UTILITY CONNECTION
E 602-49450-234	Inspections	\$88.00	1849175	RAVINIA UTILITY CONNECTION
E 100-42400-303	Engineering Fees	\$294.00	1849175	RAVINIA BUILDING PERMIT SURVEY REVIEW
E 100-42400-303	Engineering Fees	\$367.50	1849175	BASS LAKE CROSSING BUILDING PERMIT SURVEY REVIEW
E 100-42400-303	Engineering Fees	\$955.50	1849175	OTHER BUILDING PERMIT SURVEY REVIEW
E 601-49400-234	Inspections	\$60.00	1849175	BASS LAKE CROSSING UTILITY CONNECTION
E 602-49450-234	Inspections	\$60.00	1849175	BASS LAKE CROSSING UTILITY CONNECTION
E 100-43170-300	Professional Srvs (GENERAL)	\$1,396.00	1849176	GENERAL ENGINEERING SERVICES
E 100-43170-300	Professional Srvs (GENERAL)	\$532.50	1849177	ELM CREEK CULVERT SURVEY
G 500-20335	Lennar Eng Plan Review/Modific	\$2,268.64	1849178	LENNAR DEVELOPMENT CONSTRUCTION INSPECTION
E 427-43100-530	Improvements Other Than Bldgs	\$2,527.68	1849179	66TH ST SURVEYING
E 427-43100-530	Improvements Other Than Bldgs	\$17,383.22	1849179	66TH ST CONSTRUCTION
G 500-20436	Pulte Encore - PUD Skch 17-029	\$188.84	1849180	VAN BLARICOM PLAN REVIEW
G 500-20436	Pulte Encore - PUD Skch 17-029	\$3,450.50	1849180	PLAN REVIEW
G 500-20436	Pulte Encore - PUD Skch 17-029	\$976.50	1849180	STORMWATER
G 500-20436	Pulte Encore - PUD Skch 17-029	\$4,434.12	1849180	CONSTRUCTION OBSERVATION
E 100-43170-300	Professional Srvs (GENERAL)	\$202.50	1849181	BRIDGE TRANSPORTATION
E 100-43170-300	Professional Srvs (GENERAL)	\$1,270.00	1849182	MS4 STORMWATER
E 602-49450-303	Engineering Fees	\$125.00	1849183	MASTER PLAN ENGINEERING SEWER UTILITY
G 500-20490	Cook Lake - Schommer	\$97.50	1849184	COOK LAKE PLAN REVIEW AND COORDINATION
G 500-20332	Lennar Tavera Development	\$1,031.50	1849185	TAVERA PLAN REVIEW
G 500-20332	Lennar Tavera Development	\$2,512.06	1849185	TAVERA CONSTRUCTION OBSERVATION
G 500-20482	Nelson Sketch Plan 19-023	\$983.70	1849187	NELSON TRUCKING CONSTRUCTION OBSERVATION
G 500-20488	Rush Creek Reserve	\$67.50	1849188	PLAN REVIEW
G 500-20488	Rush Creek Reserve	\$200.00	1849188	STORMWATER
G 500-20488	Rush Creek Reserve	\$16,680.77	1849188	CONSTRUCTION OBSERVATION
G 500-20482	Nelson Sketch Plan 19-023	\$390.00	1849189	WETLANDS
G 500-20482	Nelson Sketch Plan 19-023	\$810.00	1849189	DESIGN
G 500-20482	Nelson Sketch Plan 19-023	\$1,622.20	1849189	CONSTRUCTION
G 500-20482	Nelson Sketch Plan 19-023	\$300.00	1849189	CSAH 101 TURN LANE WCA REPLACEMENT PLAN APPLICATION
G 500-20488	Rush Creek Reserve	\$261.00	1849190	RUSH CREEK RESERVE TURN LANES PROJECT DESIGN
E 100-43170-300	Professional Srvs (GENERAL)	\$6,718.50	1849191	TRAIL HAVEN ROAD BRIDGE REPLACEMENT
E 100-43170-300	Professional Srvs (GENERAL)	\$575.00	1849191	SCHUTTE ROAD BRIDGE REPLACEMENT
E 429-43170-300	Professional Srvs (GENERAL)	\$970.00	1849196	PROJECT DESIGN AND BIDDING ASSISTANCE
E 429-43170-300	Professional Srvs (GENERAL)	\$6,388.00	1849196	CONSTRUCTION ADMINISTRATION
E 601-49400-303	Engineering Fees	\$112.00	1849197	FIELD INSPECTION WATER UTILITY
G 500-20471	St. Therese Sketch Plan 19-006	\$130.00	1849199	ST THERESE ENGINEERING ASSISTANCE
G 500-20482	Nelson Sketch Plan 19-023	\$327,807.46	227701855-1	CSAH 101 & FUTURE 105TH TURN LANE IMPROVEMENT PROJECT

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E 100-43100-233 Asphalt Maint/Patching	\$150,000.00	227704153-1	CORCORAN TRAIL STREET IMPROVEMENT PROJECT
E 305-43100-530 Improvements Other Than Bldgs	\$251,411.49	227704153-1	CORCORAN TRAIL STREET IMPROVEMENT PROJECT
<b>Total WENCK ASSOCIATES, INC.</b>	<b>\$828,123.81</b>		

Paid Chk# 031479 11/22/2021 **WRIGHT HENNEPIN COOP ELECT**

G 500-20390 Ravinia Street Lights	\$14.81		Bridle/Gleason: 150-1690-5131
G 500-20390 Ravinia Street Lights	\$14.81		Bridle/Paddock: 150-1690-5135
G 500-20390 Ravinia Street Lights	\$14.81		Paddock Ln 150-1690-5137
G 500-20390 Ravinia Street Lights	\$15.08		Bridle Path: 150-1690-5146
G 500-20390 Ravinia Street Lights	\$15.08		Paddock/Bridle: 150-1690-5158
G 500-20390 Ravinia Street Lights	\$14.81		6471 Carriage: 150-1691-0155
G 500-20390 Ravinia Street Lights	\$15.08		Bridle/Steeple: 150-1691-0158
G 500-20390 Ravinia Street Lights	\$14.81		Bridle/Bluestem: 150-1691-0168
G 500-20390 Ravinia Street Lights	\$14.81		Prairie/Bridle: 150-1691-0174
G 500-20390 Ravinia Street Lights	\$15.08		Bridle Path: 150-1691-0177
G 500-20390 Ravinia Street Lights	\$15.08		Elderberry Ct: 150-1691-0178
G 500-20390 Ravinia Street Lights	\$14.81		19301 Annabelle: 150-1691-8063
G 500-20390 Ravinia Street Lights	\$14.81		6675 Carriage: 150-1691-8064
G 500-20390 Ravinia Street Lights	\$14.81		6681 Bridle: 150-1691-8066
G 500-20390 Ravinia Street Lights	\$14.81		6657 Bridle: 150-1691-8079
G 500-20390 Ravinia Street Lights	\$14.81		19130 Galloway: 150-1691-8080
G 500-20390 Ravinia Street Lights	\$14.81		19065 Galloway: 150-1691-8082
G 500-20390 Ravinia Street Lights	\$29.89		6485 Larkspur: 150-1692-0907
G 500-20390 Ravinia Street Lights	\$14.81		6398 Larkspur: 150-1692-0908
G 500-20390 Ravinia Street Lights	\$14.81		66TH/CEDAR: 150-1692-8373
G 500-20390 Ravinia Street Lights	\$14.81		Bridle/66th Ave: 150-1692-8374
G 500-20390 Ravinia Street Lights	\$14.81		19437 Lupine LN: 150-1693-0197
G 500-20390 Ravinia Street Lights	\$14.81		19389 Lupine LN: 150-1693-0199
G 500-20390 Ravinia Street Lights	\$14.81		19345 Golden TR: 150-1693-0200
G 500-20390 Ravinia Street Lights	\$14.81		6310 Steeple LN: 150-1693-0201
G 500-20390 Ravinia Street Lights	\$14.81		6370 Steeple LN: 150-1693-0202
G 500-20390 Ravinia Street Lights	\$14.81		19367 Annabelle: 150-1693-5724
G 500-20390 Ravinia Street Lights	\$14.81		19343 Annabelle: 150-1693-5726
G 500-20390 Ravinia Street Lights	\$14.81		19315 Primrose: 150-1693-5731
G 500-20390 Ravinia Street Lights	\$14.81		19399 Primrose: 150-1693-5732
G 500-20390 Ravinia Street Lights	\$14.81		Primrose/Wildfl: 150-1693-5733
G 500-20390 Ravinia Street Lights	\$14.81		Wildflo/Gleason: 150-1693-5734
G 500-20390 Ravinia Street Lights	\$14.81		Gleason/Wildflo: 150-1693-5986
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN/75TH AVE: 150-1693-7072
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN N: 150-1693-7074
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN/74TH AVE: 150-1693-7075
G 500-20420 Bass Lake Cross MI Home 17-012	\$23.25		FIR LN N/CR 10: 150-1693-7076
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		74TH AVE N: 150-1693-7077
G 500-20420 Bass Lake Cross MI Home 17-012	\$23.25		FIR LN N/CR 10: 150-1694-0076
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN N: 150-1694-0078
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN N/LOT #8: 150-1694-0079
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN N/72ND N: 150-1694-0080
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		72ND AVE N: 150-1694-0081

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G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		FIR LN N/LOT #5: 150-1694-0082
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE LOT 5 150-1694-0821
G 500-20390 Ravinia Street Lights	\$14.81		PRIMROSE COURT 150-1694-4502
G 500-20390 Ravinia Street Lights	\$14.81		SUNFLOWER COURT 150-1694-4503
G 500-20390 Ravinia Street Lights	\$14.81		WILDFLOWER TRL 150-1694-4505
G 500-20390 Ravinia Street Lights	\$14.81		WILDFLOWER TRL 150-1694-4506
G 500-20420 Bass Lake Cross MI Home 17-012	\$17.85		74TH PL & MAPLE 150-1694-6889
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		JACK PINE LN N 150-1694-6891
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		74TH AVE N 150-1694-6892
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		75TH AVE N 150-1694-6893
G 500-20420 Bass Lake Cross MI Home 17-012	\$14.81		HICKORY LN N 150-1694-6894
G 500-20390 Ravinia Street Lights	\$14.81		MEADOW RUE CT 150-1694-7911
G 500-20390 Ravinia Street Lights	\$14.81		STEEPLE CHASE LN 150-1694-7917
G 500-20390 Ravinia Street Lights	\$14.81		SNOWBERRY CT 150-1694-7918
G 500-20390 Ravinia Street Lights	\$14.81		MEADOW RUE CT 150-1694-7919
G 500-20390 Ravinia Street Lights	\$14.81		STEEPLE CHASE LN 150-1694-7920
G 500-20390 Ravinia Street Lights	\$0.00		LARKSPUR LN/63RD 150-1694-9986
G 500-20390 Ravinia Street Lights	\$14.81		63RD AVE N 150-1694-9987
E 100-43100-381 Street/Signal Lights	\$52.39		CTY RD10/116 000-0100-1469
E 100-45200-380 Utility & Services (GENERAL)	\$32.10		Ballpark: 120-1246-7200
E 100-42100-380 Utility & Services (GENERAL)	\$19.90		CIVIL DEFENSE: 120-1246-8000
E 100-42100-380 Utility & Services (GENERAL)	\$20.11		Maple Hill Est: 120-1246-8100
E 100-45200-380 Utility & Services (GENERAL)	\$30.40		School Property: 120-1247-9600
E 100-41941-380 Utility & Services (GENERAL)	\$1,339.18		8200 Cty Rd 116: 120-1255-6300
E 601-49400-380 Utility & Services (GENERAL)	\$20.65		19090 Bass Lk Rd:150-1687-7510
E 100-43100-380 Utility & Services (GENERAL)	\$32.22		9525 Cain Rd: 150-1689-5230
E 602-49450-380 Utility & Services (GENERAL)	\$184.99		Brockton Ln: 150-1689-6871
E 602-49450-380 Utility & Services (GENERAL)	\$51.75		20120 CTY 10 LIF:150-1691-6661
E 100-41941-380 Utility & Services (GENERAL)	\$63.85		8200 CR116/SIGN: 150-1693-6612
E 100-45200-380 Utility & Services (GENERAL)	\$20.75		BASEBALL FIELD: 150-1693-6855
G 500-20390 Ravinia Street Lights	\$20.96		WILDFLOWER: 150-1694-4774
E 100-43100-381 Street/Signal Lights	\$9.81		Cty 10/Maple Hi: 120-1246-7300
E 100-43100-381 Street/Signal Lights	\$17.85		CTY 10/Treptaus: 120-1246-7400
E 100-43100-381 Street/Signal Lights	\$17.85		CTY 10/St Thomas:120-1246-7500
E 100-43100-381 Street/Signal Lights	\$18.95		Cty 10/Stanchion:120-1246-7600
E 100-43100-381 Street/Signal Lights	\$18.95		Co Rd 10 & 50: 120-1246-7700
E 100-45200-380 Utility & Services (GENERAL)	\$10.08		8200 Cty Rd 116: 120-1246-7800
E 100-45200-380 Utility & Services (GENERAL)	\$9.81		75th Ave/Hwy 116:120-1246-7900
E 100-41941-380 Utility & Services (GENERAL)	\$0.00		8200 Cty Rd 116: 150-1684-2033
E 100-43100-380 Utility & Services (GENERAL)	\$27.95		9100 Cty Rd 19: 150-1688-8463
E 100-42100-380 Utility & Services (GENERAL)	\$19.05		6510 Cty Rd 116: 150-1680-4662
G 500-20390 Ravinia Street Lights	\$0.00		6629 CTY 101: 150-1691-8062
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		102ND PL/103RD 150-1694-7926
E 100-43100-381 Street/Signal Lights	\$14.81		STIEG ROAD 150-1694-8543
E 100-43100-381 Street/Signal Lights	\$14.81		STIEG ROAD 150-1694-8544
G 500-20390 Ravinia Street Lights	\$14.81		LARKSPUR LN 150-1694-9986
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		IRONWOOD LN 150-1695-5954
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		IRONWOOD LN/10ND 150-1695-5955

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G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		JACKPINE/IRONWD 150-1695-5957
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		102ND AVE 150-1695-5961
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		102ND/JACKPINE: 150-1695-5963
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		102ND/JACKPINE: 1501695-5964
G 500-20390 Ravinia Street Lights	\$0.00		102ND/JACKPINE: 1501695-5964
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE 150-1695-6350
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE LN 150-1695-6352
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE LN/ CT 150-1695-6359
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE CT 150-1695-7682
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE 1 150-1695-6365
G 500-20390 Ravinia Street Lights	\$0.00		BLACK OAK CT 150-1695-6367
G 500-20390 Ravinia Street Lights	\$0.00		BLACK OAK LN 150-1695-6371
G 500-20390 Ravinia Street Lights	\$0.00		BLACK OAK LN 150-1695-7149
G 500-20390 Ravinia Street Lights	\$0.00		PRAIRIE SAGE LN 150-1695-8126
G 500-20390 Ravinia Street Lights	\$0.00		GLEASON PARKWAY 150-1695-8428
G 500-20390 Ravinia Street Lights	\$0.00		BRIDLE PATH 150-1695-8431
G 500-20390 Ravinia Street Lights	\$0.00		PRAIRIE SAGE LN 105-1695-8432
G 500-20390 Ravinia Street Lights	\$0.00		PRAIRIE SAGE LN 150-1695-8435
G 500-20390 Ravinia Street Lights	\$0.00		PRAIRIE SAGE LN 150-1695-8436
G 500-20390 Ravinia Street Lights	\$0.00		PRAIRIE SAGE LN 150-1695-8438
G 500-20390 Ravinia Street Lights	\$0.00		PRAIRIE SAGE LN 150-1695-8438
G 500-20390 Ravinia Street Lights	\$0.00		GLEASON PKWY 150-1695-9395
G 500-20390 Ravinia Street Lights	\$0.00		GLEASON PKWY 150-1695-9396
G 500-20390 Ravinia Street Lights	\$0.00		GLEASON PKWY 150-1695-9398
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		IRONWOOD LN 150-1696-6794
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		IRONWOOD LN 150-1696-6797
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		19403 103RD AVE 150-1696-6799
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		19367 103RD AVE 150-1696-6800
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		102ND/103RD 150-1694-7926
G 500-20200 Accounts Payable	\$0.00		STIEG ROAD 150-1694-8543
G 500-20200 Accounts Payable	\$0.00		STIEG ROAD 150-1694-8544
G 500-20200 Accounts Payable	\$0.00		LARKSPUR/63RD 150-1694-9986
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		IRONWOOD LN 150-1695-5954
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		IRONWOOD/10ND 150-1695-5955
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		JACKPINE/IRONWD 150-1695-5957
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		102ND AVE 150-1695-5961
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		102ND/JACKPINE: 150-1695-5963
G 500-20436 Pulte Encore - PUD Skch 17-029	\$0.00		102ND/JACKPINE: 1501695-5964
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE/ANNABELLE 150-1696-7683
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE 150-1695-6351
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE LN 150-1695-6352
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE LN/ CT 150-1695-7684
G 500-20390 Ravinia Street Lights	\$14.81		ANNABELLE CT 150-1695-6359
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE 1 150-1695-6365
G 500-20390 Ravinia Street Lights	\$14.81		BLACK OAK CT 150-1695-6367
G 500-20390 Ravinia Street Lights	\$14.81		BLACK OAK LN 150-1695-6371
G 500-20390 Ravinia Street Lights	\$14.81		BLACK OAK LN 150-1695-7149
G 500-20390 Ravinia Street Lights	\$14.81		GLEASON PARKWAY 150-1695-8428

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G 500-20390 Ravinia Street Lights	\$14.81		BRIDLE PATH 150-1695-8431
G 500-20390 Ravinia Street Lights	\$14.81		PRAIRIE SAGE LN 105-1695-8432
G 500-20390 Ravinia Street Lights	\$14.81		PRAIRIE SAGE LN 150-1695-8435
G 500-20390 Ravinia Street Lights	\$14.81		PRAIRIE SAGE LN 150-1695-8436
G 500-20390 Ravinia Street Lights	\$14.81		PRAIRIE SAGE LN 150-1695-8438
G 500-20390 Ravinia Street Lights	\$14.81		GLEASON PKWY 150-1695-9395
G 500-20390 Ravinia Street Lights	\$14.81		GLEASON PKWY 150-1695-9396
G 500-20390 Ravinia Street Lights	\$14.81		GLEASON PKWY 150-1695-9398
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		IRONWOOD LN 150-1696-6794
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		IRONWOOD LN 150-1696-6797
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		19403 103RD AVE 150-1696-6799
G 500-20436 Pulte Encore - PUD Skch 17-029	\$14.81		19367 103RD AVE 150-1696-6800
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE 150-1696-7679
G 500-20390 Ravinia Street Lights	\$14.81		COACH HOUSE 150-1696-7681
<b>Total WRIGHT HENNEPIN COOP ELECT</b>	<b>\$3,542.09</b>		

Paid Chk# 031480	11/22/2021	<b>XCEL ENERGY</b>			
E 100-43100-380	Utility & Services (GENERAL)	\$27.02	754655839	PW ELECTRIC	
E 100-43100-381	Street/Signal Lights	\$143.55	754782711	STREET LIGHTING	
	<b>Total XCEL ENERGY</b>	<b>\$170.57</b>			
<b>10100 Farmers State Bank</b>		<b>\$1,057,801.57</b>			

Fund Summary

**10100 Farmers State Bank**

100 GENERAL FUND	\$239,855.30
305 ASPHALT MAINTENANCE	\$251,411.49
416 CAPITAL-EQUIPMENT CERTS	\$5,484.14
427 GLEASON/66TH PARKWAY EXTENSION	\$19,910.90
429 CORCORAN TRAIL EAST/WEST	\$7,429.23
500 ESCROW HOLDING FUND	\$399,674.55
601 WATER	\$53,232.71
602 SEWER	\$80,803.25
	<b>\$1,057,801.57</b>

## STAFF REPORT

## Agenda Item 7c.

<b>City Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Natalie Davis
<b>Topic:</b> Nonconformities Section 1030.010 Zoning Ordinance Amendment (City File No. 21-041)	<b>Action Required:</b> Approval

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**60-Day Review Deadline:** N/A

### 1. Request:

Update Section 1030.010 (Non-Conforming Buildings, Structures, Uses and Lots) to bring the ordinance into compliance with Minnesota State Statute 462.357, Subd. 1e. Additionally, update Section 1020.020 (Definitions) to include clear definitions of terms of art used in the Ordinance, including non-conforming lots.

### 2. Planning Commission Review

The Planning Commission reviewed this item at a public hearing on November 4<sup>th</sup>, 2021. There was no one present to speak on this item.

The Planning Commission voted 5-0 to recommend approval of the request.

### 3. Context:

Since 2019, staff identified several priority areas to update within the City Code. One of the priority tasks identified for 2021 was an update to the Nonconformity Section 1030.010 of the Zoning Code as the current ordinance is not in compliance with prevailing Minnesota State Statutes in some areas.

Earlier this year it became apparent that the term “nonconforming lot” was not clearly defined in Section 1020.020, and nonconforming lots are excluded in the definition of “non-conforming use.” Typically, the City turns to The Webster’s Dictionary when a definition is not included in the City Code, but this resource also does not specifically define “nonconforming lot.” This left the term “nonconforming lot” open to some interpretation and debate in how to apply the Development Rights Program in tandem with the protections granted under Section 1030.010, Subd. 4 (Non-Conforming Lots). At the June 10, 2021, City Council meeting, staff was directed to update the code to provide a clear definition of “nonconforming lot” going forward. The proposed ordinance update addresses this concern. Additional definitions for terms of art used throughout the proposed ordinance are provided for clarity.

### 4. Analysis:



## Section 1020.020 (Definitions)

Staff proposes to add eight definitions to 1030.010.

Minnesota law provides that any legal nonconformity has a right to continue through repair, replacement, restoration, maintenance, or improvement. State statute does not grant legal nonconformities the right of expansion, but cities may choose to allow expansion by ordinance. Staff believes the terms “replacement,” “restoration,” “improvement,” and “expansion” may leave room for interpretation without clearly defined parameters. Some cities, such as Lakeville, define these terms in the city zoning ordinance. Staff recommends using the following terms of art and definitions:

**EXPANSION, ENLARGEMENT, OR INTENSIFICATION:** Any increase in a dimension, size, area, volume, or height; any increase in the area of use; any placement of a structure or part thereof where none existed before; any addition of a site feature such as a deck, patio, fence, driveway, parking area, or swimming pool; any improvement that would allow the land to be more intensely developed; any move of operations to a new location on the property; any increase in intensity of use based on a review of the original nature, function, or purpose of the nonconforming use, such as the hours of operation, traffic, parking, noise, exterior storage, signs, exterior lighting, types of operations, types of goods or services offered, odors, area of operation, number of employees, and other factors deemed relevant by the city.

**IMPROVEMENT:** Making a legal nonconforming use, structure, or lot better, more efficient, or more aesthetically pleasing, including any change that does not replicate what preexisted, but does not include an expansion, enlargement, or intensification.

**REPLACEMENT, RECONSTRUCTION, OR RESTORATION:** Construction that exactly matches preexisting conditions.

While “conditional use” and “use, permitted” are defined in Section 1020.010, “interim use” is not currently defined. Since “interim use” is a term of art used throughout the Zoning Ordinance as well as within the proposed definitions related to nonconformities, staff recommends adding the following language:

**INTERIM USE:** An approved temporary use of property until a particular date or until the occurrence of a particular event.

Additionally, staff recommends changing the title of “use, permitted” to “permitted use” for consistency and ease of use going forward. The rest of the definition for permitted use remains unchanged.

**PERMITTED USE:** A public or private use which of itself conforms to the purposes, objectives, requirements, regulations, performances standards of a particular district.

The City Code currently defines “use, non-conforming,” but does not include clear definitions of “nonconforming buildings and structures” and “nonconforming lot.” Staff proposes removing the existing definition of “use, non-conforming” to change the title of

the definition for ease of use (all definitions that start with “nonconforming” will be located next to each other) as well as provide a more comprehensive definition of the term of art.

~~**USE, NON-CONFORMING:** A use of land, building or structure lawfully existing at the time of adoption of this Ordinance which does not comply with all the regulations of this Ordinance or any use of land, building or structure lawfully existing prior to the adoption of an amendment of this Ordinance which would not comply with all of the newly adopted regulations.~~

Staff proposes using the following definitions going forward:

**NONCONFORMING BUILDINGS AND STRUCTURES:** Structures which at one time conformed to applicable zoning regulations, but because of subsequent amendments to the Zoning Ordinance no longer conform to applicable yard, height, lot coverage or other dimensions or bulk provisions or do not meet other on-site development standards, such as an insufficient number of parking spaces.

**NONCONFORMING LOT:** A lot of record that was created lawfully based on the access, frontage, area, and other dimensional requirements of the then prevailing Zoning Ordinance, but it no longer meets the minimum requirements after the adoption, revision, or amendment to the requirements of the underlying zoning district.

**NONCONFORMING USE:** The use of land or structures that, as of the effective date of this Code, or applicable amendment thereto, are used for purposes that are not permitted in the zoning district in which they are located. Uses that were specifically authorized as a conditional or interim use are not considered nonconforming uses even if the use is no longer permitted within that zoning district. Such use will continue to be considered a conditional or interim use.

#### **Section 1030.010 (Nonconforming Buildings, Structures, Uses, and Lots)**

In researching examples of city codes that are generally in compliance with Minnesota State Statute 462.357, staff turned to language by Lakeville and St. Cloud as well as the League of Minnesota Cities’ Minnesota Basic Code. Staff believes it more efficient to repeal and replace the existing verbiage of Section 1030.010 as some subdivisions will be completely removed where it is believed the City does not have the authority to implement such provisions and several alterations to organization and language of the Section are proposed.

Currently Section 1030.010, Subd. 1 reads as follows:

*Subd. 1. Conditional Uses and Interim Uses. Any established building, structure, use or lot legally existing prior to March 23, 2004, and which is classified by this Zoning Ordinance as requiring a conditional use permit or interim use permit may be continued in a like fashion and activity and shall automatically be considered as having received conditional use permit or*

*interim use permit approval. However, any change to such use or building shall require a new conditional use permit or interim use permit to be processed according to this Zoning Ordinance.*

It is not believed that the City has the authority to enforce this provision. Staff proposes replacing Subd. 1 with the following:

Subd. 1. General Standards of Applicability

A. Authority to Continue

Any use, structure, or lot that existed as a lawful nonconformity as of when this Code was adopted on March 23, 2004, and any use, structure, or lot that has been made nonconforming because of the terms of this Code or its subsequent amendments, may continue subject to the provisions of this Ordinance so long as it remains otherwise lawful. A structure or use that is illegal at the time of the adoption of this Code, remains illegal if it does not conform with each and every requirement of this Code.

B. Burden on Property Owner to Establish Legality

In all cases, the burden of establishing the legality of a nonconformity under the provisions of this Ordinance is upon the property owner of the nonconforming use, structure, or lot.

C. Safety Regulations

The City may impose upon nonconformities reasonable regulations to prevent and abate nuisances and to protect the public health, welfare, and safety. All police power regulations enacted to promote public health, welfare, and safety including, but not limited to, all building, fire, and health codes, apply to nonconforming structures.

The current language of Subd. 2 is focused on nonconforming uses and reads as follows:

*Subd. 2. Non-conforming Uses.*

*A. Effective Date. The legal use of buildings or land existing at the effective date of this Ordinance, which does not conform to the provisions of this Ordinance may be continued, but shall not be enlarged or increased nor shall it be expanded to occupy a greater area of the building or land occupied at the time of adoption of this Ordinance. Furthermore, a non-conforming use may not be moved to another portion of the land or building.*

- B. *Continued Use. Non-conforming uses shall not be expanded, but may be continued at the same size and in the same manner of operation as it existed on the date it became a legal, non-conforming use.*
- C. *Changes to Non-Conforming Uses.*
  - 1. *When a legal, non-conforming use of any structure or land in any district has been changed to a conforming use, it shall not thereafter be changed to any non-conforming use.*
  - 2. *A legal, non-conforming use of a structure or parcel of land may be changed to lessen the non-conformity of use. Once a non-conforming structure or parcel of land has been changed, it shall not thereafter be so altered to increase the non-conformity.*
- D. *Discontinuance. In the event that a non-conforming use of any building or lot is discontinued for a period of one year, the use of the same shall thereafter conform to the regulations of the district in which it is located.*
- E. *Normal Maintenance. Maintenance of a building or other structure containing or used by a non-conforming use will be permitted when it includes necessary non-structural repair and incidental alterations which do not extend or intensify the non-conforming building or use.*

Staff proposes replacing the above language with the below verbiage that removes redundancies from proposed Subd. 1 and clarifies the rights of nonconforming uses within the City as granted by State statute:

Subd. 2. Nonconforming Use

A. Ordinary Repairs and Maintenance

Normal repair, replacement, restoration, maintenance, or improvement may be performed on any structure that is devoted in whole or in part to a nonconforming use, provided it will not create any new nonconformity or increase the intensity, bulk or density of the nonconforming use.

B. Structural Alterations

Structural alterations to a structure containing a nonconforming use are permitted so long as they do not create any new nonconformity or increase the intensity, bulk or density of the nonconforming use. In addition, the following exceptions apply:

1. When the alteration is required by law or is necessary to restore the building or structure to a safe condition upon the order of any official charged with protecting the public safety.
2. When the alteration is for the purpose of bringing the use into conformity.

C. Expansion of Use

A nonconforming use of land or a structure may not be expanded, enlarged, or intensified, as defined in Section 1020.020. An expansion of a nonconforming use to any land area or structure not currently occupied by such nonconforming use or to any portion of the floor area that was not occupied by such nonconforming use is prohibited.

D. Changes to Nonconforming Uses:

1. A change of use is deemed to occur when an existing nonconforming use has been terminated and another use has commenced. Any change in use in violation of the Zoning Ordinance is deemed an abandonment of the previously existing lawful nonconforming use.
2. When a nonconforming use of land or a structure has been changed, in whole or in part, to a conforming use, the whole or part which has been made to conform may not be changed back to a nonconforming use.
3. A nonconforming use of land or a structure may be changed to reduce the nonconformity of use. Once a nonconforming structure or parcel of land has been changed, it shall not thereafter be so altered to increase the nonconformity.

E. Discontinuation or Abandonment

If a nonconforming use or occupancy is discontinued for a continuous period of one (1) year, such nonconformity or occupancy is deemed to be abandoned and may not be reestablished or resumed regardless of the intent to resume or to continue the use. Any subsequent use of such land or structure must conform to all regulations of the zoning district in which such land or structure is located. The period of such discontinuance caused by government action, uncontrollable events, or other acts without any contributing fault by the user, must not be included in calculating the length of discontinuance for this section.

F. Damage or Destruction

1. If a structure and/or property devoted in whole or in part to a nonconforming use is damaged or destroyed to the extent of fifty percent (50%) or less of the market value at that time, then the structure and/or property may be repaired, reconstructed, or restored and the nonconforming use continued, provided that no new nonconformities are created and that the existing degree of nonconformity is not increased. A building permit must be obtained for such rebuilding, restoration, repair, or reconstruction within one (1) year of the date of damage or destruction, and construction must be completed within one (1) year of issuance of the building permit. If a building permit is not obtained within one (1) year, then the nonconforming use cannot be continued.
2. If a nonconforming structure and/or property devoted in whole or in part to a nonconforming use is damaged or destroyed to the extent of greater than fifty percent (50%) of its market value at that time and no building permit has been applied for within one-hundred eighty (180) days of when the property is damaged, the nonconformity may not be continued, repaired, or replaced. The City may impose reasonable conditions upon a building permit issued under this section to mitigate any newly created impact on adjacent property.

Subd. 3 discusses nonconforming buildings and structures as follows:

*Subd. 3. Non-Conforming Buildings and Structures.*

- A. *Restoration. No legal, non-conforming use, building or structure which has been damaged by fire, explosion, act of God, or other peril, to the extent of greater than 50 percent of its market value, as determined by the City Building Official, and no building permit has been applied for within 180 days of when the property was damaged, shall be restored, except in conformity with the regulations of this Ordinance.*
- B. *Alterations. Alteration and normal maintenance to a legal, non-conforming building or structure may be made provided:*
  1. *The alterations do not expand the building size.*
  2. *The alterations do not change the building occupancy capacity or parking demand.*
  3. *The alteration does not increase the non-conformity of the building or the use.*
- C. *Expansion of Non-Conforming Buildings or Structures.*

1. *Administrative Approvals. The following expansions of legal, non-conforming buildings and structures may be approved if the Zoning Administrator determines that the building expansion will have no external negative impacts upon adjacent properties or public rights-of-way.*
  - a. *Expansion of buildings found to be non-conforming only by reason of height, yard setback, or lot coverage area may be permitted provided the structural non-conformity is not increased and the expansion complies with the performance standards of this Ordinance.*
2. *Conditional Use Permit. Legal, non-conforming commercial, industrial, public, semi-public, and multiple-family structures may be expanded on the same lot by conditional use permit provided:*
  - a. *The expansion will not increase the non-conformity of the building or site.*
  - b. *The new building expansion will conform to all the applicable performance standards of this Ordinance. A conditional use permit shall not be issued under this Section for a deviation from other requirements of this Ordinance unless variances are also approved.*
  - c. *The request for conditional use permit shall be evaluated based on standards and criteria set forth in this Ordinance.*

The replacement verbiage for Subd. 3 proposes adding limited protection for recently approved (but not yet existing) structures and again clarifies the rights granted to existing nonconforming buildings and structures by State statute. Staff proposes keeping the administrative permit and conditional use permit process that allows expansion of nonconforming buildings and structures under certain conditions. The proposed language is as follows:

Subd. 3. Nonconforming Buildings and Structures

A. Proposed Structure

Any proposed structure that will become nonconforming by amendment of this title but for which a building permit has been lawfully granted prior to the effective date of the amendment, may be completed in accordance with the approved plans; provided

construction is started within sixty (60) days of the effective date of the amendment, is not abandoned for a period of more than one hundred twenty (120) days, and continues to completion within two (2) years. The structure shall thereafter be a legal nonconforming structure.

B. Ordinary Repairs and Maintenance

Normal repair, replacement, restoration, maintenance, or improvement may be performed on any legal nonconforming structure. No repairs or reconstruction are permitted that would create any new nonconformity, increase the degree or intensity of any previously existing nonconformity, or increase the bulk or density of the structure in any manner.

C. Structural Alterations

Structural alterations to a legal nonconforming building or structure may be made through the building permit process provided:

1. The alterations do not expand the foundation and/or building size (including deck additions), unless specifically allowed by this section; and
2. The alterations do not increase the building occupancy capacity or parking demand; and
3. The alterations do not increase the degree of the nonconforming conditions of the building, site, or the use.

D. Expansion of Legal Nonconforming Buildings or Structures

1. Administrative Approvals

The Zoning Administrator may approve the following expansions of legal nonconforming buildings and structures after a determination that the building expansion will have no external negative impacts upon adjacent properties or public rights-of-way, and subject to the provision of Corcoran City Code Section 1070.060, Subd. 3.:

- a. Expansion of buildings found to be non-conforming only by reason of height, yard setback, or lot coverage area may be permitted provided the structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance.
2. Conditional Use Permit



Legal, nonconforming commercial, industrial, public, semi-public, and multiple-family structures may be expanded on the same lot by conditional use permit provided:

- a. The expansions will not increase the nonconformity of the building or site; and
- b. The new building expansion will conform to all the applicable performance standards of the Zoning Ordinance. A conditional use permit shall not be issued under this Section for a deviation from other requirements of the Zoning Ordinance unless variances are also approved; and
- c. The request for conditional use permit shall be evaluated based on standards and criteria set forth in Corcoran City Code Section 1070.020, Subd. 3.

#### E. Relocation

A nonconforming structure may not be relocated, in whole or in part, to any other location on the same lot or parcel unless brought into full compliance with the Zoning Ordinance. A nonconforming structure may be relocated to another lot or parcel if the structure conforms to all regulations of the zoning district in which it is relocated.

#### F. Damage or Destruction

1. If a nonconforming building or structure is damaged or destroyed to the extent of less than fifty percent (50%) of the market value at that time, then the structure and/or property may be repaired, reconstructed, or restored and the nonconforming use continued, provided that no new nonconformities are created and that the existing degree of nonconformity is not increased. A building permit must be obtained for such rebuilding, restoration, repair, or reconstruction within one (1) year of the date of damage or destruction, and construction must be completed within one (1) year of issuance of the building permit.
2. If a nonconforming structure is damaged or destroyed to the extent of greater than fifty percent (50%) of its market value, and no building permit has been applied for within one-hundred eighty (180) days of when the property is damaged, the nonconformity may not be continued, repaired, or replaced. The City may impose reasonable conditions upon a building permit issued under this section in order

to mitigate any newly created impact on adjacent property.

Subd 4. focuses on nonconforming lots and currently reads as follows:

*Subd. 4. Non-Conforming Lots.*

*A. Vacant or Redeveloped Lots.*

- 1. A lot or parcel of land for which a deed or contract for deed has been recorded in the office of the Hennepin County Recorder upon, or prior to, the effective date of this Ordinance shall be deemed a buildable lot provided:
  - a. The lot has frontage on a public right-of-way, or is governed by a valid driveway agreement,*
  - b. The lot has access to municipal sewer and water if located within the municipal urban service boundary, has an approved well and an approved on-site septic system or is able to provide a well and on-site septic system in compliance with all City and State requirements.*
  - c. The setback and yard requirements of the applicable zoning district can be achieved while simultaneously resulting in development that complies with the character and quality of the immediate area and the objectives of the City's Comprehensive Plan and Zoning Ordinance.**
- 2. The owner must submit a driveway permit to the Public Works director for access to any public street, including new, modified or relocated driveways prior to construction.*
- 3. Lot Combination. If an owner has an interest in more than one lot of record contiguous to other lots of record, all such lots shall be combined to meet the requirements of this Section or the applicable zoning district standards. If sufficient contiguous property is held in one ownership to comply with the standard of the applicable zoning district, then those more restrictive provisions will apply. In no circumstances will there be approval of any proposal for multiple lot developments based upon lots of record, and not conforming to the provisions of the existing zoning district.*

*B. Developed Lots. An existing conforming use on a lot of substandard size and width may be expanded or enlarged if such expansion or enlargement meets all other provisions of this Ordinance.*

It is believed that the City does not have the authority to implement Subd. 4(A)(3) as written above except for certain lots within the Shoreland Overlay District as specified in State statute. This provision as it applies to nonconforming lots in general has been removed in the replacement language. Additionally, the proposed replacement clarifies that nonconforming lots within the Rural Residential and Urban Reserve District must have a development right in order to develop or redevelop. Further, the rights of nonconforming lots within the Shoreland Overlay District are clarified consistent with State statute. The proposed verbiage is as follows:

Subd. 4. Nonconforming Lots

A. Vacant or Redeveloped Lots

1. A lot or parcel of land for which a deed or contract for deed has been recorded in the office of the Hennepin County Recorder upon, or prior to, the effective date of this Code shall be deemed a buildable lot provided:
  - a. The lot has frontage on a public right-of-way, or is governed by a valid driveway agreement; and
  - b. The lot has access to municipal sewer and water if located within the municipal urban service boundary, or otherwise has an approved well and an approved on-site septic system or is able to provide a well and on-site septic system in compliance with all City and State requirements; and
  - c. The setback and yard requirements of the applicable zoning district can be achieved while simultaneously resulting in development that complies with the character and quality of the immediate area and the objectives of the City's Comprehensive Plan and Zoning Ordinance; and
  - d. The lot, if located within the Rural Residential or Urban Reserve districts, has a development right.
2. The owner must apply for and receive a valid driveway permit from the Public Works director for access to any public street, including new, modified, or relocated driveways, prior to construction.

B. Developed Lots

An existing conforming use on a lot of substandard size and width may be expanded or enlarged if such expansion or enlargement meets all other provisions of the Zoning Ordinance.

### C. Shoreland Overlay District

1. Nonconforming shoreland lots of record may be allowed as a building site without variances from lot size requirements, subject to the following provisions consistent with Minn. Stat. § 462.357, subd. 1(e) as it may be amended from time to time:
  - a. All structure and septic system setback distance requirements can be met; and
  - b. A Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080, can be installed or the lot is connected to a public sewer; and
  - c. The impervious surface coverage does not exceed twenty-five percent (25%) of the lot.
2. In a group of two or more contiguous lots of record under a common ownership, an individual lot must be considered a separate parcel of land for the purpose of sale or development, if it meets the following requirements consistent with Minn. Stat. § 462.357, subd. 1(e) as it may be amended from time to time:
  - a. The lot must be at least 66% of the dimensional standard for lot width and lot size for the shoreland classification consistent with Minnesota Rules, chapter 6120; and
  - b. The lot must be connected to a public sewer, if available, or must be suitable for the installation of a Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080; and
  - c. Impervious surface coverage must not exceed twenty-five percent (25%) of each lot; and
  - d. Development of the lot is consistent with the 2040 Comprehensive Plan.
3. A lot unable to meet the requirements of paragraph (2) must be combined with the one or more contiguous lots so they equal one or more conforming lots as much as possible.
4. Notwithstanding paragraph (2), contiguous nonconforming lots of record in shoreland areas under a common ownership must be able

to be sold or purchased individually if each lot contained a habitable residential dwelling at the time the lots came under common ownership and the lots are suitable for, or served by, a sewage treatment system consistent with the requirements of Minn. Stat. § 115.55 and Minnesota Rules, chapter 7080, or connected to a public sewer.

5. In evaluating all variances, conditional use permits, building permits, and other land use applications for a nonconforming lot of record, the property owner shall be required, when appropriate, to address storm water runoff management, reducing impervious surfaces, increasing setback, restoration of wetlands of wetlands, vegetative buffers, sewage treatment and water supply capabilities, and other conservation-designed actions.
6. A portion of a conforming lot may be separated from an existing parcel as long as the remainder of the existing parcel meets the lot size and sewage treatment requirements of the zoning district for a new lot and the newly created parcel is combined with an adjacent parcel.

Lastly, staff proposes the addition of Subd. 5 to clarify the instances where there are exceptions to rights normally granted to nonconformities. These exceptions are allowed per State statute. The proposed language is as follows:

Subd. 5 Exceptions to Nonconformity Regulations

- A. The City shall regulate the repair, replacement, maintenance, improvement of nonconforming uses, buildings, and structures in floodplain areas to the extent necessary to maintain eligibility in the National Flood Insurance Program and to avoid an increase in flood damage potential or increase the degree of obstruction to flood flows in the floodway.
- B. The nonconformity provisions of this Ordinance do not prohibit the City from enforcing an ordinance that applies to nonconforming adult uses (adult bookstores, adult theaters, or similar adult use businesses). The City may enact, amend, or enforce an ordinance providing for the elimination or termination of adult uses by amortization, even if such use was lawful at the time of its inception.

## **5. Recommendation:**

Move to adopt the following as recommended by the Planning Commission:

- a. Ordinance 2021-442 Amendment to Sections 1020.020 and 1030.010
- b. Resolution 2021-128 Approving Findings of Fact

c. Ordinance 2021-443 for Summary Publication

Approval of the Zoning Ordinance Amendment and Findings of Fact Resolution requires a 3/5 vote of the City Council.

Approval of the Summary Publication Ordinance request a 4/5 vote of the Council.

**Attachments:**

1. Ordinance 2021-442 Amendment to Sections 1020.020 and 1030.010
2. Resolution 2021-128 Approving Findings of Fact
3. Ordinance 2021-443 for Summary Publication
4. Minnesota State Statute 462.357, Subd. 1e. (Nonconformities)
5. Lakeville City Code Chapter 15 (Nonconforming Buildings, Structures and Uses)
6. St. Cloud City Code Article 20 (Nonconformities)
7. League of Minnesota Cities's "The Minnesota Basic Code" Section 151.58 (Nonconforming Uses)

**ORDINANCE NO. 2021-442**

**Motion By:  
Seconded  
By:**

**AN ORDINANCE AMENDING THE TEXT OF SECTIONS 1020.020 AND 1030.010 OF THE ZONING ORDINANCE OF THE CORCORAN CITY CODE RELATED TO NONCONFORMING BUILDINGS, STRUCTURES, USES, AND LOTS (CITY FILE 21-041)**

**THE CITY OF CORCORAN ORDAINS:**

**SECTION 1.** Amendment of the City Code. The text of Section 1020.020 of the Corcoran City Code is hereby amended by removing the ~~stricken~~ material and adding the underlined material as follows:

**1020.020 - DEFINITIONS**

**EXPANSION, ENLARGEMENT, OR INTENSIFICATION:** Any increase in a dimension, size, area, volume, or height; any increase in the area of use; any placement of a structure or part thereof where none existed before; any addition of a site feature such as a deck, patio, fence, driveway, parking area, or swimming pool; any improvement that would allow the land to be more intensely developed; any move of operations to a new location on the property; any increase in intensity of use based on a review of the original nature, function, or purpose of the nonconforming use, such as the hours of operation, traffic, parking, noise, exterior storage, signs, exterior lighting, types of operations, types of goods or services offered, odors, area of operation, number of employees, and other factors deemed relevant by the city.

**INTERIM USE:** An approved temporary use of property until a particular date or until the occurrence of a particular event.

**IMPROVEMENT:** Making a legal nonconforming use, structure, or lot better, more efficient, or more aesthetically pleasing, including any change that does not replicate what preexisted, but does not include an expansion, enlargement, or intensification.

**NONCONFORMING BUILDINGS AND STRUCTURES:** Structures which at one time conformed to applicable zoning regulations, but because of subsequent amendments to the Zoning Ordinance no longer conform to applicable yard, height, lot coverage or other dimensions or bulk provisions or do not meet other on-site development standards, such as an insufficient number of parking spaces.

**NONCONFORMING LOT:** A lot of record that was created lawfully based on the access, frontage, area, and other dimensional requirements of the then prevailing Zoning Ordinance, but it no longer meets the minimum requirements after the adoption, revision, or amendment to the requirements of the underlying zoning district.

**NONCONFORMING USE:** The use of land or structures that, as of the effective date of this Code, or applicable amendment thereto, are used for purposes that are not permitted in the zoning district in which they are located. Uses that were specifically authorized as a conditional or interim use are not considered non-conforming uses even if the use is no longer permitted within that zoning district. Such use will continue to be considered a conditional or interim use.

**ORDINANCE NO. 2021-442**

**PERMITTED USE:** A public or private use which of itself conforms to the purposes, objectives, requirements, regulations, performances standards of a particular district.

**REPLACEMENT, RECONSTRUCTION, OR RESTORATION:** Construction that exactly matches preexisting conditions.

~~**USE, NON-CONFORMING:** A use of land, building or structure lawfully existing at the time of adoption of this Ordinance which does not comply with all the regulations of this Ordinance or any use of land, building or structure lawfully existing prior to the adoption of an amendment of this Ordinance which would not comply with all of the newly adopted regulations.~~

~~**USE, PERMITTED:** A public or private use which of itself conforms to the purposes, objectives, requirements, regulations, performance standards of a particular district.~~

**SECTION 2. Amendment of the City Code.** The text of Section 1030.010 of the Corcoran City Code is hereby repealed and replaced by the underlined material as follows:

**1030.010 - NONCONFORMING BUILDINGS, STRUCTURES, USES, AND LOTS**

Subd. 1. General Standards of Applicability

A. Authority to Continue

Any use, structure, or lot that existed as a lawful nonconformity as of when this Code was adopted on March 23, 2004, and any use, structure, or lot that has been made nonconforming because of the terms of this Code or its subsequent amendments, may continue subject to the provisions of this Ordinance so long as it remains otherwise lawful. A structure or use that is illegal at the time of the adoption of this Code, remains illegal if it does not conform with each and every requirement of this Code.

B. Burden on Property Owner to Establish Legality

In all cases, the burden of establishing the legality of a nonconformity under the provisions of this Ordinance is upon the property owner of the nonconforming use, structure, or lot.

C. Safety Regulations

The City may impose upon nonconformities reasonable regulations to prevent and abate nuisances and to protect the public health, welfare, and safety. All police power regulations enacted to promote public health, welfare, and safety including, but not limited to, all building, fire, and health codes, apply to nonconforming structures.

Subd. 2. Nonconforming Use

A. Ordinary Repairs and Maintenance

Normal repair, replacement, restoration, maintenance, or improvement may be performed on any structure that is devoted in whole or in part to a nonconforming use, provided it will not create any new nonconformity or



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increase the intensity, bulk or density of the nonconforming use.

**B. Structural Alterations**

Structural alterations to a structure containing a nonconforming use are permitted so long as they do not create any new nonconformity or increase the intensity, bulk or density of the nonconforming use. In addition, the following exceptions apply:

1. When the alteration is required by law or is necessary to restore the building or structure to a safe condition upon the order of any official charged with protecting the public safety.
2. When the alteration is for the purpose of bringing the use into conformity.

**C. Expansion of Use**

A nonconforming use of land or a structure may not be expanded, enlarged, or intensified, as defined in Section 1020.020. An expansion of a nonconforming use to any land area or structure not currently occupied by such nonconforming use or to any portion of the floor area that was not occupied by such nonconforming use is prohibited.

**D. Changes to Nonconforming Uses:**

1. A change of use is deemed to occur when an existing nonconforming use has been terminated and another use has commenced. Any change in use in violation of the Zoning Ordinance is deemed an abandonment of the previously existing lawful nonconforming use.
2. When a nonconforming use of land or a structure has been changed, in whole or in part, to a conforming use, the whole or part which has been made to conform may not be changed back to a nonconforming use.
3. A nonconforming use of land or a structure may be changed to reduce the nonconformity of use. Once a nonconforming structure or parcel of land has been changed, it shall not thereafter be so altered to increase the nonconformity.

**E. Discontinuation or Abandonment**

If a nonconforming use or occupancy is discontinued for a continuous period of one (1) year, such nonconformity or occupancy is deemed to be abandoned and may not be reestablished or resumed regardless of the intent to resume or to continue the use. Any subsequent use of such land or structure must conform to all regulations of the zoning district in which such land or structure is located. The period of such discontinuance caused by government action, uncontrollable events, or other acts without any contributing fault by the user, must not be included in calculating the length of discontinuance for this section.

**F. Damage or Destruction**

1. If a structure and/or property devoted in whole or in part to a nonconforming use is damaged or destroyed to the extent of fifty percent (50%) or less of the

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market value at that time, then the structure and/or property may be repaired, reconstructed, or restored and the nonconforming use continued, provided that no new nonconformities are created and that the existing degree of nonconformity is not increased. A building permit must be obtained for such rebuilding, restoration, repair, or reconstruction within one (1) year of the date of damage or destruction, and construction must be completed within one (1) year of issuance of the building permit. If a building permit is not obtained within one (1) year, then the nonconforming use cannot be continued.

2. If a nonconforming structure and/or property devoted in whole or in part to a nonconforming use is damaged or destroyed to the extent of greater than fifty percent (50%) of its market value at that time and no building permit has been applied for within one-hundred eighty (180) days of when the property is damaged, the nonconformity may not be continued, repaired, or replaced. The City may impose reasonable conditions upon a building permit issued under this section to mitigate any newly created impact on adjacent property.

Subd. 3. Nonconforming Buildings and Structures

A. Proposed Structure

Any proposed structure that will become nonconforming by amendment of this title but for which a building permit has been lawfully granted prior to the effective date of the amendment, may be completed in accordance with the approved plans; provided construction is started within sixty (60) days of the effective date of the amendment, is not abandoned for a period of more than one hundred twenty (120) days, and continues to completion within two (2) years. The structure shall thereafter be a legal nonconforming structure.

B. Ordinary Repairs and Maintenance

Normal repair, replacement, restoration, maintenance, or improvement may be performed on any legal nonconforming structure. No repairs or reconstruction are permitted that would create any new nonconformity, increase the degree or intensity of any previously existing nonconformity, or increase the bulk or density of the structure in any manner.

C. Structural Alterations

Structural alterations to a legal nonconforming building or structure may be made through the building permit process provided:

1. The alterations do not expand the foundation and/or building size (including deck additions), unless specifically allowed by this section; and
2. The alterations do not increase the building occupancy capacity or parking demand; and
3. The alterations do not increase the degree of the nonconforming conditions of the building, site, or the use.

D. Expansion of Legal Nonconforming Buildings or Structures

1. Administrative Approvals

## ORDINANCE NO. 2021-442

The Zoning Administrator may approve the following expansions of legal nonconforming buildings and structures after a determination that the building expansion will have no external negative impacts upon adjacent properties or public rights-of-way, and subject to the provision of Corcoran City Code Section 1070.060, Subd. 3.:

- a. Expansion of buildings found to be non-conforming only by reason of height, yard setback, or lot coverage area may be permitted provided the structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance.

### 2. Conditional Use Permit

Legal, nonconforming commercial, industrial, public, semi-public, and multiple-family structures may be expanded on the same lot by conditional use permit provided:

- a. The expansions will not increase the nonconformity of the building or site; and
- b. The new building expansion will conform to all the applicable performance standards of the Zoning Ordinance. A conditional use permit shall not be issued under this Section for a deviation from other requirements of the Zoning Ordinance unless variances are also approved; and
- c. The request for conditional use permit shall be evaluated based on standards and criteria set forth in Corcoran City Code Section 1070.020, Subd. 3.

### E. Relocation

A nonconforming structure may not be relocated, in whole or in part, to any other location on the same lot or parcel unless brought into full compliance with the Zoning Ordinance. A nonconforming structure may be relocated to another lot or parcel if the structure conforms to all regulations of the zoning district in which it is relocated.

### F. Damage or Destruction

1. If a nonconforming building or structure is damaged or destroyed to the extent of less than fifty percent (50%) of the market value at that time, then the structure and/or property may be repaired, reconstructed, or restored and the nonconforming use continued, provided that no new nonconformities are created and that the existing degree of nonconformity is not increased. A building permit must be obtained for such rebuilding, restoration, repair, or reconstruction within one (1) year of the date of damage or destruction, and construction must be completed within one (1) year of issuance of the building permit.
2. If a nonconforming structure is damaged or destroyed to the extent of greater than fifty percent (50%) of its market value, and no building permit has been applied for within one-hundred eighty (180) days of when the property is

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damaged, the nonconformity may not be continued, repaired, or replaced. The City may impose reasonable conditions upon a building permit issued under this section in order to mitigate any newly created impact on adjacent property.

Subd. 4. Nonconforming Lots

A. Vacant or Redeveloped Lots

1. A lot or parcel of land for which a deed or contract for deed has been recorded in the office of the Hennepin County Recorder upon, or prior to, the effective date of this Code shall be deemed a buildable lot provided:
  - a. The lot has frontage on a public right-of-way, or is governed by a valid driveway agreement; and
  - b. The lot has access to municipal sewer and water if located within the municipal urban service boundary, or otherwise has an approved well and an approved on-site septic system or is able to provide a well and on-site septic system in compliance with all City and State requirements; and
  - c. The setback and yard requirements of the applicable zoning district can be achieved while simultaneously resulting in development that complies with the character and quality of the immediate area and the objectives of the City's Comprehensive Plan and Zoning Ordinance; and
  - d. The lot, if located within the Rural Residential or Urban Reserve districts, has a development right.
2. The owner must apply for and receive a valid driveway permit from the Public Works director for access to any public street, including new, modified, or relocated driveways, prior to construction.

B. Developed Lots

An existing conforming use on a lot of substandard size and width may be expanded or enlarged if such expansion or enlargement meets all other provisions of the Zoning Ordinance.

C. Shoreland Overlay District

1. Nonconforming shoreland lots of record may be allowed as a building site without variances from lot size requirements, subject to the following provisions consistent with Minn. Stat. § 462.357, subd. 1(e) as it may be amended from time to time:
  - a. All structure and septic system setback distance requirements can be met; and
  - b. A Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080, can be installed or the lot is connected to a public

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sewer; and

- c. The impervious surface coverage does not exceed twenty-five percent (25%) of the lot.
2. In a group of two or more contiguous lots of record under a common ownership, an individual lot must be considered a separate parcel of land for the purpose of sale or development, if it meets the following requirements consistent with Minn. Stat. § 462.357, subd. 1(e) as it may be amended from time to time:
  - a. The lot must be at least 66% of the dimensional standard for lot width and lot size for the shoreland classification consistent with Minnesota Rules, chapter 6120; and
  - b. The lot must be connected to a public sewer, if available, or must be suitable for the installation of a Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080; and
  - c. Impervious surface coverage must not exceed twenty-five percent (25%) of each lot; and
  - d. Development of the lot is consistent with the 2040 Comprehensive Plan.
3. A lot unable to meet the requirements of paragraph (2) must be combined with the one or more contiguous lots so they equal one or more conforming lots as much as possible.
4. Notwithstanding paragraph (2), contiguous nonconforming lots of record in shoreland areas under a common ownership must be able to be sold or purchased individually if each lot contained a habitable residential dwelling at the time the lots came under common ownership and the lots are suitable for, or served by, a sewage treatment system consistent with the requirements of Minn. Stat. § 115.55 and Minnesota Rules, chapter 7080, or connected to a public sewer.
5. In evaluating all variances, conditional use permits, building permits, and other land use applications for a nonconforming lot of record, the property owner shall be required, when appropriate, to address storm water runoff management, reducing impervious surfaces, increasing setback, restoration of wetlands of wetlands, vegetative buffers, sewage treatment and water supply capabilities, and other conservation-designed actions.
6. A portion of a conforming lot may be separated from an existing parcel as long as the remainder of the existing parcel meets the lot size and sewage treatment requirements of the zoning district for a new lot and the newly created parcel is combined with an adjacent parcel.

Subd. 5 Exceptions to Nonconformity Regulations

- A. The City shall regulate the repair, replacement, maintenance, improvement of nonconforming uses, buildings, and structures in floodplain areas to the extent necessary to maintain eligibility in the National Flood Insurance Program and to

**ORDINANCE NO. 2021-442**

avoid an increase in flood damage potential or increase the degree of obstruction to flood flows in the floodway.

- B. The nonconformity provisions of this Ordinance do not prohibit the City from enforcing an ordinance that applies to nonconforming adult uses (adult bookstores, adult theaters, or similar adult use businesses). The City may enact, amend, or enforce an ordinance providing for the elimination or termination of adult uses by amortization, even if such use was lawful at the time of its inception.

**SECTION 3. Effective Date**

This Ordinance shall be in full force and effect upon its adoption.

**ADOPTED** by the City Council on the 22<sup>nd</sup> day of November 2021.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_

**Jessica Beise – Administrative Services Director**

*City Seal*

**RESOLUTION NO. 2021-128**

**Motion By:  
Seconded By:**

**A RESOLUTION APPROVING FINDINGS OF FACT FOR AN ORDINANCE  
AMENDING SECTIONS 1020.020 AND 1030.010 OF THE ZONING ORDINANCE OF  
THE CORCORAN CITY CODE REALTED TO NONCONFORMING BUILDINGS,  
STRUCTURES, USES, AND LOTS  
(CITY FILE 21-041)**

**WHEREAS**, Minn. Stat. § 462.357, Subd. 1e was revised in 2004, 2005, and 2009 to clarify protections for nonconformities; and

**WHEREAS**, Section 1030.010 of the City Code has not been updated since it was enacted on March 23, 2004; and

**WHEREAS**, City staff recommends repealing and replacing Section 1030.010 of the City Code; and

**WHEREAS**, the amended definitions to Section 1020.020 of the City Code provide clarity as to the proper interpretation of terms of art in Section 1030.010 of the City Code; and

**WHEREAS**, the Planning Commission has reviewed the request at a duly called Public Hearing and recommends approval;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Corcoran, Minnesota, that it does approve an amendment to Title X (Zoning Ordinance) of the City Code to amend the regulation of nonconforming buildings, structures, uses, and lots, based on the following findings:

1. The amendments are consistent with Minn. Stat. § 462.357, Subd. 1e.
2. The amendments are consistent with other City Code standards and City policies.

**VOTING AYE**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

**RESOLUTION NO. 2021-128**

**Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

***City Seal***



**ORDINANCE NO. 2021-443**

**Motion By:  
Seconded By:**

**SUMMARY OF ORDINANCE NO. 2021-442**

**AN ORDINANCE AMENDING THE TEXT OF SECTIONS 1020.020 AND  
1030.010 OF THE ZONING ORDINANCE OF THE CORCORAN CITY CODE  
RELATED TO NONCONFORMING BUILDINGS, STRUCTURES, USES, AND  
LOTS (CITY FILE 21-041)**

The text of Title X (Zoning Ordinance) of the City Code of the City of Corcoran, Minnesota, is hereby amended with revised definitions and provisions for nonconforming buildings, structures, uses, and lots.

A printed copy of the entire amendment is available for inspection by any person at City Hall during the City Clerk's regular office hours.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November 2021.

\_\_\_\_\_  
Tom McKee – Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

## 2020 Minnesota Statutes

462.357, Subd. 1e. Nonconformities.

(a) Except as otherwise provided by law, any nonconformity, including the lawful use or occupation of land or premises existing at the time of the adoption of an additional control under this chapter, may be continued, including through repair, replacement, restoration, maintenance, or improvement, but not including expansion, unless:

(1) the nonconformity or occupancy is discontinued for a period of more than one year; or

(2) any nonconforming use is destroyed by fire or other peril to the extent of greater than 50 percent of its estimated market value, as indicated in the records of the county assessor at the time of damage, and no building permit has been applied for within 180 days of when the property is damaged. In this case, a municipality may impose reasonable conditions upon a zoning or building permit in order to mitigate any newly created impact on adjacent property or water body. When a nonconforming structure in the shoreland district with less than 50 percent of the required setback from the water is destroyed by fire or other peril to greater than 50 percent of its estimated market value, as indicated in the records of the county assessor at the time of damage, the structure setback may be increased if practicable and reasonable conditions are placed upon a zoning or building permit to mitigate created impacts on the adjacent property or water body.

(b) Any subsequent use or occupancy of the land or premises shall be a conforming use or occupancy. A municipality may, by ordinance, permit an expansion or impose upon nonconformities reasonable regulations to prevent and abate nuisances and to protect the public health, welfare, or safety. This subdivision does not prohibit a municipality from enforcing an ordinance that applies to adults-only bookstores, adults-only theaters, or similar adults-only businesses, as defined by ordinance.

(c) Notwithstanding paragraph (a), a municipality shall regulate the repair, replacement, maintenance, improvement, or expansion of nonconforming uses and structures in floodplain areas to the extent necessary to maintain eligibility in the National Flood Insurance Program and not increase flood damage potential or increase the degree of obstruction to flood flows in the floodway.

(d) Paragraphs (d) to (j) apply to shoreland lots of record in the office of the county recorder on the date of adoption of local shoreland controls that do not meet the requirements for lot size or lot width. A municipality shall regulate the use of nonconforming lots of record and the repair, replacement, maintenance, improvement, or expansion of nonconforming uses and structures in shoreland areas according to paragraphs (d) to (j).

(e) A nonconforming single lot of record located within a shoreland area may be allowed as a building site without variances from lot size requirements, provided that:

(1) all structure and septic system setback distance requirements can be met;

(2) a Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080, can be installed or the lot is connected to a public sewer; and

(3) the impervious surface coverage does not exceed 25 percent of the lot.

(f) In a group of two or more contiguous lots of record under a common ownership, an individual lot must be considered as a separate parcel of land for the purpose of sale or development, if it meets the following requirements:

(1) the lot must be at least 66 percent of the dimensional standard for lot width and lot size for the shoreland classification consistent with Minnesota Rules, chapter 6120;

(2) the lot must be connected to a public sewer, if available, or must be suitable for the installation of a Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080, and local government controls;

(3) impervious surface coverage must not exceed 25 percent of each lot; and

(4) development of the lot must be consistent with an adopted comprehensive plan.

(g) A lot subject to paragraph (f) not meeting the requirements of paragraph (f) must be combined with the one or more contiguous lots so they equal one or more conforming lots as much as possible.

(h) Notwithstanding paragraph (f), contiguous nonconforming lots of record in shoreland areas under a common ownership must be able to be sold or purchased individually if each lot contained a habitable residential dwelling at the time the lots came under common ownership and the lots are suitable for, or served by, a sewage treatment system consistent with the requirements of section [115.55](#) and Minnesota Rules, chapter 7080, or connected to a public sewer.

(i) In evaluating all variances, zoning and building permit applications, or conditional use requests, the zoning authority shall require the property owner to address, when appropriate, storm water runoff management, reducing impervious surfaces, increasing setback, restoration of wetlands, vegetative buffers, sewage treatment and water supply capabilities, and other conservation-designed actions.

(j) A portion of a conforming lot may be separated from an existing parcel as long as the remainder of the existing parcel meets the lot size and sewage treatment requirements of the zoning district for a new lot and the newly created parcel is combined with an adjacent parcel.

## CHAPTER 15

# NONCONFORMING BUILDINGS, STRUCTURES AND USES

### SECTION:

#### 11-15-1: Purpose

#### 11-15-3: General Provisions

#### 11-15-5: Nonconforming Uses

#### 11-15-7: Nonconforming Buildings And Structures

#### 11-15-9: Nonconforming Lots

#### 11-15-1: PURPOSE:

It is the purpose of this chapter to provide for the regulation of nonconforming buildings, structures and uses and to specify those requirements, circumstances and conditions under which nonconforming buildings, structures and uses will be operated and maintained. This zoning title establishes separate districts, each of which is an appropriate area for the location of uses which are permitted in that district. It is necessary and consistent with the establishment of these districts that nonconforming buildings, structures and uses not be permitted to continue without restriction. Furthermore, it is the intent of this chapter that all nonconforming uses shall be eventually brought into conformity. (Ord. 674, sec. 1, 7-17-2000)

#### 11-15-3: GENERAL PROVISIONS:

A. Conditional Uses/Interim Uses/Uses By Administrative Permit: Any legal nonconforming structure or use that is herein classified as a conditional use, interim use, or use by administrative permit may be continued in like fashion and activity and shall automatically be considered as having received the applicable approval. Any change to such a use, including, but not limited to, building and/or site alteration, shall however require a new permit be processed according to this title. (Ord. 867, sec. 18, 5-17-2010)

B. Moving Nonconforming Buildings: Subject to section 11-17-25 of this title, no nonconforming building, structure or use shall be moved to another lot or to any other part of the parcel of land upon which the same was constructed or was conducted at the time it became a legal nonconformity, unless such movement will reduce the nonconformity. (Ord. 867, sec. 19, 5-17-2010)

C. Subdivision: No parcel of land or portion thereof shall be subdivided if such action results in buildings and/or uses becoming nonconforming. (Ord. 674, sec. 1, 7-17-2000)

D. Continuance Of Legal Nonconformity: Any legal nonconformity, including the lawful use or occupation of land or premises existing at the time of the adoption of an additional control under this chapter, may be continued, including through repair, replacement, restoration, maintenance, or improvement, but not including expansion, except as specifically provided in this chapter, unless:

1. The nonconformity or occupancy is discontinued for a period of more than one year; or

2. Any nonconforming use is destroyed by fire or other peril to the extent of greater than fifty percent (50%) of its market value, and no building permit has been applied for within one hundred eighty (180) days of when the property is damaged. In this case, the city of Lakeville may impose reasonable conditions upon a building permit in order to mitigate any newly created impact on adjacent property.

3. Any subsequent use or occupancy of the land or premises shall be a conforming use or occupancy. (Ord. 867, sec. 20, 5-17-2010)

E. Definitions: For the purposes of this section, the following terms shall be defined as follows:

**EXPANSION, ENLARGEMENT, OR INTENSIFICATION:** Any increase in a dimension, size, area, volume, or height, any increase in the area of use, any placement of a structure or part thereof where none existed before, any addition of a site feature such as a deck, patio, fence, driveway, parking area, or swimming pool, any improvement that would allow the land to be more intensely developed, any move of operations to a new location on the property, or any increase in intensity of use based on a review of the original nature, function or purpose of the nonconforming use, the hours of operation, traffic, parking, noise, exterior storage, signs, exterior lighting, types of operations, types of goods or services offered, odors, area of operation, number of employees, and other factors deemed relevant by the city.

**IMPROVEMENT:** Making the nonconforming use better, more efficient, or more aesthetically pleasing, including any change that does not replicate what preexisted, but does not include an expansion, enlargement, or intensification.

**REPLACEMENT, RECONSTRUCTION OR RESTORATION:** Construction that exactly matches preexisting conditions. (Ord. 867, sec. 21, 5-17-2010)

**11-15-5: NONCONFORMING USES:**

A. Effective Date: (Rep. by Ord. 815, sec. 2, 12-18-2006)

B. Changes To Nonconforming Uses:

1. When a legal nonconforming use of any structure or parcel of land in any district has been changed to a conforming use, it shall not thereafter be changed to any nonconforming use.

2. A legal nonconforming use of a structure or parcel of land may be changed to reduce the nonconformity of use. Once a nonconforming structure or parcel of land has been changed, it shall not thereafter be so altered to increase the nonconformity. (Ord. 867, sec. 22, 5-17-2010)

C. Discontinuance: (Rep. by Ord. 815, sec. 2, 12-18-2006)

D. Normal Maintenance: Maintenance of a building or other structure containing or used by a nonconforming use will be allowed when it includes necessary nonstructural repair and incidental alterations which do not extend or intensify the nonconforming building or use. (Ord. 674, sec. 1, 7-17-2000)

**11-15-7: NONCONFORMING BUILDINGS AND STRUCTURES:**

A. Proposed Structure: Any proposed structure that will become nonconforming by amendment of this title but for which a building permit has been lawfully granted prior to the effective date of the amendment, may be completed in accordance with the approved plans; provided construction is started within sixty (60) days of the effective date of the amendment, is not abandoned for a period of more than one hundred twenty (120) days, and continues to completion within two (2) years. The structure shall thereafter be a legal nonconforming structure.

B. Alterations: Alteration and normal maintenance to a legal nonconforming building or structure may be made through the building permit process provided:

1. The alterations do not expand the foundation and/or building size (including deck additions), unless specifically allowed by this title.

2. The alterations do not increase the building occupancy capacity or parking demand.

3. The alteration does not increase the degree of the nonconforming condition of the building, site or the use.

### C. Expansion Of Legal Nonconforming Buildings Or Structures:

1. Administrative Approvals: Except in the environmental protection districts, the following expansions of legal nonconforming single- and two-family residential buildings may be approved through the administrative permit process by the zoning administrator subject to the provisions of chapter 8 of this title. The zoning administrator shall make a determination that the building expansion will comply with the intent and purpose of this chapter and this title.

a. Expansion of principal buildings found to be nonconforming only by reason of height and yard setback may be allowed provided the expansion complies with the performance standards of this title.

b. Expansion of nonconforming detached accessory structures shall not be allowed.

2. Conditional Use Permit: Legal nonconforming commercial, industrial, public, semipublic, and multiple-family residential principal structures may be expanded on the same lot by conditional use permit provided:

a. The expansion will not increase the nonconformity of the building or site.

b. The new building expansion will conform to all the applicable performance standards of this title. A conditional use permit shall not be issued under this chapter for a deviation from other requirements of this title unless variances are also approved.

c. The request for conditional use permit shall be evaluated based on standards and criteria set forth in subsection 11-4-3E and section 11-4-7 of this title. (Ord. 867, sec. 23, 5-17-2010)

### **11-15-9: NONCONFORMING LOTS:**

A. General Restriction: No building, structure or use shall be erected, constructed or established on a nonconforming lot unless a variance is granted by the City, except as otherwise provided for by this title.

B. Required Merger Of Common Ownership Lots: Except as provided for in section 11-102-15 of this title or as may otherwise be allowed pursuant to this chapter, if in a group of two (2) or more contiguous lots or parcels of land owned or controlled by the same person, any individual lot or parcel is nonconforming as to lot width, lot area, or lot frontage such individual lot or parcel shall not be sold or developed as a separate parcel of land, but shall be combined with adjacent lots or parcels under the same ownership or control so that the combination of lots or parcels will equal one (1) or more zoning lots each meeting the full lot requirements of this title lessening the nonconformity.

1. The designation of a zoning lot pursuant to this section shall be approved by the Zoning Administrator if the zoning lot complies with the lot requirements of the district in which it is located and will have a single tax identification number.

2. Interior lot lines within a designated zoning lot shall be disregarded in applying setbacks and other zoning ordinance standards.

3. The subdivision of a designated zoning lot shall be in accordance with title 10 of this Code. (Ord. 867, sec. 24, 5-17-2010)

C. Vacant Or Redeveloped Lots: Except in environmental protection districts established in chapter 45 of this title, legal, nonconforming, vacant lots of record may be developed for single- family detached dwellings upon approval of a conditional use permit, provided that:

1. Legally Established: The lot in question was legally established in accordance with requirements of this title.

2. Allowed Use: Single-family residential dwellings are an allowed use within the base zoning district.

3. Minimum Lot Size:

a. Sewered Lots: A legal nonconforming lot having direct access, as determined by the City Engineer, to Municipal sewer shall be considered buildable provided measurements for lot area and/or width meet minimum requirements or are sixty six percent (66%) of the requirement of the base zoning district.

b. Unsewered Lots: A legal nonconforming lot not having access to Municipal sewer shall be considered buildable provided it complies with section 11-17-19 of this title.

c. Shoreland Overlay District: The lot shall not have more than twenty five percent (25%) impervious surface if located within the Shoreland Overlay District.

4. Access: The lot in question has frontage on and will directly access an improved public street.

5. Health Concerns: Public health concerns (potable water and sanitary sewer) can be adequately addressed.

6. Setback And Yard Requirements: The setback and yard requirements of the base zoning district can be achieved while simultaneously resulting in development which complies with the character and general design of the immediate area and the objectives of the Comprehensive Plan and this title. (Ord. 979, 5-15-2017)

D. Developed Lots: An existing conforming use on a lot of substandard size and/or width may be expanded or enlarged if such expansion or enlargement meets all other provisions of this title. (Ord. 867, sec. 24, 5-17-2010)

# Article 20. Nonconformities

- 20.1 PURPOSE
  - 20.2 GENERAL STANDARDS OF APPLICABILITY
  - 20.3 NONCONFORMING USE
  - 20.4 NONCONFORMING STRUCTURES
  - 20.5 NONCONFORMING LOTS OF RECORD
  - 20.6 NONCONFORMING SIGNS
- 

## 20.1 PURPOSE

The purpose of this Article is to provide for the regulation of nonconforming uses, structures and lots, and to specify those circumstances and conditions under which nonconforming structures and uses must be eliminated.

## 20.2 GENERAL STANDARDS OF APPLICABILITY

### A. Authority to Continue

Any use, structure or lot that existed as a lawful nonconformity at the time of the adoption of this Code, and any use, structure or lot that has been made nonconforming because of the terms of this Code or its subsequent amendments, may continue subject to the provisions of this Article so long as it remains otherwise lawful. A structure or use that is illegal at the time of the adoption of this Code, remains illegal if it does not conform with each and every requirement of this Code.

### B. Burden on Property Owner to Establish Legality

In all cases, the burden of establishing the legality of a nonconformity under the provisions of this Code is upon the property owner of the nonconforming use, structure or lot.

### C. Safety Regulations

The City may permit an expansion to a nonconforming use, in accordance with Section 20.3.D.2 below, or impose upon nonconformities reasonable regulations to prevent and abate nuisances and to protect the public health, welfare and safety. All police power regulations enacted to promote public health, welfare and safety including, but not limited to, all building, fire and health codes, apply to nonconforming structures.

### D. Exceptions to Nonconformity Regulations

1. The City shall regulate the repair, replacement, maintenance, improvement or expansion of nonconforming uses and structures in floodplain areas to the extent necessary to maintain eligibility in the National Flood Insurance Program and to avoid an increase in flood damage potential or increase the degree of obstruction to flood flows in the floodway.
2. The nonconformity provisions of this Article do not prohibit the City from enforcing an ordinance that applies to nonconforming adult uses (adult bookstores, adult theaters or similar adult use businesses). The City may enact, amend or enforce an ordinance providing for the elimination or



termination of adult uses (adult bookstores, adult theaters or similar adult use businesses) by amortization, even if such use was lawful at the time of its inception.

### **20.3 NONCONFORMING USE**

#### **A. Definition of Nonconforming Use**

A nonconforming use is the use of land or structures that, as of the effective date of this Code, or amendment thereto, are used for purposes that are not permitted in the zoning district in which they are located. Uses that were specifically authorized as a conditional use are not considered nonconforming uses even if the use is no longer permitted within that zoning district. Such use will be considered a conditional use.

#### **B. Ordinary Repairs and Maintenance**

Normal repair, replacement, restoration, maintenance or improvement may be performed on any structure that is devoted in whole or in part to a nonconforming use, provided it will not create any new nonconformity or increase the bulk or density of the nonconforming use.

#### **C. Structural Alterations**

Structural alterations to a structure containing a nonconforming use are permitted so long as they do not create any new nonconformity or increase the bulk or density of the nonconforming use. In addition, the following exceptions apply:

1. When the alteration is required by law or is necessary to restore the building or structure to a safe condition upon the order of any official charged with protecting the public safety.
2. When the alteration is for the purpose of bringing the use into conformity.

#### **D. Expansion of Use**

1. Unless a nonconforming use is granted a special exceptions permit per Article 4.17 of the Land Development Code, a nonconforming use of land or a structure may not be expanded. An expansion of a nonconforming use to any land area or structure not currently occupied by such nonconforming use or to any portion of the floor area that was not occupied by such nonconforming use is prohibited.
2. In certain cases, nonconforming uses may be permitted to expand where it can be shown that such action will not be harmful and will be beneficial to the surrounding properties, the neighborhood and the community. An exception, granted by ordinance, may be issued for an existing nonconforming use by the Zoning Board of Appeals only where the applicant demonstrates that the proposed activity will comply with all of the following criteria.

##### **a. Standards for Approval**

- i. The use occurs entirely within an existing site.
- ii. The use is not detrimental or injurious to other uses permitted within the district.

- iii. The use is appropriate and consistent with the general welfare of the community and the enjoyment of adjacent property.
- iv. The off-street parking is adequate to serve the use.
- v. The use is in substantial agreement with the Comprehensive Plan.
- vi. Hardship would result if the use were not allowed to expand.
- vii. Rezoning the property would result in “spot zoning” or zoning inappropriate to surrounding land uses.
- viii. The minimum zoning standards applicable to the zoning in which the nonconforming use is located apply.

**b. Eligibility**

Only the following nonconforming uses are eligible:

- i. Single-family, two-family, multi-family and townhouse residential, lodging house, fraternity or sorority house, residential facility or temporary shelter facility located in a commercial district.
- ii. Any commercial use in an industrial district.
- iii. Uses permitted in the I-1 District, except for solid waste handling facilities, located in a C-5 District.
- iv. General, medical and dental office uses in residential districts.
- v. Music, art, photographic, and interior decorating studios in all residential districts and the C-1 District.
- vi. Private schools for dance, music, physical sciences and similar disciplines located in all residential districts and the C-1 District.
- vii. Any residential use in an industrial district.

**E. Change of Use**

Unless a nonconforming use is granted a special exceptions permit per Article 4.17 of the Land Development Code, a nonconforming use must not be changed to any use, other than one permitted within the zoning district in which it is located. When such a nonconforming use has been changed, in whole or in part, to a conforming use, the whole or part which has been made to conform may not be changed back to a nonconforming use. A change of use is deemed to occur when an existing nonconforming use has been terminated and another use has commenced. Any change in use in violation of this Code is deemed an abandonment of the previously existing lawful nonconforming use.

**F. Discontinuation or Abandonment**

If a nonconforming use or occupancy is discontinued for a continuous period of one (1) year, such nonconformity or occupancy is deemed to be abandoned and may not be reestablished or resumed regardless of the intent to resume or to continue the use. Any subsequent use of such land or structure must conform to all regulations of the zoning district in which such land or structure is located. The period of such discontinuance caused by government action, acts of god, or other acts without any contributing fault by the user, must not be included in calculating the length of discontinuance for this section.

**G. Damage or Destruction**

1. If a structure and/or property devoted in whole or in part to a nonconforming use is damaged or destroyed to the extent fifty percent (50%) or less of the market value at that time, then the structure and/or property may be repaired, reconstructed or restored and the nonconforming use continued, provided that no new nonconformities are created and that the existing degree of nonconformity is not increased. A building permit must be obtained for such rebuilding, restoration, repair or reconstruction within one (1) year of the date of damage or destruction, and construction must be completed within one (1) year of issuance of the building permit. If a building permit is not obtained within one (1) year, then the nonconforming use cannot be continued.
2. If a nonconforming structure and/or property devoted in whole or in part to a nonconforming use is damaged or destroyed to the extent of greater than fifty percent (50%) of its market value at that time and no building permit has been applied for within one-hundred eighty (180) days of when the property is damaged, the nonconformity may not be continued, repaired or replaced. The City may impose reasonable conditions upon a building permit issued under this section in order to mitigate any newly created impact on adjacent property.

**20.4 NONCONFORMING STRUCTURES**

**A. Definition of Nonconforming Structure**

Structures which at one time conformed to applicable zoning regulations, but because of subsequent amendments to the Code no longer conform to applicable yard, height, lot coverage or other dimensional or bulk provisions or do not meet other on-site development standards, such as an insufficient number of parking spaces, of this Code, are considered nonconforming structures.

**B. Ordinary Repairs and Maintenance**

Normal repair, replacement, restoration, maintenance or improvement may be performed on any nonconforming structure. No repairs or reconstruction are permitted that would create any new nonconformity, increase the degree of any previously existing nonconformity, or increase the bulk or density of the structure in any manner.

**C. Structural Alterations**

Structural alterations to a structure containing a nonconforming use are permitted so long as they do not create any new nonconformity or increase the degree of any existing nonconformity. In addition, the following exceptions apply:

1. When the alteration is required by law or is necessary to restore the building or structure to a safe condition upon the order of any official charged with protecting the public safety.
2. When the alteration is for the purpose of bringing about a conforming use.

**D. Additions and Enlargements**

A structure that is nonconforming with respect to its bulk may not be added to or enlarged.

**E. Relocation**

A nonconforming structure may not be relocated, in whole or in part, to any other location on the same zoning lot or parcel unless brought into full compliance with this Code. A nonconforming structure may be relocated to another zoning lot or parcel if the structure conforms to all regulations of the zoning district in which it is relocated.

**F. Damage or Destruction**

1. If a nonconforming structure is damaged or destroyed to the extent of less than fifty percent (50%) of the market value at that time, then the structure and/or property may be repaired, reconstructed or restored and the nonconforming use continued, provided that no new nonconformities are created and that the existing degree of nonconformity is not increased. A building permit must be obtained for such rebuilding, restoration, repair or reconstruction within one (1) year of the date of damage or destruction, and construction must be completed within one (1) year of issuance of the building permit.
2. If a nonconforming structure is damaged or destroyed to the extent of greater than fifty percent (50%) of its market value, and no building permit has been applied for within one-hundred eighty (180) days of when the property is damaged, the nonconformity may not be continued, repaired or replaced. The City may impose reasonable conditions upon a building permit issued under this section in order to mitigate any newly created impact on adjacent property.

**G. Nonconforming Structures within the Floodplain and/or Floodway**

1. No such use shall be expanded, changed, enlarged, or altered in a way which increases its nonconformity.
2. Any structural alteration or addition to a nonconforming structure or nonconforming use which would result in increasing the flood damage potential of that structure or use shall be protected to the Regulatory Flood Protection Elevation in accordance with any of the elevation on fill or floodproofing techniques (i.e., FP-1 thru FP-4 floodproofing classifications) allowable in the State Building Code, except as further restricted in numbers 3. and 4. below.
3. The cost of all structural alterations or additions to any nonconforming structure over the life of the structure shall not exceed 50 percent of the market value of the structure unless the conditions of this Section are satisfied. The cost of all structural alterations and additions must include all costs such as construction materials and a reasonable cost placed on all manpower or labor. If the cost of all previous and proposed alterations and additions exceeds 50 percent of the market value of the structure, then the structure must meet the standards of this Article, Section 12.1, Section F., 2. Floodway District and Section 12.1, Section F., 3. Flood Fringe District of this Code for the new

structures depending upon whether the structure is in the Floodway or Flood Fringe District, respectively.

4. If a substantial improvement occurs, as defined in Article 21 of the Land Development Code, from any combination of a building addition to the outside dimensions of the existing building or a rehabilitation, reconstruction, alteration, or other improvement to the inside dimensions of an existing nonconforming building, then the building addition and the existing nonconforming building must meet the requirements of this Article, Section 12.1, Section F., 2. Floodway District and Section 12.1, Section F., 3. Flood Fringe District of this Code for new structures, depending upon whether the structure is in the Floodway or Flood Fringe District, respectively.
5. If any nonconforming use or structure is substantially damaged, as defined in Article 21 of the Land Development Code, it shall not be reconstructed except in conformity with the provisions of the Land Development Code. The applicable provisions for establishing new uses or new structures in this Article, Section 12.1, Section F., 2. Floodway District and Section 12.1, Section F., 3. Flood Fringe District of this Code or Section 12.1, Section F., 4. General Floodplain District of this Code will apply depending upon whether the use or structure is in the Floodway, Flood Fringe, or General Flood Plain District, respectively.

**20.5 NONCONFORMING LOTS OF RECORD**

This section regulates lots of record which at one time were conforming, but which no longer conform to the lot area requirements of the zoning district in which they are located.

- A. If there are two (2) or more lots of record with contiguous frontage in common ownership, and one (1) or more of the lots does not meet the requirements for lot width or lot area as established by this Code, the land so involved is considered a single undivided zoning lot for the purposes of this Code. If such zoning lot is comprised of existing lots of record that each meet ninety percent (90%) or more of the required lot width or lot area of the district in which they are located, such lots of record may be used, transferred or conveyed, so long as the remaining lots of record within that zoning lot meet ninety percent (90%) or more of the required lot width or lot area.
- B. A use that is permitted within a zoning district is allowed to be erected upon an existing nonconforming lot of record. A single-family dwelling erected on a single nonconforming lot of record must meet all other zoning district bulk requirements. In addition, the regulations of Table 20-1: Single-Family Lot Coverage on Nonconforming Lots of Record apply to nonconforming lots of record under six-thousand (6,000) square feet:

<b>TABLE 20-1: SINGLE-FAMILY LOT COVERAGE ON NONCONFORMING LOTS OF RECORD</b>	
<b>Lot Area</b>	<b>Maximum Lot Coverage</b>
5,760 - 5,999sf	31%
5,520 - 5,759sf	32%
5,280 - 5,519sf	33%
5,040 - 5,279sf	34%
0 - 5,039sf	35%

## 20.6 NONCONFORMING SIGNS

- A. Signs existing on the effective date of this Code, or any amendments thereto, that do not conform to the regulations of this Code are deemed nonconforming. Nonconforming signs are subject to the regulations of Section 20.4 (Nonconforming Structures).
- B. Nonconforming signs may be continued through normal repair, replacement, restoration, maintenance or improvement; no repair or reconstruction may be made that would create any new nonconformity or increase the degree of any previously existing nonconformity including by increasing the number of nonconforming signs, or the nonconforming sign area or height.
- C. No nonconforming sign can be altered so that the nonconformity is increased or moved to a new location without being brought into compliance with the requirements of this Code.

League of Minnesota Cities

The Minnesota Basic Code

151.58 NONCONFORMING USES.

(A) As required by M.S. ' 462.357, as it may be amended from time to time, any nonconformity, including the lawful use or occupation of land or premises existing at the time of the adoption of these zoning regulations, may be continued, including through repair, replacement, restoration, maintenance or improvement, but not including expansion, unless the nonconformity or occupancy is discontinued for a period of more than one year, or any nonconforming use is destroyed by fire or other peril to the extent of greater than 50% of its market value, and no building permit has been applied for within 180 days of when the property is damaged. In this case, the City Council may impose reasonable conditions upon a building permit in order to mitigate any newly created impact on adjacent property. A subsequent use or occupancy of the land or premises shall be a conforming use or occupancy.

(B) Notwithstanding division (A), the city may regulate the repair, replacement, maintenance, improvement, or expansion of nonconforming uses and structures in floodplain areas to the extent necessary to maintain eligibility in the National Flood Insurance Program and not increase flood damage potential or increase the degree of obstruction of flood flows in the floodway.

(C) Nonconforming shoreland lots of record are subject to the provisions of M.S. ' 462.357, as it may be amended from time to time.

## STAFF REPORT

## Agenda Item 7d.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Clarification of Benefits – non-union Police Officer	<b>Action Required:</b> Approval

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### **Summary:**

The police officer positions of Director of Public Safety, Lieutenant, and Sergeant are not part of a labor union which defines many of the benefits which may be unique to the police department. In order to clarify how these positions are treated in certain areas, it is requested the City Council approve the clarification of benefits letter attached to this report. Benefits are subject to change in the future by the City Council at any time.

### **Financial/Budget:**

The letter affirms what the City is already doing. Therefore, there is no additional financial impact to the City.

### **Council Action:**

Approve the letter and direct staff to place in the employee files as necessary.

### **Attachments:**

1. Clarification of benefits for non-union police officer positions.





# CITY OF CORCORAN

*A Hidden Gem Waiting To Be Discovered*

[www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

November 22, 2021

The purpose of this letter is to memorialize certain benefits for the non-union police officer positions of Director of Public Safety, Lieutenant, and Sergeant. The City Council at its sole discretion may change these benefits in the future as allowed by law.

The City Council acknowledges the following benefits for the positions mentioned above:

1. Injury on Duty

- a. The employee injured on duty shall receive up to one hundred eighty (180) calendar days pay without loss to any accrued sick leave or vacation provided as follows:
  - i. The employee immediately reports the injury as soon as possible to the Director of Public Safety; in the case the injured employee is the Director of Public Safety, the report shall be made to the City Administrator;
  - ii. The injury is of a nature which is covered by Workers Compensation;
  - iii. If requested and paid for by the employer, the employee shall submit to an examination by a competent medical provider of the City's choosing;
  - iv. The employee shall report the amount of worker's compensation to the employer. The employer shall pay the employee the difference between the Worker's Compensation and the employee's regular base salary.

2. Post-Retirement Health Insurance through MSRS

- a. Employee contribution percentage of gross wages based upon years of service to MSRS Post Retirement Health Insurance Savings Plan:
  - i. 0 – 10 years: 2%
  - ii. 11 – 15 years: 3%
  - iii. 16 – 18 years: 4%
  - iv. 19 – 20 years: 5%
  - v. 21 years and over: 6%

3. P.O.S.T. Training/Peace Officer License

- a. The employer will provide for the minimum required hours of the P.O.S.T. training for licensure.
- b. The employer will pay the cost of the employee's Peace Officer License.



# CITY OF CORCORAN

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4. Legal Defense Plan
  - a. The employer will pay the cost of legal defense plan of the City's choosing while an employee of the city.
5. Uniform Allowance
  - a. The employer agrees to provide each new employee with a complete uniform set and all necessary equipment needed to carry out the duties required of the officer for the City of Corcoran.
  - b. The employer shall provide the same annual uniform allowance approved in the labor agreement between the City of Corcoran and the police officers unless otherwise determined by the City Council.
6. Take Home vehicle
  - a. The Public Safety Director is assigned a take-home vehicle as allowed and governed by the employee handbook.

## STAFF REPORT

## Agenda Item 7e.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Interim City Administrator Appointment	<b>Action Required:</b> Approval

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### Summary:

City Administrator Brad Martens resignation is effective November 26, 2021, and it is anticipated that the search for a permanent replacement will be completed in April 2022. Council has requested staff draft a resolution appointing Jessica Beise as Interim City Administrator to serve in that role until a permanent appointment is made. Attached to this report is a resolution making that appointment.

### Financial/Budget:

The resolution includes a wage increase for Jessica to recognize the additional duties she will be taking on in the interim. The City will also recognize a cost savings for not having both salaries for the City Administrator and Administrative Services Director positions.

### Council Action:

Approve the resolution appointing Jessica Beise as Interim City Administrator.

### Attachments:

1. Resolution 2021-127 Appointing Jessica Beise as Interim City Administrator for the City of Corcoran.

**RESOLUTION NO. 2021-127**

**Motion By:**  
**Seconded By:**

**RESOLUTION APPOINTING JESSICA BEISE AS INTERIM CITY ADMINISTRATOR FOR  
THE CITY OF CORCORAN, MINNESOTA**

**WHEREAS**, the City of Corcoran accepted the resignation of City Administrator Brad Martens at the October 28, 2021 City Council meeting with a last day of November 26, 2021; and

**WHEREAS**, the City is in the process of filling the vacancy and wishes to appoint an interim City Administrator for the City.

**NOW, THEREFORE**, the Corcoran City Council **RESOLVES** as follows:

- 1) Jessica Beise is appointed as Interim City Administrator effective November 27, 2021. The appointment is open ended and will remain in effect until terminated or altered by separate action of the City Council, entirely at their discretion.
- 2) Jessica Beise, as Interim City Administrator is authorized to fulfill all duties and responsibilities for the City of Corcoran as City Administrator and is empowered with all authority granted to the City Administrator by the City, during the term of her appointment. This authority shall be in addition to, and not a substitute for, her vested authority as Corcoran Administrative Services Director. Jessica Beise shall be empowered to act on behalf of the City, execute documents, allocate funds, and direct staff as permitted in her capacity as Interim City Administrator, Administrative Services Director, or both.
- 3) Jessica Beise will receive pay at \$54.92 per hour which is the start step of the City Administrator pay grade that will be in place effective January 1, 2022, and shall receive a cell phone allowance of \$50 per month. These compensation amounts shall take effect on November 27, 2021, and shall continue until termination or alteration of the appointment. Jessica Beise shall receive pro-rated allocations of these compensation amounts for any partial months occurring during her appointment.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

**Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November, 2021.**

**RESOLUTION NO. 2021-127**

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**Tom McKee – Mayor**

**ATTEST:**

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**Jessica Beise – Administrative Services Director**

***City Seal***



To: City of Corcoran

From: Kent Torve, PE City Engineer  
Nick Wyers, PE

File: 227701855

Date: November 15, 2021

Subject: CSAH 101 & 105<sup>th</sup> Turn Lane Improvements - Pay Request #1

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### **Council Action Requested**

We recommend approval of Pay Request #1 to Park Construction Company in the amount of \$327,807.46 on the CSAH 101 & 105<sup>th</sup> Avenue Turn Lane Improvements Project.

### **Pay Application Summary**

- Contract Amount - \$337,059.76
- Change Orders to Date - \$0
- Total Complete to Date – \$331,118.65
- Less Retainage - \$3,311.19
- Total This Pay Application - \$327,807.46

### **Project Update**

The CSAH 101 and 105<sup>th</sup> Ave Turn Lane Improvement Project has been substantially completed with removals, grading, pavement construction, erosion control and restoration work completed. Park Construction Company, the contractor on the project, has completed topsoil placement and has seeded the project area with touch up restoration to be completed in the spring.

In accordance with the contract documents, we are recommending retaining 1% of the amount complete, or \$3,311.19, until final restoration is completed in the spring.

### **Financing**

This project would be funded through a developer escrow.

### **Next Steps**

Monitor the establishment of the site restoration and review IC134s for project closeout in the spring.

### **Attachments**

Pay Request #1

NO.	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	COMPLETED TO DATE		LESS PREVIOUS PAYMENTS		CURRENT PAY REQUEST #1	
						QTY	PRICE	QTY	PRICE	QTY	PRICE
<b>BASE BID SCHEDULE</b>											
1	MOBILIZATION & DEMOBILIZATION	LUMP SUM	1	\$ 33,400.00	\$ 33,400.00	1	\$ 33,400.00	0	\$ -	1	\$ 33,400.00
2	TRAFFIC CONTROL	LUMP SUM	1	\$ 3,030.00	\$ 3,030.00	1	\$ 3,030.00	0	\$ -	1	\$ 3,030.00
3	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$ 0.01	\$ 0.01	0	\$ -	0	\$ -	0	\$ -
4	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	1930	\$ 3.667	\$ 7,077.31	1930	\$ 3,667.00	0	\$ -	0	\$ -
5	REMOVE BITUMINOUS PAVEMENT	SQ YD	675	\$ 4.986	\$ 3,366.45	915	\$ 4,986.75	0	\$ -	1930	\$ 7,077.31
6	REMOVE SIGN & POST	EACH	1	\$ 101.00	\$ 101.00	1	\$ 101.00	0	\$ -	1	\$ 101.00
7	SALVAGE & REINSTALL SIGN & POST	EACH	1	\$ 354.00	\$ 354.00	1	\$ 354.00	0	\$ -	1	\$ 354.00
8	PAVEMENT MARKING REMOVAL	LUMP SUM	1	\$ 3,840.00	\$ 3,840.00	1	\$ 3,840.00	0	\$ -	1	\$ 3,840.00
9	SALVAGE & RESURFACE EXISTING TOPSOIL	LUMP SUM	1	\$ 9,610.00	\$ 9,610.00	1	\$ 9,610.00	0	\$ -	1	\$ 9,610.00
10	COMMON EXCAVATION - ONSITE (EV) (P)	CU YD	1050	\$ 12.00	\$ 12,600.00	1480	\$ 17,760.00	0	\$ -	1480	\$ 17,760.00
11	COMMON EXCAVATION - OFFSITE (LV)	CU YD	650	\$ 19.00	\$ 12,350.00	254	\$ 4,826.00	0	\$ -	254	\$ 4,826.00
12	COMMON BORROW (MOD) (LV)	CU YD	100	\$ 19.40	\$ 1,940.00	1456	\$ 28,246.40	0	\$ -	1456	\$ 28,246.40
13	SUBGRADE CORRECTION EXCAVATION - OFFSITE (LV)	CU YD	100	\$ 19.00	\$ 1,900.00	26	\$ 494.00	0	\$ -	26	\$ 494.00
14	GEOTEXTILE FABRIC - TYPE V WOVEN	SQ YD	3670	\$ 1.00	\$ 3,670.00	3670	\$ 3,670.00	0	\$ -	3670	\$ 3,670.00
15	AGGREGATE BASE CLASS 5, 100% CRUSHED	TON	50	\$ 27.30	\$ 1,365.00	0	\$ -	0	\$ -	0	\$ -
16	AGGREGATE SURFACING CLASS 2, 100% CRUSHED LIMESTONE	TON	2020	\$ 24.10	\$ 48,682.00	2043	\$ 49,236.30	0	\$ -	2043	\$ 49,236.30
17	STABILIZING AGGREGATE, 3" MINUS	TON	200	\$ 35.10	\$ 7,020.00	0	\$ -	0	\$ -	0	\$ -
18	BITUMINOUS MATERIAL FOR TACK COAT	GAL	190	\$ 10.00	\$ 1,900.00	675	\$ 6,750.00	0	\$ -	675	\$ 6,750.00
19	TYPE SP 12.5 WEARING COURSE MIXTURE (3,C)	TON	910	\$ 73.80	\$ 67,158.00	1084	\$ 79,999.20	0	\$ -	1084	\$ 79,999.20
20	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	910	\$ 75.30	\$ 68,523.00	598	\$ 45,029.40	0	\$ -	598	\$ 45,029.40
21	SIGN PANELS TYPE C	SQ FT	15	\$ 60.60	\$ 909.00	15	\$ 909.00	0	\$ -	15	\$ 909.00
22	INSTALL SIGN TYPE C AND POST	EACH	2	\$ 303.00	\$ 606.00	2	\$ 606.00	0	\$ -	2	\$ 606.00
23	HYDROSEED - SEED MIXTURE 22-111	SQ YD	3365	\$ 0.35	\$ 1,177.75	0	\$ -	0	\$ -	0	\$ -
24	SEED MIXTURE 25-141	SQ YD	3365	\$ 0.25	\$ 841.25	4400	\$ 1,100.00	0	\$ -	4400	\$ 1,100.00
25	SILT FENCE, TYPE MS - MAINTAINED	LIN FT	1760	\$ 2.55	\$ 4,488.00	686	\$ 1,749.30	0	\$ -	686	\$ 1,749.30
26	BALE BARRIERS - MAINTAINED	LIN FT	520	\$ 8.10	\$ 4,212.00	515	\$ 4,171.50	0	\$ -	515	\$ 4,171.50
27	CULVERT PROTECTION - MAINTAINED	EACH	1	\$ 152.00	\$ 152.00	0	\$ -	0	\$ -	0	\$ -
28	STREET SWEEPER (WITH PICKUP BROOM)	TON	30	\$ 152.00	\$ 4,560.00	0	\$ -	0	\$ -	0	\$ -
29	WATER FOR DUST CONTROL	MGAL	50	\$ 28.00	\$ 1,400.00	0	\$ -	0	\$ -	0	\$ -
30	EROSION CONTROL BLANKET CATEGORY 3N STRAW 25	SQ YD	3365	\$ 1.20	\$ 4,038.00	4400	\$ 5,280.00	0	\$ -	4400	\$ 5,280.00
31	PAVEMENT MESSAGE (RT ARROW) THERMOPLASTIC (GROUND-IN)	EACH	2	\$ 500.00	\$ 1,000.00	2	\$ 1,000.00	0	\$ -	2	\$ 1,000.00
32	PAVEMENT MESSAGE (LT ARROW) THERMOPLASTIC (GROUND-IN)	EACH	2	\$ 500.00	\$ 1,000.00	2	\$ 1,000.00	0	\$ -	2	\$ 1,000.00
33	4" DOUBLE SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	3300	\$ 3.05	\$ 10,065.00	3300	\$ 10,065.00	0	\$ -	3300	\$ 10,065.00
34	6" SOLID LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	1750	\$ 2.00	\$ 3,500.00	1749	\$ 3,498.00	0	\$ -	1749	\$ 3,498.00
35	4" DOTTED LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	560	\$ 1.50	\$ 840.00	148	\$ 222.00	0	\$ -	148	\$ 222.00
36	4" SOLID LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	500	\$ 1.50	\$ 750.00	510	\$ 765.00	0	\$ -	510	\$ 765.00
37	24" SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	430	\$ 14.10	\$ 6,063.00	291	\$ 4,103.10	0	\$ -	291	\$ 4,103.10
38	24" SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	430	\$ 14.10	\$ 6,063.00	291	\$ 4,103.10	0	\$ -	291	\$ 4,103.10
<b>TOTAL BASE BID</b>				<b>\$</b>	<b>\$ 337,059.76</b>	<b>\$</b>	<b>\$ 331,118.65</b>	<b>\$</b>	<b>\$ -</b>	<b>\$</b>	<b>\$ 331,118.65</b>
<b>TOTAL CONTRACT AMOUNT</b>				<b>\$</b>	<b>\$ 337,059.76</b>	<b>\$</b>	<b>\$ 331,118.65</b>	<b>\$</b>	<b>\$ -</b>	<b>\$</b>	<b>\$ 331,118.65</b>

GENERAL CONTRACTOR	COMPLETED TO DATE	LESS PREVIOUS PAYMENTS	PAYMENT REQUEST 1
Park Construction Companies 1481 81st Avenue NE Minneapolis, MN 55432	Subtotal: \$ 331,118.65 1% Retainage: \$ 3,311.19 Total: \$ 327,807.46	Subtotal: \$ - 1% Retainage: \$ - Total: \$ -	Subtotal: \$ 331,118.65 1% Retainage: \$ 3,311.19 Total: \$ 327,807.46

**SECTION 00 62 76  
APPLICATION FOR PAYMENT FORM**

OWNER: City of Corcoran  
PROJECT: CSAH 101 & 105th Avenue Turn Lane Improvements  
CONTRACTOR: Park Construction Company

PAY ESTIMATE NO. 1

Original Contract Amount:	<u>\$ 337,059.76</u>
Contract Changes approved to Date (List Change Order Numbers):	<u>N/A</u>
Revised Contract Price :	<u>\$ 337,059.76</u>
Work Completed to Date (attached):	<u>\$ 331,118.65</u>
Retainage to Date, 1%:	<u>\$ 3,311.19</u>
Work Completed to Date Less Retainage to Date:	<u>\$ 327,807.46</u>
Total Amount Previously Certified:	<u>\$ -</u>
Payment Request This Estimate:	<u>\$ 327,807.46</u>

I declare under penalty of perjury that this account, claim, or demand is just and correct and that no part of it has been paid.



---

CONTRACTOR

**Project No. 227701855**



**CERTIFICATE OF CONTRACTOR**

I hereby certify that the work and the materials supplied to date, as shown on the request for payment, represents the actual value of accomplishment under the terms of the contract dated 08/26/2021 between between the City of Corcoran (OWNER) and Park Construction Company (CONTRACTOR) and all authorized changes therto:

PARK CONSTRUCTION COMPANY

By



CHARLIE BORENE

Title

VICE PRESIDENT

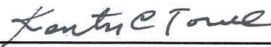
Approval:

(CONTRACTOR)



Date 11/12/2021

STANTEC CONSULTING SERVICES, INC.



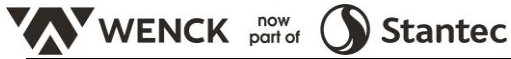
Date 11/16/2021

CITY OF CORCORAN

Date \_\_\_\_\_

END OF SECTION

**Project No. 227701855**



To: City of Corcoran

From: Kent Torve, PE City Engineer  
Nick Wyers, PE

File: 227704153

Date: November 15, 2021

Subject: Corcoran Trail Improvement Project - Pay Request #1

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### **Council Action Requested**

We recommend approval of Pay Request #1 to Park Construction Company in the amount of \$401,411.49 on the Corcoran Trail Street Improvements Project.

### **Pay Application Summary**

- Contract Amount - \$510,438.35
- Change Orders to Date - \$0
- Total Complete to Date – \$405,466.15
- Less Retainage - \$4,054.66
- Total This Pay Application - \$401,411.49

### **Project Update**

The Corcoran Trail Improvement Project has been substantially completed with storm sewer, ditch grading, street construction, erosion control, and site restoration work completed. Park Construction Company, the contractor on the project, has completed topsoil placement and has seeded the project area with touch up restoration to be completed in the spring.

In accordance with the contract documents, we are recommending retaining 1% of the amount complete, or \$4,054.66, until final restoration is completed in the spring.

Project savings were realized through selectively using drain tile within portions of the roadway, limiting project disturbance areas, and closely monitoring the project scopes.

### **Financing**

This project would be funded through a combination of City funds, and special assessments which were finalized in the spring. The total project costs are still in excess of the total assessment amount for the project.

### **Next Steps**

Monitor the establishment of the site restoration and review IC134s for project closeout in the spring.

### **Attachments**

Pay Request #1

NO.	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	COMPLETED TO DATE		LESS PREVIOUS PAYMENTS		CURRENT PAY REQUEST #1	
						QTY	PRICE	QTY	PRICE	QTY	PRICE
<b>BASE BID SCHEDULE</b>											
1	MOBILIZATION & DEMOBILIZATION	LS	1	\$ 43,900.00	\$ 43,900.00	1	\$ 43,900.00	0	\$ -	1	\$ 43,900.00
2	TRAFFIC CONTROL	LS	1	\$ 985.00	\$ 985.00	1	\$ 985.00	0	\$ -	1	\$ 985.00
3	REMOVE STORM SEWER PIPE	LF	165	\$ 15.50	\$ 2,557.50	169	\$ 2,619.50	0	\$ -	169	\$ 2,619.50
4	REMOVE DRIVEWAY CULVERT	LF	210	\$ 15.50	\$ 3,255.00	149	\$ 2,309.50	0	\$ -	149	\$ 2,309.50
5	REMOVE BITUMINOUS PAVEMENT	SY	385	\$ 10.50	\$ 4,042.50	144	\$ 1,512.00	0	\$ -	144	\$ 1,512.00
6	REMOVE CONCRETE DRIVEWAY	SY	90	\$ 14.50	\$ 1,305.00	90	\$ 1,305.00	0	\$ -	90	\$ 1,305.00
7	SALVAGE & RESPREAD DRIVEWAY SURFACING AGGREGATE	SY	130	\$ 11.80	\$ 1,534.00	130	\$ 1,534.00	0	\$ -	130	\$ 1,534.00
8	FULL DEPTH RECLAMATION	SY	11500	\$ 1.50	\$ 17,250.00	11500	\$ 17,250.00	0	\$ -	11500	\$ 17,250.00
9	CLEARING & GRUBBING	RD ST	1	\$ 7,070.00	\$ 7,070.00	1	\$ 7,070.00	0	\$ -	1	\$ 7,070.00
10	ROADWAY PREPARATION	RD ST	40.5	\$ 225.00	\$ 9,112.50	40.5	\$ 9,112.50	0	\$ -	40.5	\$ 9,112.50
11	BITUMINOUS MATERIAL FOR TACK COAT	GAL	600	\$ 2.75	\$ 1,650.00	400	\$ 1,100.00	0	\$ -	400	\$ 1,100.00
12	TYPE SP 9.5 WEARING COURSE MIXTURE (3,B)	TON	1310	\$ 74.70	\$ 97,857.00	978	\$ 73,056.60	0	\$ -	978	\$ 73,056.60
13	TYPE SP 12.5 NON-WEARING COURSE MIXTURE (3,B)	TON	1750	\$ 64.30	\$ 112,525.00	1254	\$ 80,632.20	0	\$ -	1254	\$ 80,632.20
14	AGGREGATE SURFACING CLASS 2	TON	155	\$ 41.10	\$ 6,370.50	120	\$ 4,932.00	0	\$ -	120	\$ 4,932.00
15	EXCAVATE, LOAD, AND HAUL RECLAIM AGGREGATE	CY	650	\$ 12.90	\$ 8,385.00	644	\$ 8,307.60	0	\$ -	644	\$ 8,307.60
16	COMMON EXCAVATION	CY	100	\$ 39.50	\$ 3,950.00	327	\$ 12,916.50	0	\$ -	327	\$ 12,916.50
17	SALVAGE & PLACE RECLAIM AGGREGATE	CY	50	\$ 50.30	\$ 2,515.00	50	\$ 2,515.00	0	\$ -	50	\$ 2,515.00
18	6" PERFORATED PVC SCH 40 DRAIN TILE PIPE	LF	860	\$ 39.00	\$ 33,540.00	360	\$ 14,040.00	0	\$ -	360	\$ 14,040.00
19	8" SOLID PVC SCH 40 STORM SEWER PIPE	LF	85	\$ 58.20	\$ 4,947.00	85	\$ 4,947.00	0	\$ -	85	\$ 4,947.00
20	8" PERFORATED PVC SCH 40 DRAIN TILE PIPE	LF	365	\$ 44.70	\$ 16,315.50	362	\$ 16,181.40	0	\$ -	362	\$ 16,181.40
21	CLEANOUT W/ THREADED CAP	EA	3	\$ 1,150.00	\$ 3,450.00	3	\$ 3,450.00	0	\$ -	3	\$ 3,450.00
22	27" DIAMETER CATCH BASIN	EA	2	\$ 7,220.00	\$ 14,440.00	1	\$ 7,220.00	0	\$ -	1	\$ 7,220.00
23	18" RC PIPE STORM SEWER CLASS V	LF	42	\$ 63.90	\$ 2,683.80	40	\$ 2,556.00	0	\$ -	40	\$ 2,556.00
24	21" RC PIPE STORM SEWER CLASS V	LF	125	\$ 74.30	\$ 9,287.50	94	\$ 6,984.20	0	\$ -	94	\$ 6,984.20
25	24" RC PIPE STORM SEWER CLASS V	LF	121	\$ 90.80	\$ 10,986.80	110	\$ 9,988.00	0	\$ -	110	\$ 9,988.00
26	18" RC FLARED END SECTION W/ TRASHGUARD	EA	2	\$ 1,880.00	\$ 3,760.00	2	\$ 3,760.00	0	\$ -	2	\$ 3,760.00
27	21" RC FLARED END SECTION W/ TRASHGUARD	EA	4	\$ 2,130.00	\$ 8,520.00	4	\$ 8,520.00	0	\$ -	4	\$ 8,520.00
28	24" RC FLARED END SECTION W/ TRASHGUARD	EA	4	\$ 2,290.00	\$ 9,160.00	4	\$ 9,160.00	0	\$ -	4	\$ 9,160.00
29	15" CMP STORM SEWER	LF	165	\$ 55.50	\$ 9,157.50	129	\$ 7,159.50	0	\$ -	129	\$ 7,159.50
30	15" CMP FLARED END SECTION	EA	8	\$ 618.00	\$ 4,944.00	8	\$ 4,944.00	0	\$ -	8	\$ 4,944.00
31	RANDOM RIPRAP CLASS III	CY	60	\$ 142.00	\$ 8,520.00	0	\$ -	0	\$ -	0	\$ -
32	6" CONCRETE DRIVEWAY PAVEMENT	SY	120	\$ 94.50	\$ 11,340.00	90	\$ 8,505.00	0	\$ -	90	\$ 8,505.00
33	3" BITUMINOUS DRIVEWAY PAVEMENT	SY	450	\$ 39.30	\$ 17,685.00	212	\$ 8,331.60	0	\$ -	212	\$ 8,331.60
34	DITCH GRADING	LF	1445	\$ 2.85	\$ 4,118.25	1445	\$ 4,118.25	0	\$ -	1445	\$ 4,118.25
35	TOPSOIL BORROW	CY	175	\$ 38.20	\$ 6,685.00	0	\$ -	0	\$ -	0	\$ -
36	SEEDING - MIXTURE 24-151	SY	3400	\$ 0.20	\$ 680.00	3400	\$ 680.00	0	\$ -	3400	\$ 680.00
37	HYDRAULIC BONDED FIBER MATRIX	SY	1000	\$ 0.25	\$ 250.00	645	\$ 161.25	0	\$ -	645	\$ 161.25
38	STABILIZED CONSTRUCTION EXIT	EA	1	\$ 1,970.00	\$ 1,970.00	0	\$ -	0	\$ -	0	\$ -
39	SEDIMENT CONTROL LOG TYPE STRAW - MAINTAINED	LF	200	\$ 14.20	\$ 2,840.00	909	\$ 12,907.80	0	\$ -	909	\$ 12,907.80
40	EROSION CONTROL BLANKET CATEGORY 3N, STRAW 2S	SY	2400	\$ 1.05	\$ 2,520.00	2755	\$ 2,892.75	0	\$ -	2755	\$ 2,892.75
41	SILT FENCE, TYPE MS - MAINTAINED	LF	850	\$ 2.10	\$ 1,785.00	720	\$ 1,512.00	0	\$ -	720	\$ 1,512.00
42	STORM DRAIN INLET PROTECTION - MAINTAINED	EA	1	\$ 545.00	\$ 545.00	0	\$ -	0	\$ -	0	\$ -
43	CULVERT PROTECTION - MAINTAINED	EA	16	\$ 204.00	\$ 3,264.00	0	\$ -	0	\$ -	0	\$ -
				<b>TOTAL BASE BID</b>	<b>\$ 510,438.35</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>
<b>TOTAL CONTRACT AMOUNT</b>				<b>\$</b>	<b>\$ 510,438.35</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>	<b>\$ 405,466.15</b>

GENERAL CONTRACTOR		COMPLETED TO DATE		LESS PREVIOUS PAYMENTS		PAYMENT REQUEST 1	
Park Construction Companies	Subtotal: \$ 405,466.15	Subtotal: \$ 405,466.15	Subtotal: \$	Subtotal: \$	Subtotal: \$	Subtotal: \$	Subtotal: \$
1481 81st Avenue NE	1% Retainage: \$ 4,054.66	1% Retainage: \$ 4,054.66	5% Retainage: \$	5% Retainage: \$	1% Retainage: \$	1% Retainage: \$	1% Retainage: \$
Minneapolis, MN 55432	Total: \$ 401,411.49	Total: \$ 401,411.49	Total: \$	Total: \$	Total: \$	Total: \$	Total: \$

**SECTION 00 62 76  
APPLICATION FOR PAYMENT FORM**

OWNER: City of Corcoran  
PROJECT: Corcoran Trail Street Improvements  
CONTRACTOR: Park Construction Company

PAY ESTIMATE NO. 1

Original Contract Amount:	<u>\$ 510,438.35</u>
Contract Changes approved to Date (List Change Order Numbers):	<u>N/A</u>
Revised Contract Price :	<u>\$ 510,438.35</u>
Work Completed to Date (attached):	<u>\$ 405,466.15</u>
Retainage to Date, 1%:	<u>\$ 4,054.66</u>
Work Completed to Date Less Retainage to Date:	<u>\$ 401,411.49</u>
Total Amount Previously Certified:	<u>\$ -</u>
Payment Request This Estimate:	<u>\$ 401,411.49</u>

I declare under penalty of perjury that this account, claim, or demand is just and correct and that no part of it has been paid.



\_\_\_\_\_  
CONTRACTOR

**Project No. 227704153**

**CERTIFICATE OF CONTRACTOR**

I hereby certify that the work and the materials supplied to date, as shown on the request for payment, represents the actual value of accomplishment under the terms of the contract dated 08/26/2021 between between the City of Corcoran (OWNER) and Park Construction Company (CONTRACTOR) and all authorized changes therto:

PARK CONSTRUCTION COMPANY

By



CHARLIE BORENE

Title

VICE PRESIDENT

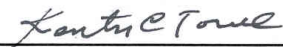
Approval:

(CONTRACTOR)



Date 11/12/2021

STANTEC CONSULTING SERVICES, INC.



Date 11/16/2021

CITY OF CORCORAN

Date

END OF SECTION

**Project No. 227704153**



**TO:** Corcoran City Council

**FROM:** Nicholas Ouellette through Kendra Lindahl, Landform

**DATE:** November 16, 2021 for the November 22, 2021 City Council Meeting

**RE:** Preliminary Plat and Variance Application for Skies Limit LLC for “Bechtold Farm” on the property located at 10165 Bechtold Road (PID 05-119-23-44-0001 and 08-119-23-11-0007) (City File No. 21-030)

**REVIEW DEADLINE:** January 19, 2022

### 1. Description of Request

The applicant is requesting approval of a preliminary plat and variance for two adjoining properties: a 78.96-acre property located at 10165 Bechtold Road and a 36.65-acre vacant parcel located immediately south of 10165 Bechtold Road. The subdivision will result in 12 single-family lots ranging in size from 5.1- to 21.5-acres. The variance is to allow proposed Lot 10, Block 1 to have a driveway in the unimproved public right-of-way that will be dedicated for Garden Lane.

### 2. Parks and Trails Commission Review

The Parks and Trails Commission reviewed the item on October 21, 2021 and recommended acceptance of the two trail easements as proposed by staff and taking the remainder of the dedication as cash-in-lieu of land. The two proposed trail easements are:

- One realigned 20 ft. trail easement connecting the cul-de-sac to the existing trail easement, and
- One 20 ft. trail easement adjacent to the western extent of the Rush Creek 100-year floodplain and all land between the creek and the proposed trail easement.

The recommendation is to accept the floodplain area between Rush Creek and the proposed trail to the west. This area is in the floodplain and will be restricted by a drainage and utility easement. The trail easement would overlay the drainage and utility easement and extend 20-feet west to provide flexibility for construction of the trail in the future. The park dedication and proposed trail easements are delineated in Exhibit A. Credit will be given for the net land area accepted for trail easements and park dedication. The developer will be responsible for revising plans and providing gross and net acreage for this park dedication.

### 3. Planning Commission Review

The Planning Commission reviewed the item at a public hearing during their November 4, 2021 meeting. The applicant was present to speak on the item in addition to several neighboring residents. The Commission voted 4-0 to recommend approval of the preliminary plat and variance for Bechtold Farm.



## 4. Context

### *Background*

In 2009, the City Council approved a lot split that allowed the Bechtold's to subdivide their 46.65-acre parcel to the south into a 36.65-acre outlot and a 10-acre lot at 9901 Bechtold Road. Park dedication was required at 10% of the platted lot (but not the outlot), which required one acre of park land dedication. In lieu of cash, the landowner provided a one-acre park dedication on 10165 Bechtold Road in the form of a trail easement along the west and southwestern property line in the just west of the North Fork of Rush Creek. The City accepted the trail easement on land outside the plat, satisfying the park dedication requirement for 9901 Bechtold Road. The existing trail easement does not count towards the required park land dedication for the Bechtold Farm project. New park land dedication is required.

### *Zoning and Land Use*

The property is zoned Rural Residential (RR) district and is guided Rural/Ag Residential in the Comprehensive Plan. Current land use of the site is agricultural. A farm homestead and accessory structures are located on 10165 Bechtold Road in proposed Lot 1 Block 1. The property is located outside the Metropolitan Urban Service Area (MUSA).

### *Surrounding Properties*

Properties surrounding the site are zoned RR district, guided Rural/Ag Residential and located outside the MUSA. Land use surrounding the site is single-family residential with agricultural use properties situated immediately north and southeast of the site.

### *Natural Characteristics of the Site*

The Natural Resources Inventory (NRI) identifies a high-quality natural community in the southwest corner of 10165 Bechtold Road. The NRI also identifies a stream, the north fork of Rush Creek, and floodplain in the west and northwest areas of 10165 Bechtold Road. The NRI does not identify any natural resources on PID 08-119-23-11-0007. The wetland delineation provided by the applicant identifies 20 wetlands throughout the site.

## 5. Analysis

Staff has reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.



A. Level of City Discretion in Decision-Making

The City’s discretion in approving or denying a preliminary plat is limited to whether or not the proposed plat meets the standards outlined in the City’s subdivision and zoning ordinance. If it meets these standards, the City must approve the preliminary plat.

The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show the variance standards have been met.

B. Consistency with Ordinance Standards

Preliminary Plat

The applicant is proposing a preliminary plat that will subdivide 10165 Bechtold Road and the southern parcel to create 12 lots. 10165 Bechtold Road has eight development rights and the southern parcel (PID 08-119-23-11-0007) has four development rights. The subdivision will exhaust all development rights for the property. The applicant has indicated development will have a homeowner’s association.

The site is located within the RR district and portions of the site are further regulated by the Wetland, Shoreland and Floodplain overlay districts. Overlay district standards apply to the area of a lot within any portion of the aforementioned overlay districts.

*Lot Size and Setbacks*

The following standards apply to this development:

	RR District Standards	Shoreland Overlay Standards
<b>Minimum Lot Area</b>	2 acres	N/A
<b>Minimum Lot Width</b>	200 ft.	100 ft.
<b>Minimum Lot Depth</b>	300 ft.	N/A
<b>Setbacks</b>		
<b>Front, From Major Roadways</b>	100 ft.	N/A
<b>Front, From All Other Streets</b>	50 ft.	N/A
<b>Front Porch</b>	40 ft.	N/A
<b>Side</b>	25 ft.	N/A
<b>Rear</b>	25 ft.	N/A
<b>Structures, Unsewered</b>		100 ft. (from OHWL)
<b>Sewage Treatment Systems</b>		75 ft. (from OHWL)
<b>Maximum Building Height</b>	35 ft.	25 ft.





The applicant is proposing to establish 12 lots of ranging in size from 5.6-acres to 21.5-acres. The lots exceed the minimum area, width and depth standards for RR district zoning and Shoreland Overlay district. The plan complies with the required setbacks for the RR district and Shoreland Overlay district except as noted below.

Lots adjacent to tributary rivers or streams have additional setback standards which are measured from the ordinary high water level (OHWL). A tributary river or stream requires a 100 ft. setback for unsewered structures and a 75 ft. setback for sewage treatment systems. The proposed location of all structures and sewage treatment systems generally meets these standards. However, the primary and alternate septic locations on Lot 6, Block 1 are located within the 75 ft. setback from the OHWL. Staff has included a condition that these proposed septic locations be relocated outside the 75 ft. setback.

The wetland overlay district requires that septic systems must be setback a minimum of 75 ft. from the City approved boundary of the wetland. A number of the proposed primary and alternate septic locations are situated within 75 ft. of a delineated wetland. The primary septic location on Lot 3, Block 1 is within 75 ft. of wetland 10. The alternate location on Lot 5, Block 1 is located within 75 ft. of wetlands 1 towards the east property line. The alternate location on Lot 8, Block 1 is located within 75 ft. of wetland 16. Staff has included a condition these proposed septic locations be relocated to comply with the required wetland setback.

#### *Streets/Access*

The applicant is proposing an extension of Chaparral Lane and dedication of the right-of-way for Garden Lane. Staff worked with the applicant to align the Chaparral Lane extension to Bechtold Road with the existing Chaparral Lane. Two lots (Lot 1, Block 1 and Lot 2, Block 2) will have access from Bechtold Road. The remaining 10 lots will have access from the extension of Chaparral Lane or Garden Lane.

Possible driveway locations are delineated on plans. Access to Lot 10, Block 1 is provided from Chaparral Lane through the unimproved public right-of-way for Garden Lane. The applicant has applied for a variance to allow the private driveway in the Garden Lane public right-of-way. This item is discussed in more detail in the variance section of this report.

The City Engineer noted in their memo the access for Lot 2, Block 2 should be located as close to the north lot line as possible in order to be near the existing access for the lot to the north. The applicant will be required to provide access to Lot 2, Block 2 in this area.

The farm/homestead on Lot 1, Block 1 are remaining and the lot has existing access to Bechtold Road. The applicant has indicated they would consider staff input with consideration for allowing the existing access to Lot 1, Block 1 to remain or changing the access to the extension of Chaparral Lane. This must be addressed prior to final plat.



### *Utilities*

The new lots will be served by private well and septic systems. There is an existing well on Lot 1, Block 1; plans do not show any existing septic. Staff has included a condition that any existing septic systems on Lot 1, Block 1 be shown on plans. The plans show primary and alternative septic locations for each site. The proposed septic locations on Lot 3, Lot 5, and Lot 8 of Block 1 are located within 75 ft. of a wetland edge or the OHWL. Plans must be adjusted to show septic locations comply with the 75 ft. setback from wetlands and the OHWL. The applicant must also obtain preliminary approval of the septic locations from Hennepin County Public Health prior to submittal of final plat application.

### *Grading, Stormwater and Easements*

The applicant has provided drainage and utility easements over wetlands, shoreland, the 100-year floodplain and at the perimeter lot lines. Additionally, the applicant has indicated that the wooded area in the northwest corner of the site will be in a conservation easement required by the watershed. All easements must be clearly delineated on plans. The City Engineer's memo includes a number of items that must be addressed prior to final plat submittal.

The applicant plans to vacate all of the existing drainage and utility easements contained in the south parcel that were dedicated on the recorded plat of Bechtold Family Acres. New drainage and utility easements will be dedicated with the final plat for this project. A vacation application must be submitted with the final plat application.

### *Design and Construction Standards*

All structures located in the flood fringe and shoreland overlay district shall be constructed so that the basement floor, or first floor if there is no basement, is at least two feet above the regional flood elevation. The finished fill elevation for structures must extend 15 ft. beyond the outside limits of the structure and delineated on plans for the final plat.

All structures in the shoreland overlay district are limited to a maximum of 25 ft. in height. Staff has included a condition that the elevation requirements and height restrictions must be shown on final plat plans for any structures within the shoreland overlay district.

The City Engineer has noted many of the house pad locations appear difficult with existing grades and/or may be affected by areas of ponding. The applicant must comply with all requirements noted in the City Engineer's memo dated October 25, 2021.

### *Existing Conditions*

The applicant has indicated the farm/homestead on Lot 1, Block 1 will be sold as-is. Lot 1 Block 1 is 10 acres and lots  $\geq 10$  acres are allowed to exceed the 3,969 sq. ft. accumulated footprint for detached accessory buildings. The buildings are an existing condition that is allowed to remain, and no changes



are required. Staff has included a condition the applicant must delineate the dimensions of all existing structures on Lot 1, Block 1.

#### *Shoreland Overlay District*

The northwest portion of the site is in the shoreland overlay district from the north fork of Rush Creek. The north fork of Rush Creek is a tributary river/stream and is subject to the standards in Section 1050.020 of the City Code. There is no minimum lot size requirement for rivers and streams. The lot width and ordinary high water line (OHWL) setback standards have been included in the table shown below. The shoreland district extends 300 ft. from a river or stream *or the landward extent of a floodplain designated by ordinance on a river or stream, whichever is greater*. The shoreland district affects Lots 3, 4, 5, 6, 7 and possibly Lot 8 in Block 1.

Lots within the shoreland overlay district are limited to a maximum impervious surface coverage limit of 25% for the portion of the lot in the shoreland overlay. Staff has included a condition that impervious surface coverage is restricted to 25% of the lot area for that portion of the lot.

#### *Floodplain*

Plans must clearly show the 100-year floodplain for review and approval by the City engineer. A drainage and utility easement will be required over all wetlands and floodplains. It is important to properly delineate the 100-year floodplain so the correct standards and requirements are applied to each lot. The location of the 100-year floodplain can impact impervious surface coverage, building height, easements, lot width and setback standards.

#### *Wetlands*

The applicant has provided an approved wetland delineation report conducted by Kjolhaug Environmental. Where acceptable natural vegetation exists in buffer strip areas, the retention of such vegetation in an undisturbed state is preferred. Where wetlands are disturbed or no vegetation exists, they must be planted with wetland buffer vegetation as described in Section 1050.010, Subd, 8 of the Zoning Ordinances.

Wetland buffers delineated on the plans are 25 ft. in width as required for medium quality wetlands.

Monument signs are also required and must be shown on plans for the final plat. The large number of wetlands and variability of their shape requires a large number of wetland buffer monuments to be installed. The applicant has provided additional wetland buffer in some places to lower the number of required wetland buffer monuments. Staff noted locations along the wetland buffer contour that are missing monuments, or which could be adjusted with further wetland buffer averaging. Staff will continue to work with the applicant to appropriately place wetland buffer monuments.



The applicant has indicated a wetland buffer planting and maintenance plan will be included with the final design when submitted for final plat approval. Staff has included this as a condition with preliminary plat approval.

### *Public Safety*

Public Safety Committee reviewed the plans and noted no concerns. The Public Safety Committee did stipulate that if the proposed road meets City width and turnaround requirements a second access point would not be necessary.

### *Landscaping*

No landscape plan has been provided. However, the plans delineate tree preservation in the southwest and northwest corners of 10165 Bechtold Road. The NRI identifies a high-quality natural community in the southwest corner of 10165 Bechtold Road.

Section 1060.070 of the Zoning Ordinance requires one overstory tree to be planted on each of the new lots. Plans must be updated to show one overstory tree per new lot prior to final plat submittal.

### *Park Dedication*

Under the current ordinance, park dedication of land is required at 4% of the net pre-development area for Rural/Ag Residential land. Park dedication is only taken for newly created lots (11 new lots and one lot for the existing home). The ordinance would require 3.55 net acres of park dedication for the approximately 88.75 net acres (115.61 gross acres) being platted. Park dedication credits would be given for any trail easements taken for off-road trails shown on the Comprehensive Plan. Only new trail easements for this plat would receive credit towards park dedication requirements.

The Comprehensive Plan does not indicate any parks in the area but does identify a planned off-road trail. The existing off-road trail easement is located in forested areas and crosses Rush Creek in three locations. These factors may reduce flexibility for trail placement and increase costs to establish and maintain the trail. When the trail is ultimately constructed, the number of creek crossings should be limited to reduce City costs for construction and maintenance.

At the request of City staff, the applicant provided a 581 ft. long and 20 ft. wide trail easement to connect the existing trail easement to Chaparral Lane. The applicant trail easement is 0.27 (gross) acres in size and is situated along the south property line of proposed Lot 6, Block 1. Upon further review, City staff expressed concern the existing trail easement was not appropriately located for a future off-road trail with respect to the potential impacts wetlands and the floodplain may have on the construction and maintenance of the trail. Bridges and boardwalks may be required which will increase costs associated with the trail.

Staff recommend adjusting the trail easement to connect with the existing trail easement where the fewest creek crossings would be needed. The applicant may consider adjusting the lot line between



Proposed Lot 6 and Lot 7, Block 1 to reflect the staff adjusted trail easement. Approximately 0.16 acres of the proposed trail easement are located in the floodplain and shall not be considered in the parkland contribution to the City. The remaining 0.11-acres of land in the proposed trail easement would provide 3.1% of the 3.55 acres required for park dedication.

Staff recommends requiring dedication of the area between Rush Creek and the western extent of the 100-year floodplain plus a 20 ft. trail easement beyond the 100-year floodplain for park dedication. This recommendation is made in order to maximize flexibility for trail placement. The proposed trail easement is approximately 0.42 net acres and would provide 11.8% of the 3.55 acres required for park dedication. The Parks and Trails Commission recommended approval of the staff adjusted trail easement and the new proposed trail easement west of the Rush Creek floodplain.

The adjusted trail and staff proposed trail easements would provide a combined 0.53 net acres (0.69 gross acres) of park dedication. The trail easements would provide approximately 15% of the 3.55 acres required for park dedication. The developer would pay park dedication as cash-in-lieu for the remaining value of park dedication required.

Exhibit A delineates the location of land in the floodplain area west of Rush Creek, existing trail easement, proposed trail easement and the adjusted trail easement. Staff has included a condition the applicant must provide graphics showing the updated gross and net dedication areas prior to final plat.

For residential developments, the current cash-in-lieu of land fee has been calculated on the per capita share of park system costs at \$4,628 per single family unit. This calculation is shown below. The proposed trail easement provides a connection between the existing trail easement and the proposed public right of way. The calculations below outline the park dedication fees based on the staff recommended plan.

Staff recommends the City acquire the approximately 3.15 gross acres of floodplain area west of Rush Creek, the amended and proposed trail easements and the remainder of the park dedication be cash-in-lieu of land. Calculations below are only an approximation. As noted earlier in this section, the applicant will provide graphics with updated gross and net dedication areas to properly calculate the park dedication fee. If the City followed the adopted policy to only give credit for net trail area and pay the remaining as cash-in lieu of the park dedication fee is estimated as follows:

11 Single Family Units x \$4,628 = \$50,908  
15% of Required Park Land Credit = \$7,636.20  
**TOTAL = \$43,271.80**

The final park dedication calculation will be based on final land area calculations and the fee schedule in place at the time of release of the final plat.

Staff will continue to work with the applicant between the preliminary and final plat to update plans to appropriately accommodate the proposed off-road trail.



## Variance

The applicant is requesting a variance so that Lot 10, Block 1 can be access through a private drive located in the unimproved public right-of-way for Garden Lane via a temporary driveway “encroachment agreement”.

*A. That there are practical difficulties in complying with the Zoning Ordinance.*

The applicant has modified their original plans numerous times at the request of City staff to accommodate planning and engineering concerns. Section 945.020, Subd. 1, requires each lot “to abut and have direct access to an improved street or private drive”. There is practical difficulty in constructing the 1757 ft. extension of Garden Lane from Chaparral Lane that would only be needed to serve one lot. The easement is also very close to the existing house at 9927 Garden Lane and would significantly impact the homeowner. The full construction of Garden Lane is not warranted at this time.

*B. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The conditions upon which this variance is based are unique to this parcel and were not created by the landowner. The most viable second entrance point to the subdivision is through an extension of Garden Lane. There is an existing easement for the extension of Garden Lane through 9927 Garden Lane which abuts the southwestern most portion of the site; however, the new public street would be constructed very close to the existing home and would have a significant impact on that homeowner and would have limited value to the new development. Staff required the applicant to provide a right-of-way for the extension of Garden Lane and a street could be constructed in the future if warranted.

*C. That granting of the variation will not alter the essential character of the locality.*

Granting the variation will not alter the essential character of the locality. The access to Lot 10 will simply appear as a long driveway and right-of-way would be preserved for a future public street.

*D. The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

Lot 10, Block 1 and the driveway will be indistinguishable from the other lots in this development. When Garden Lane is constructed in the future, Lot 10, Block 1 will have direct access to an improved road in compliance with the Subdivision Ordinance.

*E. The variance is consistent with the Comprehensive Plan.*

The variance to allow Lot 10, Block 1 access on unimproved Garden Lane public right-of-way is consistent with the Comprehensive Plan for Rural/Ag Residential. The lot and driveway will be similar in appearance to other homes in this development and will minimize impacts on neighboring properties.



F. *The City may impose conditions on the variance to address the impact of the variance.*

The driveway will be maintained by the homeowner and will be removed from the Garden Lane public right-of-way when the street is constructed. Access to Lot 10, Block 1 will be from Garden Lane once the street is constructed.

### Summary

Staff finds that the proposed preliminary plat and variance are generally consistent with the City Comprehensive plan and ordinance goals.

If the Council finds that the variance standards have not been met for the variance, they could deny the variance and provide findings of fact for denial.

## **6. Recommendation**

Move to adopt Resolution 2021-129 approving the preliminary plat and variance as recommended by the Planning Commission.

### **Attachments**

1. Resolution 2021-129 Approving the Preliminary Plat and Variance
2. Site Location Map
3. Engineering Memo dated October 25, 2021
4. Public Safety Memo dated July 14, 2021
5. Applicant Narrative dated September 20, 2021
6. Variance Narrative dated September 21, 2021
7. Site Plans dated October 6, 2021
8. Trail Easement recorded December 22, 2009
9. Exhibit A – Trail easement area
10. Comprehensive Plan Parks and Trails Plan Map
11. Comprehensive Plan Natural Resources Inventory

**RESOLUTION NO. 2021-129**

**Motion By:**  
**Seconded By:**

**A RESOLUTION APPROVING A PRELIMINARY PLAT AND VARIANCE FOR  
“BECHTOLD FARMS” ON THE 116.61-ACRE SITE AT 10165 BECHTOLD ROAD  
(PID 05-119-23-44-0001 AND 08-119-23-11-0007) (CITY FILE 20-030)**

**WHEREAS**, Skies Limit LLC (“the applicant”) has requested approval of a preliminary plat to create 12 lots from two existing parcels legal described as:

SEE ATTACHMENT A

WHEREAS, the applicant has also requested approval of a variance to allow private drive access through the unimproved Garden Lane right-of-way, and;

WHEREAS; the Planning Commission reviewed the preliminary plat and variance at a duly called public hearing and recommended approval, and;

**NOW, THEREFORE, BE IT RESOLVED** that the Corcoran City Council approves the request for a preliminary plat and variance subject to the following findings and conditions:

1. A preliminary plat is approved, in accordance with the plans received by the City on June 15, 2021 and revisions received on June 28, September 21, and October 7, 2021, except as amended by this resolution.
2. The requested variance to allow Lot 10 Block 1 to access Bechtold Rd through a private drive located in the unimproved Garden Lane right-of-way via a temporary driveway “encroachment agreement” is approved based on the following findings:
  - a. That there are practical difficulties in complying with the Zoning Ordinance. The applicant has modified their original plans numerous times at the request of City staff to accommodate planning and engineering concerns. Section 945.020, Subd. 1, requires each lot “to abut and have direct access to an improved street or private drive”. There is practical difficulty in constructing the 1757 ft. extension of Garden Lane from Chaparral Lane that would only be needed to serve one lot. The easement is also very close to the existing house at 9927 Garden Lane and would significantly impact the homeowner. The full construction of Garden Lane is not warranted at this time.
  - b. That the conditions upon which a petition for variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner. The most viable option for a second entrance to the subdivision is through the extension of Garden Lane. There is an existing easement for the extension of Garden Lane through 9927 Garden Lane which abuts the southwestern most portion of the site; however, the new public street would be constructed very close to the existing home and will have a significant impact on that homeowner while providing limited value to the new development. Staff required the applicant to provide a right-of-way for the extension of Garden Lane and a street could be constructed in the future if warranted.



**RESOLUTION NO. 2021-129**

- c. That granting the variation will not alter the essential character of the locality. Granting the variation will not alter the essential character of the locality. The access to Lot 10 will simply appear as a long driveway and right-of-way would be preserved for a future public street.
  - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. Lot 10, Block 1 and the driveway will be indistinguishable from the other lots in this development. When Garden Lane is constructed in the future, Lot 10, Block 1 will have direct access to an improved road in compliance with the Subdivision Ordinance.
  - e. The variance is consistent with the Comprehensive Plan. The variance way is consistent with the Comprehensive Plan for Rural/Ag Residential. The lot and driveway will be similar in appearance to other homes in this development and will minimize impacts on neighboring properties.
  - f. The City may impose conditions on the variance to address the impact of the variance. The driveway will be maintained by the homeowner and will be removed from the Garden Lane public right-of-way when the street is constructed. Access to Lot 10, Block 1 will be from Garden Lane once the street is constructed.
3. There are no development rights remaining after land is platted.
4. The driveway for Lot 10, Block 1 in the unimproved Garden Lane public right-of-way must be removed once the street is improved. Lot 10, Block 1 will have direct access from Garden Lane once the road is improved.
5. Lots within the Shoreland Overlay district are limited to a maximum impervious surface coverage limit of 25% for the portion of the lot in the shoreland overlay.
  - a. Homes located within Shoreland Overlay District are limited to a 25 ft. maximum building height.
6. A vacation application must be submitted with the final plat application.
7. Park dedication shall be a combination of land for the trail easement and cash-in-lieu of and for the 11 new lots, subject to the park dedication fees adopted at the time the final plat is released for filing.
  - a. Park dedication shall be as shown on "Exhibit A – Trail easement area" in the Council packet.
  - b. The Applicant must provide the City with updated gross and net park dedication areas to properly calculate the park dedication fee.
8. Prior to submittal of final plat:
  - a. The applicant must comply with all conditions in the City Engineer's memo dated October 25, 2021.
  - b. Plans must be revised to show the finished fill elevation for structures must extend 15 ft. beyond the outside limits of the structure.

**RESOLUTION NO. 2021-129**

- c. The preliminary plat must be revised to show all drainage and utility easements, trail easements and conservation easements.
  - d. Plans must be revised to clearly show the:
    - i. 100-year floodplain
    - ii. Shoreland Overlay District
    - iii. Ordinary high water line (OHWL)
    - iv. Wetland boundaries
  - e. Each lot must show one overstory tree to be planted on the lot.
  - f. Plans must be updated to show the proposed trail easements and park land dedication area.
  - g. Structures to be preserved on Lot 1, Block 1 must be dimensioned on plans.
  - h. Applicant must submit a planting and maintenance plan for wetland buffers and monuments.
  - i. Plans must comply with the wetland buffer and setback requirements in Section 1050.010 of the Zoning Ordinance.
  - j. Plans must show compliance with wetland buffer strip planting requirements in Section 1050.010 of the Zoning Ordinance.
  - k. Plans must be revised to relocate septic systems to comply with the 75 ft. minimum setback from wetlands and the ordinary high water line.
  - l. Obtain preliminary approval of the septic locations from Hennepin County Public Health.
9. Prior to issuance of building permits:
- a. Wetland buffer monument signs shall be purchased from the City and must be installed by the applicant.
  - b. Wetland buffer monument signs must be installed as required by Section 1050.010, Subd. 7, of the Zoning Ordinance.
  - c. Wetland buffer plantings must be installed by the developer in accordance with Section 1050.010, Subd. 8, of the Zoning Ordinance.
  - d. Record the approving resolutions, mylar and all related documents at Hennepin County and provide proof of recording to the City.
  - e. The applicant must enter into a development contract with the City as outlined in Section 960 of the Zoning Ordinance.
10. Approval of the preliminary plat shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of final plat.

**RESOLUTION NO. 2021-129**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2021-129**

**ATTACHMENT A**

The South Half of the Southeast Quart of Section 5, Township 119, Range 23, Hennepin County, Minnesota, except road.

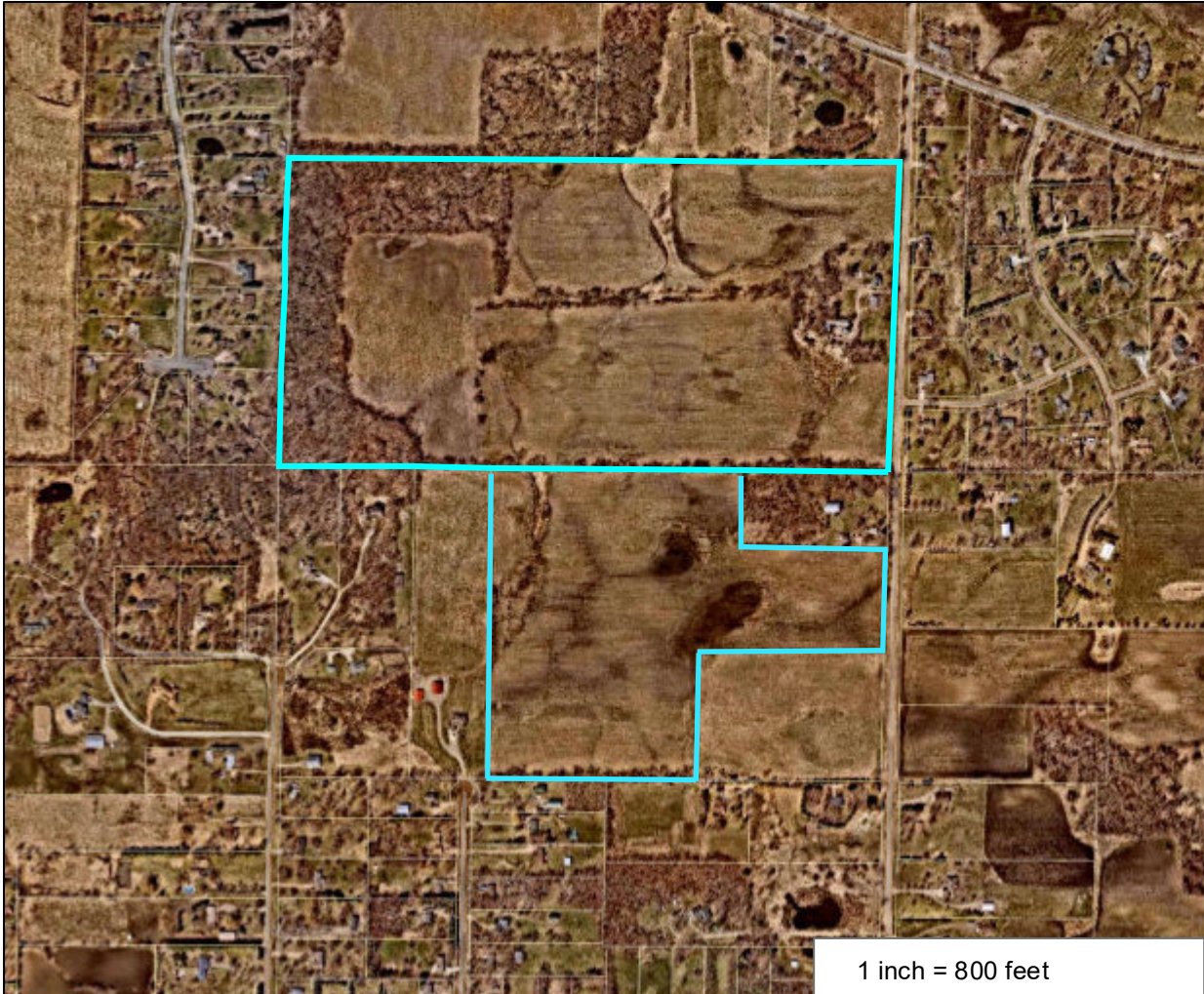
*AND*

Outlot A, BECHTOLD FAMILY ACRES, Hennepin County, Minnesota, according to the recorded plat thereof.



# Hennepin County Property Map

Date: 10/11/2021



PARCEL ID: 0511923440001

OWNER NAME: A R & M E Bechtold Trustees

PARCEL ADDRESS: 10165 Bechtold Rd, Corcoran MN 55374

PARCEL AREA: 78.96 acres, 3,439,554 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Farm  
HOMESTEAD: Homestead  
MARKET VALUE: \$784,500  
TAX TOTAL: \$5,837.48

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Farm  
HOMESTEAD: Homestead  
MARKET VALUE: \$701,400

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To:	Kevin Mattson, City of Corcoran	From:	Kent Torve, City Engineer Steve Hegland, PE
Project:	Bechtold Farms Preliminary Plat Review	Date:	10/25/2021

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**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Preliminary Plat and Storm Sewer Plans, prepared by Otto Associates, Dated September 21, 2021
2. Previous Stantec Memo and City Letter with comments, Notes/comments added by Skies Limits LLC, Dated July 12, 2021.
3. HydroCAD Model for Existing and Proposed conditions, dated September 20, 2021
4. Storm Structure Detail Plans.
5. Soil Boring Report, Submitted by Otto Associates, Dated May 24, 2021
6. Stormwater Management Plan, Prepared by Otto Associates, Revised September 20, 2021.

**Comments:**General:

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. These comments are based on a preliminary review of the information provided. They are intended to assist the applicant with future submittals. Additional comments and a more detailed review will be provided on future submittals.
3. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Corcoran.
4. Final approval by the Elm Creek Watershed Management Commission and MPCA must be attained before any site grading or activity may commence.
5. Individual lot plans are required at Final Plat. These shall show easements, driveways, wetlands, septic sites, site specific grading, private well locations and setbacks.

Plat:

1. The applicant shall provide drainage and utilities easements per the City Code. Any existing easements shall be clearly shown on site plans.

2. All buffer and setback requirements along Rush Creek shall be met and clearly identified in the plans.
3. All retaining walls, grading features, or other site improvements located within a D&U Easement or ROW, even if shown on site plans shall require an encroachment agreement.

#### Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction. Please use a separate Plan sheet and do so in accordance with MPCA SWPPP guidelines.

#### Transportation

1. The driveway for Lot 10 Block 1 will be located within the City ROW upon the initial build. An agreement will be necessary between the city and property for this drive for when in the future, the street is constructed.
2. Access for Lot 2 Block 2 should be located as close to the north lot line as possible to be near the existing access for the lot to the north.
3. The applicant is using a rural road section. All ditch grading and culvert crossings shall meet the necessary City standards.

#### Grading /Stormwater

1. Reference the City of Corcoran Stormwater Guidelines for Development Review for standards for stormwater systems and modeling.
2. Please provide City of Corcoran Standard Plate for the wetland buffer monuments being used (GEN-8).
3. Provide grading for individual lots to confirm proposed drainage boundary delineation and to confirm that grading is workable. Many of the current house pad elevations or suggested grading appears difficult with existing grades shown and/or may be impacted by areas of ponding. For example, Lot 5's house pad has a stated low opening of 951.8 and a ground elevation of 959.8 with an intended 2% grade down to the roadway ditch (elevation 960.0). Each lot will require individual grading for the proposed house style. Additional examples include:
  - o Delineated Wetland 9 has a HWL of 959.6, but the Lot 3 low opening is only 950.1.
  - o Lot 5's adjacent pond has a HWL of 952.3 and an EOF of 953.3 with a low opening of 951.8. Proposed grading of lot is needed to clear up these issues.
  - o Delineated Wetland 7 has a HWL of 955.6, but the lot 7 opening is only 957.1.
4. Low Opening is a minimum of one foot above the EOF and two feet above the HWL. WMO also has freeboard requirements that apply.
5. As noted above, some house pad low openings cannot be evaluated without additional information.
6. Sloped wetlands do not have a fixed HWL and therefore the City's freeboard requirement of 2' from HWL to low opening applies from the wetland boundary elevation. The

wetland boundary elevation will be considered the HWL for the purposes of freeboard for wetlands with overland outflow within an easement.

- For example, Lots 1 and 2 have a sloped wetland (Delineated Wetland 11) with a boundary elevation closest to the housing pads of approximately 969.0. Therefore, the low opening must be raised to 971.0 for both lots unless alternative grading and design is provided to manage discharge.
  - Delineated Wetland 16's boundary elevation closest to Lot 10 is 964.0. As noted, low opening would be a minimum of at least 966.0.
7. Label all EOF locations of wetlands that create ponding on plans. Many EOFs are still missing. Other examples are listed below.
    - Delineated Wetland 9 has 2 EOFs that are modeled, but not labeled.
    - Delineated Wetland 11 has a modeled EOF of 970.5, but the existing grading indicates a spot elevation of 968.63. Please clarify.
    - Delineated Wetland 20 has a modeled EOF of 970.7, but it is not labeled on plans.
    - Delineated Wetland 19 has modeled EOF of 971.5, but it is not labeled on plans. Please provide. Additionally, the grading indicates that the discharge would flow across Garden Lane. Provide grading of Garden Lane to validate EOF elevation.
  8. Provide the routing, elevations, and lengths of all storm components in the model to match the plans provided.
  9. Floodplain is present on site. No grading is allowed within boundaries without appropriate permitting. Floodplain is currently under study by the DNR involving the WMO and City. Consider offset from existing floodplain.
  10. Floodplain shown on plans does not match FEMA's National Flood Hazard Layer. Please note on plans that floodplain was adjusted to be consistent with BFEs and topography rather than effective mapping.
  11. Any wetland impacts must be permitted by appropriate agencies and mitigated for. Provide permit when received.
  12. Impervious area is underestimated for proposed conditions. the proposed impervious area shown on plans (Chaparral Lane 1.63 acres, Garden Lane 2.63 acres, housing pads 0.08 impervious per lot \* 12 lots = 1 acre) is measured at approximately 5.22 acres (model shows 4.53 acres). Additionally, this does not account for expected driveways and other impervious area likely to be created on building lots (e.g. garages, sheds, other auxiliary structures). Proposed conditions must account for full-build out.
  13. Invert elevation of 24" double barrel culverts draining Delineated Wetland 7 is 951.0 per modeling, but 950.5 per plans.
  14. Invert elevation of 18" culvert draining P13 is 975.7 per modeling, but 976.5 per plans.
  15. The HWL upstream of 24" (2 culverts) draining P12 is listed as 959.4 on plans but modeled as 959.83. Additionally, the outlets modeled do not represent the plans. Modeling uses a 24" and 2-18" culverts, but on plans 2-24" culverts are shown.
  16. The outlets modeled for P7 do not represent the plans. Plans show 1-24" and model is showing 2-15" culverts.
  17. Modeling of Pond OCS structures currently overestimates flow into the riser. It is modeled as a horizontal orifice at the low invert, but in reality, it is a slanted orifice. Model as either a custom orifice/weir or and orifice/grate. Coordinate with City.
  18. Provide EOF in model for all ponds.



19. Provide HWL on plans for all culverts as modeled.
20. Invert elevations in model should match plans and as well as Manning's n values.
21. Wetland #5 is currently modeled with no runoff being routed downstream.
22. All proposed culverts are currently showing less than 1.5' of cover to top of pipe.  
Minimum of 2' of cover to top of pipe required at low point.

**End of Comments**



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

# Memo

**To:** Planning (Planners Lindahl and Davis)  
**From:** Director Gottschalk  
**Date:** July 16, 2021  
**Re:** Bechtold Farm

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A Public Safety plan review meeting was held on 07/14/2021. In attendance were: Director of Public Safety Gottschalk, Lieutenant Ryan Burns, Planner Davis, Fire Chief Feist, Fire Chief Malewicki, and Fire Chief Leuer. The comments are based on revised plans submitted June 28, 2021. The following public safety comments are provided for the project:

1. As long as the proposed road to serve the development meets City specs for width and turnaround requirements, a second access point is not necessary.
2. No concerns are noted based on the current plans.

~Project Narrative~  
**Bechtold Farms**  
Corcoran, MN  
*Preliminary Plat Application*

**Date:** 9/20/2021

**PIDS included in application** (referred to herein as “the property”):

0511923440001 – 78.96 acres zoned “farm” / 8 building entitlements

0811923110007 – 36.65 acres zoned “farm” / 4 building entitlements

**Applicant:**

Skies Limit LLC

-Phillip Kothrade 612-201-1982 [phillip@jpccustomhomes.com](mailto:phillip@jpccustomhomes.com)

-Donavon DesMarais 612-548-4395 [donavon@youwillbemoved.com](mailto:donavon@youwillbemoved.com)

**Survey/Engineer:** Paul Otto/Otto Associates 763-682-4727 / [paul@ottoassociates.com](mailto:paul@ottoassociates.com)

**Fee Owner's:** Arnold and Mary Bechtold

**Narrative/Purpose Of The Subdivision Request:**

The vision for Bechtold Farms is a small subdivision of medium to large size (*ranging in size from 5 to 21 acres*) lots established in a rural setting that offers its future residents both the many benefits of countryside tranquility while also maintaining close proximity to all the lifestyle amenities one may divulge in just minutes away in Rogers or Maple Grove. The proposed subdivision seeks to limit the impact on its neighbors while adhering closely to the guidance of the governing entities associated with processing this application. The unique setting consists of rolling topography mixed in amidst wooded backdrops and several wetlands which will be protected. There is an existing/recorded Trail Easement in the Northwest corner of the larger PID 0511923440001 which will get connected internally to the subdivision herein through the western cul-de-sac near where lots 6 & 7 meet (*see proposed plat*). This community will have a mandatory homeowner's association that will include declarations & covenants for residents to conform to while calling here “home”. A planting and maintenance plan will be included in the final design when submitted for final plat approval. The huge draw and appeal to this new community will be that such medium to large acre subdivisions have not commonly been brought into Corcoran with much frequency over the past several years yet the demand for them is unparalleled. There is a real, urgent need for such acreage lots in this area and we expect to see immediate interest from parties both in and outside our networks. Excluding the existing farm/homestead and the large outlier lot (*Lot 1, Block 2 = 21.5 acres*) the average lot prices will be \$239,700 and average lot size of 7.82 acres.

The applicants request consideration for preliminary then final plat approval to subdivide the aforementioned two large PIDs which collectively are comprised of 115.61 acres into 12 new acreage lots. The southern 36.65 acres (PID 0811923110007) will be comprised of just 3 building entitlements while the northern 78.96 (PID 0511923440001) will have within it 8 new lots plus the existing farm/homestead which is being sold as-is. The existing farm/homestead has an older, well-maintained two story home and several out-buildings which includes an old barn. We have proactively met several times with both the surveyor and the City Planner(s)/City Engineers so the current rendition/configuration of the plat we're proposing is the byproduct of their collective experience and feedback. Please reference the included preliminary plat to see the exact sizes and lot layouts.

A new paved interior road (*Chaparral Lane*) will be created to provide access to the 10 of the 11 newly created lots as one of them (Block 2, Lot 2) will access directly off Bechtold Road and not use the new interior street. While it seems most logical to continue to allow the existing farm/homestead to access off of Bechtold Road we are open to dialogue about it staying as-is or changing it to access from the south off of the new Chaparral Lane. The new street will intersect

with Bechtold Road directly across the street to the east from the existing Chaparral Lane which is denoted on the preliminary plat. One of the many changes and reconfigurations to the originally submitted plat involved moving the primary access/entrance south some 400-500 feet so that it didn't interfere with any future turn lanes or a future stoplight where the existing Chaparral Lane meets Bechtold Road. While this proved to be a true challenge we feel confident that the proposed plat/lot configurations are both appealing and meet all city code requirements for such a new subdivision. Underground utilities (*power, natural gas, cable, internet & phone*) will be joint-trenched with Michaels and installed along the new street. All lots will have private wells and septic systems. The applicants plan prior to the road installation to have the existing home/farmstead (*Lot 1, Block 1*) sold & closed to its new owners so likely in April-May 2022. They also intend to have Lot 2, Block 2 that will access off of Bechtold Road sold & closed to its new owner's shortly after the final plat is recorded which means the house construction could begin on this lot as early as late April to May 2022. The applicants have incorporated a future "right of way" labeled Garden Lane which *in-concept* will one day in the future connect at the new Chaparral Lane and then exit the SW area of the entire subdivision by connecting to the existing/dead-end Garden Lane (*see plat*). The future Garden Lane ROW is NOT being constructed at this time by the developer as all but only one lot (*Lot 10, Block 1*) will be accessed from other conforming locations. Included in this plat application is also a request for a **Variance** so that just one lot (*Block 1, Lot 10*) can be accessed through the private drive in the Garden Lane ROW via a temporary driveway "encroachment agreement" (*see Variance Application included herein*).

#### **Ideal Project Timeline/Forecast:**

October 21<sup>st</sup>, 2021; Be on the agenda for the Parks & Trails Commission Meeting

November 4<sup>th</sup>, 2021: Be on the agenda for the Planning Commission Meeting

November 22<sup>nd</sup>, 2021: Be on the agenda for the City Council Meeting

December 21, 2021: Submit FINAL PLAT APPLICATION by this deadline date

January 27<sup>th</sup> or February 24<sup>th</sup>, 2022: Be on the agenda for the 2<sup>nd</sup> Planning Commission Meeting to ideally obtain final plat approval

March-April 2022: Sign and record the required documents (mylars, Developer's Agreement, plat, etc.) for the mylars, final plat and any/all pertinent development related documents to be recorded at Hennepin County Recorder's office.

May-July 2022: Road construction and site improvements to begin promptly once road restrictions are lifted with an expectation of road completion/stormwater maintenance systems, etc to be installed and done by mid July 2022.

Project duration for all road work, stormwater maintenance and general infrastructure to take 6-8 weeks by a company such as FEHN Companies, depending on the weather.

Late July-August 2022: Underground utilities to be scheduled for installation within 30-45 days following the laying of the new asphalt street. New Construction permits to begin being issued as the 11 new construction builds begin to be built on-site in the new Bechtold Farms

>We expect to have all the lots sold/under contract by July 1<sup>st</sup>, 2022 and completion of all future home builds to extend through end of the year 2023 at the latest.

We thank you graciously for your consideration of this plat application and know that will continue to work in earnest to make this not only a win-win for the City of Corcoran but for its current and future residents as well.

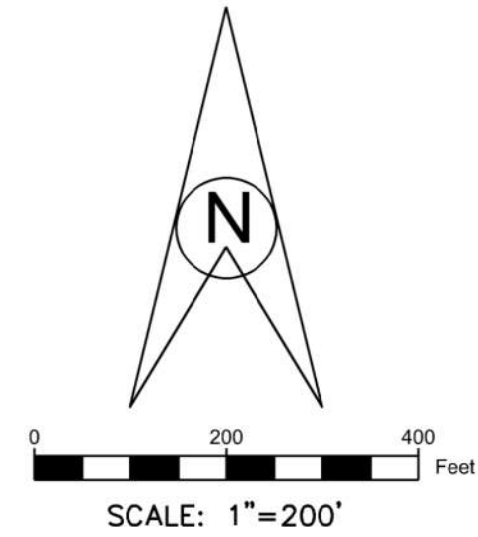
## Variance Application for “Bechtold Farms”

-Written Description of the request for the variance

To whom it concerns,

Included in our Preliminary Plat (Land-Use) Application is a request for a variance to allow one of the twelve lots to be accessed through a future right of way, labeled “Garden Lane” on the plat itself. Here detailed below is the criteria being met to give full consideration and acceptance of this variance request;

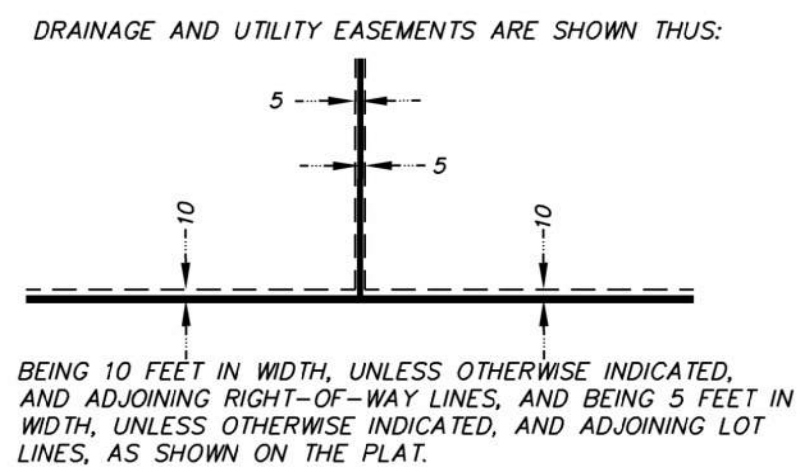
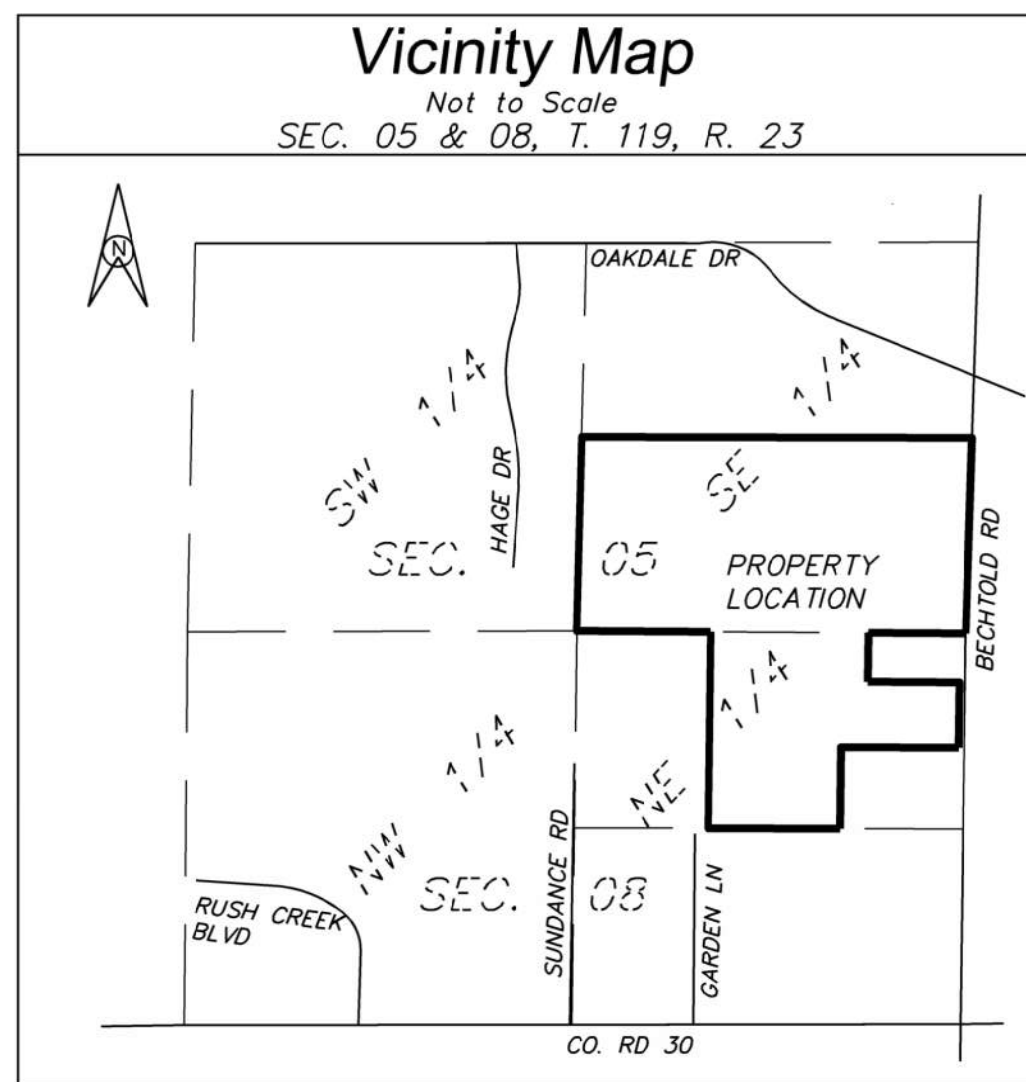
- a) The practical difficulties that justify this request is that the applicants have drastically modified their original plat (referred to here as Plat 1.0, attached) layout/design several times to proactively satisfy the concerns of the city planners and engineers. As a byproduct of these changes we were left with just one singular lot (Lot 10, Block 1) that did not meet the 200 lineal lot frontage requirements, per the code. This lot has been laid out/situated within the plat so that down the road in the future when/if city sewer & water infrastructure comes to this location this single owner can easily subdivide his 9.8 acres into smaller east-west lots along the future Garden Lane street. The original plat did not create a need for any variances but based on the city planners & engineers feedback they had two primary issues; 1) The entrance was too close to existing Chaparral Lane which could cause future safety & traffic problems “if” a stoplight and turning lanes were ever installed at where Chaparral Lane presently meets Bechtold Road to the east of this proposed plat location. The original entrance was within 500-600 feet of the existing Chapparal Lane. 2) They wanted to see a layout/design with a future connection through the southern smaller 36 acre parcel and exiting/connecting into the existing Garden Lane which doesn’t quite touch the SW corner of the southern lot. Our original intention under Plat 1.0 was to load 11 of the 12 building entitlements into the new subdivision which would primarily be built-out on the northern 78 acres. The southern 36 acres was to retain 1 building entitlement and be accessed directly off of Bechtold Road and NOT through the new subdivision.
- b) The conditions upon which this variance is based are unique to this parcel of land and was not created by the landowner. There are really only two viable entrance points into this subdivision and one which wasn’t pursued could possibly be in the northeastern corner of the 78 acre parcel however that would/could cause some future congestion from where Bechtold Road meets Oakdale which then causes traffic and safety concerns. The topography of the land bears itself to several wetland areas and topography changes which makes getting viable lots that will satisfy all the requirements a challenge.
- c) The granting of the variation will not alter the essential character of the locality. The private drive that the variance application to allow an encroachment agreement to allow a private drive to be constructed in the Garden Land public Right of Way (ROW) will fit in just like the rest of the driveways. Many of the lots (Block 1, Lots 2, 3 & 4 / Block 2, Lots 1 & 2) will have long, winding driveways that come off the new Chaparral Lane to their homes. The subject private drive will look no different than any of the others nearby within the new subdivision, many of which are closest to the subject lot.
- d) The proposed variance would be in harmony with the general purposes and intent of the Ordinance. It would blend in like many of the nearby lots within the new subdivision so to an onlooker from the street view this private drive will look no other than any other nearby.
- e) The variance is consistent with the Comprehensive Plan.
- f) We understand that the City may impose conditions on the variance to address the impact of the variance.



TOTAL AREA = 116.61 ACRES

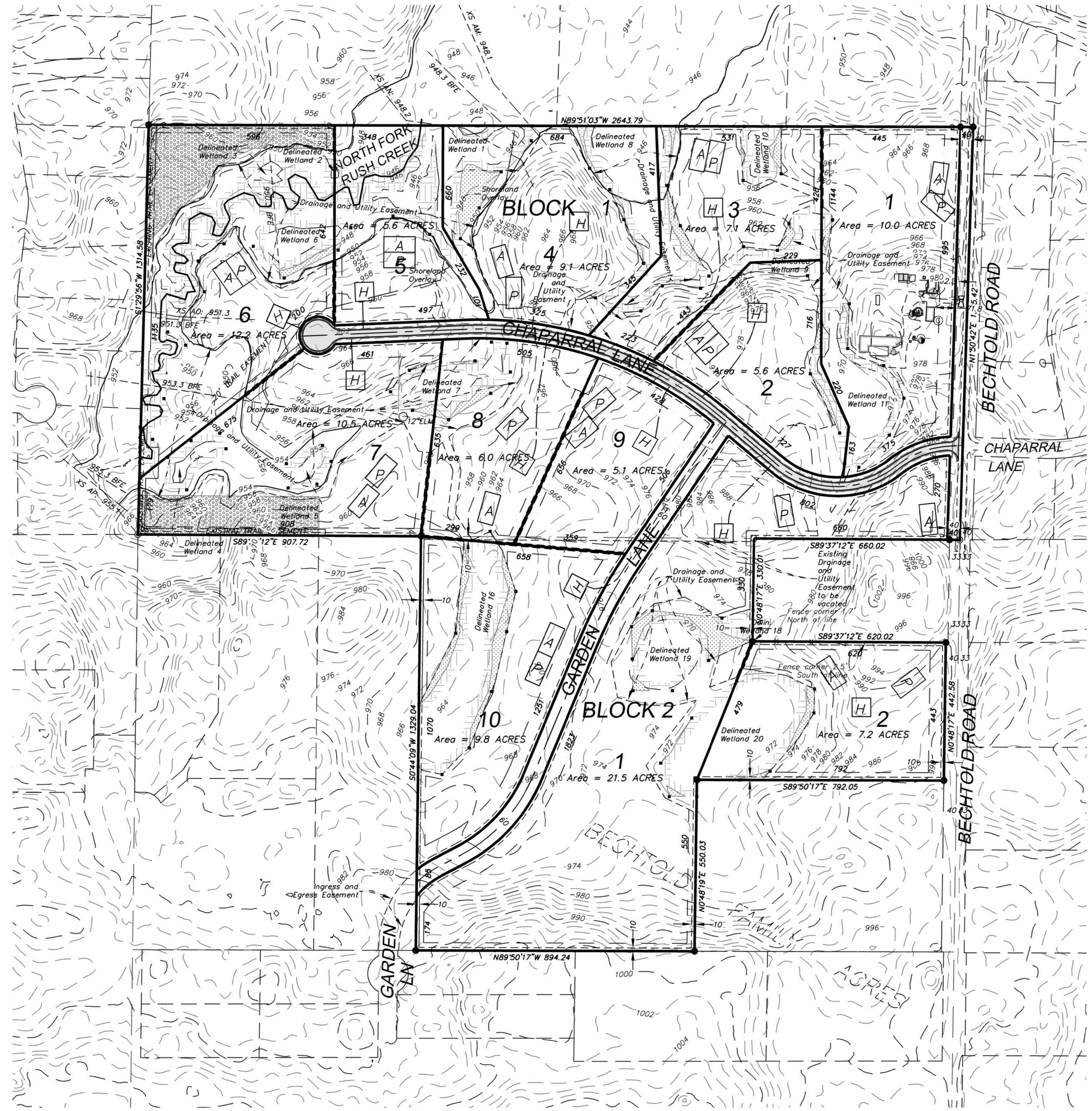
PID: 0511923440001, 0811923110007

- LEGEND**
- 988 — denotes Existing Contour
  - 988.00 X denotes Existing Spot Elevation
  - FF=989.36 denotes Finished Floor Elevation
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  - ⊖ denotes Electrical Meter
  - ⊙ denotes Soil Boring
  - ⊠ denotes Sign
  - ⊙ denotes Guy Wire
  - ⊙ denotes Power Pole
  - OHE denotes Overhead Electric Line
  - X — denotes Fence Line
  - - - denotes Delineated Wetland
  - ▭ denotes 25' Wetland Buffer
  - ▭ denotes Existing Culvert
  - ▭ denotes Proposed Wetland Buffer Sign, Typ.
  - - - denotes Building Setback Line
  - Front = 50'
  - Side = 25'
  - Rear = 25'
  - Wetland = 40'
  - ▭ denotes Additional Wetland Buffer
  - ▭ denotes Tree Preservation



**SHEET INDEX**

SHEET NO.	DESCRIPTION
1	PRELIMINARY PLAT
2	PRELIMINARY PLAT - NORTH
3	PRELIMINARY PLAT - SOUTH
4	PRELIMINARY GRADING PLAN - NORTH
5	PRELIMINARY GRADING PLAN - SOUTH
6	PRELIMINARY STREET & STORM SEWER PLAN - CHAPARRAL LANE (STA 0+00 - STA 11+00)
7	PRELIMINARY STREET & STORM SEWER PLAN - CHAPARRAL LANE (STA 11+00 - STA 23+00)



REV. NO.	DATE	BY	DESCRIPTION
1	10-4-21	T.R.K.	Wetland Buffer Signs

DESIGNED DRAWN  
P.E.O. J.J.A.

CHECKED  
P.E.O.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto  
License #40062 Date: 10-6-21

www.ottoassociates.com  
9 West Division Street  
Buffalo, MN 55313  
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Fax: (763)682-3522

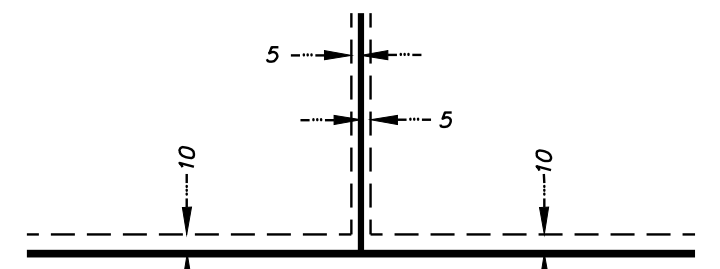
**BECHTOLD FARM**  
Skies Limit, LLC  
Corcoran, MN

**PRELIMINARY PLAT**  
SHEET NO. 1 OF 7 SHEETS

PROJECT NO:  
21-0221  
DATE: 9/21/2021

LOT AREAS	
LOT #	AREA (ACRES)
Block 1 Lot 1	10.0
Block 1 Lot 2	5.6
Block 1 Lot 3	7.1
Block 1 Lot 4	9.1
Block 1 Lot 5	5.6
Block 1 Lot 6	12.2
Block 1 Lot 7	10.5
Block 1 Lot 8	6.0
Block 1 Lot 9	5.1
Block 1 Lot 10	9.8
Block 2 Lot 1	21.5
Block 2 Lot 2	7.2

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



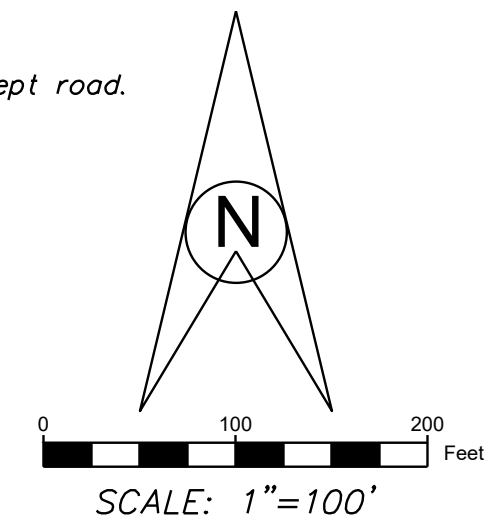
BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AND BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AS SHOWN ON THE PLAT.

PROPERTY DESCRIPTION:

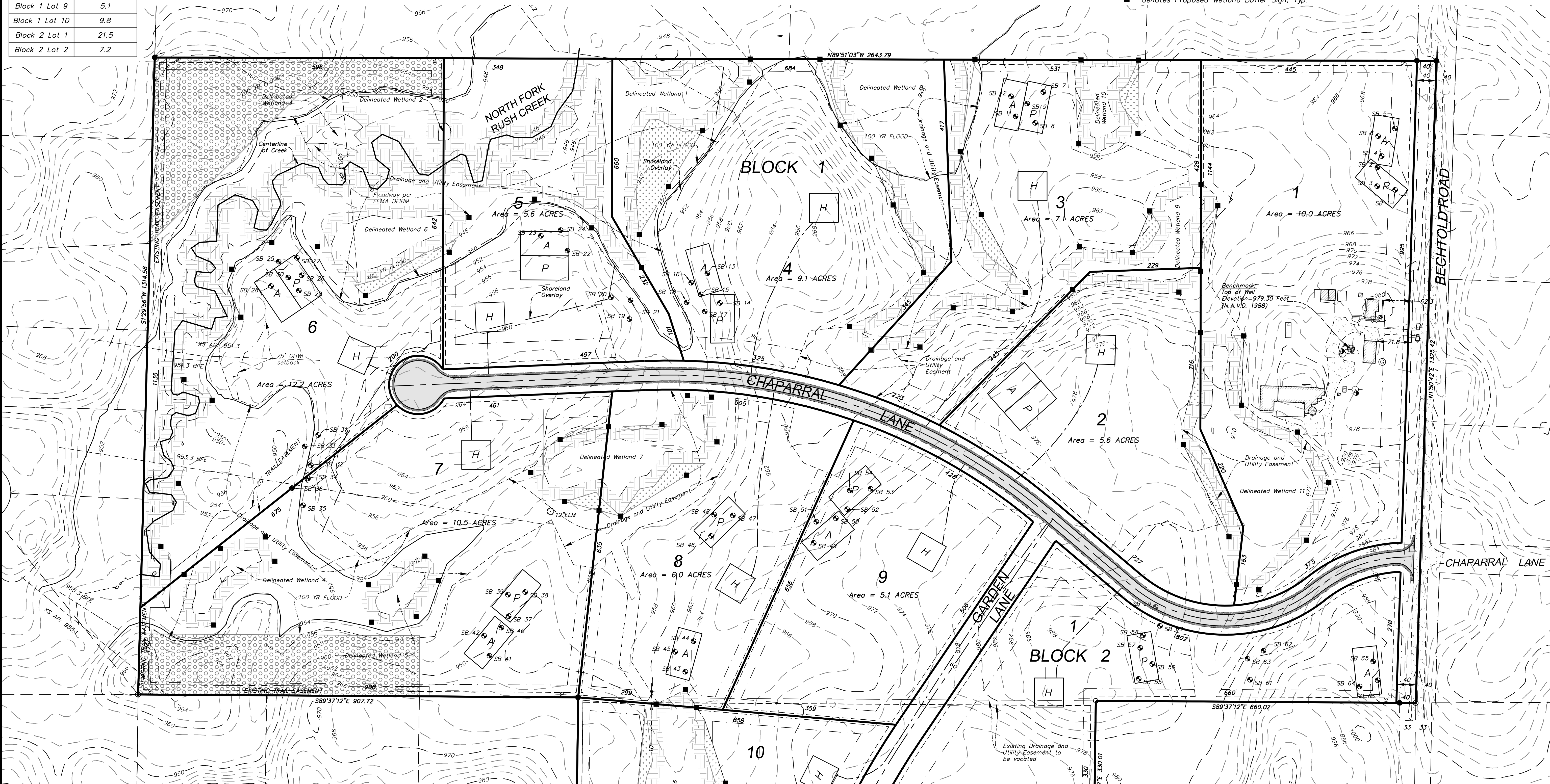
The South Half of the Southeast Quarter of Section 5, Township 119, Range 23, Hennepin County, Minnesota, except road, AND  
 Outlot A, BECHTOLD FAMILY ACRES, Hennepin County, Minnesota, according to the recorded plat thereof.

Surveyor's Notes

Wetlands delineated by Kjolhaug Environmental Services  
 Contours shown are from a combination of field data and data derived from MnDNR LIDAR.



- LEGEND**
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  - ⊙ — denotes Soil Boring
  - ⊙ — denotes Sign
  - ⊙ — denotes Guy Wire
  - ⊙ — denotes Power Pole
  - OHE — denotes Overhead Electric Line
  - X — denotes Fence Line
  - — denotes Delineated Wetland
  - — denotes 25' Wetland Buffer
  - — denotes Existing Culvert
  - — denotes Proposed Wetland Buffer Sign, Typ.
- P denotes Possible Primary Septic Area  
A denotes Possible Alternate Septic Area  
H denotes Possible House Pad Location
- --- denotes Building Setback Line  
 Front = 50'  
 Side = 25'  
 Rear = 25'  
 Wetland = 40'  
 Rush Creek = 100'



REV. NO.	DATE	BY	DESCRIPTION
1	10-4-21	T.R.K.	Wetland Buffer Signs

DESIGNED DRAWN  
 P.E.O. J.J.A.  
 CHECKED  
 P.E.O.  
 I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
*Paul E. Otto*  
 Paul E. Otto  
 License #40062 Date: 10-6-21

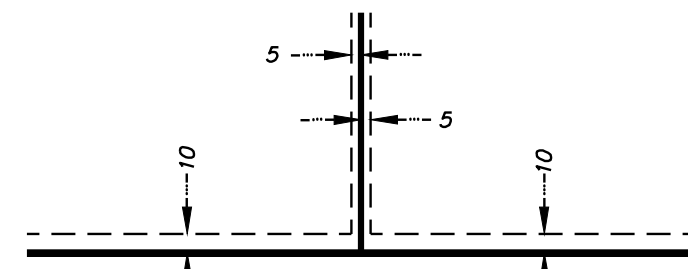
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**BECHTOLD FARM**  
 Skies Limit, LLC  
 Corcoran, MN

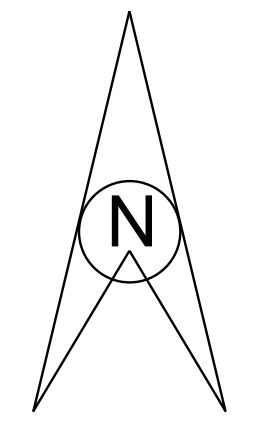
**PRELIMINARY PLAT - NORTH**  
**SHEET NO. 2 OF 7 SHEETS**

PROJECT NO:  
 21-0221  
 DATE: 9-21-21

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

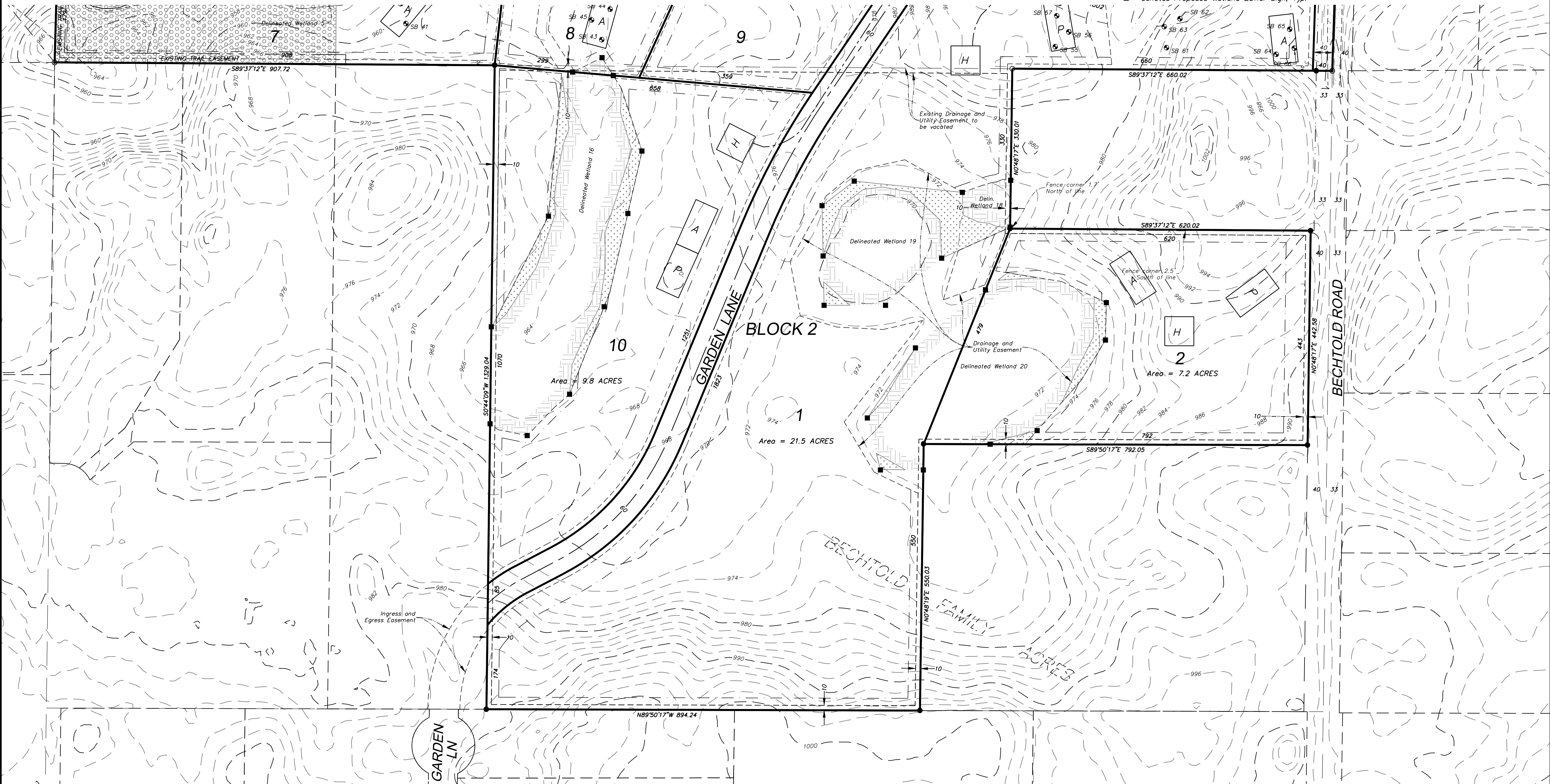


BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AND BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AS SHOWN ON THE PLAT.



SCALE: 1"=100'

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  - denotes 25' Wetland Buffer
  - denotes Existing Culvert
  - denotes Proposed Wetland Buffer Sign, Typ.
- P --- denotes Possible Primary Septic Area
  - A --- denotes Possible Alternate Septic Area
  - H --- denotes Possible House Pad Location
- denotes Building Setback Line
  - Front = 50'
  - Side = 25'
  - Rear = 25'
  - Wetland = 40'



REV. NO.	DATE	BY	DESCRIPTION
1	10-4-21	T.R.K.	Wetland Buffer Signs

DESIGNED DRAWN  
P.E.O. J.J.A.

CHECKED  
P.E.O.

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Paul E. Otto  
License #40062 Date: 10-6-21

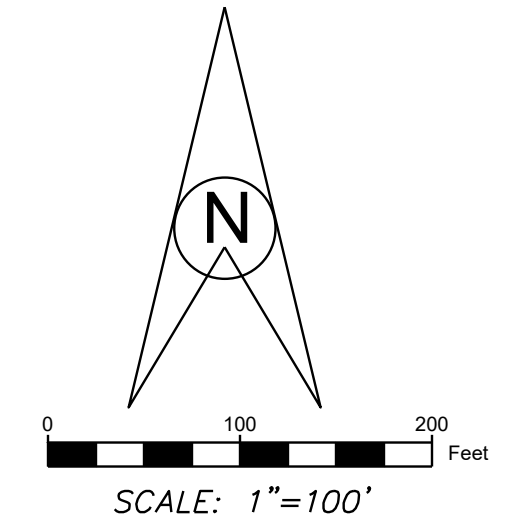
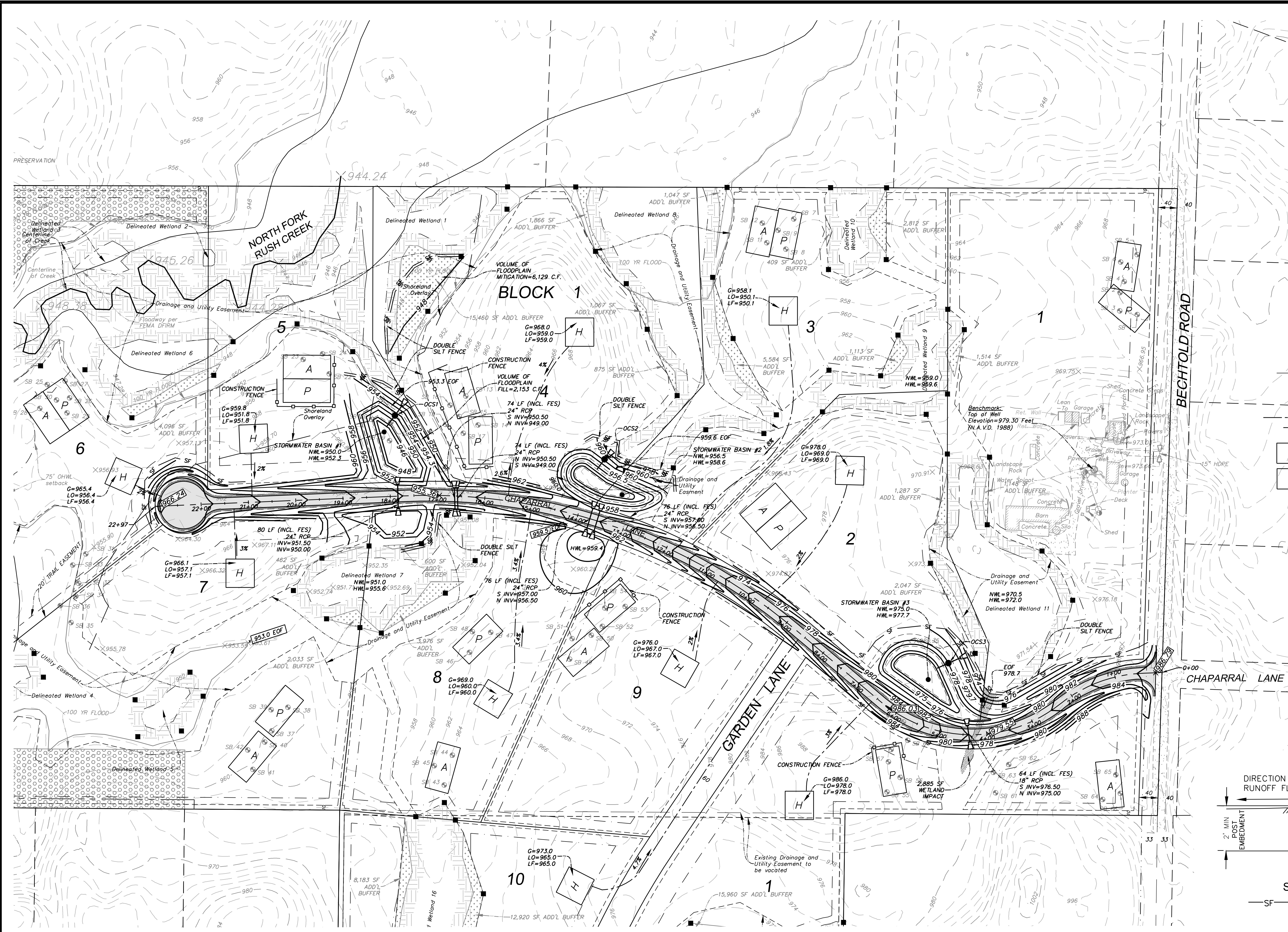
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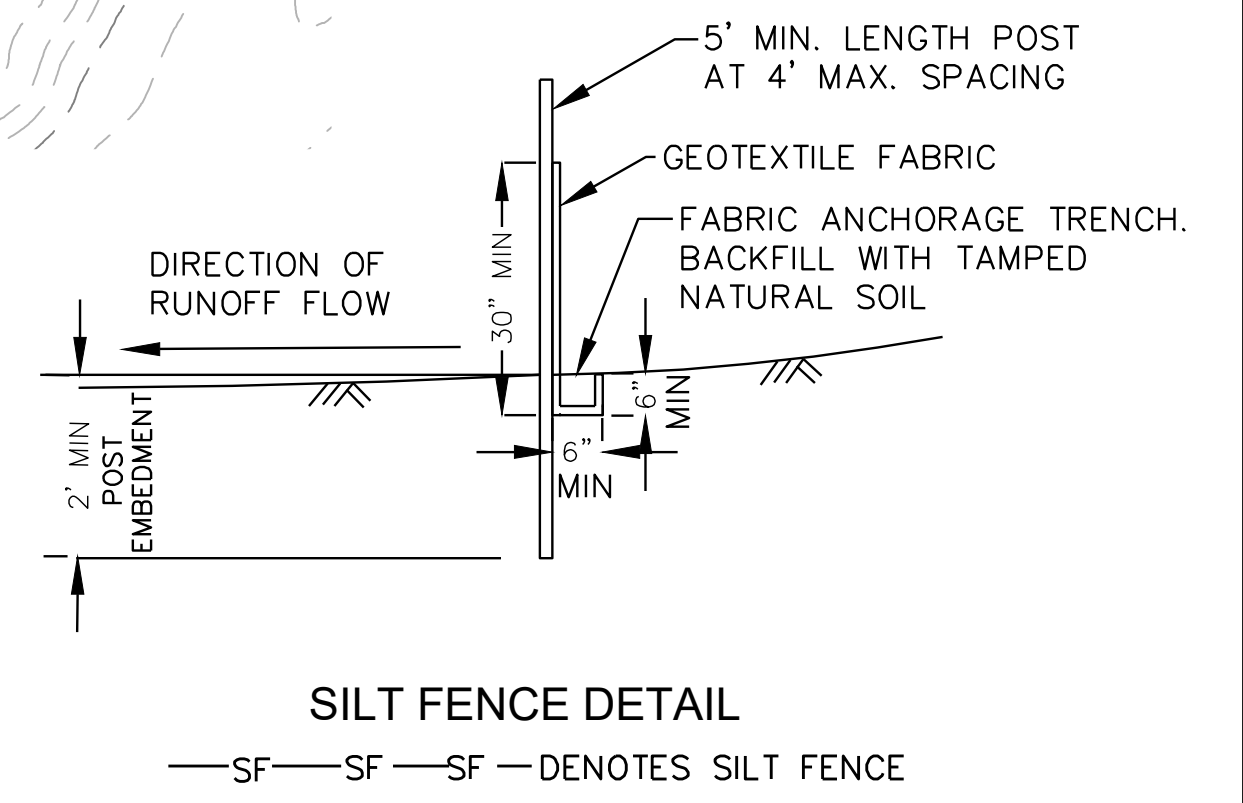
**BECHTOLD FARM**  
Skies Limit, LLC  
Corcoran, MN

PRELIMINARY PLAT - SOUTH	PROJECT NO: 21-0221
SHEET NO. 3 OF 7 SHEETS	DATE: 9-21-21





- LEGEND**
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  - 988.00 X denotes Existing Spot Elevation
  - 1010 — denotes Proposed Contour
  - 1017.5 X denotes Proposed Spot Elevation
  - denotes Proposed Drainage
  - FF=989.36 denotes Finished Floor Elevation
  - ⊙ denotes Gas Meter
  - ⊕ denotes Electrical Meter
  - ⊙ denotes Soil Boring
  - ⊕ denotes Sign
  - denotes Guy Wire
  - denotes Power Pole
  - denotes Overhead Electric Line
  - denotes Fence Line
  - denotes Delineated Wetland
  - denotes 25' Wetland Buffer
  - denotes Existing Culvert
  - denotes Proposed Wetland Buffer Sign, Typ.
  - denotes Proposed Driveway Site
  - sf — denotes Pre-construction Silt Fence
- P denotes Possible Primary Septic Area  
 A denotes Possible Alternate Septic Area  
 H denotes Possible House Pad Location
- denotes Building Setback Line  
 Front = 50'  
 Side = 25'  
 Rear = 25'  
 Wetland = 40'  
 Rush Creek = 100'



REV. NO.	DATE	BY	DESCRIPTION
1	10-6-21	T.R.K.	Driveway Location

DESIGNED DRAWN  
 P.E.O. T.J.B.

CHECKED  
 P.E.O.

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*Paul E. Otto*  
 Paul E. Otto  
 License # 40062 Date: 10-6-21

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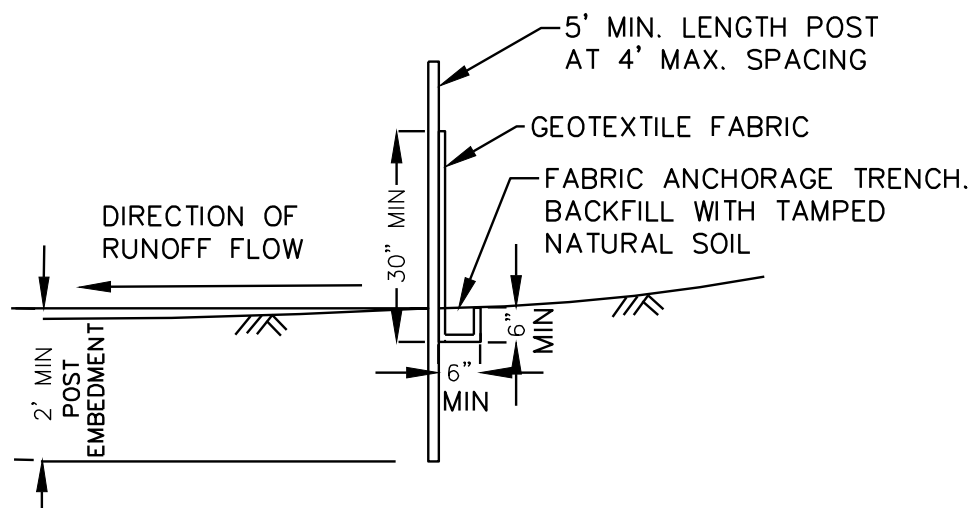
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**BECHTOLD FARM**  
 SKIES LIMIT LLC  
 CORCORAN TOWNSHIP, MN

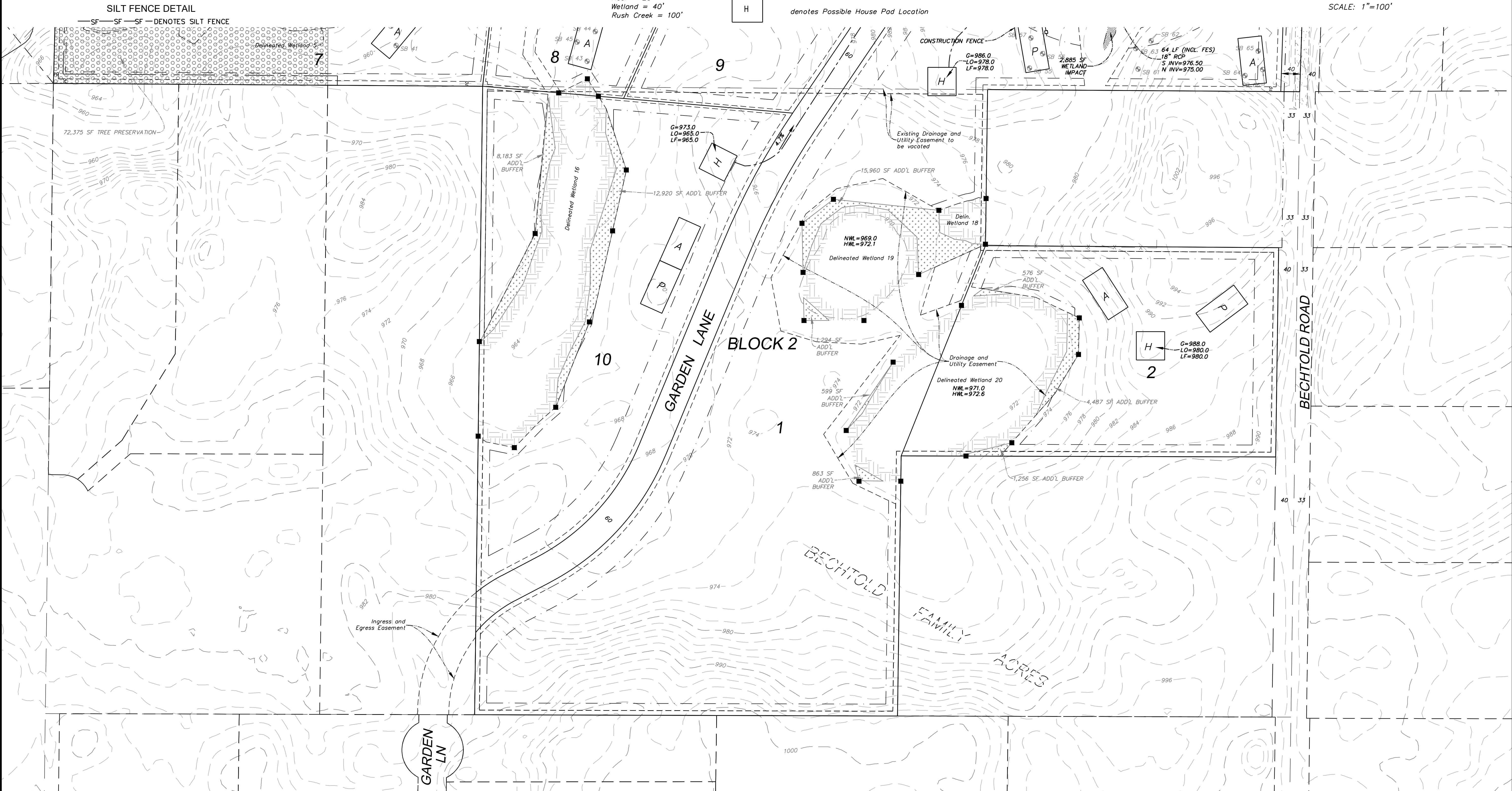
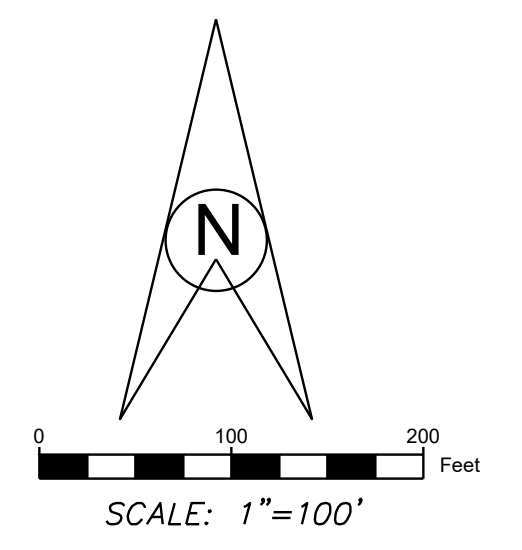
**PRELIMINARY GRADING  
 PLAN - NORTH**

**SHEET NO. 4 OF 7 SHEETS**

PROJECT NO: 21-0221  
 DATE: 9-21-21



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  - H — denotes Possible House Pad Location



REV. NO.	DATE	BY	DESCRIPTION
1	10-4-21	T.R.K.	Driveway Location

DESIGNED DRAWN  
P.E.O. T.J.B.

CHECKED  
P.E.O.

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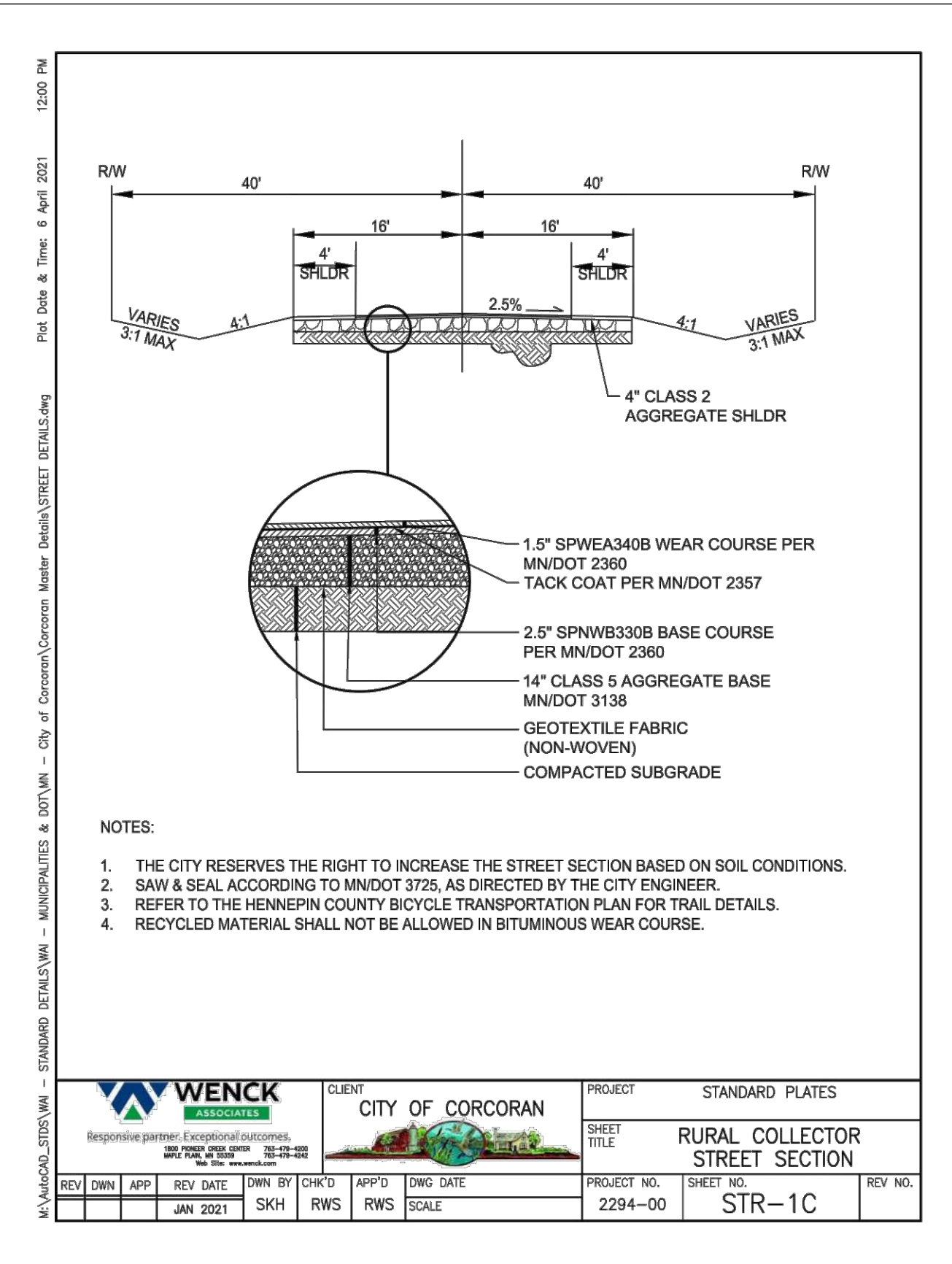
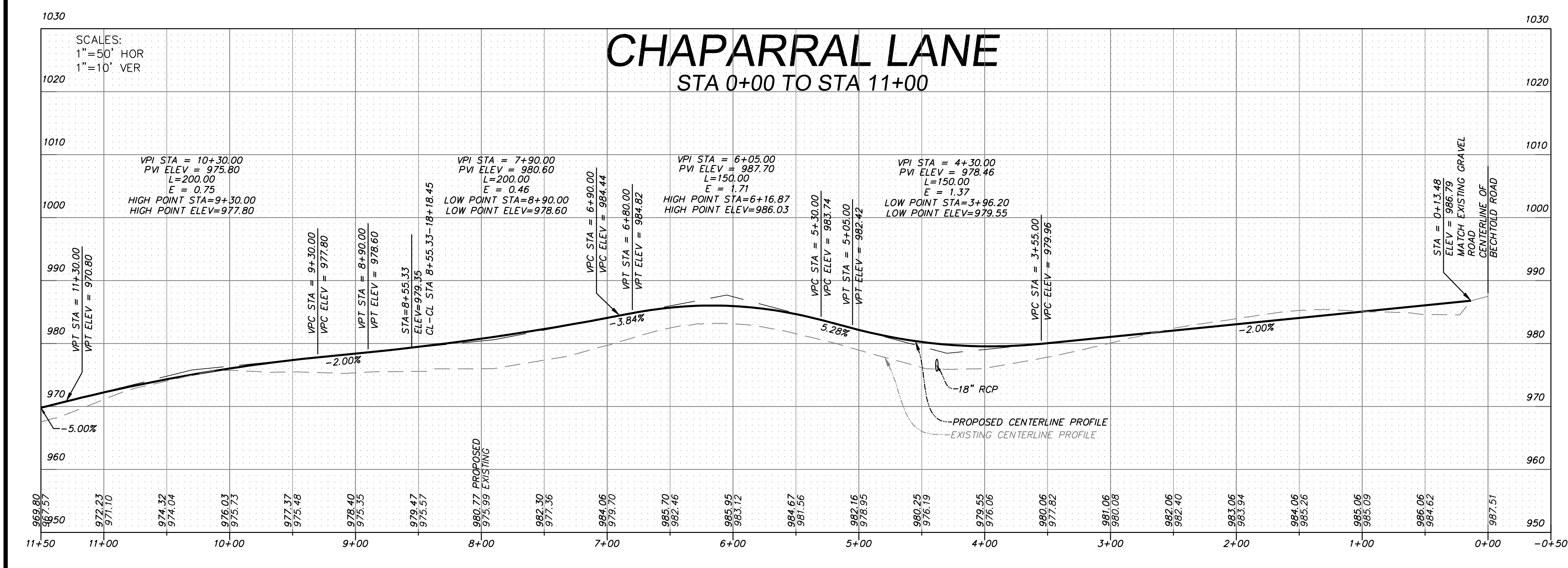
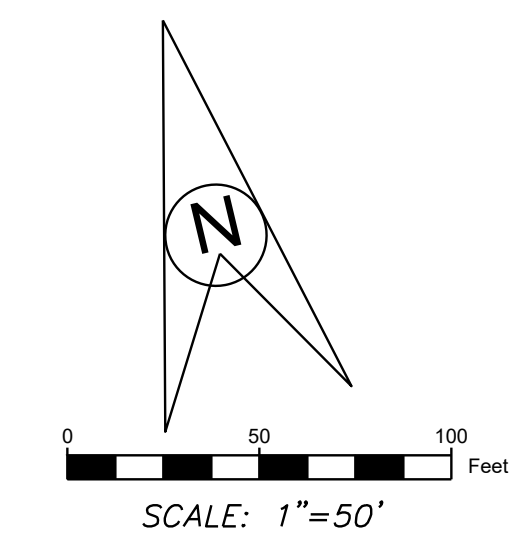
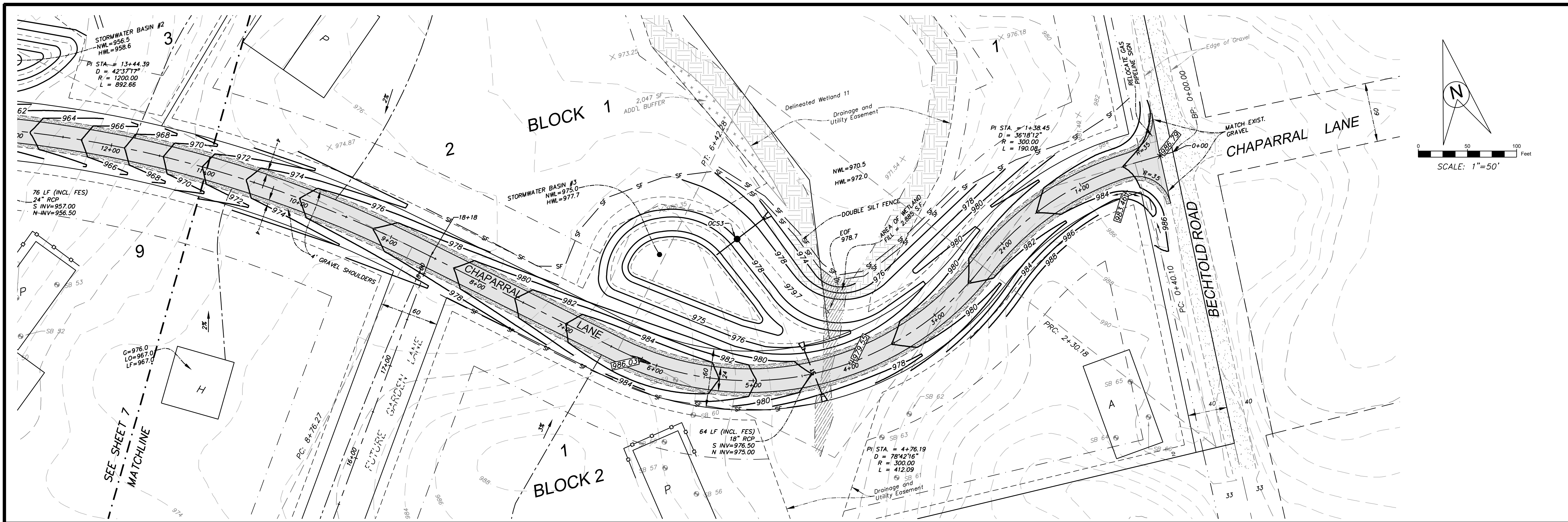
*Paul E. Otto*  
Paul E. Otto  
License # 40062 Date: 10-6-21

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**BECHTOLD FARM**  
SKIES LIMIT LLC  
CORCORAN TOWNSHIP, MN

PRELIMINARY GRADING PLAN - SOUTH	PROJECT NO: 21-0221
SHEET NO. 5 OF 7 SHEETS	DATE: 9-21-21



REV. NO.	DATE	BY	DESCRIPTION
1	10-4-21	T.R.K.	Driveway Location

DESIGNED P.E.O. DRAWN T.J.B.  
 CHECKED P.E.O.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Paul E. Otto  
 License # 40062 Date: 10-6-21

**OTTO ASSOCIATES**  
 Engineers & Land Surveyors, Inc.

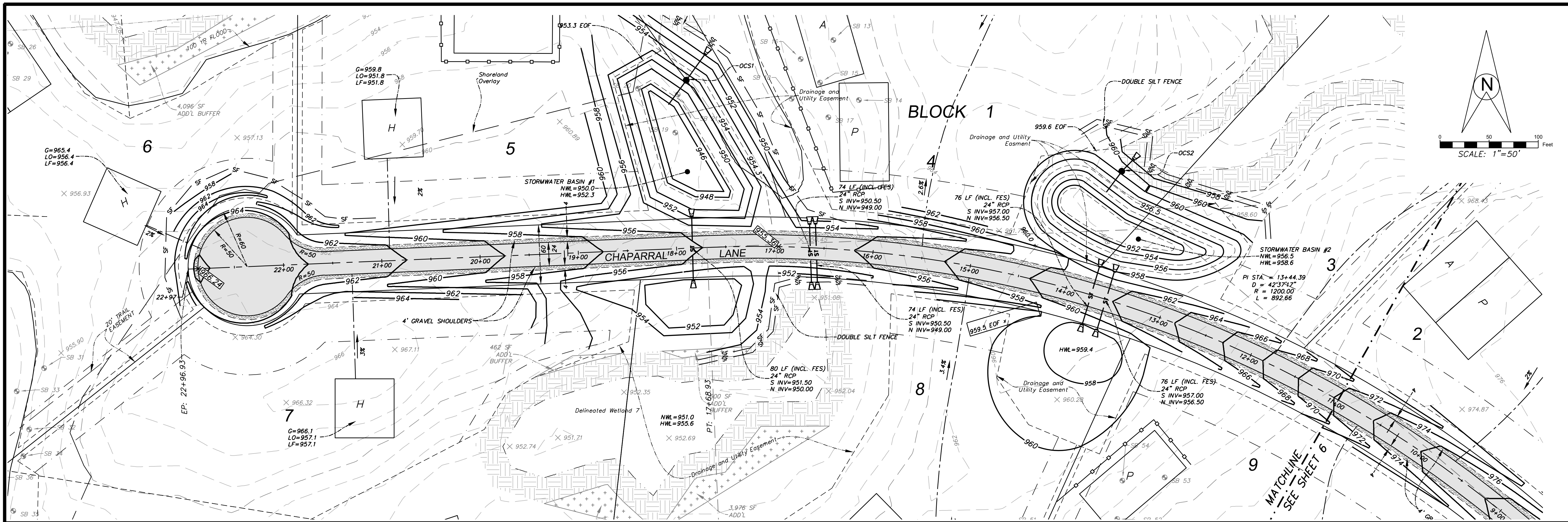
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**BECHTOLD FARM**  
 SKIES LIMIT LLC  
 CORCORAN TOWNSHIP, MN

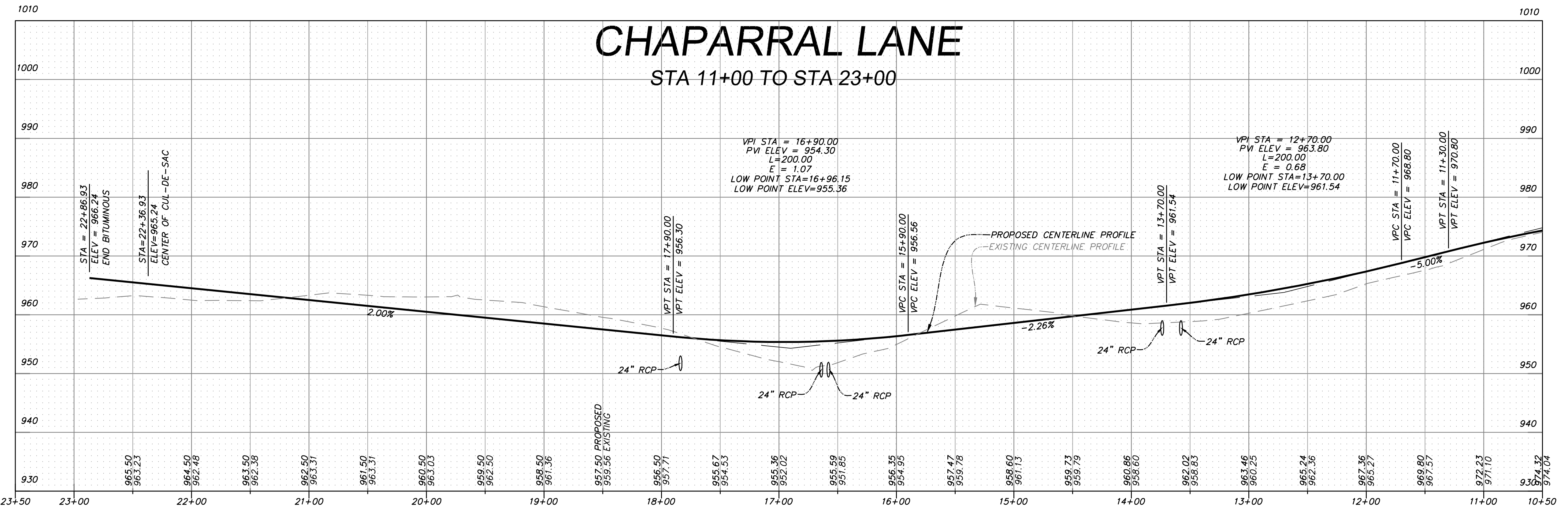
CLIENT: CITY OF CORCORAN  
 PROJECT: STANDARD PLATES  
 SHEET TITLE: RURAL COLLECTOR STREET SECTION  
 PROJECT NO.: 2294-00  
 SHEET NO.: STR-1C

PRELIMINARY STREET & STORM SEWER PLAN  
 CHAPARRAL LANE (STA 0+00 - STA 11+00)

SHEET NO. 6 OF 7 SHEETS  
 DATE: 9-21-21



SCALES:  
 1"=50' HOR  
 1"=10' VER



REV. NO.	DATE	BY	DESCRIPTION
1	10-4-21	T.R.K.	Driveway Location

DESIGNED DRAWN  
 P.E.O. T.J.B.  
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 P.E.O. *Paul E. Otto*  
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**BECHTOLD FARM**  
 SKIES LIMIT LLC  
 CORCORAN TOWNSHIP, MN

PRELIMINARY STREET & STORM SEWER PLAN  
 CHAPARRAL LANE (STA 11+00 - STA 23+00)  
 SHEET NO. 7 OF 7 SHEETS  
 PROJECT NO: 21-0221  
 DATE: 9-21-21



Doc No **A9457273**

Certified filed and/or recorded on  
12/22/09 10:32 AM

Office of the County Recorder  
Hennepin County, Minnesota  
Michael H. Cunniff, County Recorder  
Jill L. Alverson, County Auditor and Treasurer

Deputy 26

Pkg ID 592176

**Doc Name: Easement**

Document Recording Fee	\$46.00
Attested Copy or Duplicate Original	\$2.00
<b><i>Document Total</i></b>	<b>\$48.00</b>

## EASEMENT

THIS INSTRUMENT is made by Arnold R. <sup>Bechtold</sup> and Mary E. Bechtold, Grantor, in favor of the City of Corcoran, Minnesota, a political subdivision of the State of Minnesota, Grantee.

### Recitals

A. Grantor is the fee owner of the following described property in Hennepin County, Minnesota (the "Property"):

An easement for trail purposes over and across the following described property:

The South 20.00 feet of the West 600.00 feet of the South Half of the Southeast Quarter of Section 5, Township 119, Range 23, Hennepin County, Minnesota.

AND

The West 20.00 feet of the South 586.60 feet of the South Half of the Southeast Quarter of Section 5, Township 119, Range 23, Hennepin County, Minnesota.

AND

The East 20.00 feet of the West 40.00 feet of the North 100.00 feet of the South 280.00 feet of the South Half of the Southeast Quarter of Section 5, Township 119, Range 23, Hennepin County, Minnesota.

AND

The West 24.50 feet of the South Half of the Southeast Quarter of Section 5, Township 119, Range 23, Hennepin County, Minnesota, that lies North of the South 586.60 feet thereof.

B. Grantor desires to grant to the Grantee an easement, according to the terms and conditions contained herein.

### Terms of Easement

1. Grant of Easement. For good and valuable consideration, receipt of which is acknowledged by Grantor, Grantor grants and conveys to the Grantee the following easement:

**SEE EXHIBIT "A"**

2. Scope of Easement. The perpetual right-of-way easement granted herein includes the right of the Grantee, its contractors, agents, and employees to enter the premises at all reasonable times for the purpose of locating, constructing, reconstructing, operating, maintaining, inspecting, altering and repairing within the described easement area a

public trail and sidewalk, or other public utilities or improvements that are not inconsistent with a public right-of-way use.

The easement granted herein also includes the right to cut, trim, or remove from the easement area trees, shrubs, or other vegetation as in the Grantee's judgment unreasonably interfere with the easement or facilities of the Grantee.

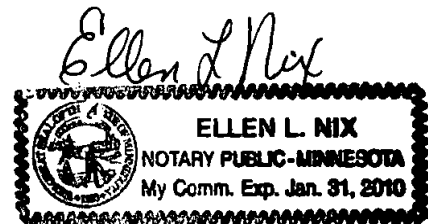
3. Warranty of Title. The Grantor warrants it is the owner of the Property and has the right, title and capacity to convey to the Grantee the easement herein.
4. Environmental Matters. The Grantee shall not be responsible for any costs, expenses, damages, demands, obligations, including penalties and reasonable attorney's fees, or losses resulting from any claims, actions, suits or proceedings based upon a release or threat of release of any hazardous substances, pollutants, or contaminants which may have existed on, or which relate to, the easement area or Property prior to the date of this instrument. Grantor shall not be responsible for any release of hazardous substances, pollutants or contaminants resulting from Grantee's use of the easement area.
5. Binding Effect. The terms and conditions of this instrument shall run with the land and be binding on the Grantor, its heirs, successors and assigns.
6. Property Damage. Grantee shall repair all damage to Grantor's real or personal property outside of the easement area that is caused by Grantee's maintenance of the public trail and sidewalk within the easement area. This agreement to repair excludes the repair of any damage caused by members of the public and their use of the easement area.
7. Assignability. The parties' rights and responsibilities under this Easement are assignable with written consent from the other party, and said consent shall not be unreasonably withheld.

STATE DEED TAX DUE HEREON: NONE

Dated this 9th day of December, 2009.

Arnold R. Bechtold

Mary E. Bechtold



By: Arnold R. Bechtold

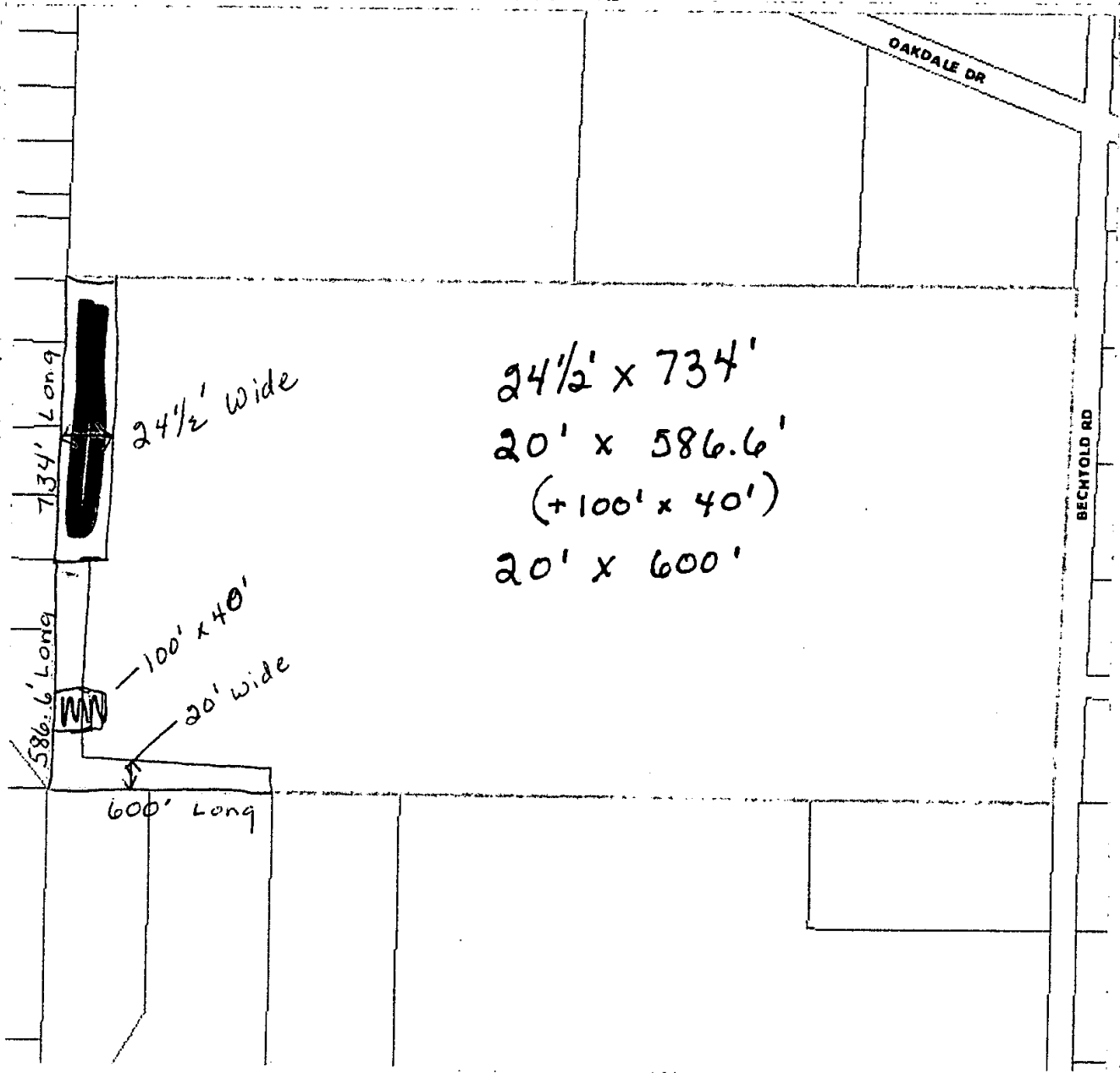
By: Mary E. Bechtold





# Hennepin County Property Map - Tax Year: 2009

The data contained on this page is derived from a compilation of records and maps and may contain discrepancies that can only be disclosed by an accurate survey performed by a licensed land surveyor. The perimeter and area (square footage and acres) are approximates and may contain discrepancies. The information on this page should be used for reference purposes only. Hennepin County does not guarantee the accuracy of material herein contained and is not responsible for any misuse or misrepresentation of this information or its derivatives.

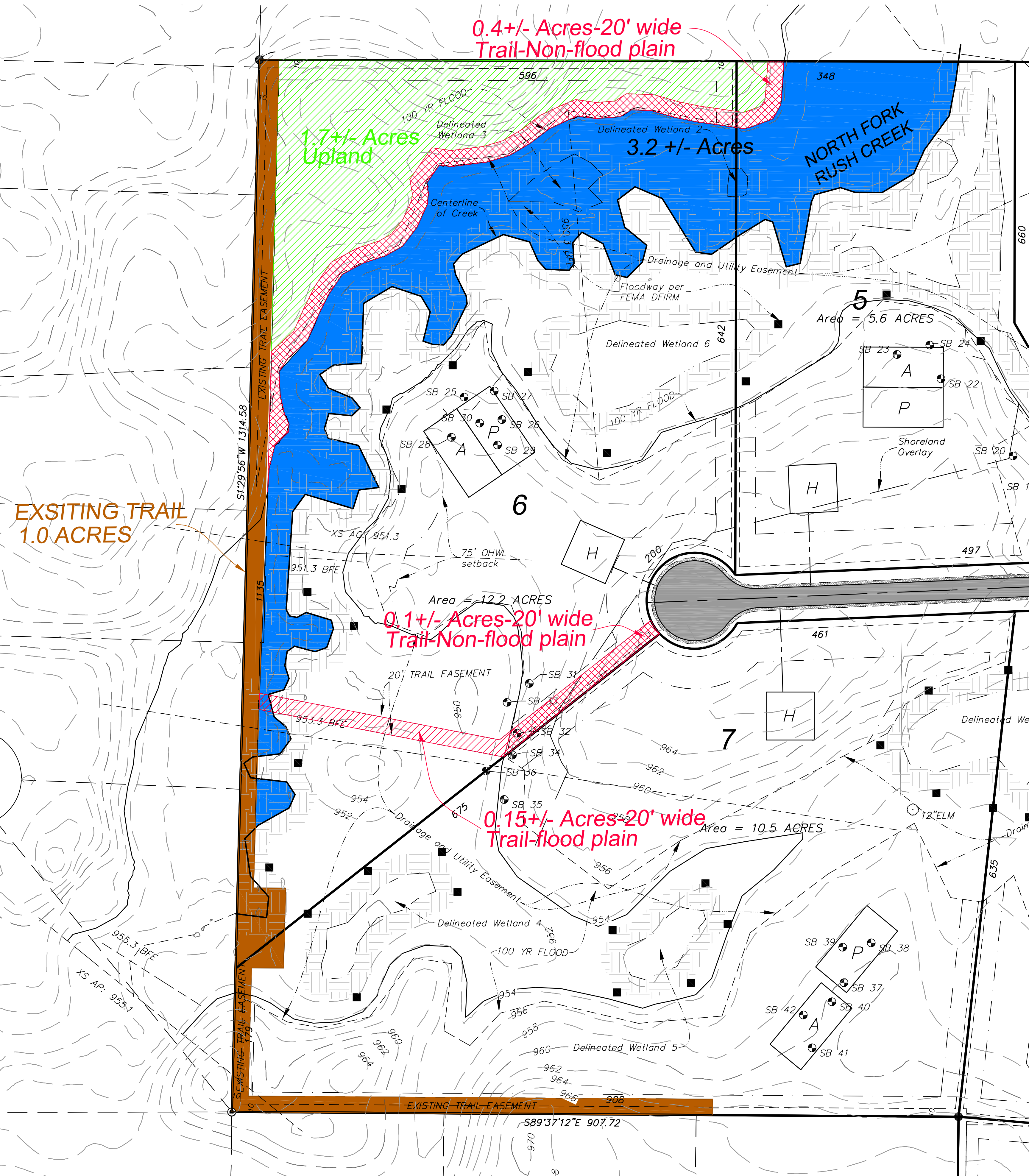


**Selected Parcel Data**

Parcel ID: 05-119-23-44-0001  
 Owner Name: ARNOLD R & MARY E BECHTOLD  
 Parcel Address: 10165 BECHTOLD RD , CORCORAN , MN 55374  
 Property Type: FARM  
 Homestead: HOMESTEAD  
 Area (sqft): 3439555  
 Area (acres): 78.96  
 A-T-B: ABSTRACT  
 Market Total: \$460,600.00  
 Tax Total: \$3,095.38

Date Printed: 12/4/2009 11:54:03 AM  
 Current Parcel Date: 11/4/2009

Sale Price: \$0.00  
 Sale Date: /  
 Sale Code:





# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 5-1 Parks and Trails Plan

#### Existing Parks and Trails

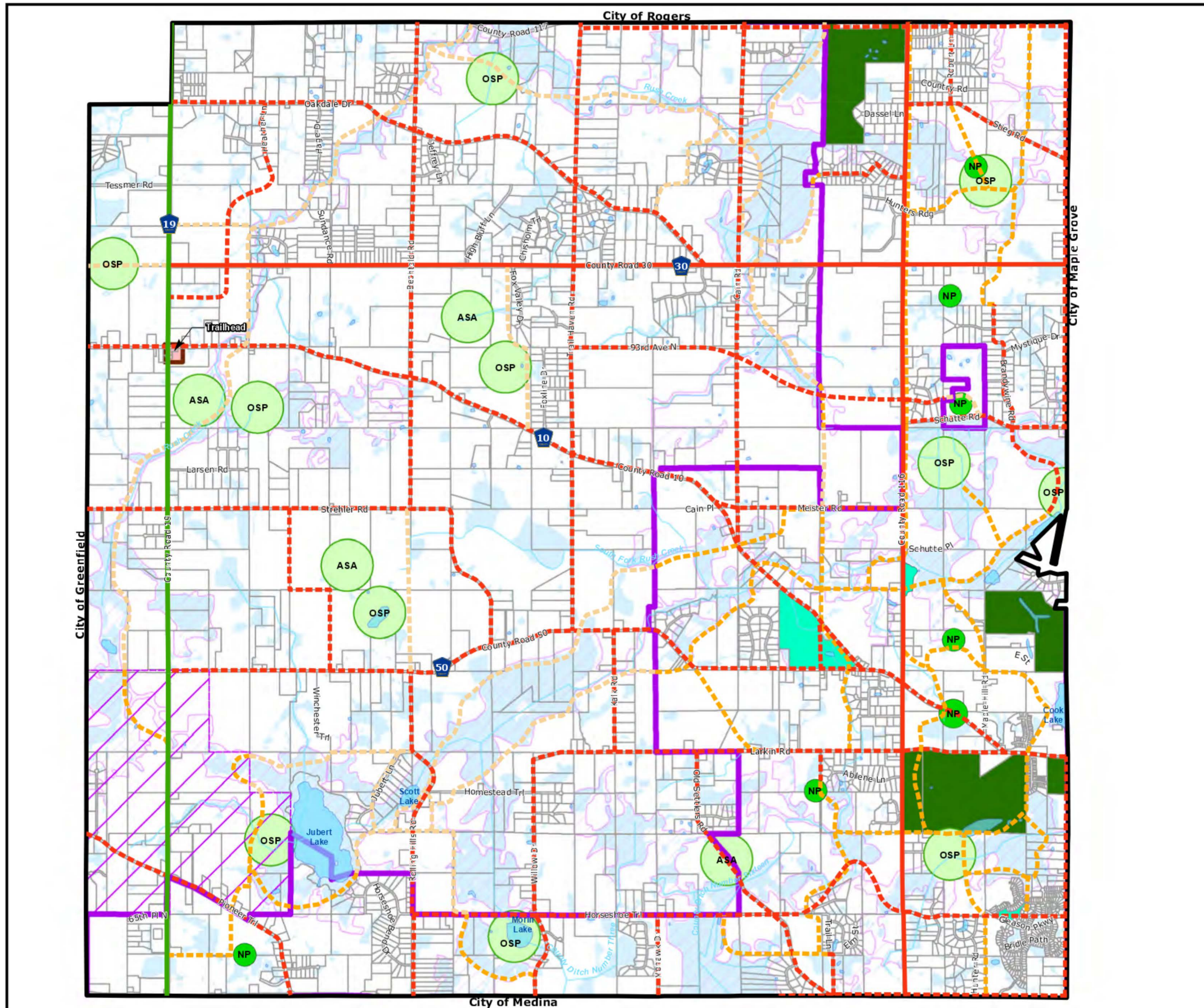
- Regional Trail
- Existing On Road Trail
- City Park
- Trailhead
- Private Park/Open Space

#### Proposed Parks and Trails

- Proposed On Road Trail
- Proposed Off Road Trail
- Proposed Off Road Trail outside 2040 Development Area
- Neighborhood Park
- Community Park
- Greenway Corridor
- Municipal Boundaries
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands



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# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

#### Natural Plant Communities

##### Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

##### Uplands

- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field

- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source:  
Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



Path: L:\2294\100\2040 CompPlan\Natural Resource Inventory Areas.mxd  
Date: 1/7/2019 Time: 1:10:39 PM User: Shu\JC0243





105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

**TO:** Corcoran City Council  
**FROM:** Kendra Lindahl, Landform  
**DATE:** November 17, 2021 for the November 22, 2021 City Council Meeting  
**RE:** Site Plan, Conditional Use Permit and Preliminary Plat for Saint Therese Communities on the property located at 8200 Co Rd No 116 (PID 24-119-23-23-0001) (City File No. 21-042)

**120-Day Review Deadline:** January 19, 2022

**1. Application Request**

Saint Therese Communities has requested approval of a senior living community with 206 units and accessory complementary uses, some of which will be open to the public. The campus would be located on a 12.88-acre parcel created from the 78.88-acre parcel. The City is currently the owner of the property and the subdivision will create Lot 1, Block 1 that St. Therese will be acquiring as outlined in the purchase agreement.

**2. Planning Commission Review**

The Planning Commission reviewed this item at a public hearing on November 4, 2021. In addition to the applicant, one person spoke at the public hearing. The Planning Commission voted 4-0 to recommend approval of the project with no changes to the draft resolution.

**3. Changes Since Planning Commission**

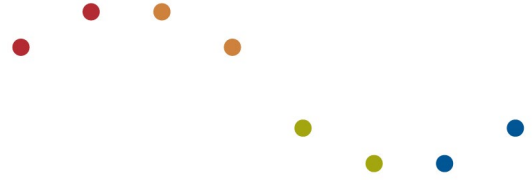
Staff and the applicant met on November 10<sup>th</sup> to review the conditions of approval and the Planning Commission discussion. The applicant indicated that they had read the conditions of approval and would comply with the conditions of approval. The only concerns were related to landscaping, parking and architecture.

The applicant submitted plans on November 16<sup>th</sup> increasing the amount of landscaping, but they are continuing to ask for some flexibility from the ordinance standards. This request is discussed in the landscape section of the report.

Revised plans were submitted showing additional parking and the parking plan received on November 16<sup>th</sup> now complies with ordinance requirements. Resolution 2021-131 (condition #9) was updated to reflect this change.

The applicant also submitted revised architectural plans and a narrative describing their requested building materials and this request is discussed in the architecture section of the staff report.





#### **4. Background**

On November 23, 2020, the Council approved a minor subdivision to subdivide the property for sale of the parcel to St. Therese, but the subdivision was never recorded. Therefore, as part of the application, they are requesting approval of a preliminary plat to be processed with the other applications.

#### **5. Context**

##### *Level of City Discretion in Decision-Making*

The City's discretion in approving a site plan is limited to whether or not the plan meets the standards outlined in the Zoning Ordinance. If it meets these standards, the City must approve the site plan.

The City's discretion in approving or denying a conditional use permit is limited to whether or not the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the conditional use permit.

The City's discretion in approving a preliminary plat is limited to whether or not the minor subdivision meets the standards outlined in the Code. If it meets these standards, the City must approve the subdivision.

##### *Zoning and Land Use*

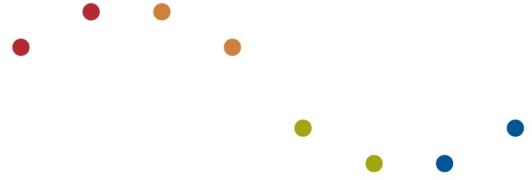
The subject property is guided Mixed Use in the 2040 Future Land Use Plan and zoned Downtown Mixed Use (DMU). The property to the south is guided Mixed Use and zoned Downtown Mixed Use, north and east are guided Low Density Residential and zoned Urban Reserve and west is guided Medium Density Residential and zoned Medium Density Residential. The site is located in the Town Center of the Southeast District.

##### *Natural Characteristics of the Site*

There is a large wetland area on the northern portion of the property. A wetland exemption has been approved for the areas outside of Lot 1, Block 1, which are not proposed for development. The south fork of Rush Creek runs through the northern portion of the property.

#### **6. Analysis of Request**

The project includes a large sprawling complex to provide housing and support services to residents aged 55 and older. The project includes 99 independent living apartments, 53 assisted living apartments (including 20 memory care apartments) and 54 skilled nursing care rooms. The site includes a bistro, salon, pool and fitness center, chapel, therapy and wellness services for the residents, many of which will be open to the public. The southeast corner of the site includes main street retail-type entrances near the amphitheater to encourage public use.



This is the first development proposed in the Town Center. The Southeast District Plan and Design Guidelines are adopted as Appendix B to the Zoning Ordinance to supplement the ordinance standards. The Town Center is the heart of the City and has higher design standards than other areas of the City in order to create the place as envisioned by the City.

The St. Therese campus does meet one of the primary goals of the district by offering life-cycle housing options that are not currently available in Corcoran.

### Site Plan

The applicant is proposing a minor subdivision that will create three parcels from the existing 8200 County Road 116 property. The northern parcel (Lot 2, Block 1) will be retained by the City and includes the existing city hall building. The western parcel (Outlot A) will be for creation of a lineal park. Lot 1, Block 1 will be created for future St. Therese development.

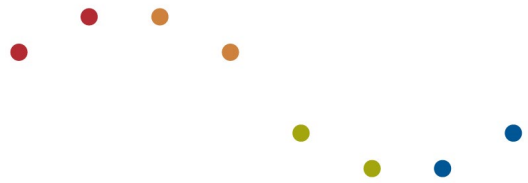
Development in the Town Center should provide cues that this is a unique place with both the architecture and site plan. Special emphasis should be placed on providing accessible destinations and inviting design.

The main entrance to the site is on the west side of the complex and provides access to the chapel and fitness center. The secondary entrance is in Building F (southwest portion of the site) and provides access to the salon, bistro and gift shop. Additional entries are available throughout the site for staff and residents.

One of the unique elements of development in the Town Center is the creation of a consistent street edge. Rather than establishing minimum setbacks like other districts in the City, the Town Center has a maximum building setback and a requirement to create a street edge.

<b>Setback/Build-To lines</b>	<b>Required</b>	<b>Proposed</b>
Front (all streets)	15 foot maximum	6.7 feet from City Center Drive on the east 43.8 feet from 79 <sup>th</sup> Place
Side	None	N/A
Rear (west lot line)	None	100 feet +/-

The street edge requirement is a challenge for this site which has three street frontages (north, east and south). The applicant has worked with staff to identify City Center Drive as the primary street frontage. The site is designed to create a street edge with the amphitheater at the corner of City Center Drive/78<sup>th</sup> Place and the independent living wing of the building at a 6.7-foot setback at that corner (increasing to 14.7 feet at the north end of the building). The Southeast District Plan requires a minimum of the first 50 ft. of the lot frontage on either side of the street intersection to be occupied by buildings set at the build to line. This building provides a street edge along approximately 177 feet of this 1,260-foot-long section of City Center Drive. The spoke-style of the buildings stretches out from the center towards the adjacent streets to draw people into the site, but cannot be located to provide a street edge all frontages.



The Southeast District plan states: “A consistent street edge must be maintained at the right-of-way line along all street frontages. Street edge elements may consist of the primary building, low masonry walls, fences, landscaping or a combination of all of these elements.” The applicant has attempted to replicate a street edge north of building F along City Center Drive by placing benches and landscaping along the street. Staff believes the concept is valid, but additional details are required.

- The City Council may wish to discuss the street edge requirement and attach any necessary conditions to ensure compliance with the intent of the requirement.

### *Density*

The Downtown Mixed Use District will provide for the establishment of a community focal point which is a blend of cultural, civic, entertainment, commercial, retail, residential and office uses. The DMU district expects residential multi-family uses shall be developed at a minimum of ten units per acre or greater.

The independent living units are 48.1% of the units. If we assume they control the equivalent percentage of the land, we can assume it is 99 units on 6.2 acres. This is 15.97 units per acre and complies with ordinance requirements.

### *Future Phases*

The plans show a possible future independent living expansion in the southwest portion of the site. The applicant will be required to come back to request site plan approval for that expansion should it be desired in the future. Should that expansion happen, staff would recommend that the building be shifted south to create an urban street edge on 79<sup>th</sup> Place at the entrance from CR 116.

The northern portion of St. Therese site is vacant, but could also be developed in the future for another phase consistent with the standards in the Zoning Ordinance. No plans have been provided for that portion of the site and any development would require site plan approval.

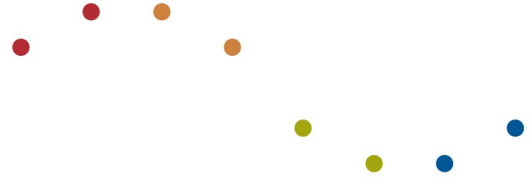
### *Architecture*

The Town Center architecture standards are more specific than any other district and require:

*Exterior building materials shall be classified either primary, secondary, or accent materials. Primary materials shall cover at least 60% of the facade of a building. Secondary materials may cover no more than 30% of the facade. Accent materials may include door and window frames, lintels, cornices, and other minor elements, and may cover no more than 10% of the facade. Allowable materials are as follows:*

- *Primary exterior building materials may be brick, stone (natural or cultured) EIFS, stucco, architectural precast concrete or glass. Bronze tinted or mirror glass are prohibited as exterior materials.*
- *Secondary exterior building materials may be any of the primary building materials above or decorative block, integrally colored stucco, or fiber cement siding (color impregnated or*



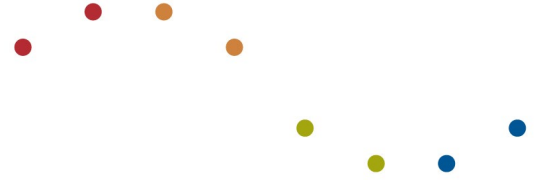


- Painted) in vertical panel design only with hidden seams.*
- *Accent materials may be wood, metal or fiber cement when used in trim, fascia or soffit if appropriately integrated into the overall building design and not situated in areas which will be subject to physical or environmental damage.*
- *All primary and secondary materials shall be integrally colored, except where otherwise stated.*
- *Decorative block shall be colored only by means of a pigment integral to the block material, not applied to the surface.*
- *Sheet metal, corrugated metal, iron, shakes, plain flat concrete block are not acceptable as exterior wall materials.*

The original submittal had a mix of fiberboard lap siding in blue, grey and beige and fiberboard panels as the primary materials, with stone veneer, thin brick veneer and other materials. It appears that the fiber cement siding exceeds the 30% maximum allowed by the Town Center standards. However, the standards use the word “may” not “shall” and; therefore, staff believes that mix generally meets the spirit of the ordinance with high quality materials. Additional information must be provided to calculate the percentage mixes as outlined in the standards.

The applicant is continuing to request approval of the building as originally submitted. However, they have provided a second option in their November 16<sup>th</sup> submittal that would provide thin brick veneer as the primary finish on the street facing elevations on the independent living wings. Those three walls would comply with the standards and they would continue to use the fiberboard as the primary finish on the other elevations. Their narrative provides their justification for the request. Staff believes that the Council has discretion in providing flexibility from the Design Standards and could approve either option proposed by the applicant without a variance if Council finds that would be consistent with the intent of the standards.

- The City Council should discuss the proposed material mix and whether the fiberboard materials are acceptable as a primary material. The Council has three options:
  1. Approve Resolution 2021-131 as drafted. Condition 8(c)ii requires compliance with the standards in the design guidelines.
  2. Approve Resolution 2021-131 and modify condition 8(c)ii to allow the architecture as originally proposed with fiberboard siding as the primary material: “Primary and secondary building material percentages shall be approved as shown on the plans dated October 22, 2021”.
  3. Approve Resolution 2021-131 and modify condition 8(c)ii to allow the architecture as proposed on the November 16<sup>th</sup> plans with brick as the primary building material on the three elevations at the City Center/78<sup>th</sup> Place intersection: “Primary and secondary building material percentages shall be approved as shown on the plans dated November 16, 2021”..



The amphitheater at the corner of City Center Drive and 79<sup>th</sup> Place is intended to anchor the site. The applicant has provided a rendering and conceptual seating to show the intent of the amphitheater but additional details are required to ensure that the grading, utility, landscape and site plans do not conflict.



### *Building Height*

Neither the DMU district nor the Town Center have a maximum building height and multi-story buildings are encouraged. The building varies from two to four stories in height. The plans do not show building height, which is “The vertical distance to be measured from the grade of a building line to the top of the cornice of a flat roof, to the deck line of a mansard roof, to a point on the roof directly above the highest wall of a shed roof, to the upper most point on a round or other arch type roof, to the mean distance of the highest gable on a pitched or hip roof.” Staff has included a condition requiring the plans be revised to dimension the building height for each of the seven wings (A-G). Our analysis shows an average building height of +/- 37.2 feet, with building E and F at approximately 54 feet tall for those four-story buildings.

The building height complies with ordinance standards. The lower buildings are nearest to CR 116 and increase in height as it moves into the Town Center as previously recommended by the City Council when the sketch plan was reviewed in 2019/2020.

### *Screening*

The Code requires all rooftop and mechanical equipment be fully screened. The plans show a rooftop parapet, but no details about mechanical equipment are provided. Large rooftop elements are shown on Buildings A, B and E, but it is unclear whether these are screening rooftop equipment or simply architectural features. A rooftop plan and screening details must be provided to show compliance.

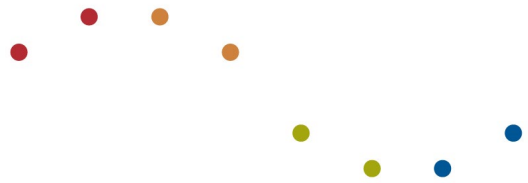
There is also what appears to be a maintenance vehicle or tractor (in white) on the south elevation of Area B (it appears to be part of a possible walled in shed or storage area). Another white, unidentified object, is located on the east elevation of Area A. The applicant should provide further details on these items to ensure proper screening.

### *Trash/Recycling*

All trash and recycling is located inside the building as required by the Town Center standards.

### *Signage*

No sign details are provided by St. Therese. All development signage must submit sign permits and



comply with the sign ordinance in the City Code.

Additionally, staff notes that the Southeast District plan envisions gateway signage at the primary entrances to Town Center, including CR 116/City Center Drive and CR 116/79<sup>th</sup> Place. The Plan says that City will work with developers to design signage that incorporates landscaping, lighting and hardscape to anchor the gateway. However, both of these entrances are outside of the parcel being purchased by St. Therese.

- The City Council should discuss the gateway signage as part of the street design project. Staff recommends that the street design include the gateway signage as part of the hardscape and green infrastructure that will be part of the public street design.

### *Landscaping*

The Zoning Ordinance requires residential uses to provide a minimum of one overstory tree per dwelling unit. Non-residential uses shall contain at a minimum:

- a. One overstory tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater, plus
- b. One understory shrub for each 300 square feet of building or one tree per 30 lineal feet of site perimeter, whichever is greater.

The independent living units are considered residential and the other uses are non-residential. This was the formula used in the terms sheet for the purchase agreement and for the park dedication calculation. The ordinance requires:

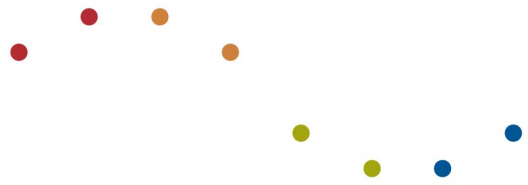
- 99 trees for the 99 independent Living Apartments
- 160 trees and 535 shrubs for the remainder of the building (160,358 sq. ft. of 289,660 sq. ft.)

The ordinance requires 259 trees and 535 shrubs for this site plan and this does not include the future buildings shown in the southwest corner of the site. The revised landscape plans show the equivalent of 181 overstory trees and 535 shrubs.

The developed portion of the site is well landscaped and there is limited space to provide additional landscaping around the buildings. However, it appears that the only space to plant the additional 78 trees required by ordinance is on the vacant north 4+ acres of the site. The applicant's landscape narrative suggests that there may be future development in this area, but no details have been provided and no approvals are granted for future development. Planting trees in this area would be temporary and it seems that the applicant could make an argument that it is a practical difficulty.

- Staff believes that the plans submitted on November 16<sup>th</sup> do show that planting the required trees on site would be a practical difficulty. We have revised condition 8(k)ii of Resolution 2021-131 to say that the applicant must either provide the additional trees as required by ordinance or submit a variance application. A variance would be scheduled for Planning Commission and City Council review in February.

The Town Center has landscaping standards beyond the minimums provided in Section 1060.070 of the Zoning Ordinance, including a list of suggested trees for the Town Center and it appears only



two of those trees are used in the landscape plan. The revised plans should work to incorporate more of these desired trees. Staff also notes the trees on the corner of City Center Drive/79<sup>th</sup> Place are overcrowded and should be staggered and planted approximately 15 feet apart on center, so that the understory trees will survive in front of the conifers.

The applicant provided only 216 shrubs where 535 are required. The code requires shrubs to be planted adjacent to the parking lots on the north and west to screen vehicle headlights. Shrubs should also be considered to screen headlines from residents on parking lots internal to the site. Additionally, the Town Center has additional landscape requirement beyond the minimums in Section 1060.070 of the Zoning Ordinance:

*Parking bays shall have landscape islands at each end, and bays in excess of 15 spaces in length shall be divided by intermediate islands. Landscape islands shall provide at least 360 square feet of area for planting trees, shrubs and/or groundcovers. Intermediate landscape islands shall provide at least 180 square feet of planting area.*

*A landscape buffer of a minimum five feet in width shall be provided between all parking areas and the public sidewalk. The buffer shall consist of shade trees, low shrubs or perennial flowers and a decorative fence or masonry wall. Plantings and parking lot screen walls or fences shall be no less than three feet and no more than four feet in height to allow views into and out of parking areas*

*All land area not occupied by buildings, parking, driveways, sidewalks or other hard surfaces shall be sodded or mulched and landscaped with approved ground cover, flowers, shrubbery and trees.*

*Landscaping shall include a full complement of overstory, ornamental and evergreen trees, shrubbery and ground covers which are hardy and appropriate for the locations in which they are planted and provide year-long color and interest.*

If the landscape islands and buffers described are provided, it appears that the site would be close to meeting the landscaping requirements for shrubs. The plans shall be revised to comply with ordinance requirements.

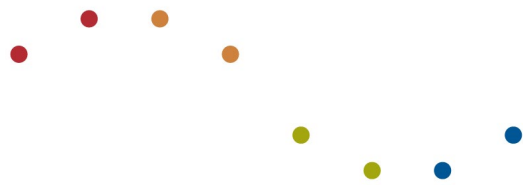
The plans show some potential conflicts with the landscaping and future utilities. Final plans must be provided to ensure conflicts are eliminated.

A community garden is planned in the northwest corner of the St. Therese lot. No details have been provided at this time, but it would be a terrific amenity that could provide unique entrance to the project. The applicant should provide additional details.

Lighting should be designed to be part of the larger Town Center design aesthetic. The developer should work with the City to finalize lighting design.

### *Parking*

The site complies with the minimum parking requirements required by Section 1060.060 of the



Zoning Ordinance:

Land Use	Number of Stalls Required	Required for Project	Provided by Applicant
Senior Housing	1.5 spaces per dwelling (99 independent living units)	149	
Nursing Homes	1 space per two beds (109 beds)	55	
TOTAL		204	212 (141 surface + 71 underground)

Staff notes that there is significant grade change adjacent to the two northern parking areas. We recommend that a fence or wall be installed to protect drivers from rolling over the curb and down the embankment. Plans must be revised to address this issue.

The Town Center standards encourage the addition of bicycle parking. The plans show bicycle parking near the amphitheater. Additional details are required to ensure there are no conflicts with pedestrian routes.

*Access/Streets*

City Center Drive and 79<sup>th</sup> Place will be constructed as a City project and St. Therese will be responsible for their portion of the project. Two accesses off 79<sup>th</sup> Place are proposed and must be modified as noted in the City engineer’s memo to ensure adequate public safety access.

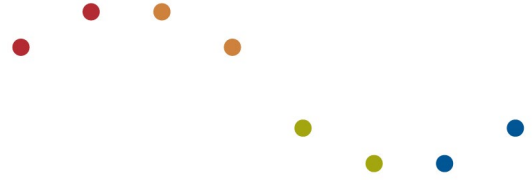
City Center Drive will be designed as parkway street and 79<sup>th</sup> Place as a connector street. The Southeast District Plan provides specific design standards for both of the streets with on-street parking, tree lined boulevards with decorative lighting and sidewalks on both sides of the streets. The parkway also has a planted median. The plans show 23 boulevard trees, but these trees will be designed and installed as part of the city street project and would not be calculated to meet the site landscaping requirements. These items will all be incorporated into the City’s street design.

The plan shows sidewalk connections from the site to the public sidewalk, but an additional connection should be provided on the north end of the site (from the assisted living/memory care building to City Center Drive). Additionally, it is not clear how the community garden would be accessed from the site, but staff recommends a connection be shown on the plans.

New turn lanes will be required from County Road 116. Hennepin County provided review comments as part of the 2020 minor subdivision request and has indicated that their comments remain. The applicant is subject Hennepin County approval.

*Utilities*

This site is located inside of the MUSA boundary and will be served by sewer and water. The applicant has included a preliminary utility design but the public infrastructure within the street right-



of-way has not yet been designed and the exact location will need to be coordinated with the City as part of the design.

Significant offsite utility improvements are required as outlined in the Feasibility Study for the development dated June of 2019. The developer is responsible for all offsite utility improvements as outlined in the feasibility study. However, since the Feasibility Study was completed, Rush Creek Reserve has installed the trunk sanitary sewer to the NE corner of their development. The St. Therese development will be responsible for connecting to the sanitary sewer stub provided at the east edge of the Rush Creek Reserve development and bringing it across CR 116 to serve the development.

### *Public Safety*

The public safety committee met and reviewed the plans. Many of the comments are building code issues, however, the applicant must provide additional information to ensure turning radiuses are provided to meet fire requirements and fire lanes must be provided in compliance with the fire code.

### *Stormwater*

The stormwater for this site is intended to be managed with a regional pond east of the site on Lot 1, Block 2 (the City Hall property). The regional pond will be designed by the City to manage the St. Therese site, new public streets and potentially some future development.

### *Wetlands*

A wetland exemption was approved by the City, waiving the requirement for a wetland delineation on proposed outlot and City Hall lot. Future development in the area will require a wetland delineation to be done at that time.

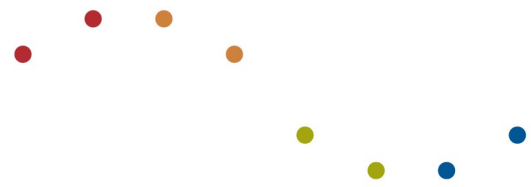
### *Floodplain*

The plans must be revised to indicate the boundary and classification for the FEMA floodplain area in the northern portion of the existing parcel.

### *Park Dedication Requirements*

The plat creates Outlot A, which will be retained by the City of Corcoran as lineal park as envisioned by the Southeast District plan. Ultimately, it will include an off-road trail with landscaping.

Park dedication is due for Lot 1, Block 1, Town Center Addition. St. Therese shall pay park dedication as required by ordinance. The following is an outline of the calculation:



#### Phase 1:

- Skilled housing: 54 units (26.2%)
- Assisted Living: 53 units (25.7%)
- Independent Living: 99 units (48.1%)
- Total: 206 units

Independent living pays the multifamily rate and skilled housing/assisted living pays the commercial rate.

- Independent living: 99 units x \$3,141 = \$310,959.00
- Skilled housing and assisted living: 6.68 acres (51.9% of 12.88 acres) x \$52,432 (appraised value) = \$350,245.75; \$350,245.75 x .03 = \$10,507.37
- TOTAL = \$310,959.00+ \$10,507.37 = \$321,466.37

Final park dedication amounts will be based on the fee schedule in place at the time the final plat is released for filing.

#### Conditional Use Permit

The independent senior apartments are a permitted use in the DMU district, but the assisted living and skilled nursing (nursing home) units are conditional uses in the district. Conditional uses are uses that are allowed if the Conditional Use Permit standards in Section 1070.020 of the Zoning Ordinance are met. Specifically:

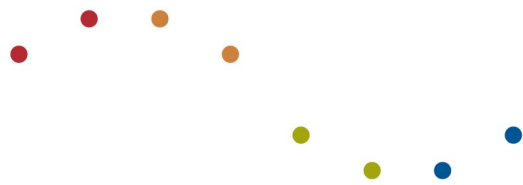
#### *A. Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The senior living complex includes a mix of housing types and public amenities to help the City meet:

- Goal 2, Policy 1 of the Land Use Chapter and Goal 1, Policy 1 of the Housing Chapter in the Comprehensive Plan: “Provide a mix of housing types to provide for a full continuum of housing opportunities, including continued single-family growth and new opportunities for multiple family and senior housing developments.”
- Goal 3, Policy 1 of the Land Use Chapter in the Comprehensive Plan: “Use the Mixed Use land use designation to develop a Town Center similar to that envisioned in the Corcoran Southeast District Plan and Design Guidelines adopted in 2016. These guidelines will be updated to reflect the new transportation policies in this plan.”

#### *B. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort.*

The addition of the assisted living and skilled care facility will promote and enhance the general public welfare by providing housing options that are not currently available in the City for existing



Corcoran residents and their families. The use will not be detrimental to public health, safety morals or comfort, rather it will comply with all building codes for this new facility.

- C. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. These uses are envisioned by the Comprehensive Plan, the DMU zoning district and the Southeast district guidelines, which specifically planned for a mix of uses and housing options.

- D. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The project will plat property in the Town Center and will initiate the construction of City Center Drive and 79<sup>th</sup> Place. The street improvements and extension of municipal sanitary sewer and water will allow adjacent properties to development when landowners choose.

- E. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Municipal sanitary sewer, water and streets will be extended to the site and constructed with the project. A regional stormwater pond will be constructed on the City property to the east to manage stormwater within the plat.

- F. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

Staff has proposed draft conditions to ensure compliance with the Zoning Ordinance regulations.

- G. *The conditional use and site conforms to performance standards as specified by this Chapter.*

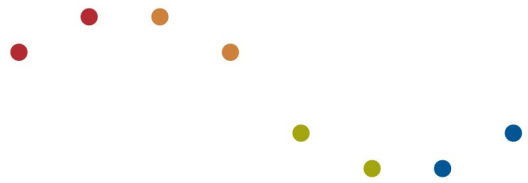
Staff has analyzed the performance standards of this Chapter and has included conditions to ensure compliance with the performance standards.

### Preliminary Plat

The preliminary plat would subdivide the City property into three parcels in “Town Center Addition”:

1. Lot 1, Block 1 = 12.88 acres to be sold for the St. Therese campus
2. Lot 1, Block 2 = 57.84 acres to be retained by the City for Corcoran City Hall property
3. Outlot A = 3.69 acres to be retained by the City for the lineal park





All parcels exceed the 20,000 sq. ft. minimum lot size required in the DMU zoning district.

The preliminary plat also includes dedication of right-of-way for County Road 116 as required by Hennepin County and right-of-way for City Center Drive and 79<sup>th</sup> Place.

### Conclusion

Staff has reviewed the plans with the applicable standards outlined in the Comprehensive Zoning Plan and Zoning Ordinance and finds that the standards for a site plan, CUP and preliminary plat have been met. The proposed use is the type of use long envisioned for the Town Center and staff has included conditions to address outstanding issues. The conditions may result in changes to the site plan, but staff believes the issues can be resolved to move forward with the development.

### **7. Recommendation**

Move to adopt the following as recommended by the Planning Commission:

1. Resolution 2021-130 approving the preliminary plat for “Town Center Addition”
2. Resolution 2021-131 approving the site plan and CUP for St. Therese Communities

### **Attachments**

- a. Resolution 2021-130 approving the preliminary plat for “Town Center Addition”
- b. Resolution 2021-131 approving the site plan and CUP for St. Therese Communities
- c. Location Map
- d. Engineer’s Memo dated October 25, 2021
- e. Public Safety Memo dated October 22, 2021
- f. Hennepin County memo dated November 30, 2020
- g. 2019 Concept Plan
- h. Applicant’s Narrative received October 22, 2021
- i. Civil Plans received September 21, 2021 with updates
- j. Site Plan dated October 20, 2021
- k. Amphitheater Rendering dated October 20, 2021
- l. Main Street Rendering dated October 22, 2021
- m. Building Elevations dated October 22, 2021
- n. Landscape Narrative and Plans Received November 16, 2021
- o. Architecture Narrative and Plans Received November 16, 2021
- p. Parking Plan Received November 16, 2021

**RESOLUTION NO. 2021-130**

**Motion By:**  
**Seconded By:**

**APPROVING PRELIMINARY PLAT FOR "TOWN CENTER ADDITION" AT 8200 CO RD NO 116 (PID 24-119-23-23-0001) (CITY FILE NO. 21-042)**

WHEREAS, Saint Therese Communities ("the applicant") has requested approval of "Town Center Addition" a senior living community on property legally described as follows:

*See Attachment A*

WHEREAS, the Planning Commission has reviewed the plan at a duly called Public Hearing and recommends approval, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that the Corcoran City Council approves the request for a preliminary plat, subject to the following conditions:

1. A preliminary plat is approved to create two lots and one outlot for "Town Center Addition", in accordance with the plans and application received by the City on September 21, 2021 and revisions received on October 18, 2021, October 19, 2021, October 20, 2021 and October 22, 2021 and except as amended by this resolution.
2. Park dedication is due for Lot 1, Block 1 and shall be cash-in-lieu of land, prior to release of the final plat for recording. Final park dedication amounts will be based on the fee schedule in place at the time the final plat is released for filing, but is currently estimated at \$321,466.37 as outlined in the staff report.
3. The applicant shall comply with all requirements of the City Engineer's memo, dated October 26, 2021.
4. The applicant must comply with Hennepin County comments dated November 30, 2020.
5. Approval shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of a final plat.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

**RESOLUTION NO. 2021-130**

**Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

*City Seal*

**RESOLUTION NO. 2021-130**

**ATTACHMENT A**

**DESCRIPTION OF PROPERTY SURVEYED**  
(Per Certificate of Title No. 821472)

Par 1: All that part of the following described tract:

The Southwest quarter of the Northwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, except the North 152 feet of the West 161 feet as measured along the North and West lines thereof, and except the West 339.11 feet thereof lying South of the following described line: Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter, thence North along the West line of said Southwest Quarter of the Northwest Quarter a distance of 382.47 feet to the point of beginning of the line to be described; thence Easterly deflecting 77 degrees, 18 minutes, 13 seconds right, a distance of 347.61 feet to the East line of said West 339.11 feet and said line there terminating.

which lies East of a line drawn parallel with and distant 40.0 feet Easterly of the West line of said Section 24.

Par 2: That part of the Northwest quarter of the Southwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, lying East of a line drawn parallel with and distant 40.0 feet Easterly of the West line of said Section 24.

AND

(Per Certificate of Title No. 1150838)

That part of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, described as follows:  
Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point of beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southwesterly, deflecting 90 degrees right 60.00 feet; thence northwesterly, deflecting 90 degrees right 63.00 feet to the point of beginning.

AND

(Per Certificate of Title No. 1150839)

The West 339.11 feet of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota lying south of the following described line:

Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter; thence North along the West line of said Southwest Quarter of the Northwest Quarter, a distance of 382.47 feet to the point of beginning of the line to be described; thence Easterly deflecting 77 degrees 18 minutes 13 seconds right, a distance of 347.61 feet to the East line of

**RESOLUTION NO. 2021-130**

said West 339.11 feet of the Southwest Quarter of the Northwest Quarter and said line there terminating.

which lies East of a line drawn parallel with a distant 40.0 feet Easterly of the West line of said Section 24;

except that part thereof described as follows: Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point of beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southwesterly, deflecting 90 degrees right 60.00 feet; thence northwesterly, deflecting 90 degrees right 63.00 feet to the point of beginning.

**RESOLUTION NO. 2021-131**

**Motion By:**  
**Seconded By:**

**APPROVAL OF A SITE PLAN AND CONDITIONAL USE PERMIT FOR THE PROPERTY AT  
8200 CO RD NO 116 (PID 24-119-23-23-0001) (CITY FILE NO. 21-042)**

**WHEREAS**, Saint Therese Communities (“the applicant”) has requested approval of a site plan, and conditional use permit to allow a senior living community on property legally described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission has reviewed the site plan and conditional use permit at a duly called public hearing.

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request, subject to the following findings and conditions:

1. A site plan and conditional use permit are approved to allow for the construction of a senior living community as shown on in accordance with the plans and application received by the City on September 21, 2021 and revisions received on October 18, 2021, October 19, 2021, October 20, 2021 and October 22, 2021 and except as amended by this resolution.
2. Approval is contingent upon approval of the preliminary plat for “Town Center Addition” and all related conditions.
3. No approvals are granted for the future phases. A new application for a site plan amendment will be required prior to issuance of building permits for any areas shown as future phases.
4. The applicant shall comply with all requirements of the City Engineer’s memo dated October 25, 2021.
5. The applicant must comply with the Public Safety Plan Review comments dated October 22, 2021.
6. The applicant must comply with Hennepin County comments dated November 30, 2020.
7. A conditional use permit is approved to allow assisting living and skilled nursing (nursing home), subject to the finding that the applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance have been met. Specifically:
  - a. The proposed use complies with the Comprehensive Plan. The senior living complex includes a mix of housing types and public amenities to help the City meet Goal 2, Policy 1 of the Land Use Chapter and Goal 1, Policy 1 of the Housing Chapter in the Comprehensive Plan: “Provide a mix of housing types to provide for a full continuum of housing opportunities, including continued single-family growth and new

## RESOLUTION NO. 2021-131

- opportunities for multiple family and senior housing developments.” and Goal 3, Policy 1 of the Land Use Chapter in the Comprehensive Plan: “Use the Mixed Use land use designation to develop a Town Center similar to that envisioned in the Corcoran Southeast District Plan and Design Guidelines adopted in 2016. These guidelines will be updated to reflect the new transportation policies in this plan.”
- b. The addition of the assisted living and skilled care facility will promote and enhance the general public welfare by providing housing options that are not currently available in the City for existing Corcoran residents and their families. The use will not be detrimental to public health, safety morals or comfort, rather it will comply with all building codes for this new facility.
  - c. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. These uses are envisioned by the Comprehensive Plan, the DMU zoning district and the Southeast district guidelines, which specifically planned for a mix of uses and housing options.
  - d. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The project will plat property in the Town Center and will initiate the construction of City Center Drive and 79<sup>th</sup> Place. The street improvements and extension of municipal sanitary sewer and water will allow adjacent properties to development when landowners choose.
  - e. Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use. Municipal sanitary sewer, water and streets will be extended to the site and constructed with the project. A regional stormwater pond will be constructed on the City property to the east to manage stormwater within the plat.
  - f. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located. Staff has proposed draft conditions to ensure compliance with the Zoning Ordinance regulations.
  - g. The conditional use and site conforms to performance standards as specified by this Chapter. Staff has analyzed the performance standards of this Chapter and has included conditions to ensure compliance with the performance standards.
8. Prior to submittal of a final plat application, the following items must be submitted for review and approval by the City:
- a. The plans shall be updated to provide details showing compliance with the Town Center requirement for a consistent street edge along City Center Drive. The plans must provide details for low masonry walls, fences, landscaping or a combination of these elements. It must include material details for all proposed elements.
  - b. All trash and recycling shall be contained within the building.
  - c. The architectural plans must be revised to show:

**RESOLUTION NO. 2021-131**

- i. Building height as defined by the City Code.
  - ii. Primary and secondary building material percentages as required by the Southeast District plan (Appendix B of the Zoning Ordinance).
- d. Additional details for the amphitheater must be provided for City review and approval.
- e. A master plan showing grading, utility and landscape plans on one sheet must be provided to ensure no conflicts exist.
- f. Mechanical equipment must be fully screened from view in a way that is integral to the architecture of the building. This equipment may not be located in the front yard. The plans must be revised to show compliance.
- g. The plans should be revised to provide more details about the undefined white objects on the south elevation of Area B and the east elevation of Area A to ensure screening is provided in compliance with ordinance requirements.
- h. The architectural plans must be revised to include a rooftop plan.
- i. All signage shall be in compliance with the standards in Chapter 84. All signs require a permit in order to be constructed and will be reviewed at the time of permit submittal.
- j. A revised lighting plan is required to be submitted for review and approval by the City.
  - i. The plans shall be revised to show lighting fixtures that are limited to be either 30 ft. or the roofline of the principal building, whichever is less.
  - ii. Details about the light pole and base shall be provided to ensure compliance with height limits.
  - iii. Light fixture design shall be coordinated for consistency with the Town Center lighting aesthetic.
- k. A revised landscape plan shall be submitted to show the following as required by Section 1060.070 of the Zoning Ordinance:
  - i. An irrigation plan is required and must be provided.
  - ii. A minimum of 259 overstory trees (or equivalent) and 535 shrubs shall be provided or the applicant shall submit a variance application to allow fewer trees.
  - iii. Trees should be spaced in accordance with industry standards. The plantings at the southeast corner of the site should be modified to provide the recommended 15-foot spacing to ensure survivability.



**RESOLUTION NO. 2021-131**

- iv. Screening shall be provided to screen automobile headlights from adjacent properties. Such screening shall be at least three feet in height and fully opaque, consisting of a wall, fence, dense vegetation, berm, or grade change.
  - v. A landscape buffer at least 5 feet in width shall be provided between all parking and a public sidewalk.
  - vi. Parking bays shall have landscape islands at each end, and bays in excess of 15 spaces in length shall be divided by intermediate islands. Landscape islands shall provide at least 360 square feet of area for planting trees, shrubs and/or groundcovers. Intermediate landscape islands shall provide at least 180 square feet of planting area.
  - vii. A wall or fence should be provided at the edge of the northern parking areas to protect vehicles from the adjacent grade change.
9. A minimum of 204 parking stalls shall be provided on site. Sheet C300 submitted on November 16, 2021 shows compliance and the other plan sheets must be updated accordingly.
10. Bicycle parking is provided in the southeast portion of the site. Details must be provided.
11. The developer should work with the City on the design of gateway signage at CR 116/79<sup>th</sup> Place and CR 116/City Center Drive.
12. An additional sidewalk connection from the site to the planned City Center Drive sidewalk shall be provided on the north end of the complex (from the assisted living/memory care building).
13. A pedestrian connection from the senior living complex to the community garden must be shown on the plans.
14. The boundary, classification and elevation of the FEMA floodplain must be clearly shown on the plans.
15. A building permit is required prior to beginning construction.
16. FURTHER, that the following conditions be met prior to issuance of building permits:
  - a. The applicant shall submit any and all necessary permits to the watershed and receive approval and shall provide proof of permits to the City.
  - b. The developer shall enter into a site improvement agreement and submit a financial guarantee for the proposed work as outlined in Section 1070.050, Subd. 9 of the Zoning Ordinance.
  - c. A complete set of revised plans shall be submitted showing compliance with the approval conditions in this resolution.

**RESOLUTION NO. 2021-131**

- d. Record the approving resolution, the stormwater management agreement and stormwater easement at Hennepin County and provide proof of recording to the City.
17. FURTHER, any request to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project landscape architect. A letter signed by the project landscape architect verifying plantings have been corrected and is in compliance with the plans and specifications will suffice.
18. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.

**VOTING AYE**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November 2021.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2021-131**

**ATTACHMENT A**

DESCRIPTION OF PROPERTY SURVEYED  
(Per Certificate of Title No. 821472)

Par 1: All that part of the following described tract:

The Southwest quarter of the Northwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, except the North 152 feet of the West 161 feet as measured along the North and West lines thereof, and except the West 339.11 feet thereof lying South of the following described line: Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter, thence North along the West line of said Southwest Quarter of the Northwest Quarter a distance of 382.47 feet to the point of beginning of the line to be described; thence Easterly deflecting 77 degrees, 18 minutes, 13 seconds right, a distance of 347.61 feet to the East line of said West 339.11 feet and said line there terminating.

which lies East of a line drawn parallel with and distant 40.0 feet Easterly of the West line of said Section 24.

Par 2: That part of the Northwest quarter of the Southwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, lying East of a line drawn parallel with and distant 40.0 feet Easterly of the West line of said Section 24.

AND

(Per Certificate of Title No. 1150838)

That part of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, described as follows:  
Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point of beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southwesterly, deflecting 90 degrees right 60.00 feet; thence northwesterly, deflecting 90 degrees right 63.00 feet to the point of beginning.

AND

(Per Certificate of Title No. 1150839)

The West 339.11 feet of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota lying south of the following described line:

Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter; thence North along the West line of said Southwest Quarter of the Northwest Quarter, a distance of 382.47 feet to the point of beginning of the line to be described; thence Easterly deflecting 77 degrees 18 minutes 13 seconds right, a distance of 347.61 feet to the East line of

**RESOLUTION NO. 2021-131**

said West 339.11 feet of the Southwest Quarter of the Northwest Quarter and said line there terminating.

which lies East of a line drawn parallel with a distant 40.0 feet Easterly of the West line of said Section 24;

except that part thereof described as follows: Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point of beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southwesterly, deflecting 90 degrees right 60.00 feet; thence northwesterly, deflecting 90 degrees right 63.00 feet to the point of beginning.



# Hennepin County Property Map

Date: 10/26/2021



PARCEL ID: 2411923230001

OWNER NAME: City Of Corcoran

PARCEL ADDRESS: 8200 Co Rd No 116, Corcoran MN 55340

PARCEL AREA: 78.88 acres, 3,436,132 sq ft

A-T-B: Torrens

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Commercial-Preferred

HOMESTEAD: Non-Homestead

MARKET VALUE: \$0

TAX TOTAL: \$0.00

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Commercial

HOMESTEAD: Non-homestead

MARKET VALUE: \$0

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran                      From: Kent Torve, PE, City Engineer  
Steve Hegland, PE

Project: St. Therese Senior Living                      Date: 10/25/2021

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**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Preliminary Report of Geotechnical Exploration (Soil Boring Report), prepared by American Engineering Testing, Inc., Signed and dated January 27, 2021
2. Wetland Investigation, Prepared by Anderson, Dated December 10, 2019
3. Development Application Package (Land Use Application and Project Narrative), Signed dated September 17, 2021
4. Hydrology Calculations (Stormwater Management Plan), Submitted by BKBM Engineers, Dated May 24, 2021
5. Preliminary Plat Plan, Prepared by Sunde Land Surveying, Signed and dated September 20, 2021.
6. Site Plan Set, Prepared by BKBM dated September 21, 2021
7. St. Therese Landascape Submittal, Prepared by BKBM dated October 18, 2021

**Comments:**General:

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. These comments are based on a preliminary review of the information provided. They are intended to assist the applicant with future submittals. Additional comments and a more detailed review will be provided on future submittals.
3. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Corcoran.
4. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.

Plat:

1. Lot 1 Block 2 and Outlot A will be City-Owned Parcels and the St. Therese Development will be within Lot 1 Block 1 of the Town Center Addition Final Plat.

October 25, 2021

St. Therese Senior Living

Kevin Mattson

Page 2 of 5

### Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction. Please use a separate plan sheet and do so in accordance with MPCA SWPPP guidelines. C500 only has pre and post conditions without any silt fence maps, rock entry points, etc.
  - a. The below details are examples of things that need to be addressed on the SWPPP Plan Sheet. These are just examples and not a composite list of everything which may be necessary.
    - i. Double row silt fence is necessary at wetlands/water bodies
    - ii. Gravel construction entrances 50 feet length minimum, if possible are needed on site and need to be detailed in plan sheet
    - iii. Silt fence at pond NWL after grading
    - iv. All inlet controls and other BMP's to fully manage all runoff from the site.

### Sewer and Water Utilities

1. The utilities shown within City Center Drive are not existing infrastructure and are assumed to be installed with the City Center Drive Project which will include the construction the public roadways and utilities to support the development. All utility locations and stubs as shown on drawings may be adjusted with the final City design if necessary.
2. Coordinate location, size, alignment and grade prior to installation.
  - a. Offsite watermain adjacent to County Road 116 shown at location 75' off County Road Centerline. Modifications may be made with final design.
3. Developer shall be responsible for all sewer and water infrastructure within City Center Drive to accommodate development.
4. Significant offsite utility improvements are necessary to support the development as outlined in the Feasibility Study for the development dated June of 2019. Developer shall be responsible for all offsite utility improvements as outlined in the feasibility study.
5. Since the Feasibility Study was completed, the adjacent Rush Creek Development installed the trunk sanitary sewer to the NE corner of their development. The St. Therese development shall be responsible for connecting to the sanitary sewer stub provided at the east edge of the Rush Creek development and routing to and through the City Center Drive Improvements. This shall include all costs for offsite land rights. This shall be done in lieu of the temporary lift station and forcemain as outlined in the 2019 Feasibility Study.
6. Consistent with previous development in the City, the developer the first opportunity to negotiate with offsite property owners and M&I development on any shared costs for the offsite improvements. The City may assist with the offsite property owners if requested.

7. The City Center Drive Project may include utility stubs to the Corcoran City Hall and future development to the East. The City will determine the final utility layout and stub locations with the final design.
8. The sewer services shall be combined within the St. Therese development as much as practical to reduce connections to the city system.
9. A sewage grinder system will likely be required by Public Works for sewer discharge prior to entering the city system to protect it from unwanted debris. The number and location of the grinder systems will be determined at the building plan review when additional details are available on the source of the sewer services.
10. It is assumed that sewer and water stubs will be provided to the open lots north of the current St. Therese Development for future development.
11. Internal water lines are to be considered private.
  - a. Water loop considered to be private. If this water line is deemed to be public, additional easements and agreements will be necessary
12. Separate domestic and fire water services to be provided with valves for each at the property line.
13. Public safety to review hydrant spacing.
14. The watermain along County Road 116 should be a 16" watermain as identified in the June 2019 Feasibility Study.
15. Applicant shall be responsible for confirming all fire sprinkler requirements for their site and confirming that pressure available at service location meets requirements for the site or if any additional pressure boosters will be necessary.

#### Transportation

1. City Center Drive and 79<sup>th</sup> Place are assumed to be constructed as a City lead project in conjunction with the St. Therese Development. Coordination and adjustment to entrance locations will be necessary and will be coordinated with final design.
2. Provide turn movements for updated site plan with vehicle types as provided by public safety.
3. Provide wider access to east entrance on 79<sup>th</sup> Place to accommodate emergency vehicles.
4. Provide individual pedestrian ramp details and final building plans. All pedestrian ramps to be ADA compliant.
5. Final site plan shall identify all ADA compliant access routes throughout the site.

#### Grading /Stormwater

1. The stormwater management for this site is intended to be treated with a regional pond which will manage runoff from the St. Therese Site as well as, the city streets and even potentially future development. It is assumed that the City and St. Therese will develop a grading and stormwater agreement in which the conditions for the design and



construction of the stormwater management system will be clarified. If for whatever reason, a stormwater management agreement cannot be reached, St. Therese will be responsible for managing the stormwater runoff from their site entirely within their parcel to meet all City, Watershed, State and other agency regulations. Accommodating this standard will require additional changes to the site plan that are not specifically noted in these comments.

2. Provide a minimum Time of Concentration of 6 minutes per MNDOT drainage manual. One example is Existing Drainage Area 2 which has a Tc of only 4.5 minutes. All sub catchments should have a minimum of 6 minutes unless calculations are shown.
3. Sheet flow of 100' maximum should be used for existing and proposed conditions. A flow path use of 100' is acceptable for current modeling methods.
4. Revise land use for time of concentration calculations using turf sod, pavement, etc. typical of development.
5. Provide explanation and show on plans how subcatchment 3,4, and 5 will reach regional pond. Model sub catchment 4 and 5 from existing and proposed as directly being routed to regional pond storage area combined node.
6. Provide sub catchment combined flow rates at each location where stormwater discharges off-site.
7. Show total acres draining to each existing and proposed discharge location.
8. Additional sub watershed boundaries should be delineated for sub catchment 6 due to nature of drainage of storm sewer network. Each discharge location to the ROW should be accounted for separately.
9. Verify that runoff from Ditch along County Road 116. Modeling from the Rush Creek Development indicated a small amount of runoff is routed north from the County Road 10 intersection along the county road ditch.
10. Curve numbers should be adjusted for existing conditions according to NRCS web soil survey. HSG C/D should be model as HSG C for existing conditions and HSG D should be used for proposed due to grading and compaction.
11. Provide proposed storm sewer plan sheets with rim elevations, inverts, sizes, material, and shape. We recommend labelling rim elevations and inverts on grading plans throughout the site or showing contours on the storm sewer plans.
12. Submit rational method spreadsheet for storm sewer pipe sizing. Provide drainage diagram with drainage area to each inlet.
  - o City of Corcoran limits flow to each inlet to 2.0 cfs or 2.5 cfs maximum, unless spread calculations are provided. This is typically a 250 foot catch basin spacing along a road.
13. Offsite areas such subcatchment 4 and 5 should remain the same for modeling purposes from existing to proposed.
14. All future expansion impervious areas should be modeled unless separate permit and stormwater management will be provided for future expansions. (e.g. future buildings)
15. Change HydroCad rainfall distribution to MSE3 to comply with NOAA Minnesota stormwater standards.
16. EOF locations, elevations and overtop direction should be shown on the plans.
17. Depressional storage such as at the north end of the property, shall be modeled. Provide 100 WSELs for all depressions where ponding may occur.
18. Please provide electronic version (CAD or GIS) of watershed boundaries.

October 25, 2021

St. Therese Senior Living

Kevin Mattson

Page 5 of 5

19. All EOF's and Low Openings shall meet the separation requirements as outlined in the City of Corcoran Stormwater Requirements.
20. It appears that entrance at the main drive to the south does not meet EOF separation requirements.
21. Clarify on the grading plan which of the curb and gutter is full height and which his knockdown. There are portions along the west side in which the curb appears to be full height but the spot elevation labels indicate knock down. All gutter lines that convey water should have a back to sure water stays within gutter.
22. All site features shall be included in the grading plan, including but not limited to, the amphitheater.
23. All storm sewer within the public ROW shall be RCP.

#### Landscaping

1. Landscaping plan to be revised pending private watermain review. Some of landscaping may be impacted by future watermain.

**End of Comments**



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

# Memo

**To:** Planning (Planners Lindahl and Davis)  
**From:** Director Gottschalk  
**Date:** October 22, 2021  
**Re:** Saint Therese

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A Public Safety plan review meeting was held on 10/06/2021. In attendance were: Director of Public Safety Gottschalk, Lieutenant Ryan Burns, Planner Davis, Fire Chief Feist, Fire Chief Malewicki, Fire Chief Leuer, Building Official Geske, and Construction Services Specialist Pritchard. Additionally, a meeting with the Saint Therese development team was held on October 19, 2021. Those in attendance included Fire Chief Feist and Building Official Geske. The comments below are based on the most recently submitted site plans as of October 18, 2021 and are intended as initial feedback as further plan review will need to be completed as construction plans are available.

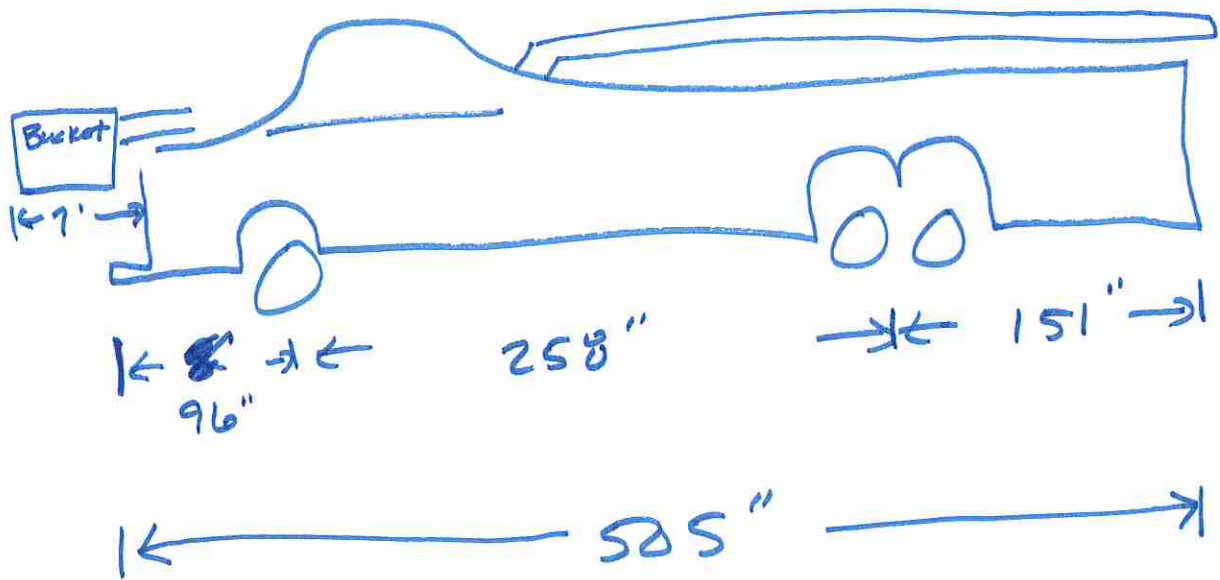
1. Any dead-end connections on the site that are at or exceed 150' in length will need a turnaround per fire code. Submittal of a proposed building occupancy type map is requested to see if the dead-end length can be increased.
2. Hydrants need to be located within 100' of the fire department connections located outside of any sprinkler rooms. This maximum distance could be increased dependent on occupancy and assuming the building will be fully sprinklered. Additionally, fire hydrants must be located at the entrances of the underground parking. Finally, please confirm the distance of the southeast entrance to the nearest fire hydrant which looks to be located by the loop/amphitheater area.
3. Standpipes will be required with the underground parking. Connections for standpipes should be outside of the stairwell for underground parking with a 1 ½" connection.
4. The applicant needs to confirm whether or not a 2<sup>nd</sup> sprinkler room is required. A 2<sup>nd</sup> sprinkler room is preferred if the complex will have two separate addresses so that the fire control panel will accurately indicate which part of the building needs assistance. If there is just 1 sprinkler room, a fire pump may be required.
5. The circulation plan will need to be revised based on the dimensions and radius of the Fire Department's biggest truck(s) (exhibits enclosed). Specifically, the plan needs to show that the turn around in the southeast corner of the site can be navigated by the largest fire

truck. It is possible planned streetlights and parking lights could impact ability for trucks to turn around, the circulation map will also need to show that any lights will not conflict with the ability for the largest fire truck to turnaround.

Additional considerations as plans progress:

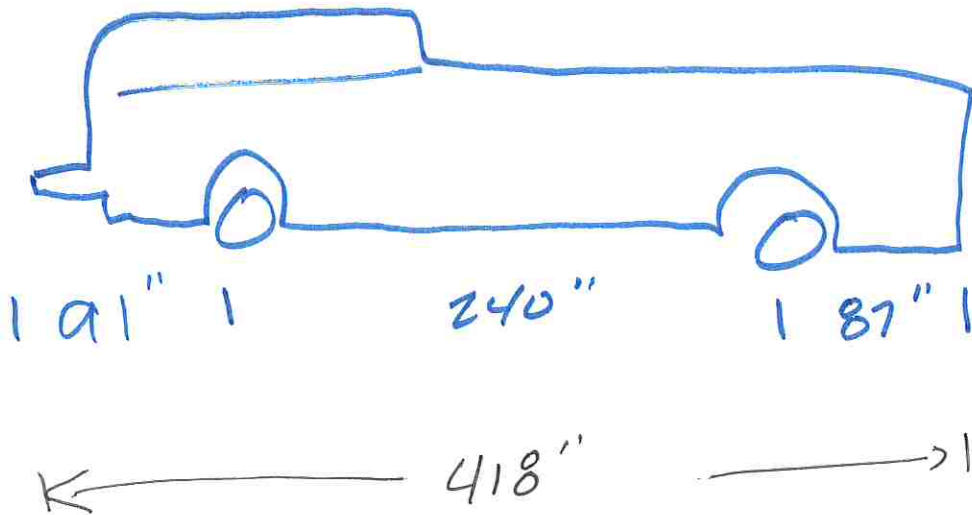
1. On the 4-story portions of the building, window washing anchors will be required.
2. The Public Safety Team will want to later review the sprinkler plan, particularly for the underground parking.
3. It will be necessary to have multiple key boxes at the entrances and sprinkler rooms.
4. No parking signs will be required roughly every 75 feet in locations where parking is not intended and fire access could be blocked.
5. The Building Official will want to better understand automatic locking egress doors for memory care once the State has provided approval.
6. It will be important to confirm there is proper signal for radio communications throughout the complex to avoid dead spots. A repeater may be needed, and this is a concern with underground parking areas that are surrounded by concrete.
7. The applicant will want to consider any special ventilation and CO detection needs.
8. Hood suppression systems in the proposed restaurants need to be wired to the main fire panels.

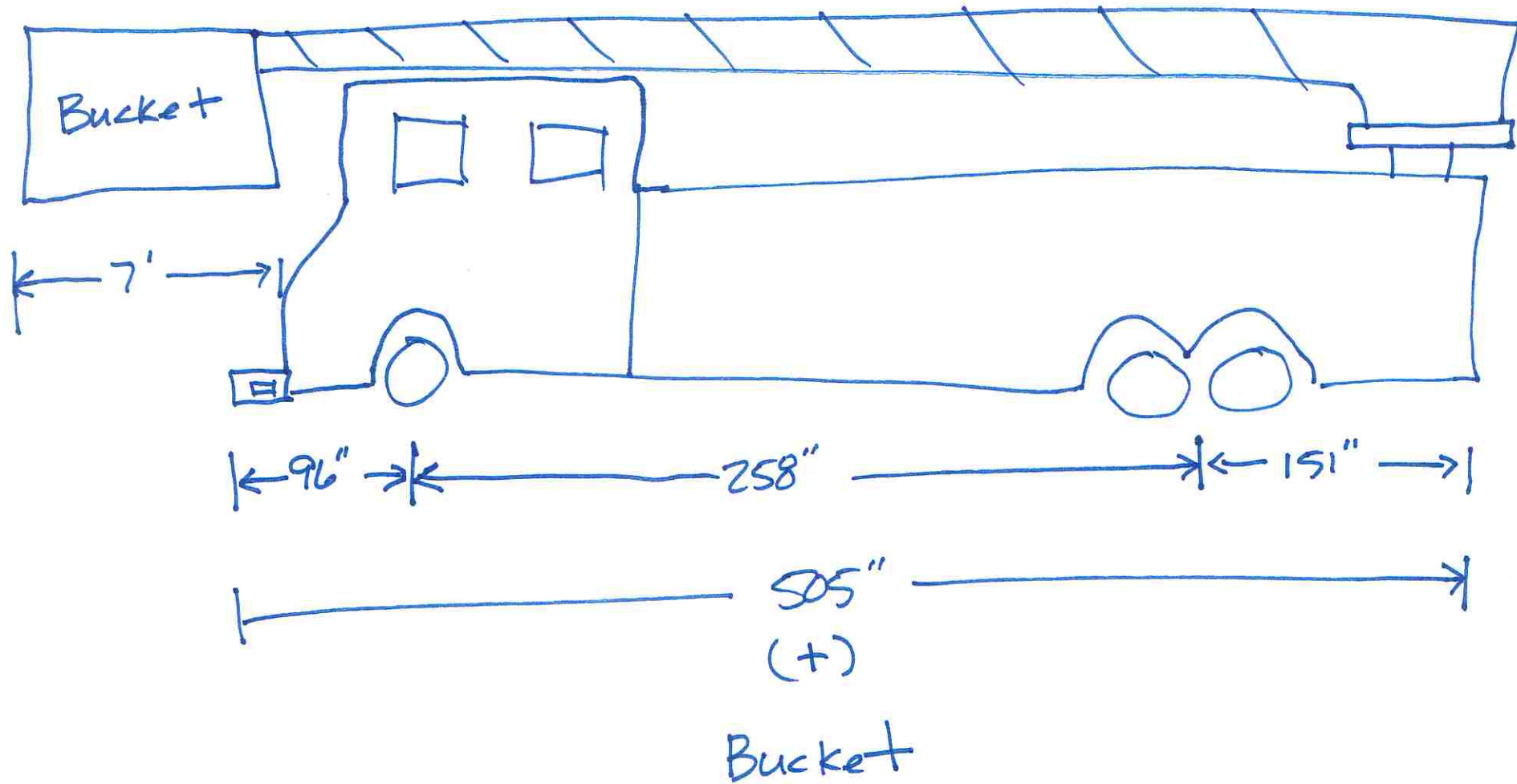
A-11



Truck body ground clearance is 14"

E-11





Rogers FIRE  
AERIAL 11 TRUCK

Down Riggers extend  
out approx. 5' on  
each side.

# HENNEPIN COUNTY

## MINNESOTA

November 30, 2020

Ms. Kendra Lindahl, AICP  
Principal Consultant  
City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

Re: Preliminary Plat Review – St. Therese Minor Subdivision (Received 11/02/20)  
County Road 116 at Corcoran City Hall  
Hennepin County Plat Review ID #3808A (Reviewed 11/10/20)

Dear Ms. Lindahl:

Please consider the following comments in your review of this proposed subdivision of the 80-acre city property. This subdivision will allow for a multi-phase development including a senior residential community. Many site elements and its surrounding area (access, right-of-way, etc.) were previously guided by city and county staff in the 'Southeast District Plan' (2015).

**Access:** Two future public street connections to County Road 116 are proposed; one north access at the existing city hall entrance (City Centre Drive), and one south access (79th Place) spaced approximately 1,300 feet apart. Pending demonstration of sufficient sight distance, we accept both accesses. Full turn lanes in both directions (northbound right and southbound left) will be required at each location, with review by county staff prior to permit approvals. Additionally, we support dedication of access easements to neighboring parcels to redirect access away from County Road 116 as opportunities arise to connect to the planned local street network.

**Right-of-way:** We support dedication to match the proposed 60-foot half right of way along County Road 116 to allow space for future corridor enhancements. We also support the proposed public right of way dedications for the proposed street connections to County Road 116. The wider 72-foot right of way proposed at the north access (City Centre Drive) will allow for two outbound lanes as it may warrant additional future intersection traffic control. Additional dedication to provide sufficient sight distance at the corners would also be prudent.

**Storm Water / Drainage:** Please ensure discharge rates remain less than existing flow rates. The county storm water system will not take water from new drainage areas. Additional treatments may be necessary if flow rates cannot match existing. *Contact: Drew McGovern at 612-596-0208 or [drew.mcgovern@hennepin.us](mailto:drew.mcgovern@hennepin.us)*

Hennepin County Transportation Project Delivery  
Public Works Facility, 1600 Prairie Drive, Medina, MN 55340  
612-596-0300 | [hennepin.us](http://hennepin.us)



Permits: Please inform the developer that all construction within county right of way requires an approved Hennepin County permit prior to beginning construction. This includes, but is not limited to, driveway and street access, drainage and utility construction, trail development, and landscaping.

Contact: Michael Olmstead, Permits Coordinator at 612-596-0336 or [michael.olmstead@hennepin.us](mailto:michael.olmstead@hennepin.us)

Please contact Jason Gottfried: 612-596-0394, [jason.gottfried@hennepin.us](mailto:jason.gottfried@hennepin.us) for any further discussion.

Sincerely,



Carla Stueve, PE, PTOE  
County Highway Engineer







# Hennepin County Natural Resources Map

Date: 1/17/2020

## Legend

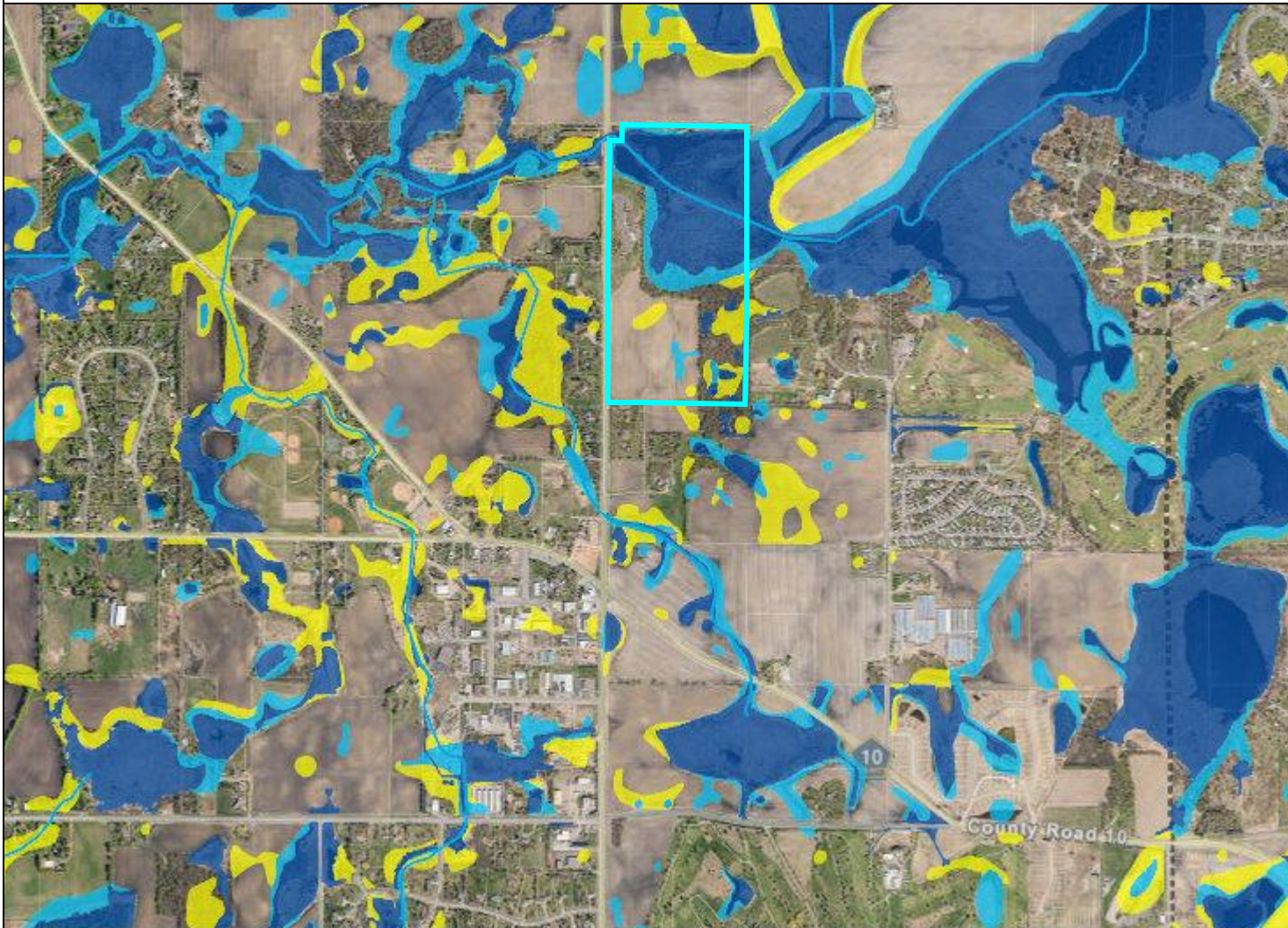
— Streams

### Wetlands

■ Potential Wetland - HCWI

■ Probable Wetland - HCWI

■ Probable Wetland - NWI



PID: 2411923230001  
Address: 8200 CO RD NO 116,  
CORCORAN  
Owner Name: CITY OF CORCORAN  
Acres: 78.88

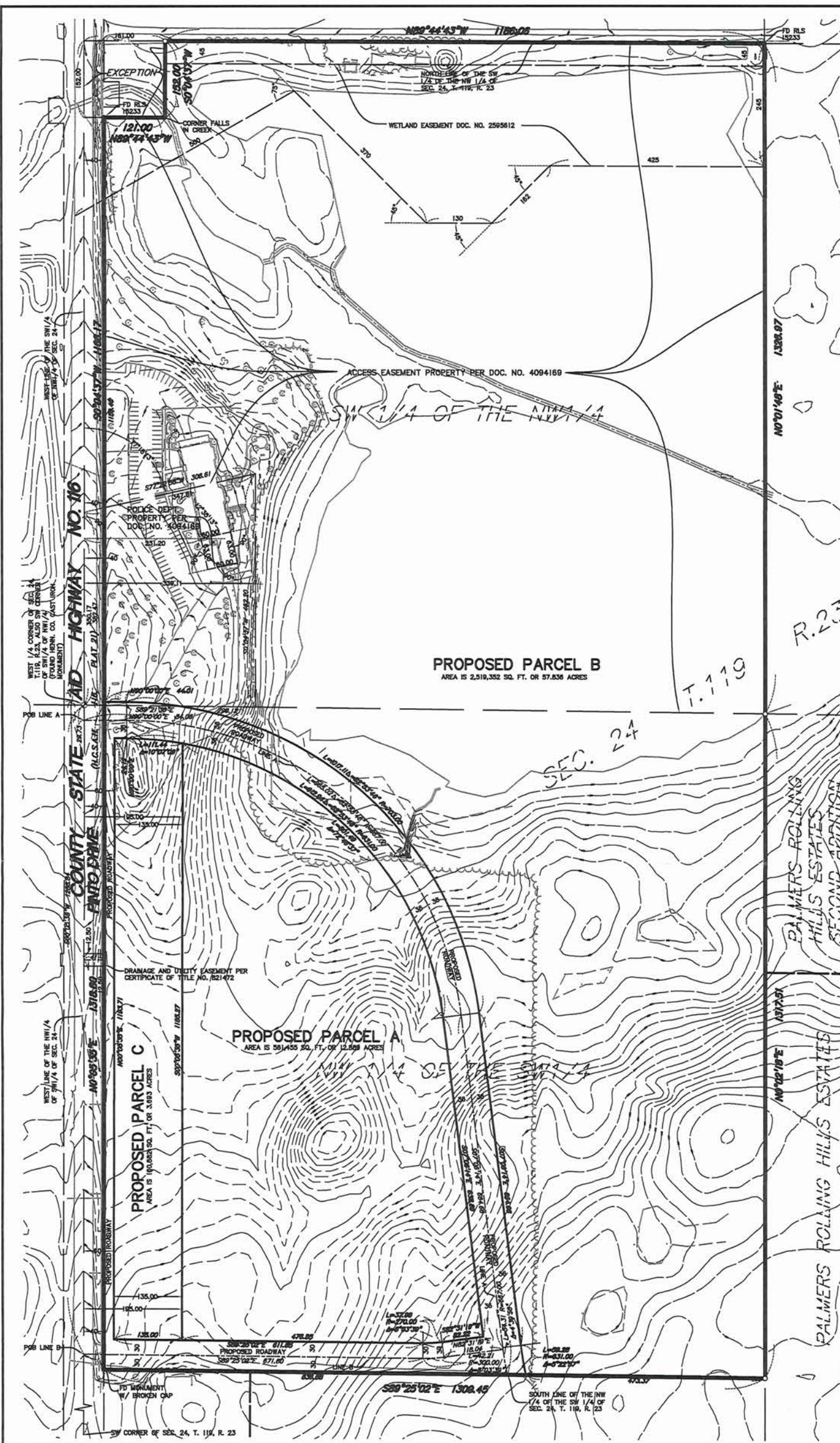
Comments:

1 inch = 1,600 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy, (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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**DESCRIPTION OF PROPERTY SURVEYED**  
(Per Certificate of Title No. B21472)

Par 1: All that part of the following described tract:  
The Southwest quarter of the Northwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, except the North 152 feet of the West 161 feet as measured along the North and West lines thereof, and except the West 339.11 feet thereof lying South of the following described line: Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter, thence North along the West line of said Southwest Quarter of the Northwest Quarter a distance of 382.47 feet to the point of beginning of the line to be described; thence East along the East line of said Southwest Quarter of the Northwest Quarter a distance of 347.81 feet to the East line of said West 339.11 feet and said line there terminating;  
which lies East of a line drawn parallel with and distant 40.0 feet East of the West line of said Section 24.

Par 2: That part of the Northwest quarter of the Southwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, lying East of a line drawn parallel with and distant 40.0 feet East of the West line of said Section 24.  
AND  
(Per Certificate of Title No. 1150838)  
That part of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, described as follows:  
Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southeasterly, deflecting 90 degrees right 60.00 feet; thence northeasterly, deflecting 90 degrees right 63.00 feet to the point of beginning.  
AND  
(Per Certificate of Title No. 1150839)  
The West 339.11 feet of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota lying south of the following described line:  
Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter; thence North along the West line of said Southwest Quarter of the Northwest Quarter, a distance of 382.47 feet to the point of beginning of the line to be described; thence East along the East line of said Southwest Quarter of the Northwest Quarter a distance of 347.81 feet to the East line of said West 339.11 feet of the Southwest Quarter of the Northwest Quarter and said line there terminating;  
which lies East of a line drawn parallel with and distant 40.0 feet East of the West line of said Section 24;  
except that part thereof described as follows: Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southeasterly, deflecting 90 degrees right 60.00 feet; thence northeasterly, deflecting 90 degrees right 63.00 feet to the point of beginning.

**TITLE COMMITMENT**  
This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to review upon receipt of a current title insurance commitment or attorney's title opinion.

**PROPOSED PARCEL DESCRIPTIONS**

**PROPOSED PARCEL A**  
That part of the Northwest Quarter of the Southwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, lying east of the west 185.00 feet thereof, lying southerly, southeasterly and westerly of a line 38.00 feet southerly, southeasterly and westerly of Line A described below, and lying northerly of a line 30.00 feet northerly of Line B described below.  
Line A is described as commencing at the West Quarter corner of said Section 24; thence South 00 degrees 05 minutes 35 seconds West, assumed bearing along the west line of said Northwest Quarter of the Southwest Quarter, a distance of 29.73 feet to the point of beginning of said Line A; thence North 90 degrees 00 minutes 00 seconds East 84.06 feet; thence southeasterly 985.02 feet along a tangential curve concave to the southwest having a radius of 687.00 feet and a central angle of 82 degrees 53 minutes 46 seconds; thence South 07 degrees 06 minutes 14 seconds East, tangent to said curve, 664.68 feet; thence southeasterly 54.31 feet along a tangential curve concave to the northeast having a radius of 687.00 feet and a central angle of 04 degrees 39 minutes 56 seconds to the south line of said Northwest Quarter of the Southwest Quarter and said Line A there terminating.  
Line B is described as commencing at said West Quarter corner; thence South 00 degrees 05 minutes 35 seconds West along said west line of the Northwest Quarter of the Southwest Quarter a distance of 1288.84 feet to north line of the South 30.00 feet of said Northwest Quarter of the Southwest Quarter and the point of beginning of said Line B; thence South 89 degrees 25 minutes 02 seconds East along said north line of the South 30.00 feet of the Northwest Quarter of the Southwest Quarter 671.80 feet; thence easterly 42.21 feet along a tangential curve concave to the north having a radius of 300.00 feet and a central angle of 08 degrees 03 minutes 39 seconds; thence North 82 degrees 31 minutes 19 seconds East, tangent to the last described curve, 118.04 feet and said Line B there terminating.

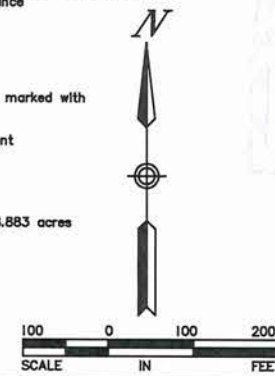
**PROPOSED PARCEL B**  
That part of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, except the North 152 feet of the West 161 feet as measured along the North and West lines of said Northwest Quarter of the Southwest Quarter and that part of the Northwest Quarter of the Southwest Quarter of said Section 24, lying east of the west 40.00 feet thereof, and lying northerly, northeasterly and easterly of a line 38.00 feet northerly, northeasterly and easterly of Line A described below and its southerly extension.  
Line A is described as commencing at the West Quarter corner of said Section 24; thence South 00 degrees 05 minutes 35 seconds West, assumed bearing along the west line of said Northwest Quarter of the Southwest Quarter, a distance of 29.73 feet to the point of beginning of said Line A; thence North 90 degrees 00 minutes 00 seconds East 84.06 feet; thence southeasterly 985.02 feet along a tangential curve concave to the southwest having a radius of 687.00 feet and a central angle of 82 degrees 53 minutes 46 seconds; thence South 07 degrees 06 minutes 14 seconds East, tangent to said curve, 664.68 feet; thence southeasterly 54.31 feet along a tangential curve concave to the northeast having a radius of 687.00 feet and a central angle of 04 degrees 39 minutes 56 seconds to the south line of said Northwest Quarter of the Southwest Quarter and said Line A there terminating.

**PROPOSED PARCEL C**  
That part of the East 135.00 feet of the West 195.00 feet of the Northwest Quarter of the Southwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, lying northerly of the south 60.00 feet of said Northwest Quarter of the Southwest Quarter, and lying southerly of a line 38.00 feet southerly of Line A described below.  
Line A is described as commencing at the West Quarter corner of said Section 24; thence South 00 degrees 05 minutes 35 seconds West, assumed bearing along the west line of said Northwest Quarter of the Southwest Quarter, a distance of 29.73 feet to the point of beginning of said Line A; thence North 90 degrees 00 minutes 00 seconds East 84.06 feet; thence southeasterly 985.02 feet along a tangential curve concave to the southwest having a radius of 687.00 feet and a central angle of 82 degrees 53 minutes 46 seconds; thence South 07 degrees 06 minutes 14 seconds East, tangent to said curve, 664.68 feet; thence southeasterly 54.31 feet along a tangential curve concave to the northeast having a radius of 687.00 feet and a central angle of 04 degrees 39 minutes 56 seconds to the south line of said Northwest Quarter of the Southwest Quarter and said Line A there terminating.

**PROPOSED ROADWAY**  
The east 20.00 feet of the west 60.00 feet of the Northwest Quarter of the Southwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, and that part of the Southwest Quarter of the Northwest Quarter and the Southwest Quarter of the Northwest Quarter of said Section 24 lying 38.00 feet on either side of Line A described below and its southerly extension.  
And that part of said Northwest Quarter of the Southwest Quarter lying southerly of a line 30.00 feet northerly of Line B described below.  
Line A is described as commencing at the West Quarter corner of said Section 24; thence South 00 degrees 05 minutes 35 seconds West, assumed bearing along the west line of said Northwest Quarter of the Southwest Quarter, a distance of 29.73 feet to the point of beginning of said Line A; thence North 90 degrees 00 minutes 00 seconds East 84.06 feet; thence southeasterly 985.02 feet along a tangential curve concave to the southwest having a radius of 687.00 feet and a central angle of 82 degrees 53 minutes 46 seconds; thence South 07 degrees 06 minutes 14 seconds East, tangent to said curve, 664.68 feet; thence southeasterly 54.31 feet along a tangential curve concave to the northeast having a radius of 687.00 feet and a central angle of 04 degrees 39 minutes 56 seconds to the south line of said Northwest Quarter of the Southwest Quarter and said Line A there terminating.  
Line B is described as commencing at said West Quarter corner; thence South 00 degrees 05 minutes 35 seconds West along said west line of the Northwest Quarter of the Southwest Quarter a distance of 1288.84 feet to north line of the South 30.00 feet of said Northwest Quarter of the Southwest Quarter and the point of beginning of said Line B; thence South 89 degrees 25 minutes 02 seconds East along said north line of the South 30.00 feet of the Northwest Quarter of the Southwest Quarter 671.80 feet; thence easterly 42.21 feet along a tangential curve concave to the north having a radius of 300.00 feet and a central angle of 08 degrees 03 minutes 39 seconds; thence North 82 degrees 31 minutes 19 seconds East, tangent to the last described curve, 118.04 feet and said Line B there terminating.

- GENERAL NOTES**
- Survey coordinate basis: Hennepin County Coordinate System (NAD83 1986)
  - Wetlands shown hereon are per delineation markers observed in the process of conducting the fieldwork.
- UTILITY NOTES**
- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
  - Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
  - Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 202383165.
  - Contact GOPHER STATE ONE CALL at 851-454-0002 (800-252-1186) for precise onsite location of utilities prior to any excavation.

- BENCHMARKS (BM)**  
(NAVD 88)
- Top of well head 367 feet NE of NE corner of building  
Elevation = 950.76 feet
  - Top of garden spike in east side of power pole on the south side of south drive entrance  
Elevation = 958.17 feet
- LEGEND**
- Denotes iron monument set marked with P.L.S. No. 44900
  - Denotes found iron monument
- AREA**  
Gross = 3,436,154 square feet or 78.883 acres



OCT 22 2020

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 15th day of September, 2020

SUNDE LAND SURVEYING, LLC.  
By: *Arlene J. Carlson*  
Arlene J. Carlson, P.L.S. Minn. Lic. No. 44900

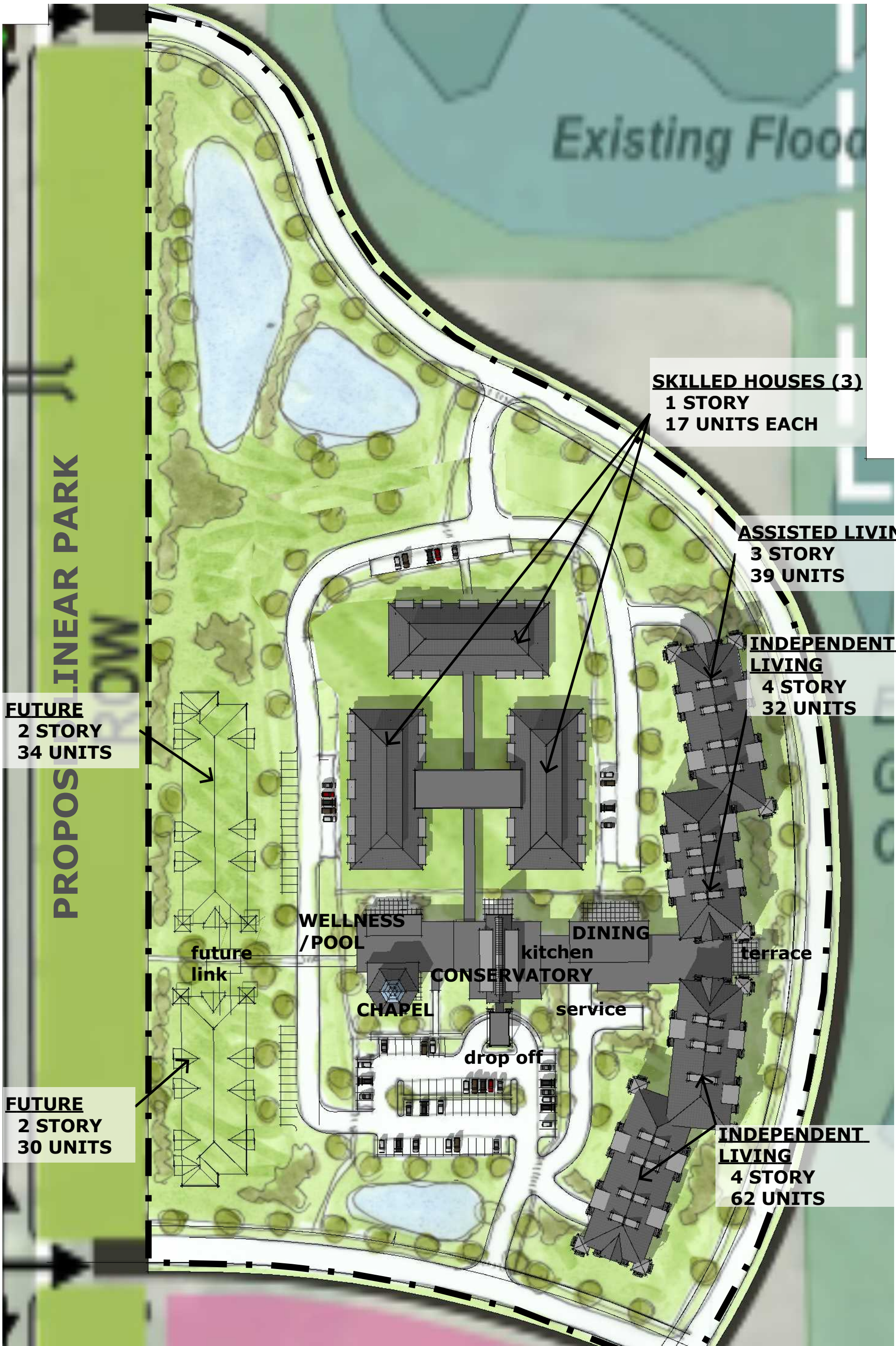
Revision	By	Date
△ Revised minor subdivision	KDK	10/15/2020
△ Created minor subdivision	KDK	10/14/2020
△ Added additional wetland delineations	KDK	09/18/2020

Drawing Title:  
**MINOR SUBDIVISION FOR: BKBM ENGINEERS**  
8200 COUNTY ROAD 116, CORCORAN, MN

**SUNDE LAND SURVEYING**  
www.sunde.com

9001 East Bloomington Freeway (209) - Suite 118  
Bloomington, Minnesota 55422-3430  
952-881-2495 (Fax: 952-888-9222)

Project: 2020-077  
Blk/Pg: 064/83  
Date: 09/15/2020  
Township: 119 Range: 23 Section: 24  
File: 2020077-064.dwg  
Sheet: 1 of 1



**SKILLED HOUSES (3)**  
**1 STORY**  
**17 UNITS EACH**

**ASSISTED LIVING**  
**3 STORY**  
**39 UNITS**

**INDEPENDENT LIVING**  
**4 STORY**  
**32 UNITS**

**FUTURE**  
**2 STORY**  
**34 UNITS**

**FUTURE**  
**2 STORY**  
**30 UNITS**

WELLNESS / POOL  
 CHAPEL  
 CONSERVATORY  
 DINING  
 kitchen  
 service  
 drop off  
 terrace

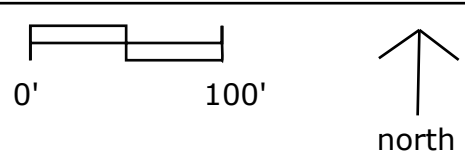
**INDEPENDENT LIVING**  
**4 STORY**  
**62 UNITS**

**SITE CONCEPT PLAN**

**SITE B 8**



Saint Therese



**Downtown Corcoran**

Corcoran, MN  
 M18-315 02-12-2019



SAINT THERESE OF CORCORAN  
DEVELOPMENT APPLICATION NARRATIVE

Saint Therese Communities is a faith-based nonprofit organization and supporting parent for the proposed development, Saint Therese of Corcoran. The project proposes construction of a senior living community providing housing, supportive, and nursing services for persons aged 55 and older. The development will introduce a total of 206 living units across a full continuum of care model. The project will house 99 independent living apartments, 53 assisted living apartments, 54 skilled nursing care suites, and commons spaces further described below.

Independent Living

Phase one includes 99 apartments spread amongst a three and four-story U-shaped building on the southern portion of the site. Expansion for up to 48 additional apartments in a future second phase is planned for on the Southcentral portion of the site. Underground parking is available to independent living residents of the community. Although this area of the community is not licensed for healthcare, residents are able to elect homecare services who wish to age in place.

Assisted Living

The licensed assisted living healthcare areas of the community are located in two separate settings on the campus. The traditional assisted living facility is a double-loaded corridor design that includes 33 assisted living apartments located on the west side of the campus. The memory care assisted living facility is household design and will be designated as dementia specific facility. This specialized environment includes 20 memory care studio apartments and is located on the lower level (on grade) of the northeast portion of the campus. The assisted living facilities will be licensed by the Minnesota Department of Health.

Skilled Nursing

The licensed nursing facility is located on the north portion of the campus and is configured in three households of 18 units each. Comprised of two-story construction, the (2) upper floor households will serve a long-term care population while the single lower-level household (on grade) will serve a short-term care population, also referred to as “transitional care”. The nursing facility will be licensed by the Minnesota Department of Health and will be dually certified to participate in the Medicare and Medicaid programs.

Commons

Spiritual, social, educational, and wellness programs are an important part of Saint Therese’s communities and will be available to those who make Saint Therese of Corcoran home. These programs and services are available both campus residents and members of the greater community of Corcoran.

New Urbanist Concept

In addition to offering the full continuum of care stated above, what will make Saint Therese of Corcoran truly unique is its location in, and its connection to, the City of Corcoran’s vision for the Southeast District. Because of this, Saint Therese formed a design team comprised of its leadership, Pope Architects, and other industry professionals across the nation to create a new urbanist community in Corcoran’s Town Center using the City of Corcoran’s Southeast District planning guidelines.

Most traditional senior living communities are typically setback far from the street and incorporate a traditional “hub and spoke” design with concentrated common areas and wings of apartments. This design prioritizes centralized efficiencies and attracts residents to amenities in the center of the campus. The downside of not having amenities public facing or a broad, welcoming perimeter, is that the community can easily become insulated to only those who live on campus, and in many ways.

Integration to the greater community is made possible by pulling campus activity and opportunities for connecting to the outer edge of the campus.

The new urbanist concept uses mix-use design to remove any separational boundaries that might exist between uses or adjacent developments. Our goal is for the residents living in other developments within the Southeast District to view Saint Therese of Corcoran as a community amenity where they can walk to get a cup of coffee or ice cream, attend a class or lecture open not just to seniors, attend an art fair or farmers market or holiday gathering, give back through volunteer programs, and make true intergenerational connections with the Saint Therese residents.

### Connecting Community

Being a part of the Southeast District and Corcoran's Town Center provides wonderful opportunities for synergy and much-needed intergenerational connection between the senior living residents and the residents of the community at large. Saint Therese of Corcoran's entrances will be highly visible and accessible by all modes of transportation. Indoor and outdoor campus events and programs will generate pedestrian traffic through its direct connection to the Town Center's Downtown Core to the South and Linear Park to the West.

Located on the Southeast corner of the site, Main Street will be a primary thoroughfare for residents and guests arriving by foot, bike, or car for social events, retail venues, and community gatherings. Some examples of what Main Street will offer include:

- Small retail store fronts open to the public (e.g. bistro, coffee shop or ice cream shop, spa & salon)
- The "Main Street" part of Saint Therese of Corcoran campus would have the ability to be closed with temporary bollards in order to hold events for the entire Southeast District community, e.g. farmers market, art fairs, community holiday gatherings and tree lightings, etc.
- The Southeastern most edge of the site will be hardscaped into an amphitheater for hosting music and other campus events.

Located on the Western edge of the site, the main entrance of the campus welcomes residents, members, and guests, to spiritual, health, and wellness related program destinations. These spaces will be shared by residents of the licensed healthcare facilities and the general public and include:

- A chapel offering regularly scheduled spiritual services
- A warm water pool for therapeutic and aerobic exercise
- Personal and group fitness classes
- Inpatient & outpatient physical, occupational, and speech therapy
- Other specialized wellness classes tailored for older adults

# TOWN CENTER ADDITION

R.T. DOC. NO. \_\_\_\_\_

## PRELIMINARY SUBJECT TO REVISION

KNOW ALL PERSONS BY THESE PRESENTS: That the City of Corcoran, a Minnesota municipal corporation, owner of the following described property situated in the City of Corcoran, County of Hennepin, State of Minnesota:

Par 1: All that part of the following described tract:

The Southwest quarter of the Northwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, except the North 152 feet of the West 151 feet as measured along the North and West lines thereof, and except the West 339.11 feet thereof lying South of the following described line: Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter, thence North along the West line of said Southwest Quarter of the Northwest Quarter a distance of 382.47 feet to the point of beginning of the line to be described; thence Easterly deflecting 77 degrees, 18 minutes, 13 seconds right, a distance of 347.61 feet to the East line of said West 339.11 feet and said line there terminating.

which lies East of a line drawn parallel with and distant 40.0 feet Easterly of the West line of said Section 24.

Par 2: That part of the Northwest quarter of the Southwest quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota, lying East of a line drawn parallel with and distant 40.0 feet Easterly of the West line of said Section 24.  
Registered Property  
Per Certificate of Title No. 821472

AND

That part of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, described as follows:  
Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point of beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southwesterly, deflecting 90 degrees right 60.00 feet; thence northwesterly, deflecting 90 degrees right 63.00 feet to the point of beginning.  
Registered Property  
Per Certificate of Title No. 1150838

AND

The West 339.11 feet of the Southwest Quarter of the Northwest Quarter of Section 24, Township 119, Range 23, Hennepin County, Minnesota lying south of the following described line:

Commencing at the Southwest corner of said Southwest Quarter of the Northwest Quarter; thence North along the West line of said Southwest Quarter of the Northwest Quarter, a distance of 382.47 feet to the point of beginning of the line to be described; thence Easterly deflecting 77 degrees 18 minutes 13 seconds right, a distance of 347.61 feet to the East line of said West 339.11 feet of the Southwest Quarter of the Northwest Quarter and said line there terminating.

which lies East of a line drawn parallel with a distant 40.0 feet Easterly of the West line of said Section 24;

except that part thereof described as follows: Commencing at the southwest corner of said Southwest Quarter of Northwest Quarter; thence northerly, along the west line of said Southwest Quarter of Northwest Quarter 330.17 feet; thence easterly, deflecting 90 degrees right 231.20 feet to the actual point of beginning of the parcel to be described; thence northeasterly, deflecting 12 degrees 35 minutes 13 seconds left 60.00 feet; thence southeasterly, deflecting 90 degrees right 63.00 feet; thence southwesterly, deflecting 90 degrees right 60.00 feet; thence northwesterly, deflecting 90 degrees right 63.00 feet to the point of beginning.  
Registered Property  
Per Certificate of Title No. 1150839

Has caused the same to be surveyed and platted as TOWN CENTER ADDITION and does hereby dedicate to the public for public use the public way and the drainage and utility easements as shown on this plat.

In witness whereof said City of Corcoran, a Minnesota municipal corporation, has caused these presents to be signed by its proper officers this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: City of Corcoran

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Manager

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ Mayor and by \_\_\_\_\_ City Manager of the City of Corcoran, a Minnesota municipal corporation, on behalf of said corporation.

\_\_\_\_\_  
Notary Public, \_\_\_\_\_

My Commission Expires \_\_\_\_\_

I, Arlee J. Carlson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on the plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Arlee J. Carlson, Land Surveyor  
Minnesota License No. 44900

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Arlee J. Carlson.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Notary Printed Name

Notary Public, Minnesota  
My Commission Expires January 31, \_\_\_\_\_

CORCORAN, MINNESOTA

This plat of TOWN CENTER ADDITION was approved and accepted by the City Council of Corcoran, Minnesota, at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF CORCORAN, MINNESOTA

By \_\_\_\_\_ Mayor By \_\_\_\_\_ City Manager

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20\_\_\_\_ and prior years have been paid for land described on this plat, dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mark V. Chapin, County Auditor By \_\_\_\_\_ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to Minnesota Statutes, Sec. 383B.565 (1969), this plat has been approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chris F. Mavis, County Surveyor By \_\_\_\_\_

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of TOWN CENTER ADDITION was recorded in this office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ o'clock \_\_\_\_M.

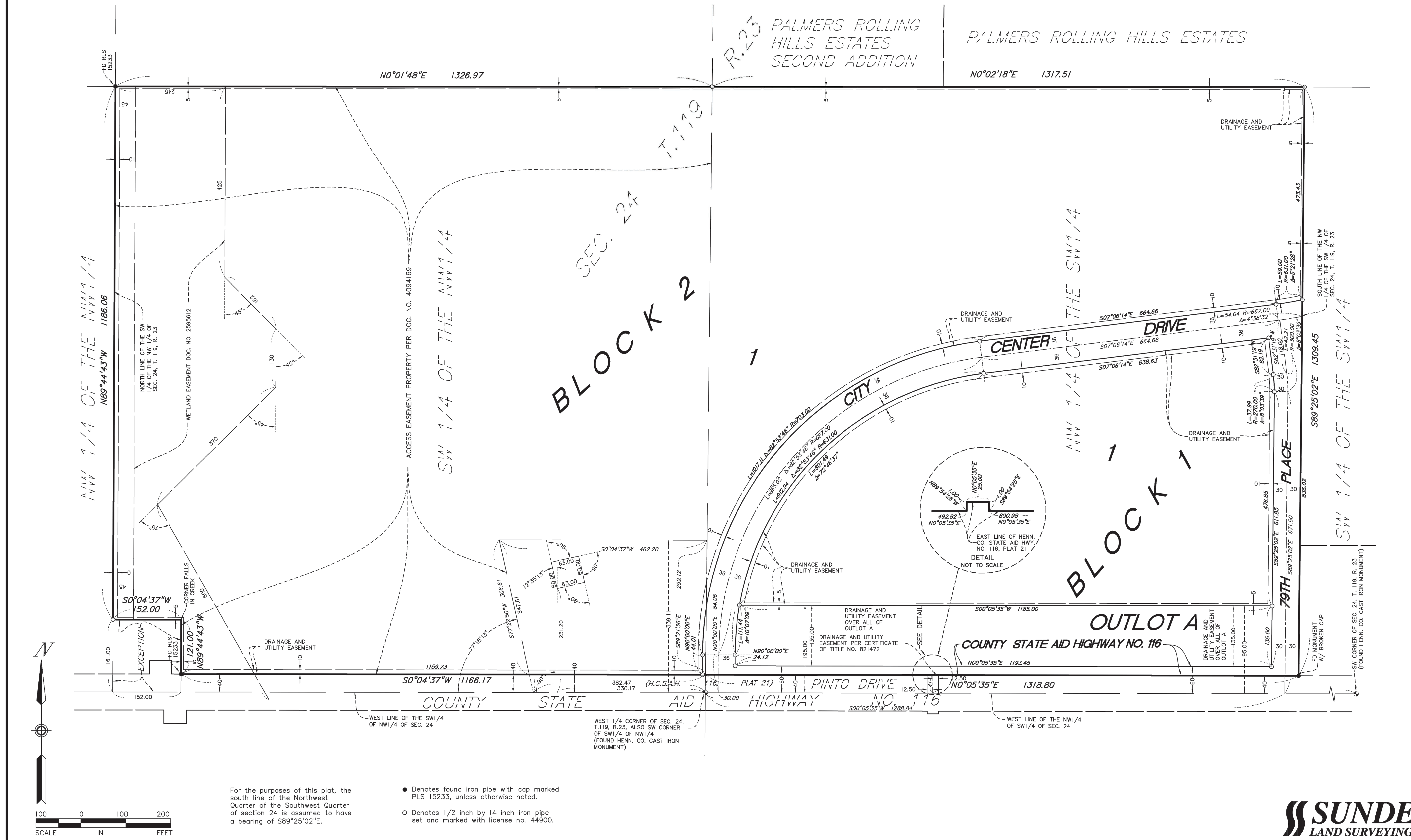
Amber Bougie, County Recorder By \_\_\_\_\_ Deputy

**SUNDE**  
LAND SURVEYING

# TOWN CENTER ADDITION

PRELIMINARY  
SUBJECT TO REVISION

R.T. DOC. NO. \_\_\_\_\_



For the purposes of this plat, the south line of the Northwest Quarter of the Southwest Quarter of section 24 is assumed to have a bearing of  $S89^{\circ}25'02''E$ .

- Denotes found iron pipe with cap marked PLS 15233, unless otherwise noted.
- Denotes 1/2 inch by 14 inch iron pipe set and marked with license no. 44900.

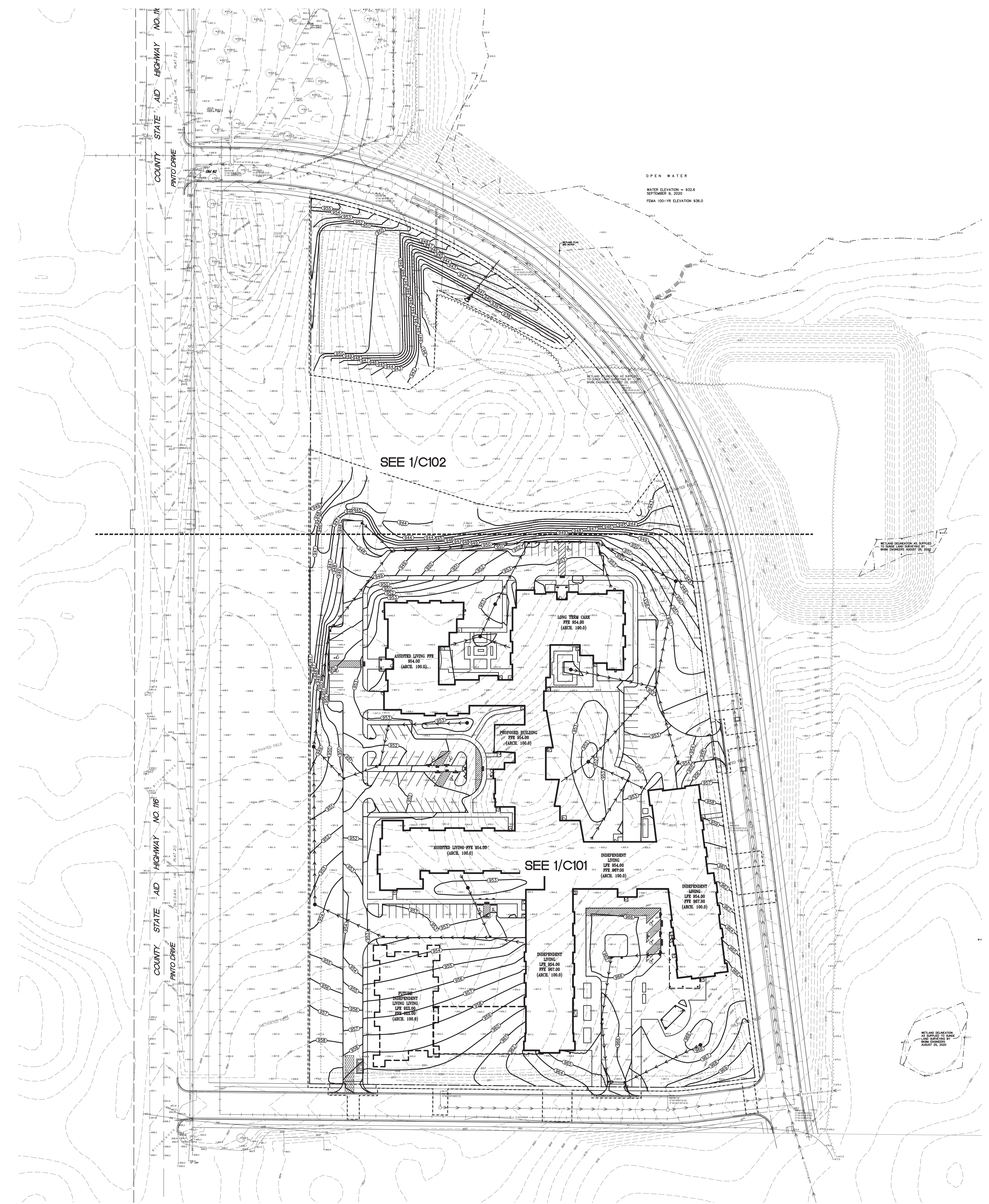
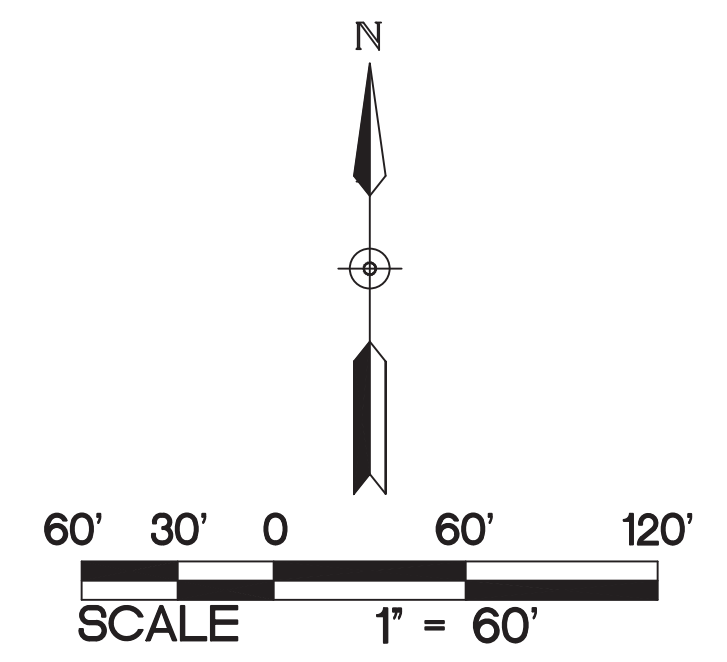






APPROXIMATE DISTURBED  
AREA IS 11.53 ACRES

ABBREVIATIONS	
CB	Catch Basin
FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
INV	Invert
LFE	Lower Floor Elevation
MH	Manhole
PVC	Polyvinyl Chloride
W.O.	Washout
OHE	Overhead Electric
UGC	Underground Cable
CMP	Corrugated Metal Pipe
EM	Electric Manhole



- EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND ELM CREEK WATERSHED DISTRICT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY AND ELM CREEK WATERSHED DISTRICT. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
  2. ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OR ELM CREEK WATERSHED DISTRICT, BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
  3. NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CIVIL ENGINEER.
  4. FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY AND ELM CREEK WATERSHED DISTRICT WITHIN 24 HOURS OF REQUEST.
  5. FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
  6. SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
  7. SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY OR ELM CREEK WATERSHED DISTRICT, THROUGHOUT THE DURATION OF CONSTRUCTION.
  8. DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY OR ELM CREEK WATERSHED DISTRICT.
  9. ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
  10. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 14 DAYS:
    - A. ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 90% COVERAGE.
    - B. IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
    - C. IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MNDOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
    - D. GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
    - E. ALL AREAS THAT WILL NOT BE MOWED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN WILL BE PERMANENTLY RESTORED USING SEED MIXTURE MNDOT 25-141 AT A RATE OF 59 POUNDS PER ACRE.
    - F. UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MNDOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
    - G. WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
    - H. MULCH, HYDROMULCH, AND TACKIFIERS MAY NOT BE USED FOR STABILIZATION IN SWALES OR DRAINAGE DITCHES UNLESS THE LONGITUDINAL SLOPE IS LESS THAN 2 PERCENT.
    - I. RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
  11. GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
  12. EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ALL PONDS AND WETLANDS WITHIN OR ADJACENT TO THE AREA TO BE GRADED UNTIL THE TRIBUTARY AREA TO THE POND OR WETLAND IS RESTORED.
  13. TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A MNDOT 3885 CATEGORY 3 STRAW EROSION CONTROL BLANKETS OR STAKED SOD.
  14. ACCUMULATION OF ALL SEDIMENT OCCURRING IN PONDS, WETLANDS, STORM SEWERS AND DITCHES SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
  15. EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY AND/OR ELM CREEK WATERSHED DISTRICT.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
  2. THE BACKGROUND INFORMATION WAS PREPARED BY SUNDE LAND SURVEYING, 952-881-2455.
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher One at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
  4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
  5. NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
  6. ALL SPOT ELEVATIONS SHOWN AS 54.00, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 954.00.
  7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
  8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
  9. ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
  10. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
  11. UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR HIRED BY THE CONTRACTOR. SURVEY SHALL BE PROVIDED TO THE CITY OF CORCORAN AND THE CIVIL ENGINEER.
  12. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY AND ELM CREEK WATERSHED DISTRICT WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
  13. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
  14. THE CONTRACTOR MAY STRIP AND SALVAGE TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
  15. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
  16. IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 3 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
  17. WINTER MULCHING:
    - 17.A. SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
    - 17.B. FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
  18. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

**NOT FOR  
CONSTRUCTION**

Revisions		
No.	Description	Date

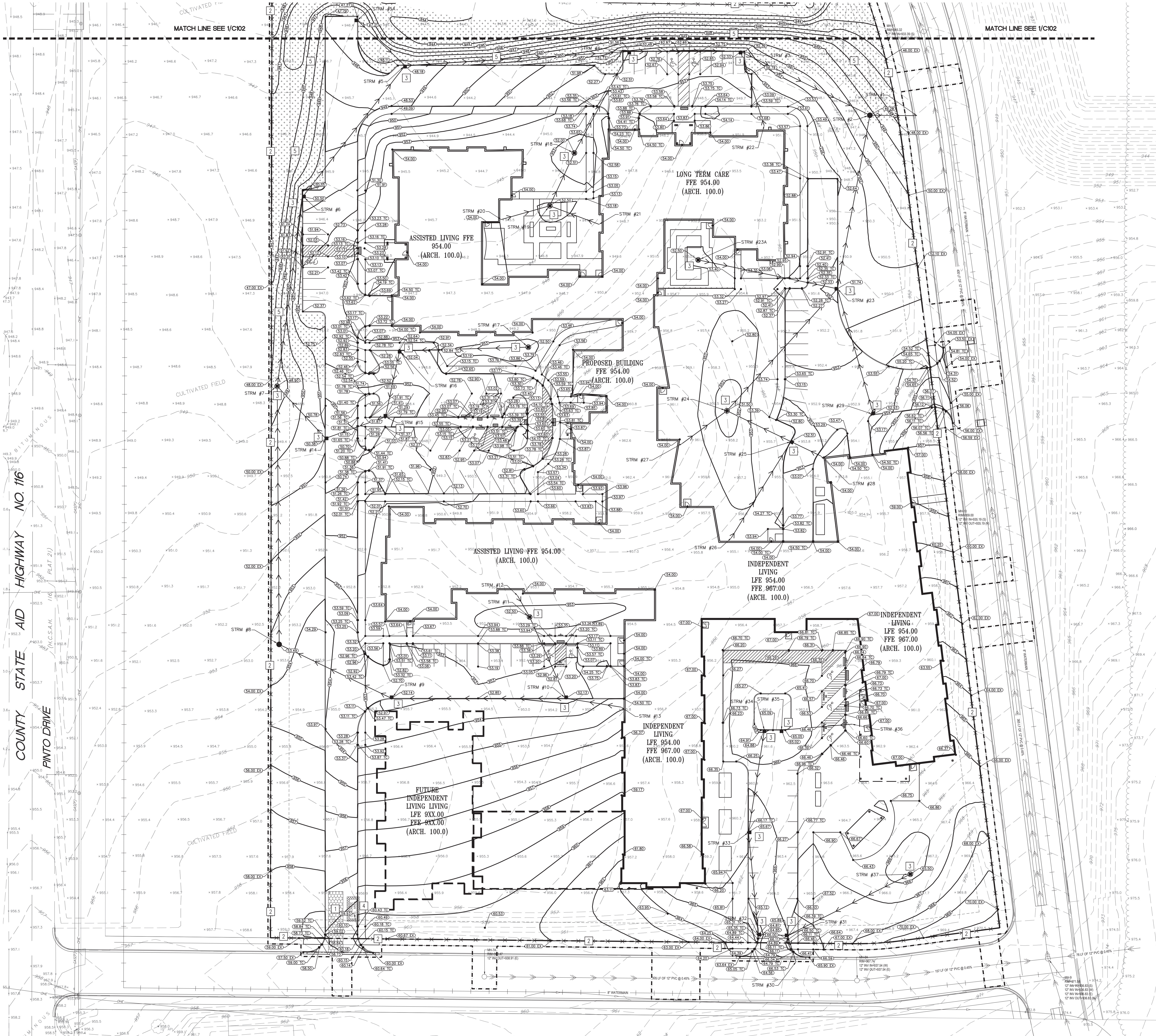
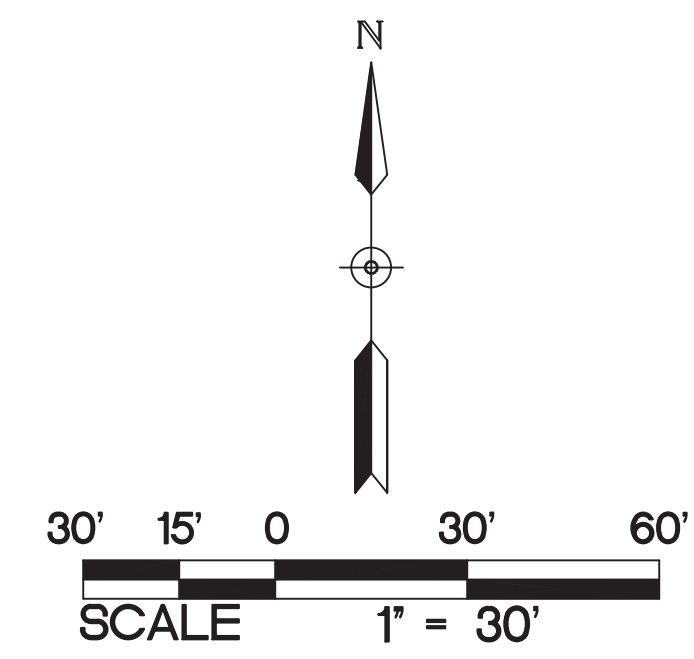
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

*Joel W. Maire*  
Joel W. Maire, PE  
Date: 09-21-2021 Lic. No.: 19181

DATE: 09-21-2021  
PROJECT #: 20398  
PROJECT STATUS: Preliminary Plat

DRAWN BY: JWH  
CHECKED BY: AJA

KEY PLAN



**ABBREVIATIONS**

FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
INV	Invert
LFE	Lower Floor Elevation
MH	Manhole
PVC	Polyvinyl Chloride
W.O.	Washout
OHE	Overhead Electric
UGC	Underground Cable
TC	Top of Curb
EX	Existing

**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---
SEDIMENT CONTROL LOG	+++++
PROPERTY LINE	---
PROPOSED CONTOUR	---
STORM SEWER	---
CATCH BASIN	○
MANHOLE	●
EROSION CONTROL BLANKET (TEMPORARY)	▨
ROCK CONSTRUCTION ENTRANCE	▨
SPOT ELEVATION	○
SOIL BORING	○
CONCRETE WASHOUT AREA	▨

**NOTE:**  
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAILS 4/C400, 5/C400, AND 6/C400 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

**WALKWAY NOTES:**

1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

**NOTE:**  
REFER TO SHEET C100 FOR EROSION CONTROL NOTES AND GRADING NOTES.

**NOTE:**  
PUBLIC ROADS, SIDEWALKS, SANITARY SEWER, WATERMAIN, STORM SEWER, AND GRADING SHOWN ARE BEING DONE UNDER A SEPARATE CONTRACT BY THE CITY OF CORCORAN.

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
- 1 INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
  - 2 INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
  - 3 INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAILS 4/C400, 5/C400, AND 6/C400.
  - 4 APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
  - 5 INSTALL MW/DOT 3885 CATEGORY 3 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.
  - 6 REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
  - 7 REMOVE FENCE IN ITS ENTIRETY.
  - 8 EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.

**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

*Jeff W. Main*  
Jeff W. Main, PE  
DATE 09-21-2021 Lic. No. 19181

DATE 09-21-2021 PROJECT # 20398  
PROJECT STATUS Preliminary Plat

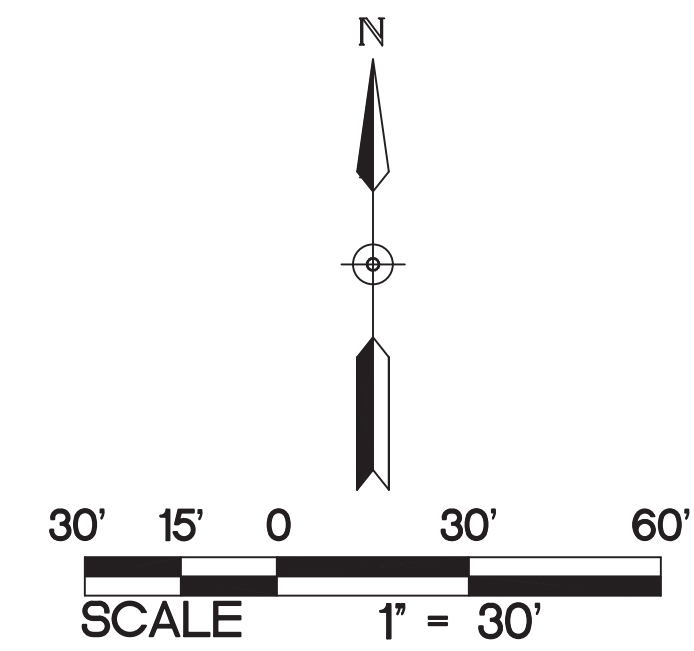
DRAWN BY JWH  
CHECKED BY AIA

KEY PLAN

**SELECTIVE SITE DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN**

**C101**

ABBREVIATIONS	
CB	Catch Basin
FFE	Finished Floor Elevation
INV	Invert
MH	Manhole
PVC	Polyvinyl Chloride
OHE	Overhead Electric
UGC	Underground Cable
EM	Electric Manhole
PEP	Polyethylene
EX	Existing
TC	Top of Curb



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---X---
SEDIMENT CONTROL LOG	
PROPERTY LINE	---
PROPOSED CONTOUR	---
STORM SEWER	---
CATCH BASIN	■
FLARED END SECTION	▲
EROSION CONTROL BLANKET (TEMPORARY)	▨
ROCK CONSTRUCTION ENTRANCE	▨
SPOT ELEVATION	CE.80
SOIL BORING	SB-1
CONCRETE WASHOUT AREA	▨
FENCE REMOVAL	▨
TREE REMOVAL LIMITS	▨

**WALKWAY NOTES:**

1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

**NOTE:**  
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAILS 4/C400, 5/C400, AND 6/C400 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

**NOTE:**  
REFER TO SHEET C100 FOR EROSION CONTROL NOTES AND GRADING NOTES.

**NOTE:**  
PUBLIC ROADS, SIDEWALKS, SANITARY SEWER, WATERMAIN, STORM SEWER, AND GRADING SHOWN ARE BEING DONE UNDER A SEPARATE CONTRACT BY THE CITY OF CORCORAN.

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
- [1] INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
  - [2] INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
  - [3] INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAILS 4/C400, 5/C400, AND 6/C400.
  - [5] INSTALL MN/DOT 3885 CATEGORY 3 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.
  - [6] REMOVE TREES IN THEIR ENTIRETY INCLUDING STUMPS.
  - [7] REMOVE FENCE IN ITS ENTIRETY.



**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

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*Joel W. Maire*  
Date: 09-21-2021 Lic. No. 19181

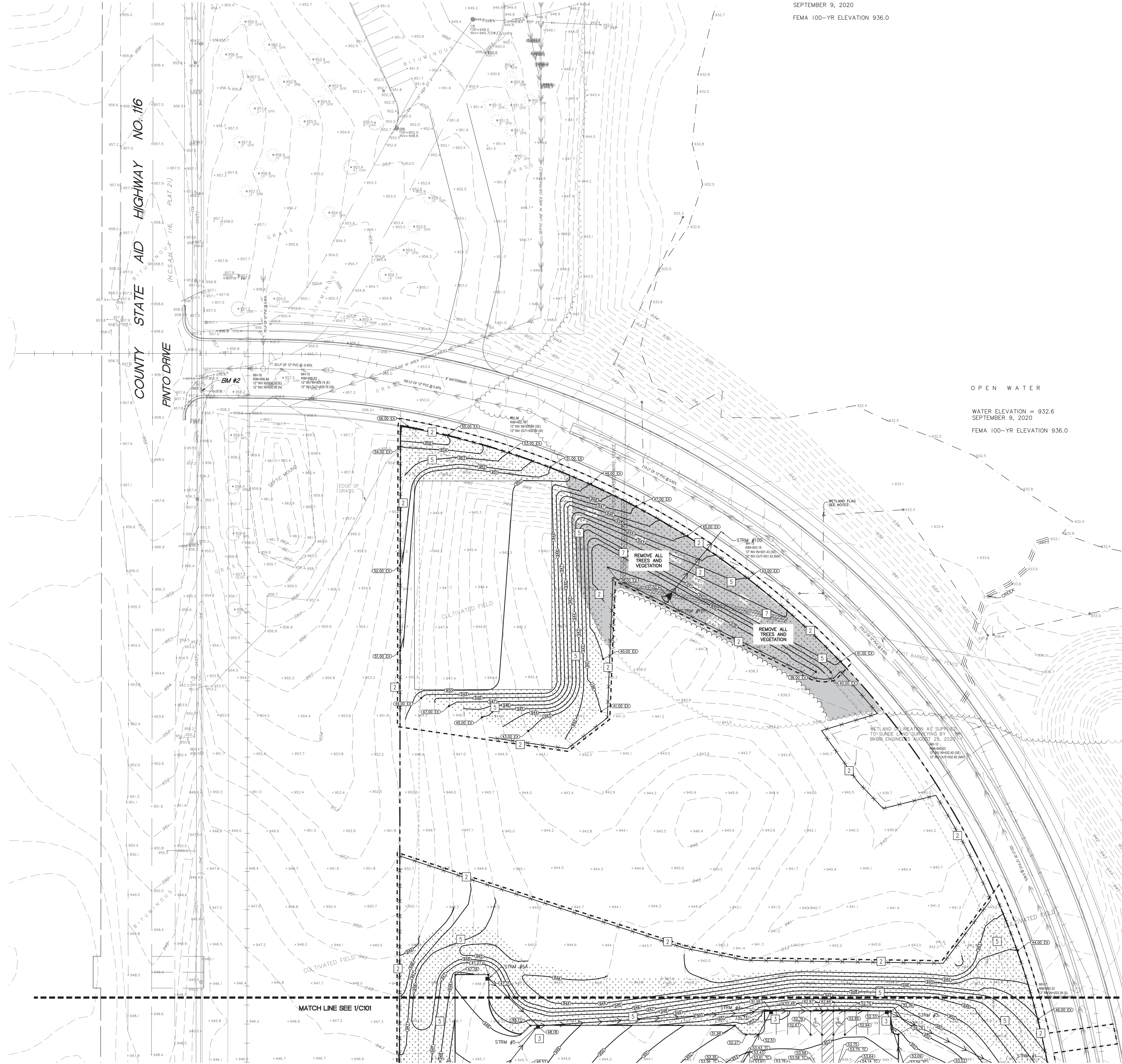
DATE: 09-21-2021  
PROJECT # 20398  
PROJECT STATUS: Preliminary Plat

DRAWN BY: WH  
CHECKED BY: AJA

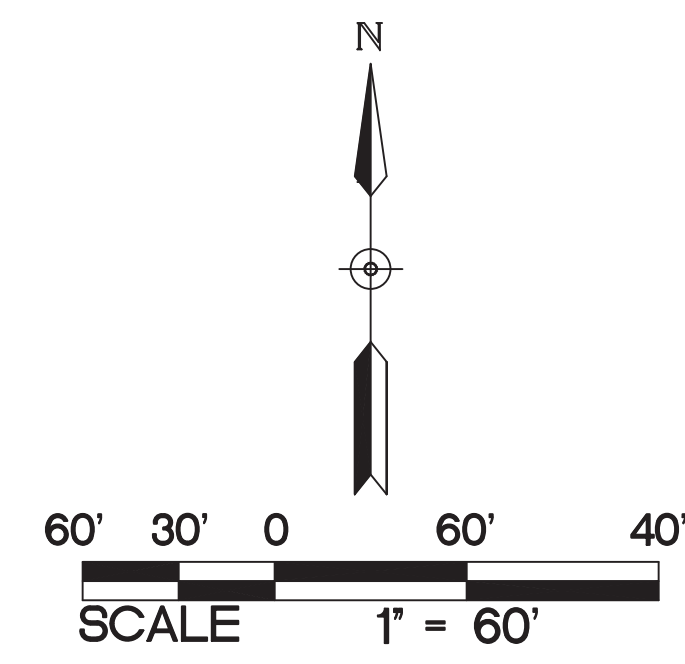
KEY PLAN

**SELECTIVE SITE DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN**

**C102**



1 C102 SELECTIVE SITE DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
1" = 30'



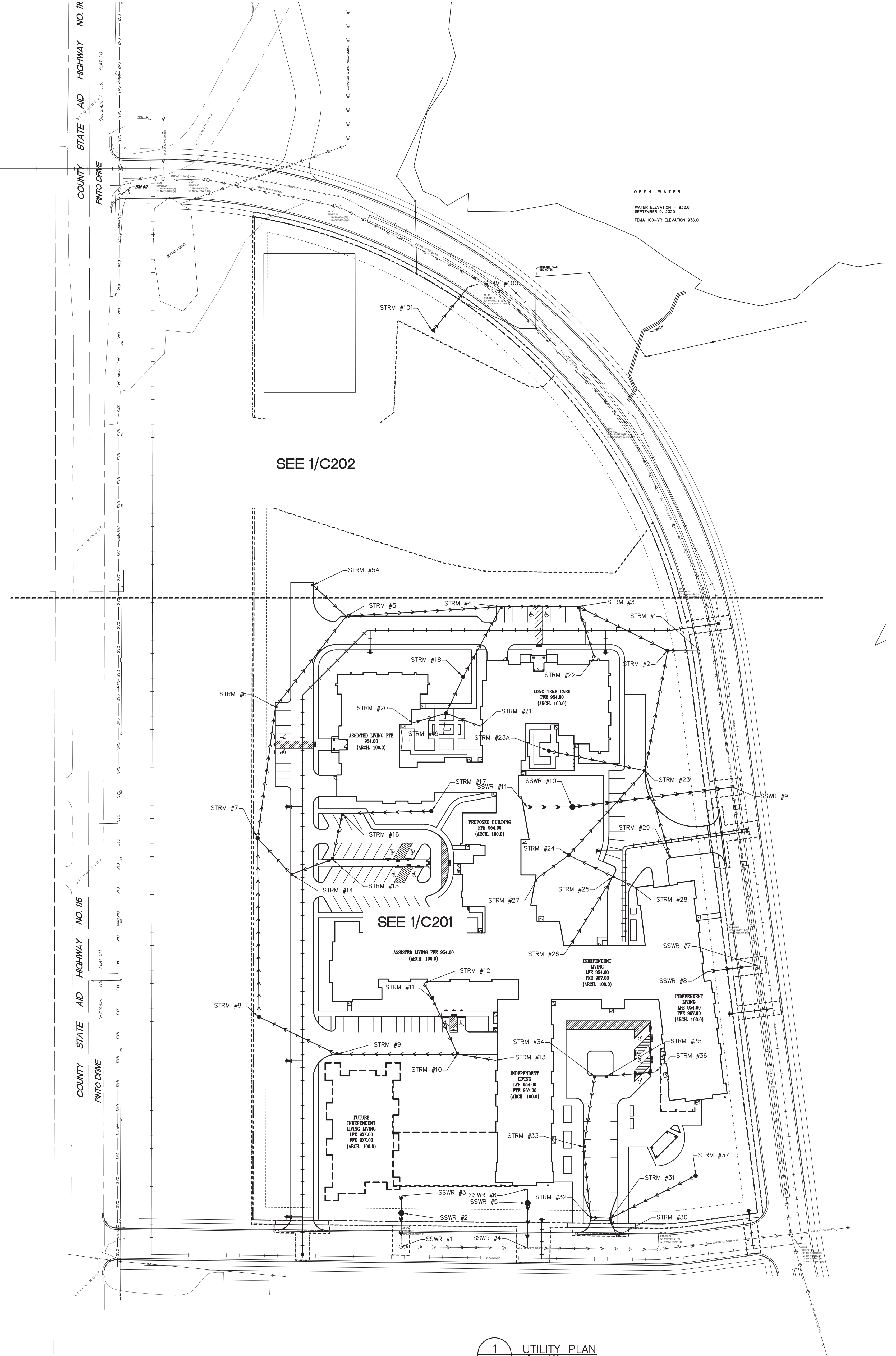
SANITARY SEWER TABLE					
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
SSWR #1	EX. MH CONNECTION	EXISTING	960.47	E = 939.01 N = 939.01	40 L.F. OF 8" PVC @ 4.50% SSWR #2
SSWR #2	48" MH	R-1733	960.53	S = 940.81 N = 940.91	20 L.F. OF 8" PVC @ 2.00% SSWR #3
SSWR #3	SSWR STUB	NA		S = 941.31	
SSWR #4	12"x8" PVC WYE	NA		W = 938.24 E = 938.24 N = 938.24	53 L.F. OF 8" PVC @ 8.00% SSWR #5
SSWR #5	48" MH	R-1733	963.95	S = 942.48 N = 942.58	17 L.F. OF 8" PVC @ 8.00% SSWR #6
SSWR #6	SSWR SERVICE CONNECTION	NA		S = 943.91	
SSWR #7	12"x8" PVC WYE	NA		N = 935.39 S = 935.39 W = 935.39	60 L.F. OF 8" PVC @ 8.00% SSWR #8
SSWR #8	SSWR SERVICE CONNECTION	NA		E = 940.14	
SSWR #9	12"x8" PVC WYE	NA		S = 934.43 N = 934.43 W = 934.43	191 L.F. OF 8" PVC @ 6.50% SSWR #10
SSWR #10	48" MH	R-1733	952.80	E = 946.83 N = 946.93	53 L.F. OF 8" PVC @ 2.00% SSWR #11
SSWR #11	SSWR SERVICE CONNECTION	NA		E = 948.00	

ABBREVIATIONS	
CB	Catch Basin
EX	Existing
FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
INV	Invert
MH	Manhole
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
UGC	Underground Cable
OHE	Overhead Electric

- UTILITY NOTES:**
- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
  - COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK.
  - ALL SEWER SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE SHALL BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
  - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
  - ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF CORCORAN AND HENNEPIN COUNTY STANDARDS.
  - ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
  - ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
  - PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF CORCORAN. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
  - SANITARY SEWER PIPING SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE.
  - STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE. ALL 4-INCH THROUGH 18-INCH RCP STORM SEWER PIPE SHALL BE CLASS 5. RCP PIPE LARGER THAN 18-INCH SHALL BE CLASS 3 UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES SHALL BE SCHEDULE 40 PVC.
  - STORM SEWER PIPING SHALL BE SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM F2306.
  - STORM SEWER PIPING SHALL BE SDR 26 POLY VINYL CHLORIDE (PVC), UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES IS TO BE SCHEDULE 40 PVC. PVC PIPE AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D3034 (ASTM D2665 FOR SCHEDULE 40).
  - ALL FLARED END SECTIONS SHALL HAVE TRASH GUARDS. ALL DOWNSTREAM FLARED END SECTIONS SHALL HAVE GEOTEXTILE FABRIC AND RIPRAP PER MNDOT STANDARDS, AS DETAILED.
  - CONTRACTORS SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
  - WHERE PROPOSED GRADE OVER EXISTING SMALL UTILITIES IS PROPOSED TO BE LOWERED, CONTRACTOR SHALL COORDINATE WITH UTILITY OWNER FOR THE LOWERING OF THE EXISTING UTILITY TO PROVIDE THE MINIMUM COVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10-FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE. PIPING MATERIAL SHALL BE SCHEDULE 40 PVC.
  - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. RESILIENT WATER-STOP GROUTING RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

STORM SEWER TABLE					
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #1	EX. MH CONNECTION	EXISTING	947.01	W = 934.88	38 L.F. OF 27" RCP @ 1.00% STRM #2
STRM #2	60" MH	R-1733	949.29	E = 935.26 NW = 935.46 S = 943.18	118 L.F. OF 24" PVC @ 1.00% STRM #3 144 L.F. OF 18" RCP @ 1.00% STRM #23
STRM #3	48" CBMH	R-3067	952.33	SE = 936.64 W = 936.64 S = 947.73	91 L.F. OF 24" RCP @ 1.00% STRM #4 64 L.F. OF 10" PVC @ 2.00% STRM #22
STRM #4	48" CBMH	R-3067	951.55	E = 937.55 W = 937.75 NW = 941.67 SW = 946.51	184 L.F. OF 21" RCP @ 1.00% STRM #5 94 L.F. OF 12" PVC @ 1.00% STRM #18
STRM #5	48" CBMH	R-3067	948.18	E = 939.59 SW = 939.59 NW = 941.67	136 L.F. OF 21" RCP @ 1.00% STRM #6 54 L.F. OF 12" RCP @ 1.00% STRM #5A
STRM #5A	24"x36" CB	R-3067	947.21	SE = 942.21	
STRM #6	48" CBMH	R-3067	950.50	NE = 940.94 S = 940.94	156 L.F. OF 21" RCP @ 1.00% STRM #7
STRM #7	48" CBMH	R-2535	948.50	N = 942.51 SE = 945.60 S = 942.71	58 L.F. OF 10" RCP @ 1.00% STRM #14 211 L.F. OF 18" RCP @ 1.00% STRM #8
STRM #8	48" MH	R-1733	953.49	N = 944.82 SE = 944.82	102 L.F. OF 18" PVC @ 1.00% STRM #9
STRM #9	48" CBMH	R-3067	952.14	NW = 945.84 E = 946.04	143 L.F. OF 15" RCP @ 1.00% STRM #10
STRM #10	48" CBMH	R-3067	952.13	W = 947.47 E = 948.09 NW = 947.67	46 L.F. OF 10" PVC @ 2.00% STRM #13 73 L.F. OF 12" RCP @ 1.00% STRM #11
STRM #11	48" CBMH	R-2535	952.50	SE = 948.40 NW = 948.60	20 L.F. OF 10" PVC @ 2.00% STRM #12
STRM #12	ROOF DRAIN CONNECTION	NA		SE = 949.00	
STRM #14	48" CBMH	R-3067	950.38	NW = 946.18 E = 946.38	52 L.F. OF 12" PVC @ 1.00% STRM #15
STRM #15	48" CBMH	R-3067	951.29	W = 946.90 N = 946.90	55 L.F. OF 12" RCP @ 1.00% STRM #16
STRM #16	48" CBMH	R-3067	952.04	S = 947.45 E = 947.45	105 L.F. OF 12" RCP @ 1.00% STRM #17
STRM #17	27" CB	R-2535	952.50	W = 948.50	
STRM #18	48" CBMH	R-2535	952.00	NE = 947.46 W = 947.46	48 L.F. OF 12" RCP @ 1.00% STRM #19
STRM #19	48" CBMH	R-2535	952.50	NE = 947.94 E = 948.14 W = 948.17	43 L.F. OF 8" PVC @ 2.00% STRM #21 41 L.F. OF 10" PVC @ 2.00% STRM #20
STRM #20	ROOF DRAIN CONNECTION	NA		E = 949.00	
STRM #21	ROOF DRAIN CONNECTION	NA		W = 949.00	

STORM SEWER TABLE					
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #22	ROOF DRAIN CONNECTION	NA		N = 949.00	
STRM #23	48" CBMH	R-3067	951.74	N = 944.82 SW = 944.82 S = 947.86 W = 947.34	135 L.F. OF 15" RCP @ 1.00% STRM #24 107 L.F. OF 12" PVC @ 1.00% STRM #29 116 L.F. OF 12" RCP @ 1.00% STRM #23A
STRM #23A	27" CB	R-2535	952.50	E = 948.50	
STRM #24	48" CBMH	R-2535	951.50	NE = 946.17 SE = 946.37 SW = 948.10	58 L.F. OF 12" RCP @ 1.00% STRM #25 45 L.F. OF 8" PVC @ 2.00% STRM #27
STRM #25	48" CBMH	R-3067	952.51	NW = 946.95 SE = 948.46 SW = 947.15	27 L.F. OF 8" PVC @ 2.00% STRM #28 93 L.F. OF 10" PVC @ 2.00% STRM #26
STRM #26	ROOF DRAIN CONNECTION	NA		NE = 949.00	
STRM #27	ROOF DRAIN CONNECTION	NA		NE = 949.00	
STRM #28	ROOF DRAIN CONNECTION	NA		NW = 949.00	
STRM #29	3' x 2' CB	R-3067	952.93	N = 948.93	
STRM #30	EX. MH CONNECTION	EXISTING	965.76	N = 957.94	23 L.F. OF 18" RCP @ 1.00% STRM #31
STRM #31	48" CBMH	R-3067	965.89	S = 958.17 W = 958.37 NE = 960.38	24 L.F. OF 15" RCP @ 1.00% STRM #32 112 L.F. OF 12" RCP @ 1.00% STRM #37
STRM #32	48" CBMH	R-3067	964.81	E = 958.61 N = 958.61	84 L.F. OF 15" RCP @ 1.00% STRM #33
STRM #33	48" CBMH	R-3067	965.67	S = 959.45 N = 959.65	85 L.F. OF 12" RCP @ 1.00% STRM #34
STRM #34	48" CBMH	R-3067	964.88	S = 960.50 E = 960.50	14 L.F. OF 12" RCP @ 1.00% STRM #35
STRM #35	48" CBMH	R-3067	965.02	W = 960.64 E = 960.84	58 L.F. OF 8" PVC @ 2.00% STRM #36
STRM #36	ROOF DRAIN CONNECTION	NA		W = 962.00	
STRM #37	27" CB	R-2535	965.50	SW = 961.50	
STRM #100	EX. MH CONNECTION	EXISTING	943.89	SW = 936.33	67 L.F. OF 36" RCP @ 1.00% STRM #101
STRM #101	36" FES	NA		NE = 937.00	



1 UTILITY PLAN  
C200 1" = 60'

**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

*Jeff W. Mair*  
Jeff W. Mair, PE  
Date: 09-21-2021 Lic. No. 19181

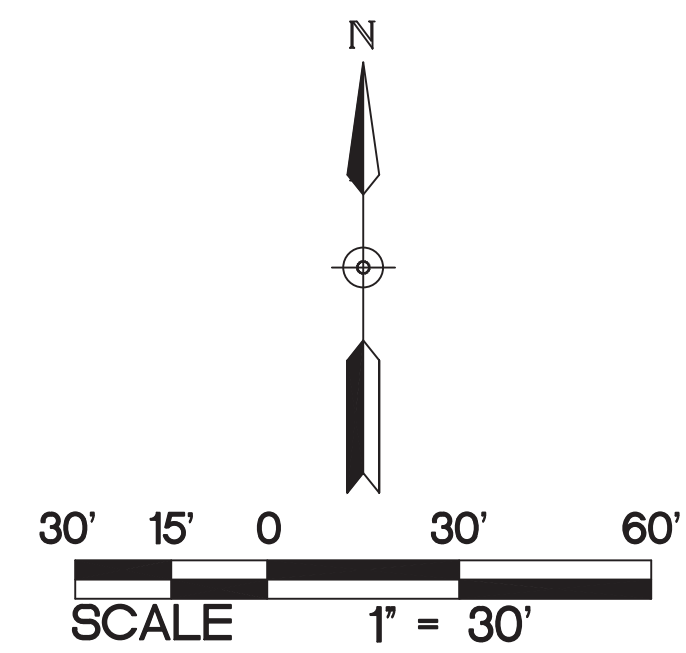
DATE: 09-21-2021  
PROJECT # 20398  
PROJECT STATUS Preliminary Plat

DRAWN BY: JHM  
CHECKED BY: AJA

KEY PLAN

UTILITY PLAN

**C200**



**ABBREVIATIONS**

FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
MH	Manhole
INV	Invert
PVC	Polyvinyl Chloride
OHE	Overhead Electric

**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	---
PROPERTY LINE	- - - -
SANITARY SEWER	—+—+—+—+—+—+—
WATER PIPE	—+—+—+—+—+—+—
STORM SEWER	—+—+—+—+—+—+—
FIRE HYDRANT	●
GATE VALVE	⊗
CATCH BASIN	⊙
MANHOLE	●

**NOTE:**  
REFER TO SHEET C200 FOR UTILITY NOTES.  
REFER TO C200 FOR SANITARY SEWER AND STORM SEWER TABLES.

**NOTE:**  
PUBLIC ROADS, SIDEWALKS, SANITARY SEWER, WATERMAIN, STORM SEWER, AND GRADING SHOWN ARE BEING DONE UNDER A SEPARATE CONTRACT BY THE CITY OF CORCORAN.

- UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:**
- FOLLOW ALL CITY OF CORCORAN AND HENNEPIN COUNTY STANDARDS AND SPECIFICATIONS.
  - PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT-OF-WAY AND OBTAIN ALL APPLICABLE PERMITS.

**KEYED NOTES**

- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
- CONNECT TO EXISTING 8"-INCH SANITARY SEWER WITH 8"-INCH X 8"-INCH WYE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - CORE DRILL EXISTING MANHOLE FOR PROPOSED PIPE CONNECTION; GROUT SEAL AROUND OPENING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - LOCATION OF PROPOSED SANITARY SEWER SERVICE STUB. REFER TO SANITARY SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES.
  - INSTALL 8"-INCH BY 8"-INCH TEE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL 8"-INCH GATE VALVE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL 8"-INCH 45-DEGREE BEND WITH THRUST BLOCKING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - STUB 8"-INCH FIRE PROTECTION LINE TO WITHIN 5'-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL 8"-INCH BY 6"-INCH TEE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL 8"-INCH GATE VALVE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL 6"-INCH 45-DEGREE BEND WITH THRUST BLOCKING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - STUB 8"-INCH DOMESTIC WATER SERVICE TO WITHIN 5'-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL 8"-INCH 11.25-DEGREE BEND WITH THRUST BLOCKING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - INSTALL FIRE HYDRANT AND GATE VALVE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
  - PROPOSED STORM SEWER OUTLET TO TIE INTO PUBLIC STORM SEWER MAIN.

**NOT FOR CONSTRUCTION**

**Revisions**

No.	Description	Date

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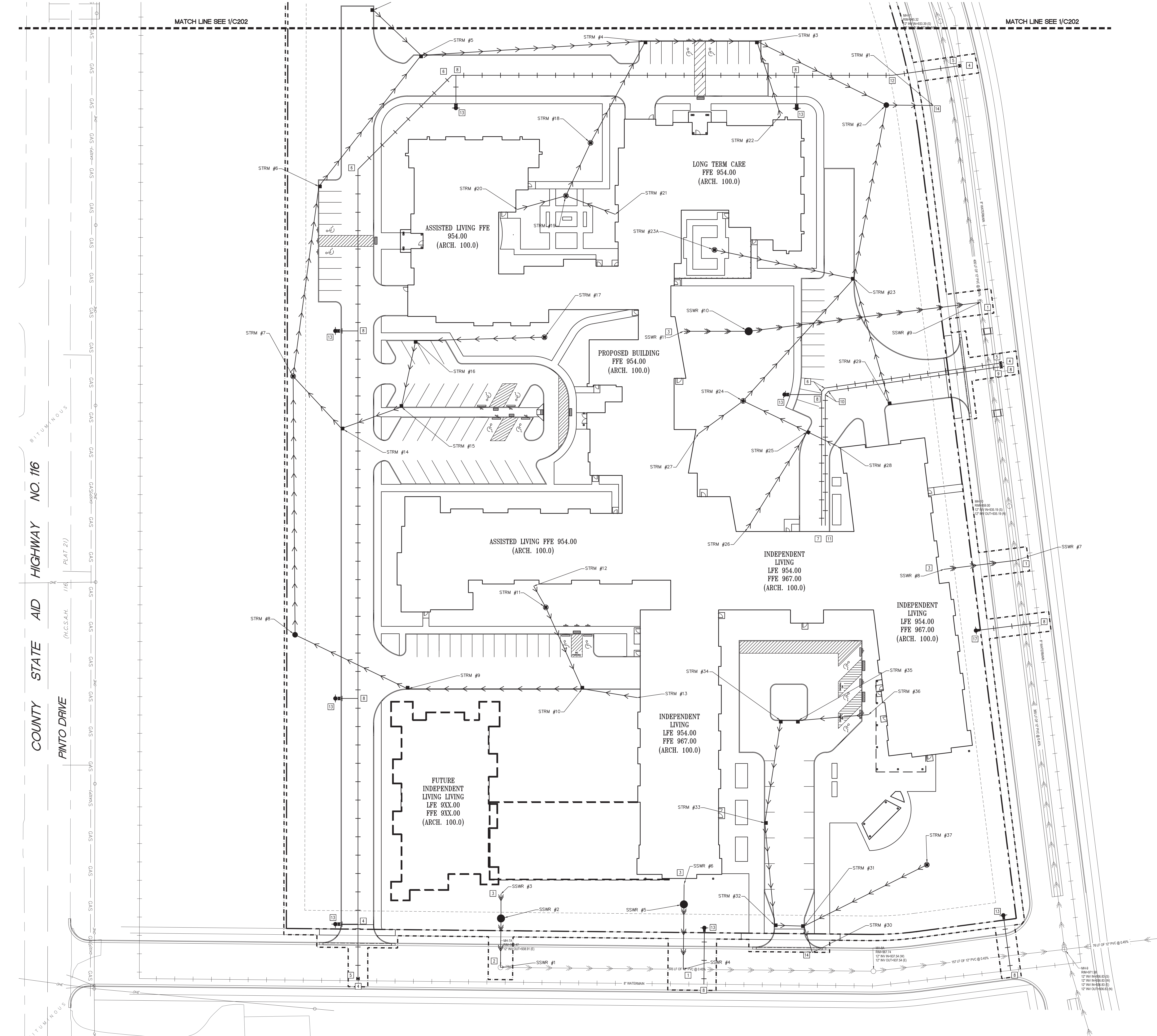
*Joel W. Mair*  
Joel W. Mair, PE  
Date: 09-21-2021 Lic. No. 19181

DATE: 09-21-2021  
PROJECT #: 20398  
PROJECT STATUS: Preliminary Plat

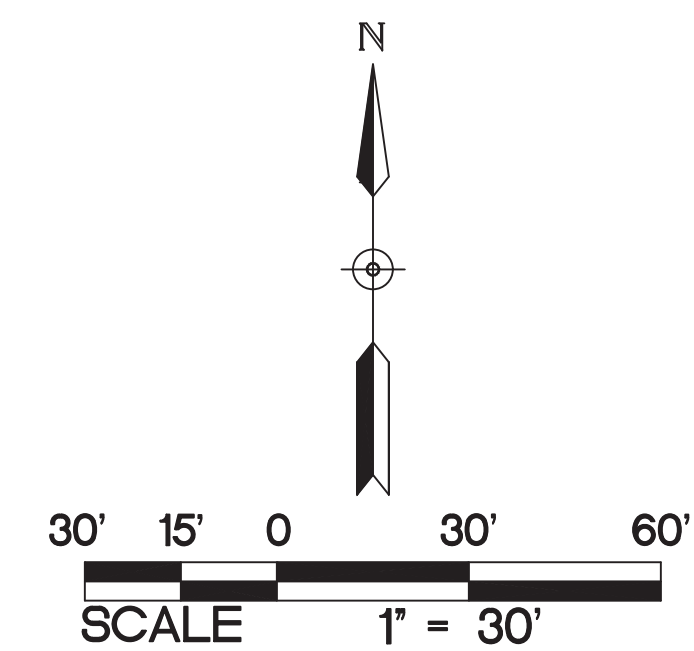
DRAWN BY: WH  
CHECKED BY: AJA

**KEY PLAN**

**UTILITY PLAN**



**1** UTILITY PLAN  
**C201** 1" = 30'



ABBREVIATIONS	
INV	Invert
MH	Manhole
PVC	Polyvinyl Chloride
EM	Electric Manhole
UGC	Underground Cable
OHE	Overhead Electric

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
WATER PIPE	—+—+—+—+—
STORM SEWER	—>—>—>—>—
GATE VALVE	⊞
CATCH BASIN	■
FLARED END SECTION	◄

NOTE:  
 REFER TO SHEET C200 FOR UTILITY NOTES.  
 REFER TO C200 FOR SANITARY SEWER AND STORM SEWER TABLES.

NOTE:  
 PUBLIC ROADS, SIDEWALKS, SANITARY SEWER, WATERMAIN, STORM SEWER, AND GRADING SHOWN ARE BEING DONE UNDER A SEPARATE CONTRACT BY THE CITY OF CORCORAN.

**UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:**

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- PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT-OF-WAY AND OBTAIN ALL APPLICABLE PERMITS.

**KEYED NOTES**

KEYED NOTES ARE DENOTED BY [ ] ON PLAN.

- [1] INSTALL 8-INCH BY 8-INCH TEE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
- [2] INSTALL 8-INCH GATE VALVE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
- [3] INSTALL 8-INCH 45-DEGREE BEND WITH THRUST BLOCKING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
- [4] INSTALL 8-INCH BY 6-INCH TEE. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
- [5] INSTALL 8-INCH 11.25-DEGREE BEND WITH THRUST BLOCKING. FOLLOW ALL CITY OF CORCORAN STANDARDS AND SPECIFICATIONS.
- [6] PROPOSED STORM SEWER OUTLET TO TIE INTO PUBLIC STORM SEWER MAIN.

COUNTY STATE AID HIGHWAY NO. 116  
 (N.C.S.A.H. 9 116, PLAT 21)

PINTO DRIVE

BITUMINOUS

BITUMINOUS

BITUMINOUS

EM

BM #2

SEPTIC MOUND

MATCH LINE SEE 1/C201

1 UTILITY PLAN  
 C202 1" = 30'

OPEN WATER

WATER ELEVATION = 932.6  
 SEPTEMBER 9, 2020  
 FEMA 100-YR ELEVATION 936.0

**ST. THERESE**

8200 COUNTY ROAD 116  
 CORCORAN, MN 55340



**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

*Joel W. Maire*  
 Date: 09-21-2021 Joel W. Maire, PE Lic. No. 19181

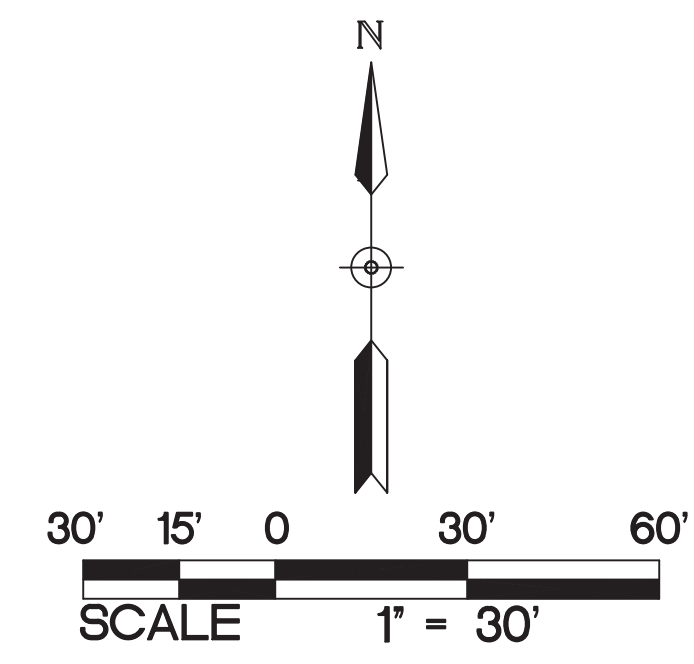
DATE: 09-21-2021  
 PROJECT #: 20398  
 PROJECT STATUS: Preliminary Plat

DRAWN BY: WH  
 CHECKED BY: AJA

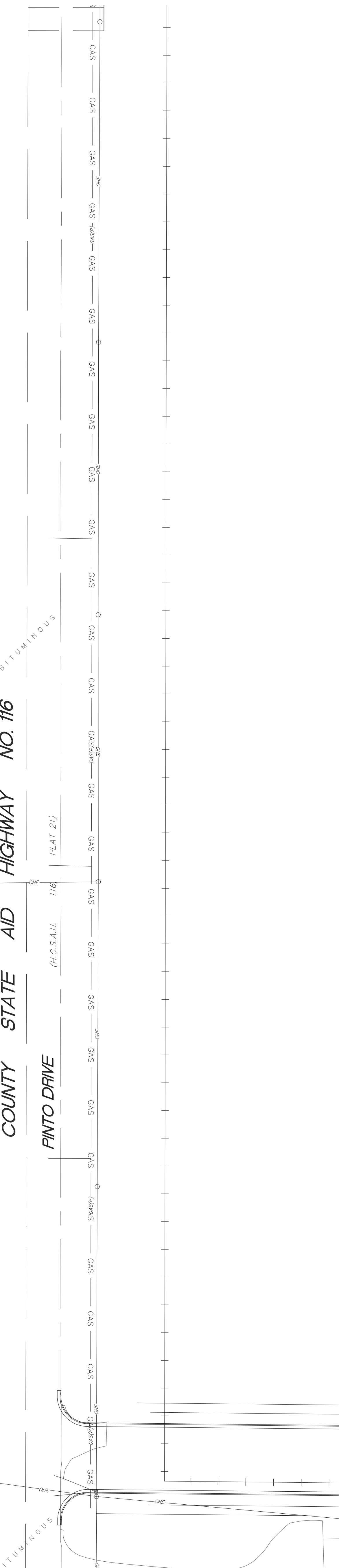
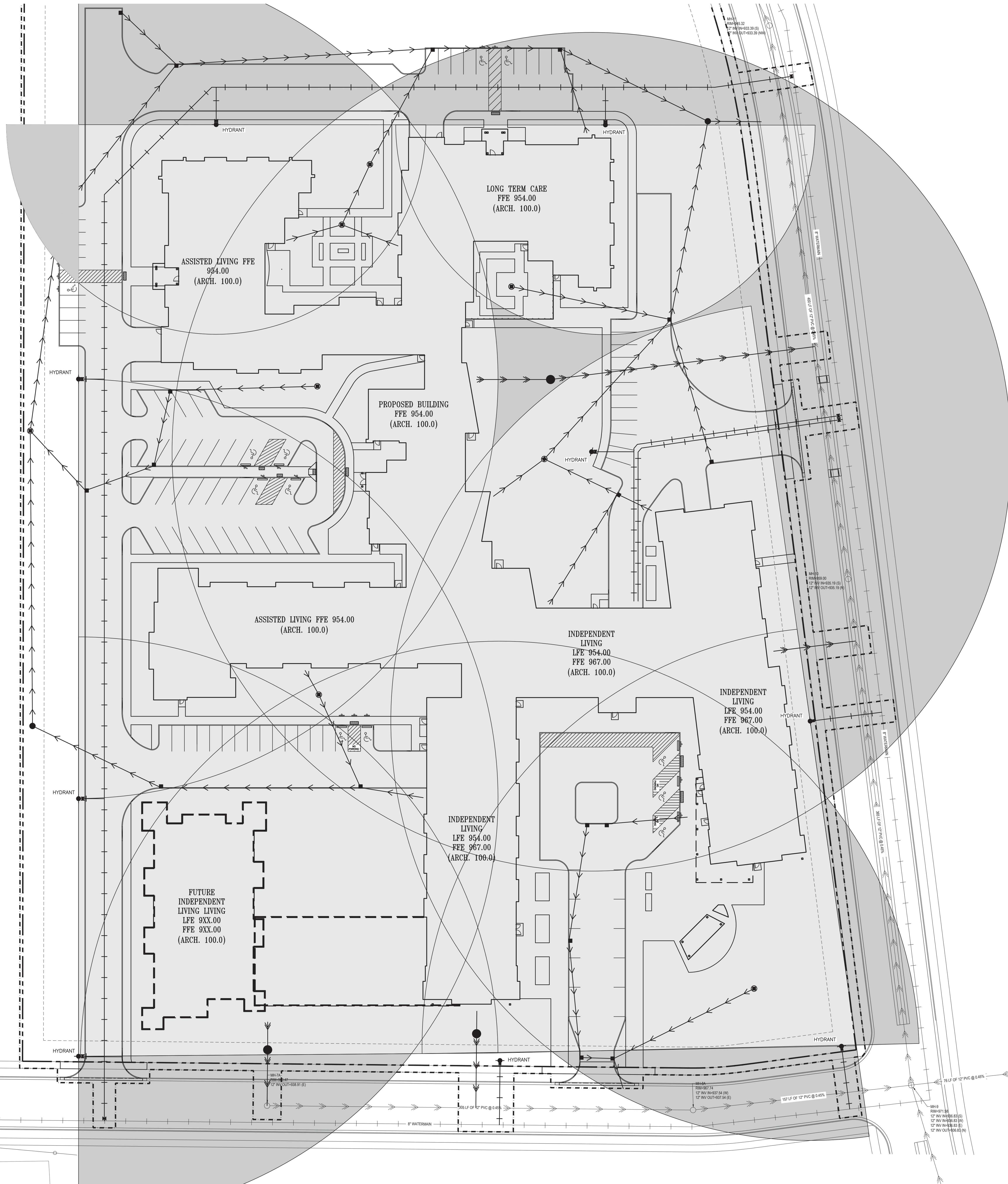
KEY PLAN

**UTILITY PLAN**

**C202**



PROPOSED PLAN SYMBOLS	
SINGLE HYDRANT COVERAGE	
MULTIPLE HYDRANT COVERAGE	



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*Joel W. Maire*  
DATE 09-21-2021    Joel W. Maire, PE    Lic. No. 19181

DATE **09-21-2021**  
PROJECT # **20398**  
PROJECT STATUS **Preliminary Plat**

DRAWN BY WH  
CHECKED BY AJA

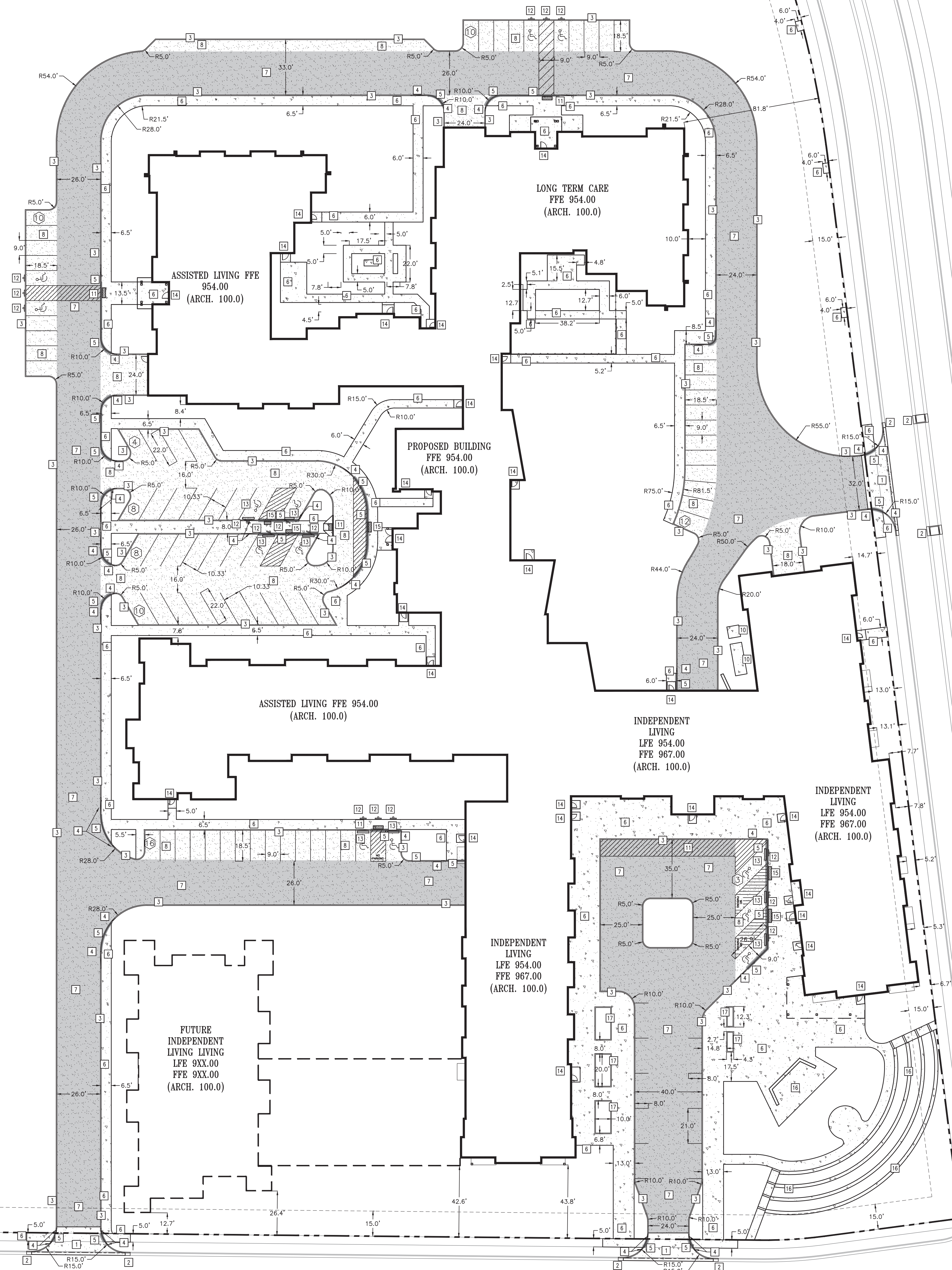
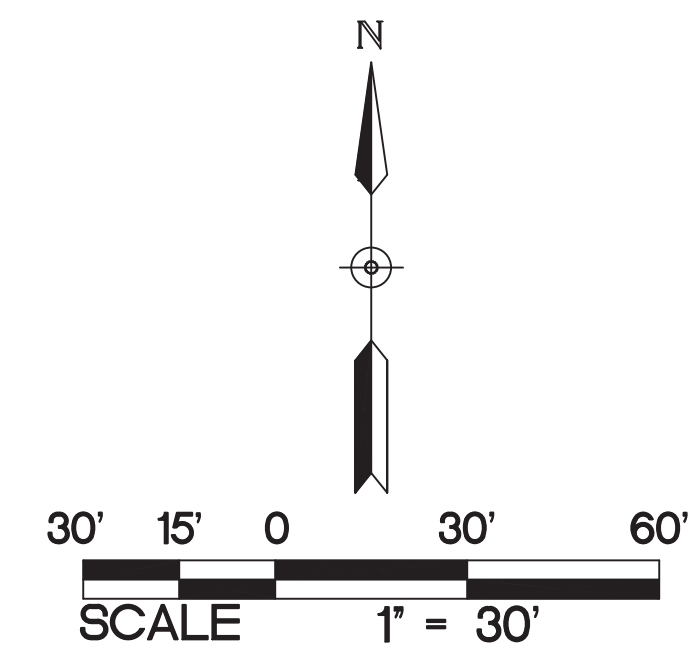
KEY PLAN

HYDRANT COVERAGE EXHIBIT

**C203**

1 HYDRANT COVERAGE EXHIBIT  
C203 1" = 30'

Revised 10/19/21



ABBREVIATIONS

FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
R	Radius

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
LIGHT DUTY BITUMINOUS PAVEMENT	[Symbol]
HEAVY DUTY BITUMINOUS PAVEMENT	[Symbol]
CONCRETE SIDEWALK	[Symbol]
CONCRETE PAVEMENT	[Symbol]
FLAT CURB AND GUTTER	[Symbol]
PEDESTRIAN CURB RAMP	[Symbol]
ACCESSIBLE PARKING SYMBOL	[Symbol]
SIGN	[Symbol]
PARKING STALL COUNT	[Symbol]

NOTE:  
PUBLIC ROADS, SIDEWALKS, SANITARY SEWER, WATERMAIN, STORM SEWER, AND GRADING SHOWN ARE BEING DONE UNDER A SEPARATE CONTRACT BY THE CITY OF CORCORAN.

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAIL 7/C401.
  - INSTALL B618 CONCRETE CURB AND GUTTER. REFER TO DETAIL 6/C401.
  - INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 6/C402.
  - INSTALL NOSE-DOWN CURB SECTION. REFER TO DETAIL 5/C402.
  - INSTALL FLAT CURB SECTION. REFER TO DETAIL 4/C402.
  - INSTALL CONCRETE WALK. REFER TO DETAILS 8/C401 AND 7/C402.
  - INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 1/C402.
  - INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 2/C402.
  - INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 3/C402.
  - INSTALL CONCRETE EQUIPMENT PAD. REFER TO DETAIL 9/C402 FOR BIDDING PURPOSES. FINAL PAD DESIGN SHALL BE PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
  - INSTALL PEDESTRIAN CURB RAMP. REFER TO DETAILS 9/C401 AND 10/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038.
  - INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 11/C401.
  - INSTALL PRECAST CONCRETE WHEEL STOP. REFER TO DETAIL 12/C401.
  - REFER TO STRUCTURAL PLANS FOR STOOP DETAIL.
  - INSTALL TRUNCATED DOMES PER DETAIL 9/C401 AND 10/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038.
  - REFER TO ARCHITECTURAL AND LANDSCAPE FOR AMPHITHEATER PLANS AND DETAILS.
  - INSTALL RAISED PLANTER BEDS. REFER TO LANDSCAPE PLANS.

PAVING NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
- NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
- FOLLOW ALL CITY OF CORCORAN AND HENNEPIN COUNTY RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
- ALL PARKING STALLS ARE TO BE 9 FEET WIDE BY 18.5 FEET LONG, UNLESS NOTED OTHERWISE.
- ACCESSIBLE AISLES SHALL BE STRIPED PER MN CODE (SECTION 502), WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESS AISLE.
- THE CONTRACTOR IS TO CONTACT THE CITY OF CORCORAN FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LINES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
- REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
- INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
- ALL EXPANSION AND ISOLATION JOINTS SHALL BE SEALED PER SPECIFICATIONS.
- MATCH NEW PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW SIDEWALK INTO EXISTING SIDEWALK. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- SAWCUT EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER.
- INSTALL DRIVE ENTRANCE PER CITY OF CORCORAN STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF CORCORAN AND HENNEPIN COUNTY REQUIREMENTS FOR TRAFFIC CONTROL.

NOT FOR CONSTRUCTION

Revisions		
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*Joel W. Maire, PE*  
Date 09-21-2021      Lic. No. 19181

DATE 09-21-2021  
PROJECT # 20398  
PROJECT STATUS Preliminary Plat

DRAWN BY JWH  
CHECKED BY AJA

KEY PLAN

PAVING AND GEOMETRIC PLAN

C300

Revised 10/18/21

COUNTY STATE AID HIGHWAY NO. 116

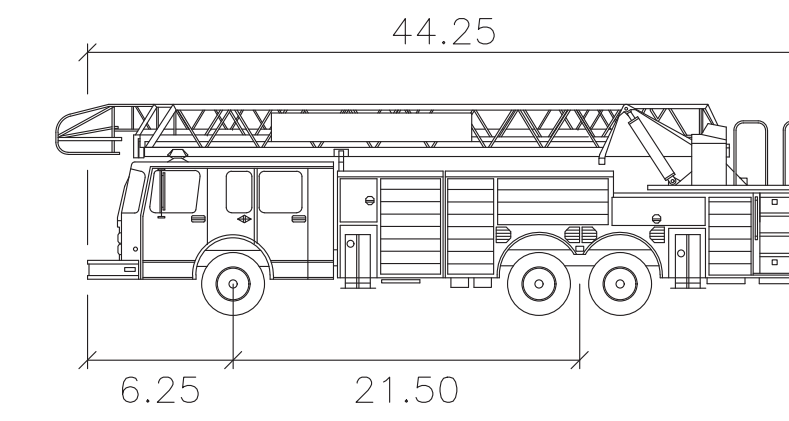
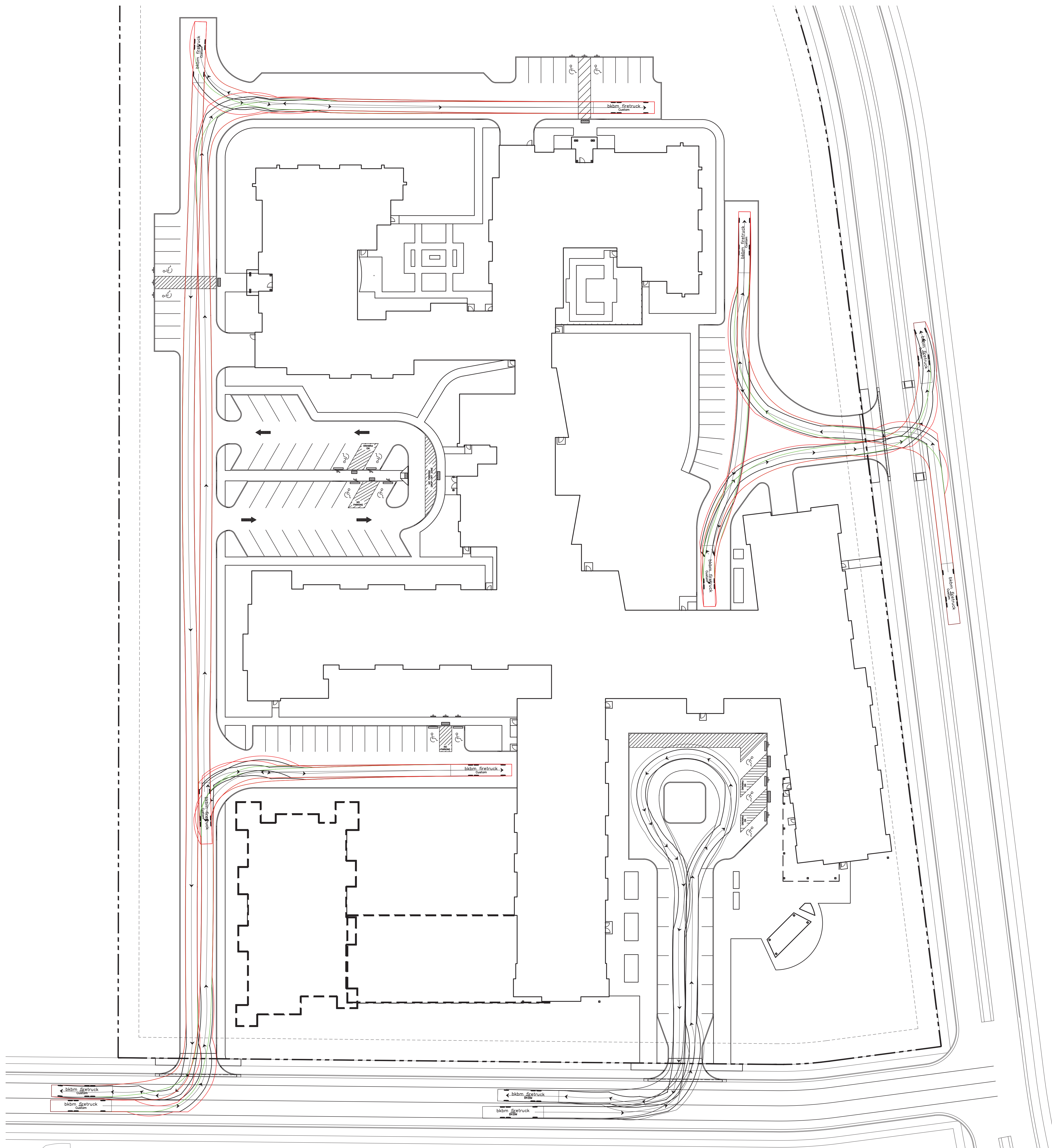
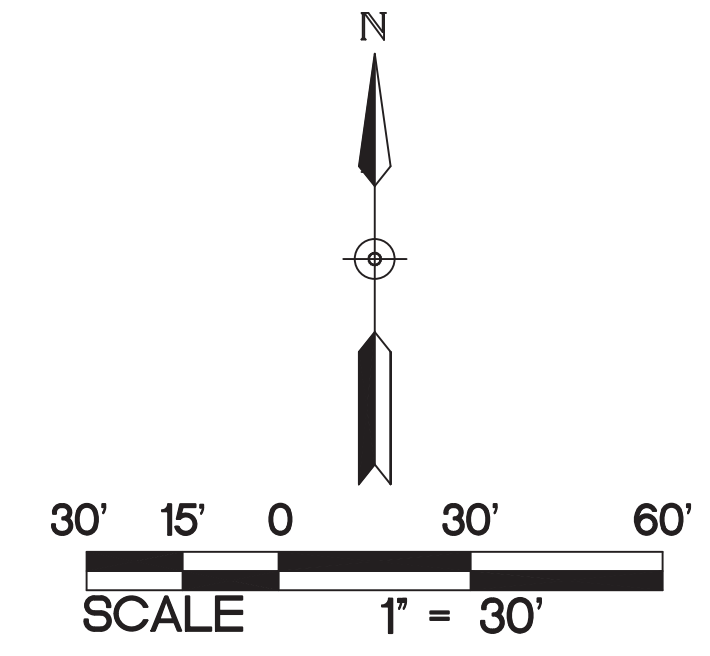
PINTO DRIVE

(H.C.S.A.H. 116, PLAT 2)

BITUMINOUS

GRAVEL





bkbm firetruck  
feet  
Width : 8.50  
Track : 8.50  
Lock to Lock Time : 6.0  
Steering Angle : 45.7

**NOT FOR  
CONSTRUCTION**

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*Joel W. Maire*  
Date: 09-21-2021      Joel W. Maire, PE      Lic. No. 19181

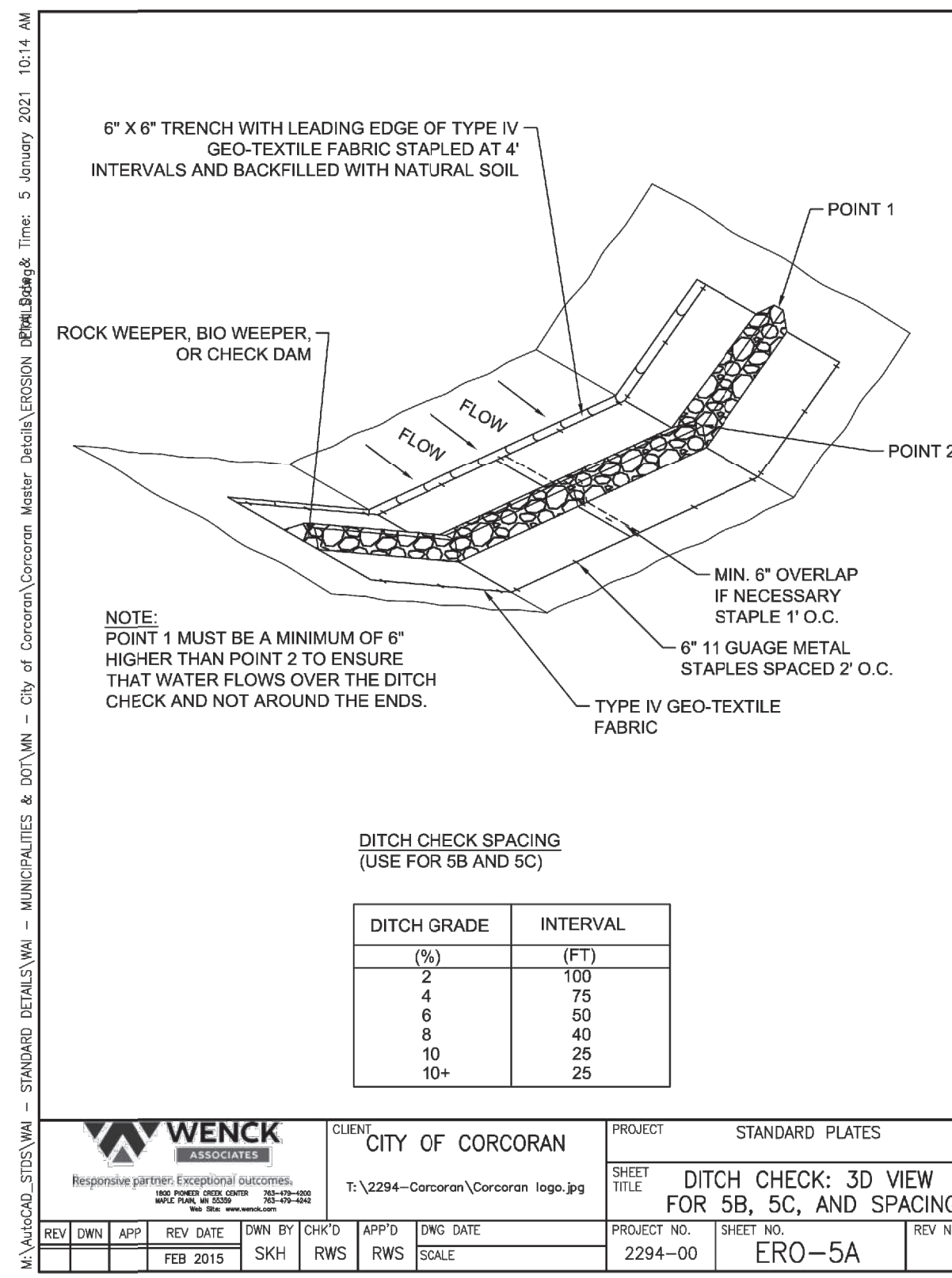
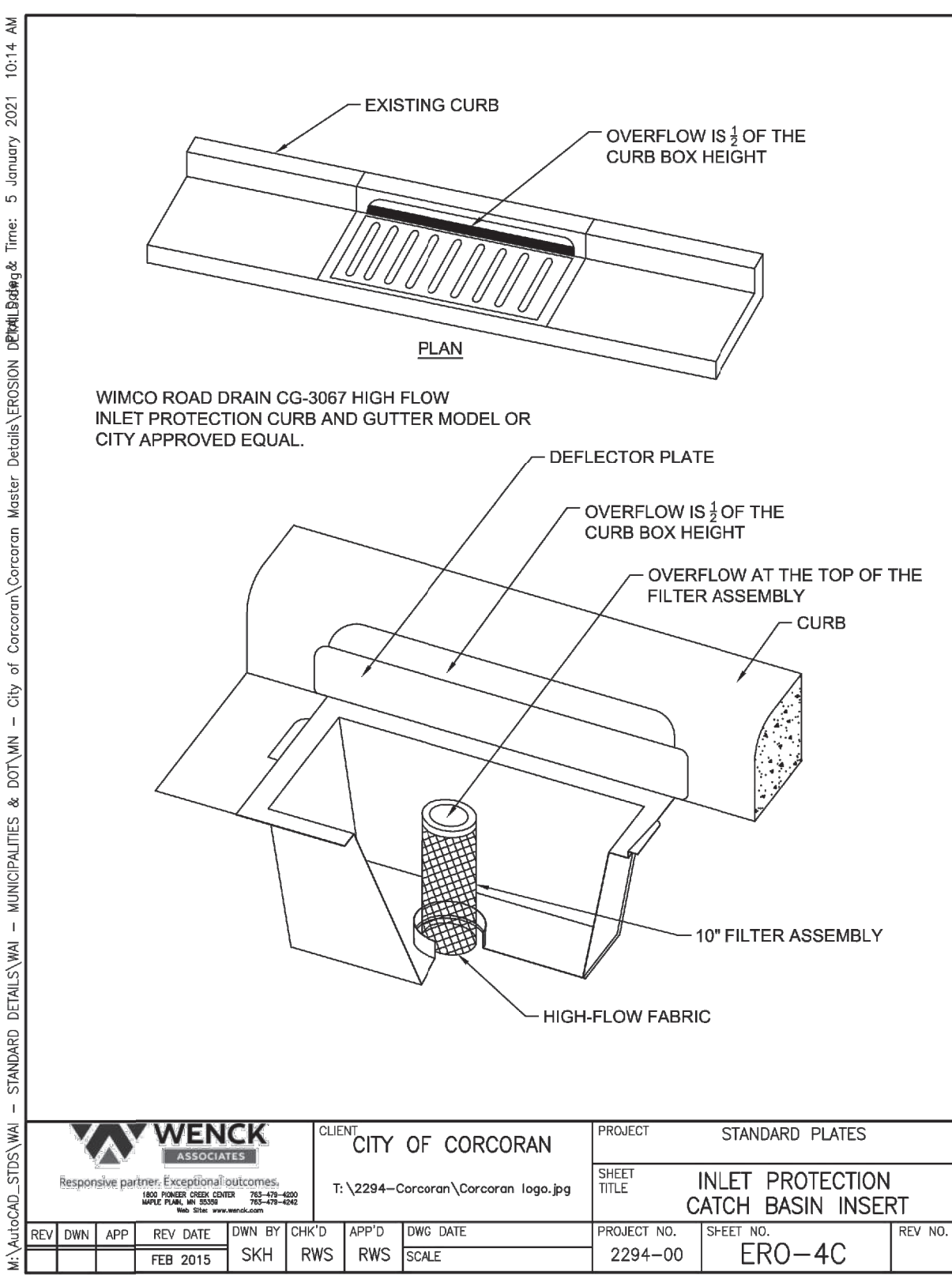
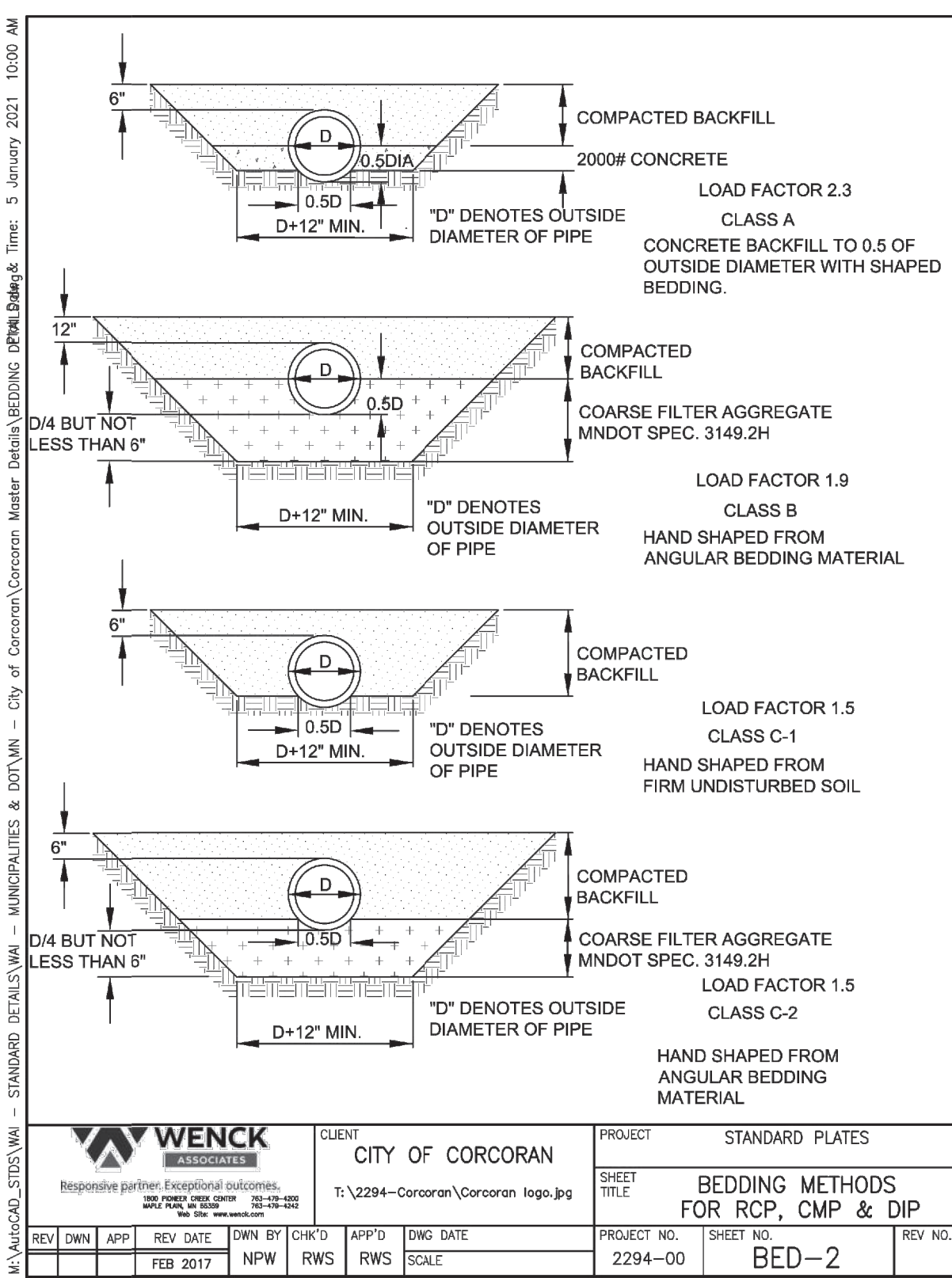
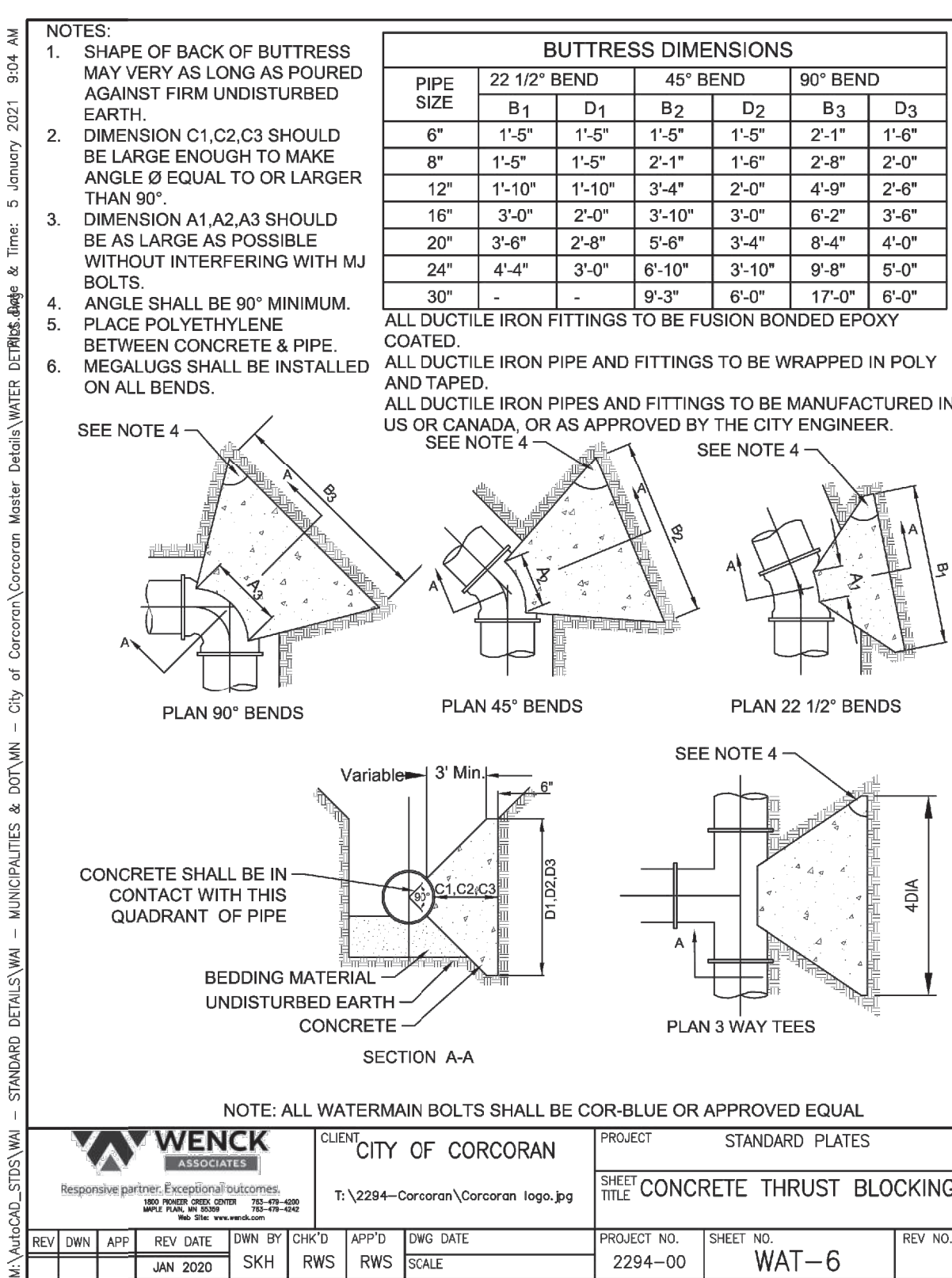
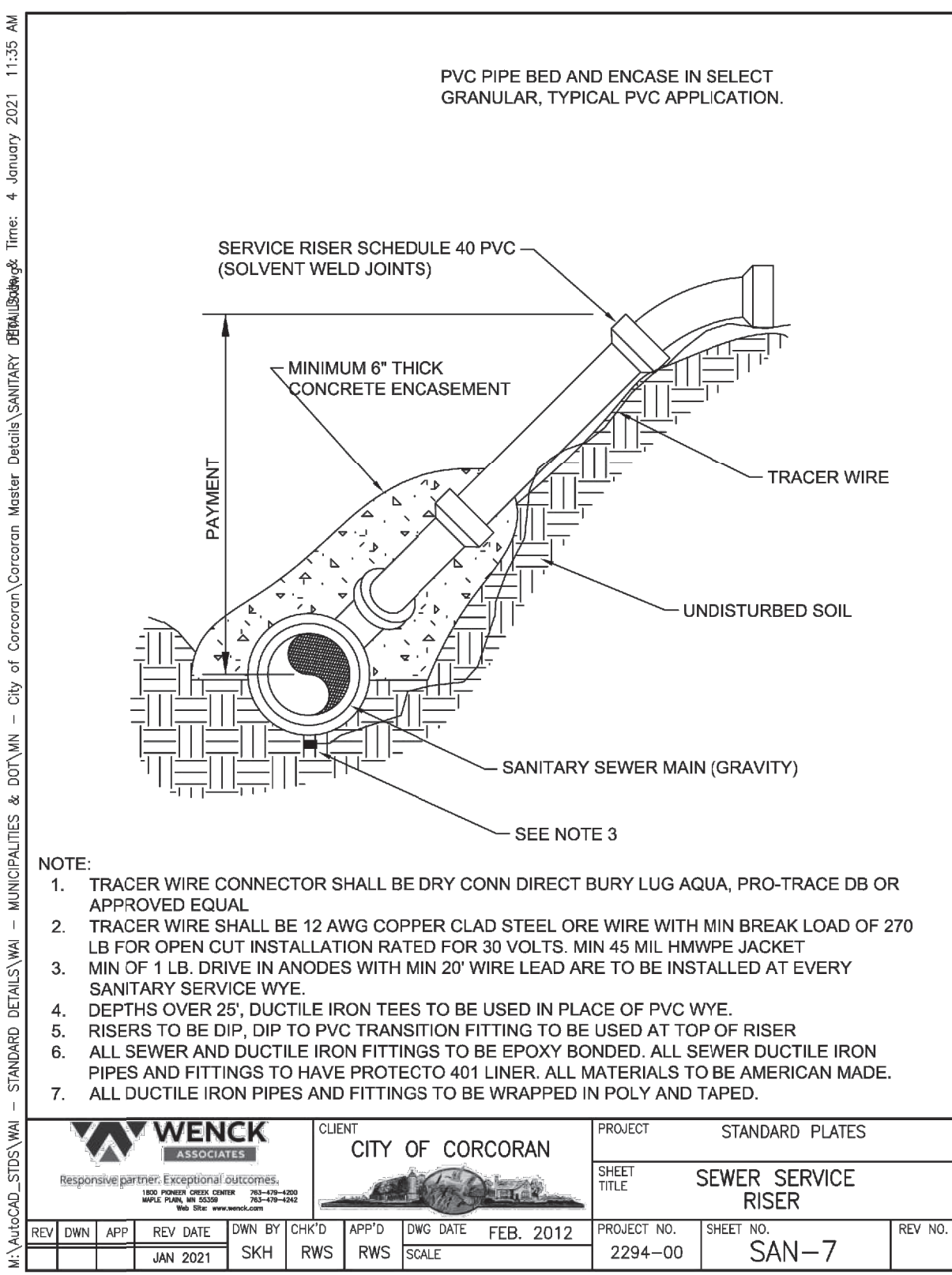
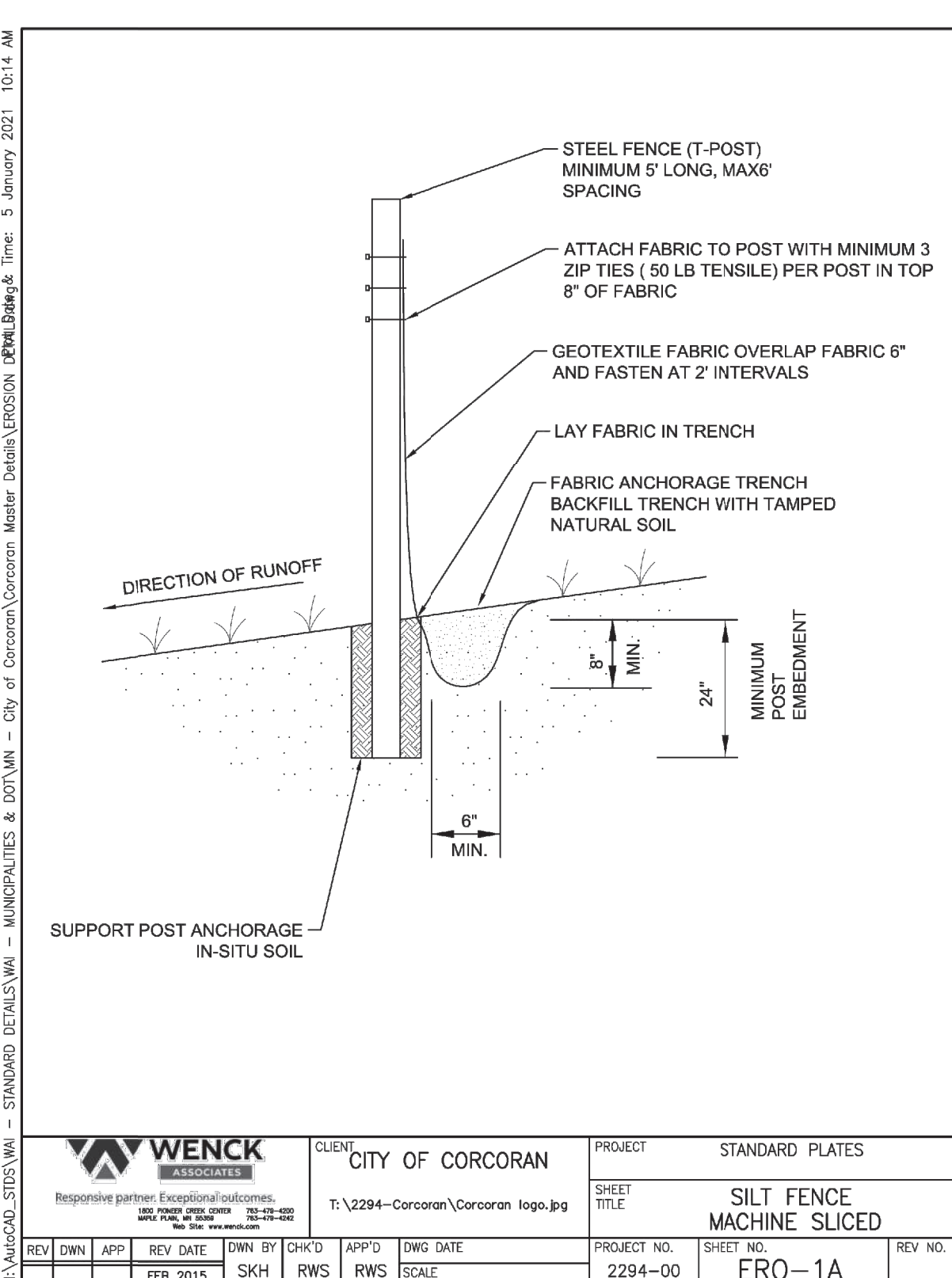
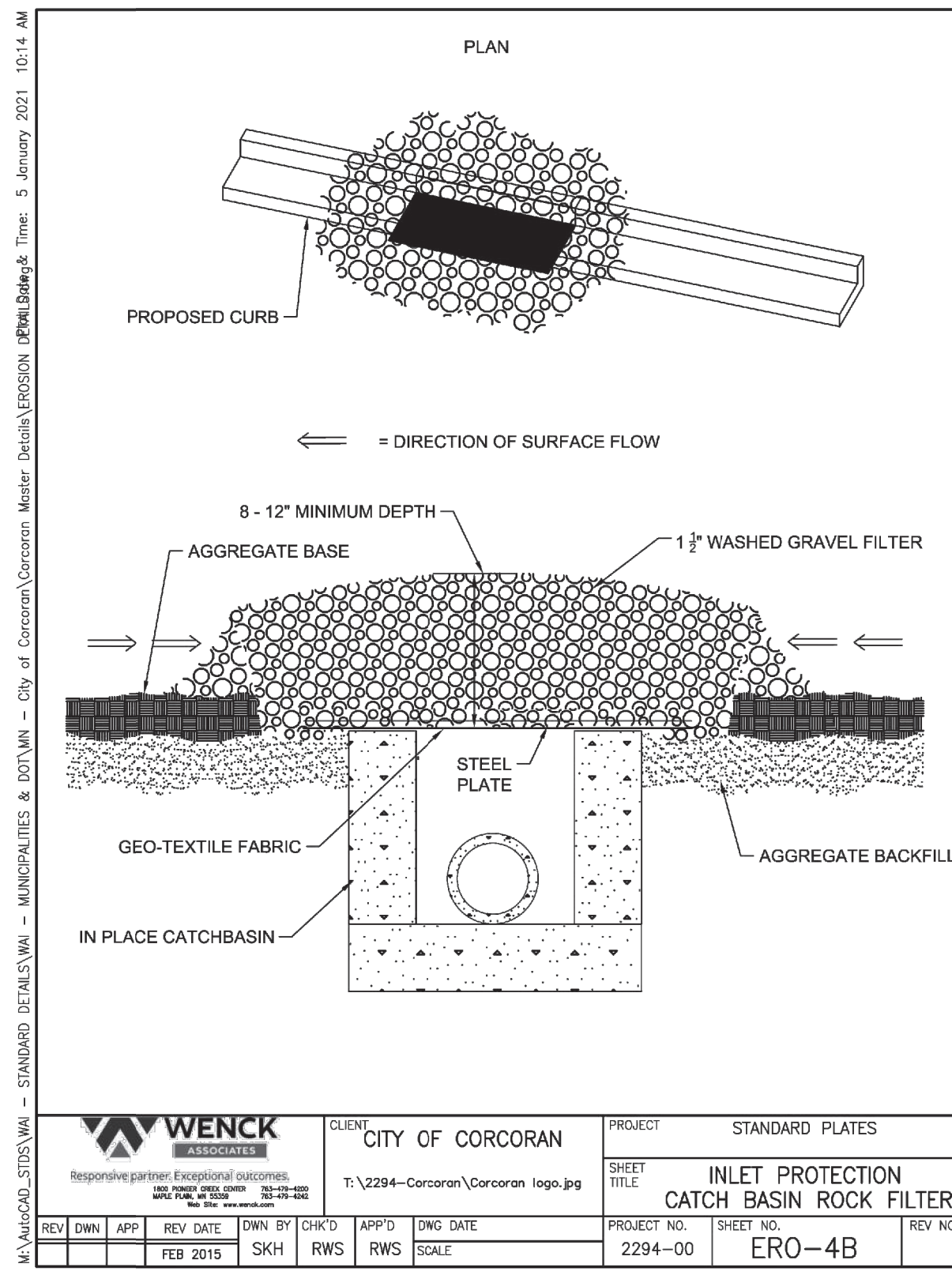
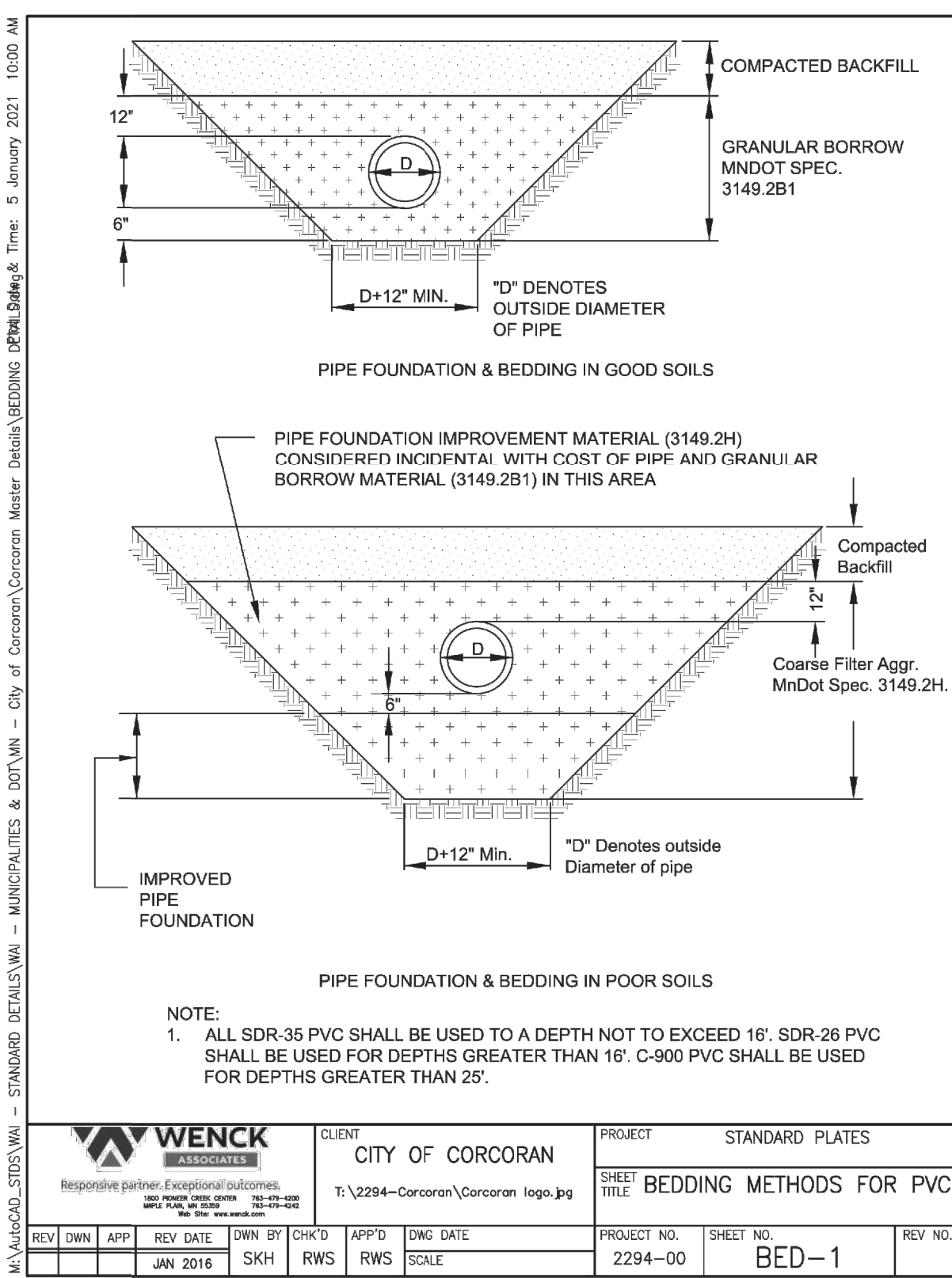
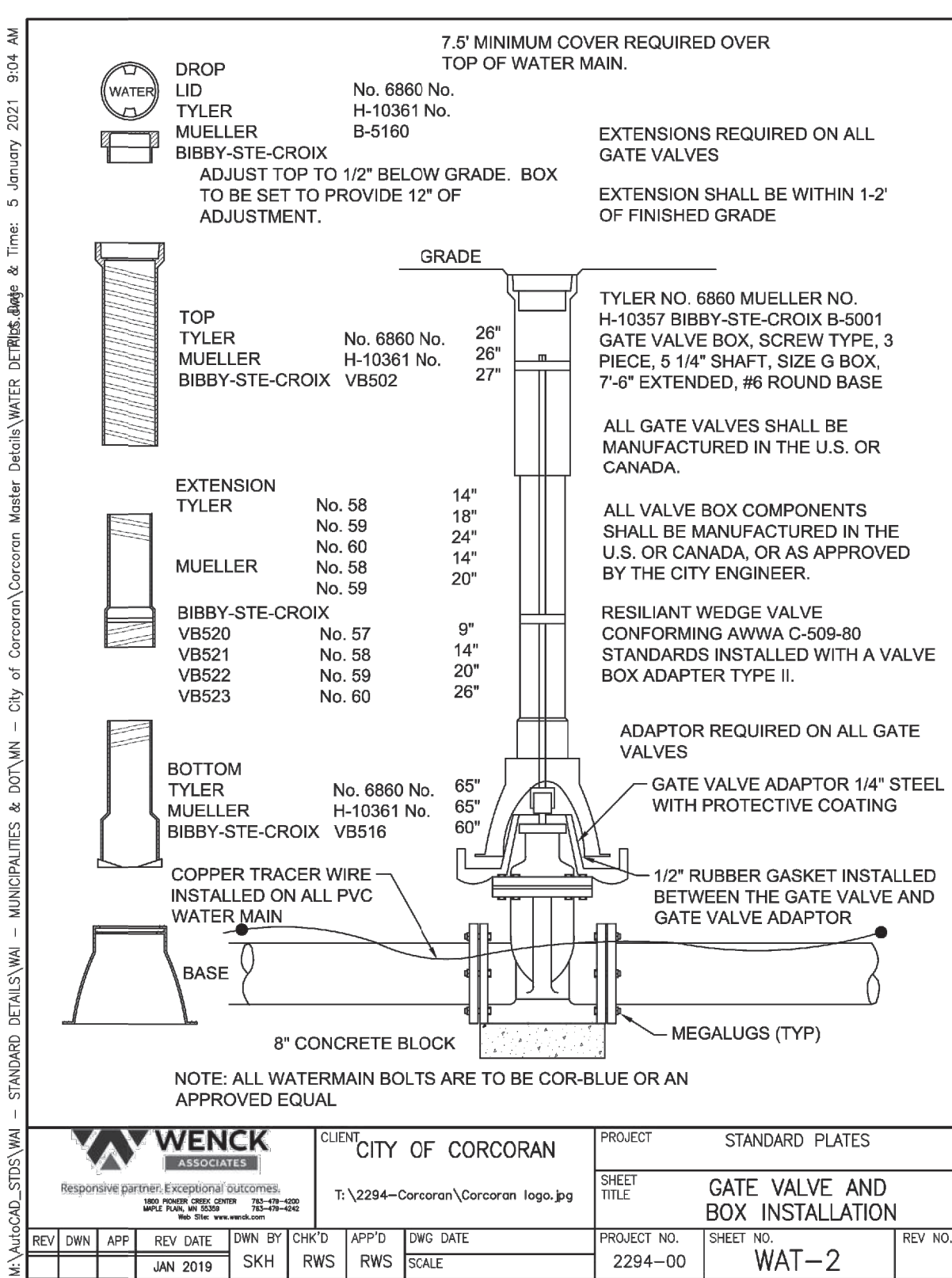
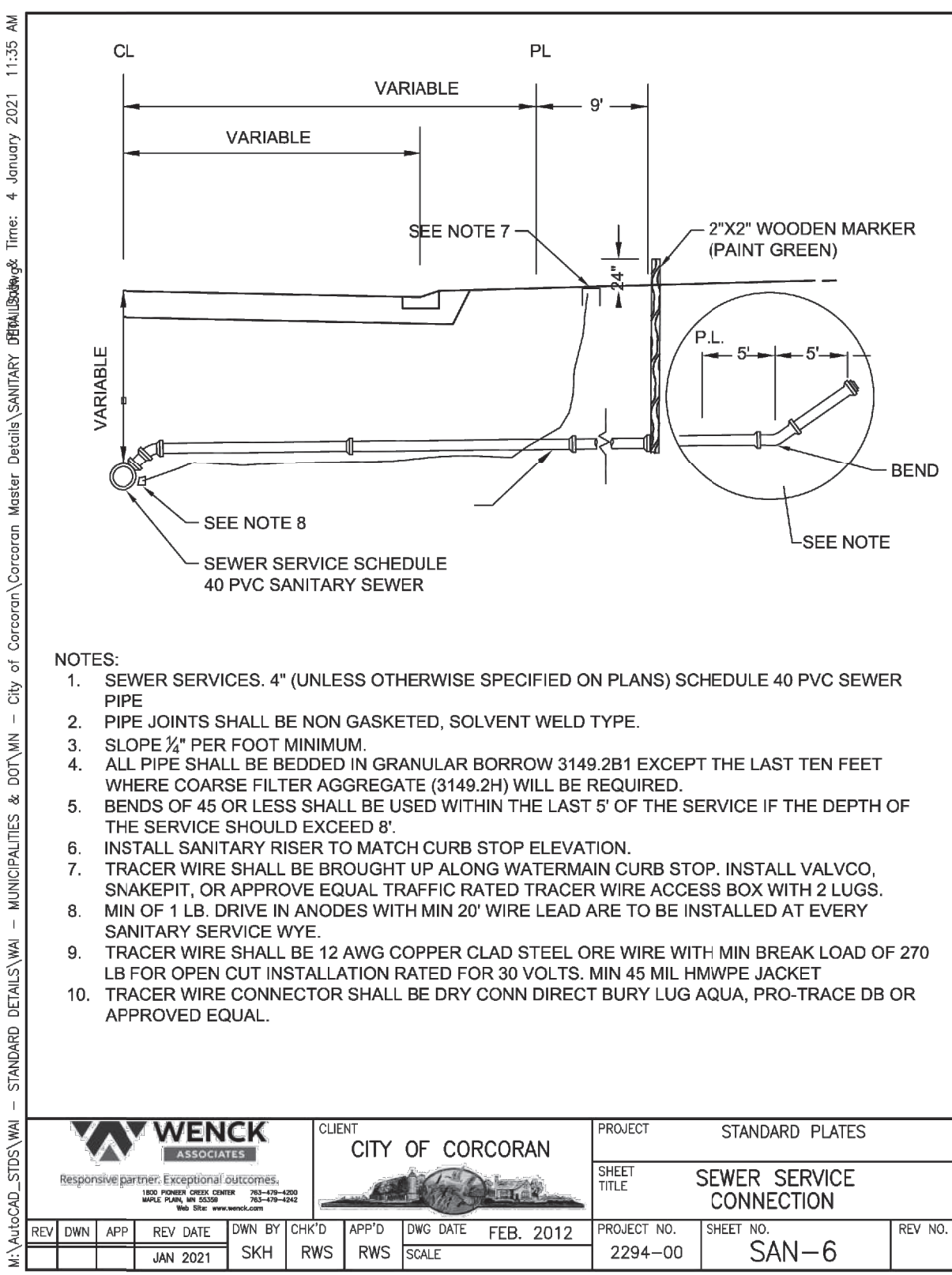
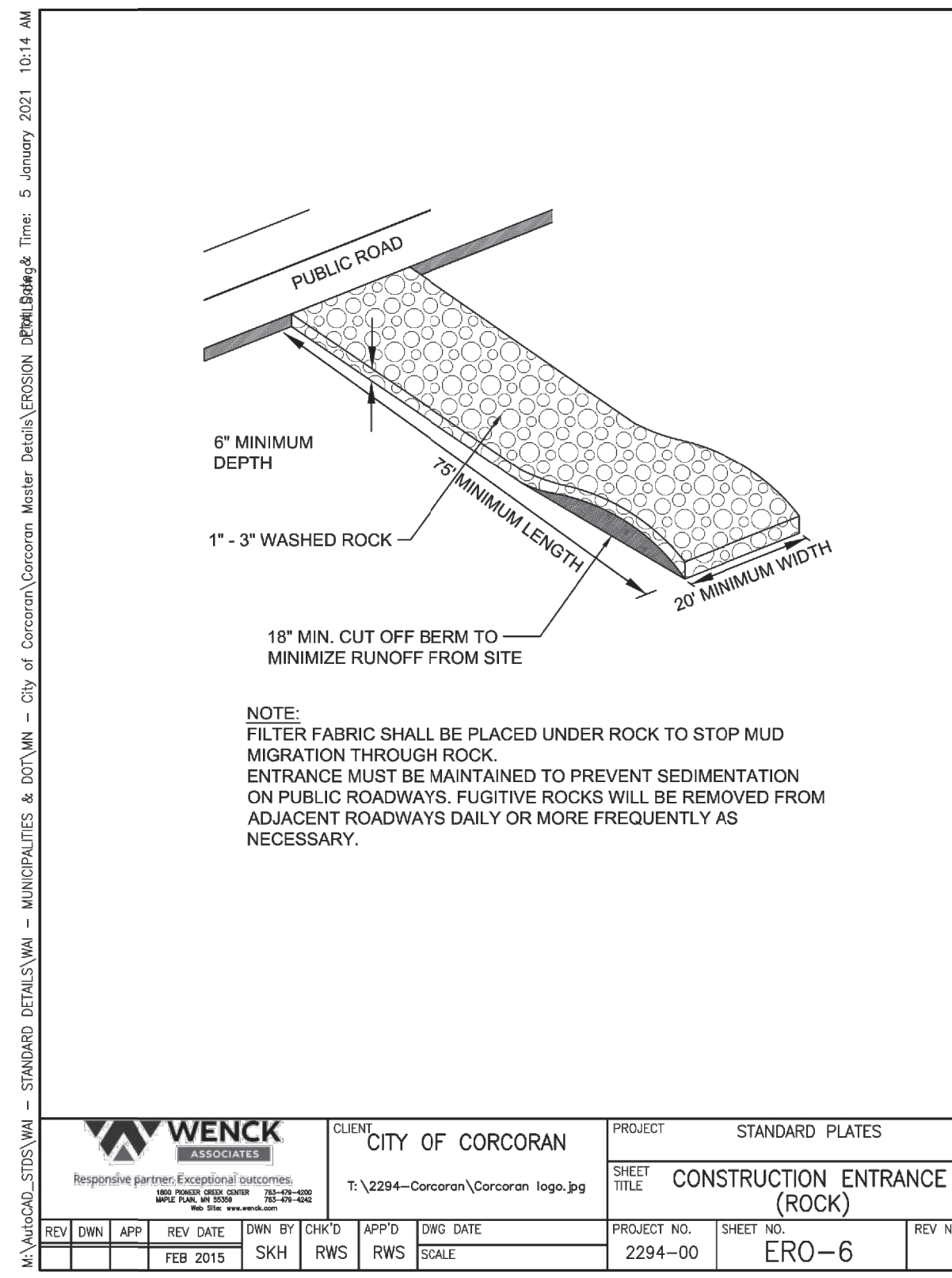
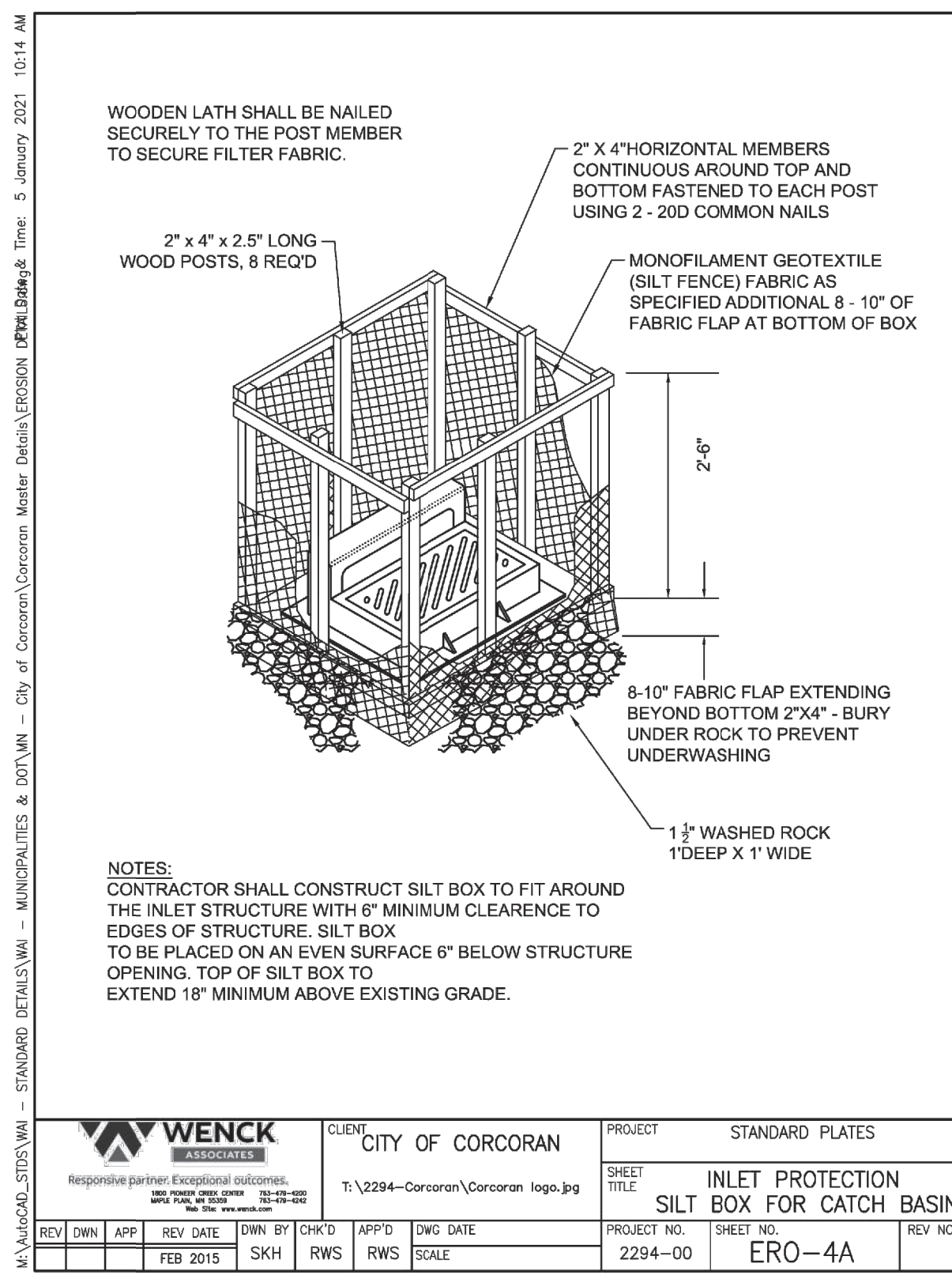
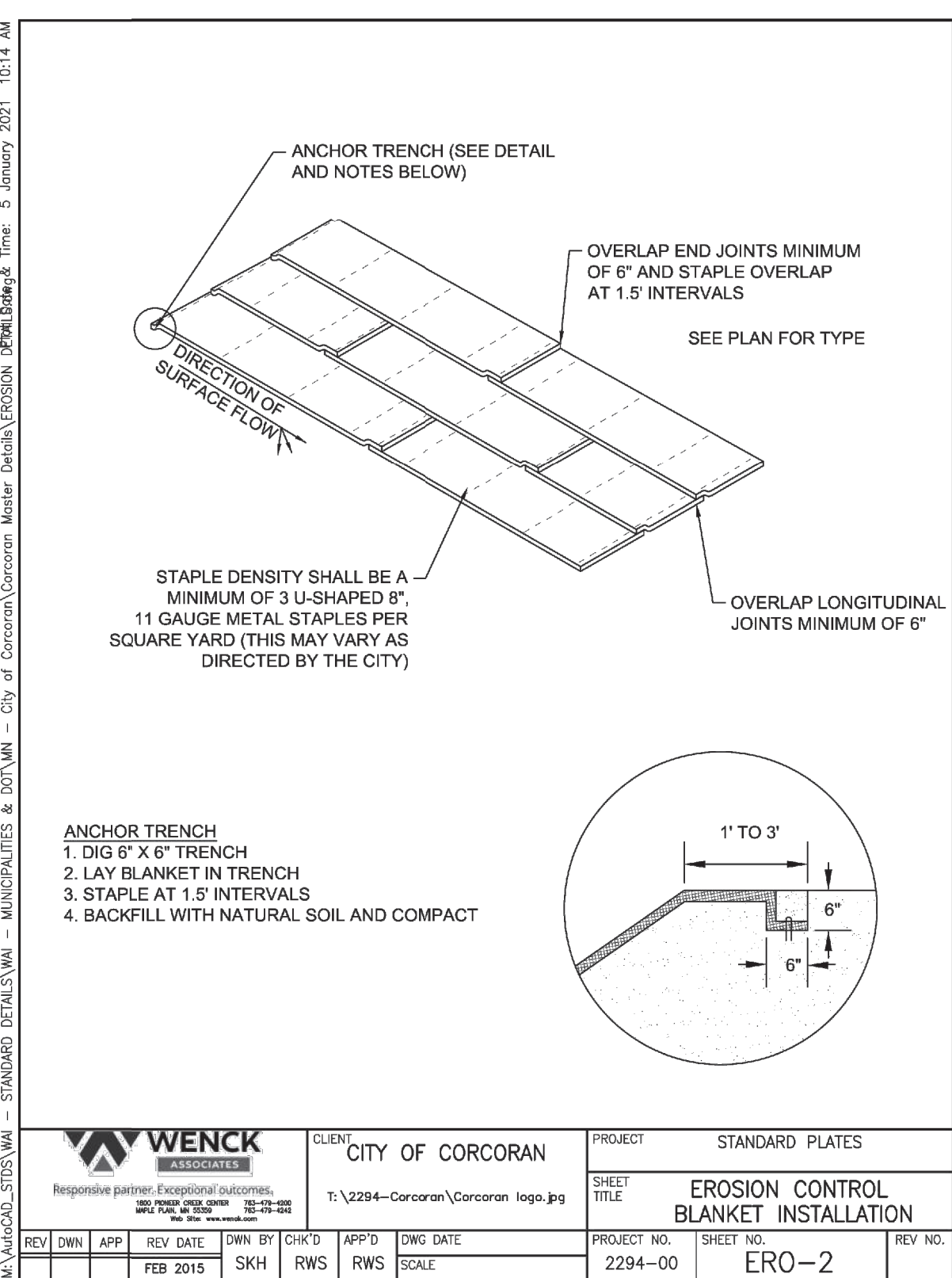
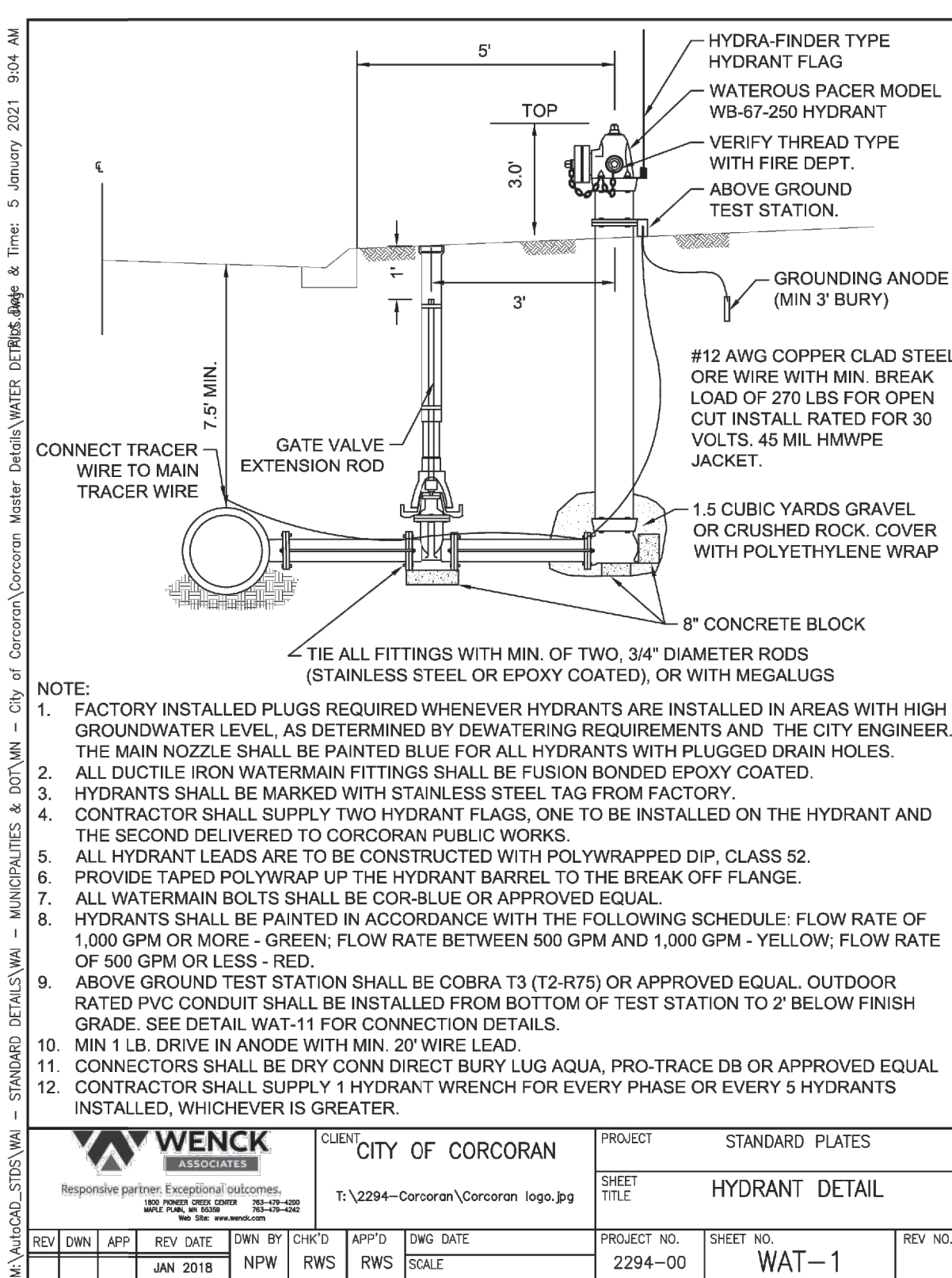
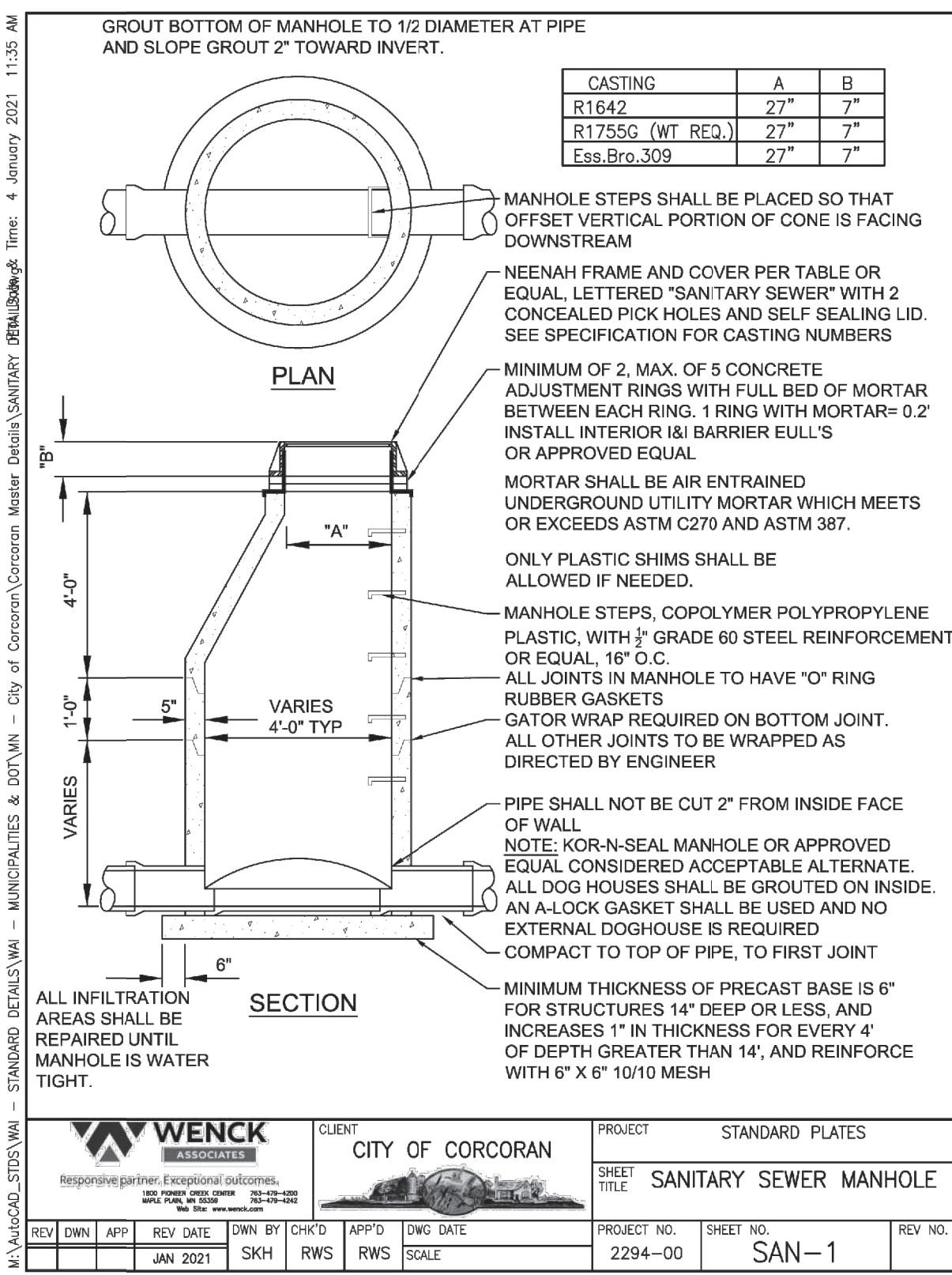
DATE: **09-21-2021**  
PROJECT #: **20398**  
PROJECT STATUS: **Preliminary Plat**

DRAWN BY: **WH**  
CHECKED BY: **AJA**

KEY PLAN

**FIRE TRUCK  
TURNING EXHIBIT**

**C301**



NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

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*Jeff W. Maire*  
Date: 09-21-2021 License No.: 19181

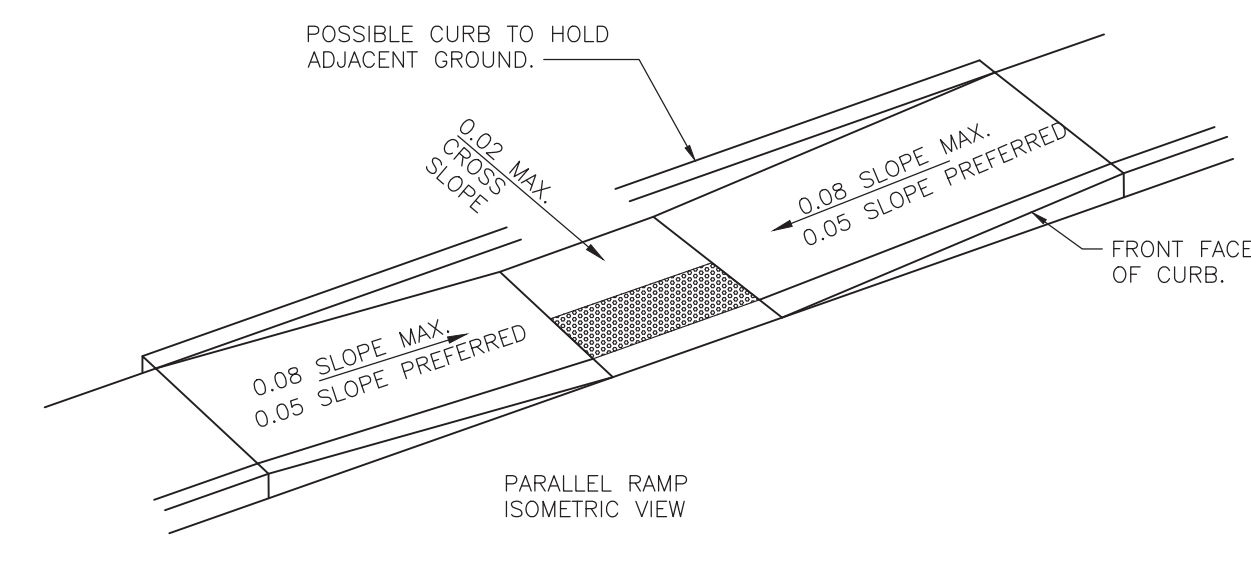
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PROJECT STATUS: Preliminary Plat

DRAWN BY: JAH  
CHECKED BY: WH

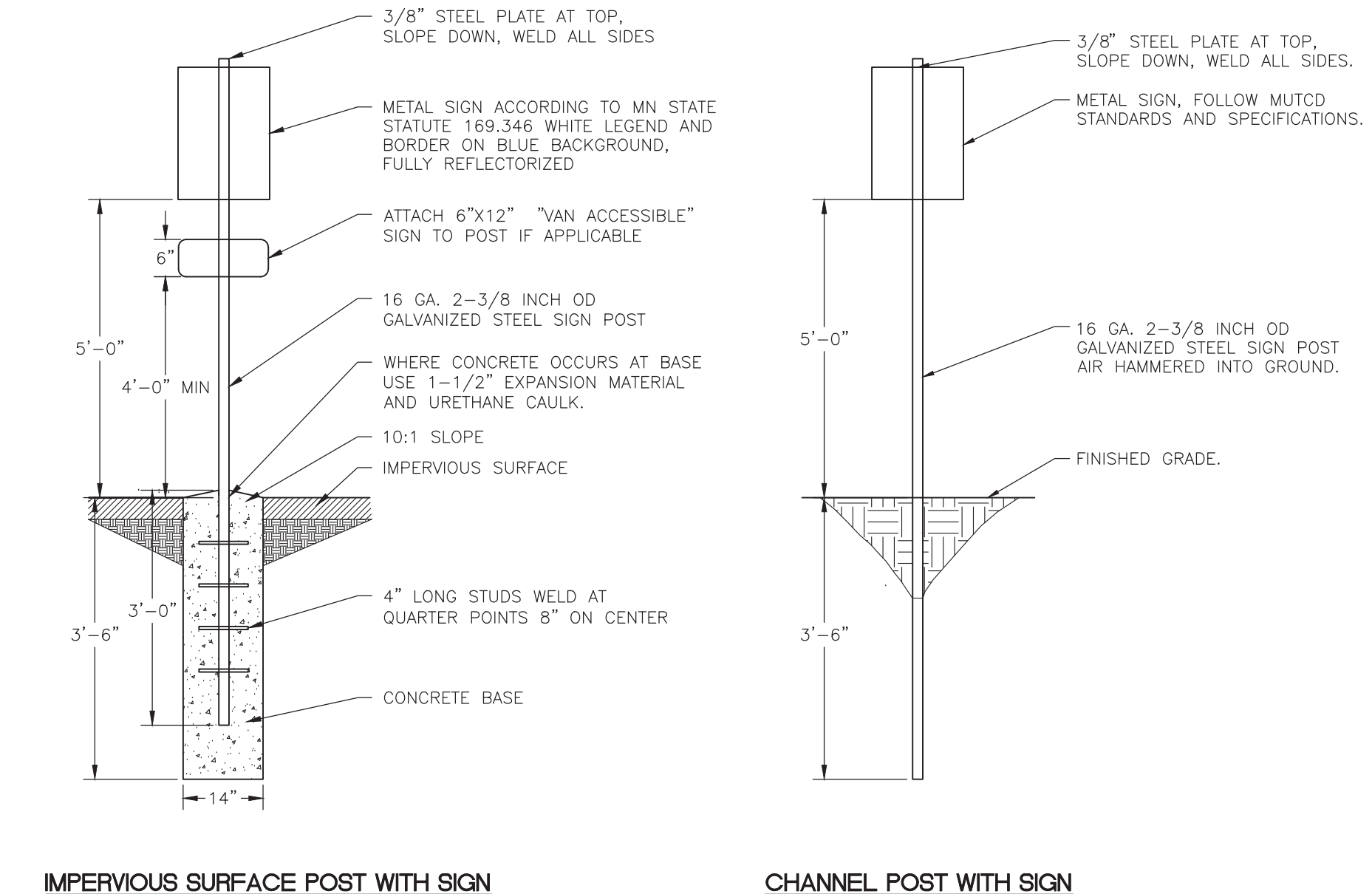
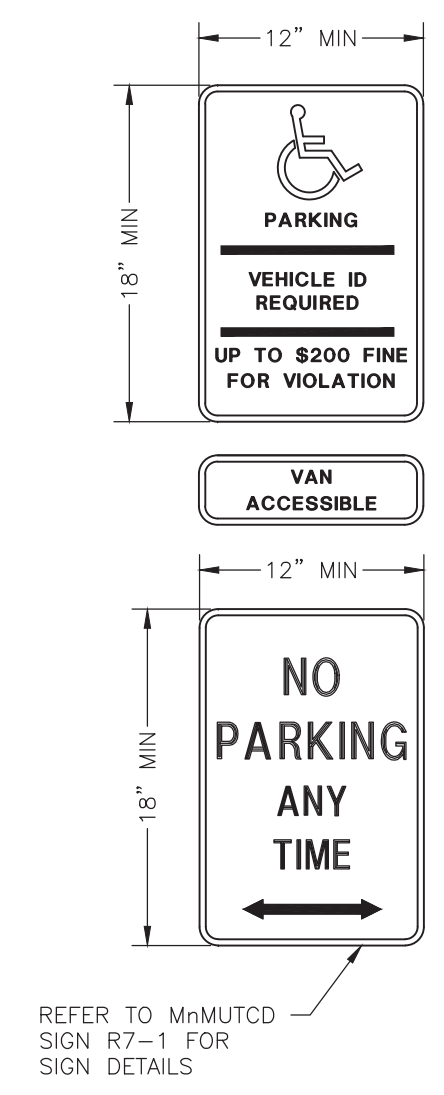
KEY PLAN

CIVIL DETAIL

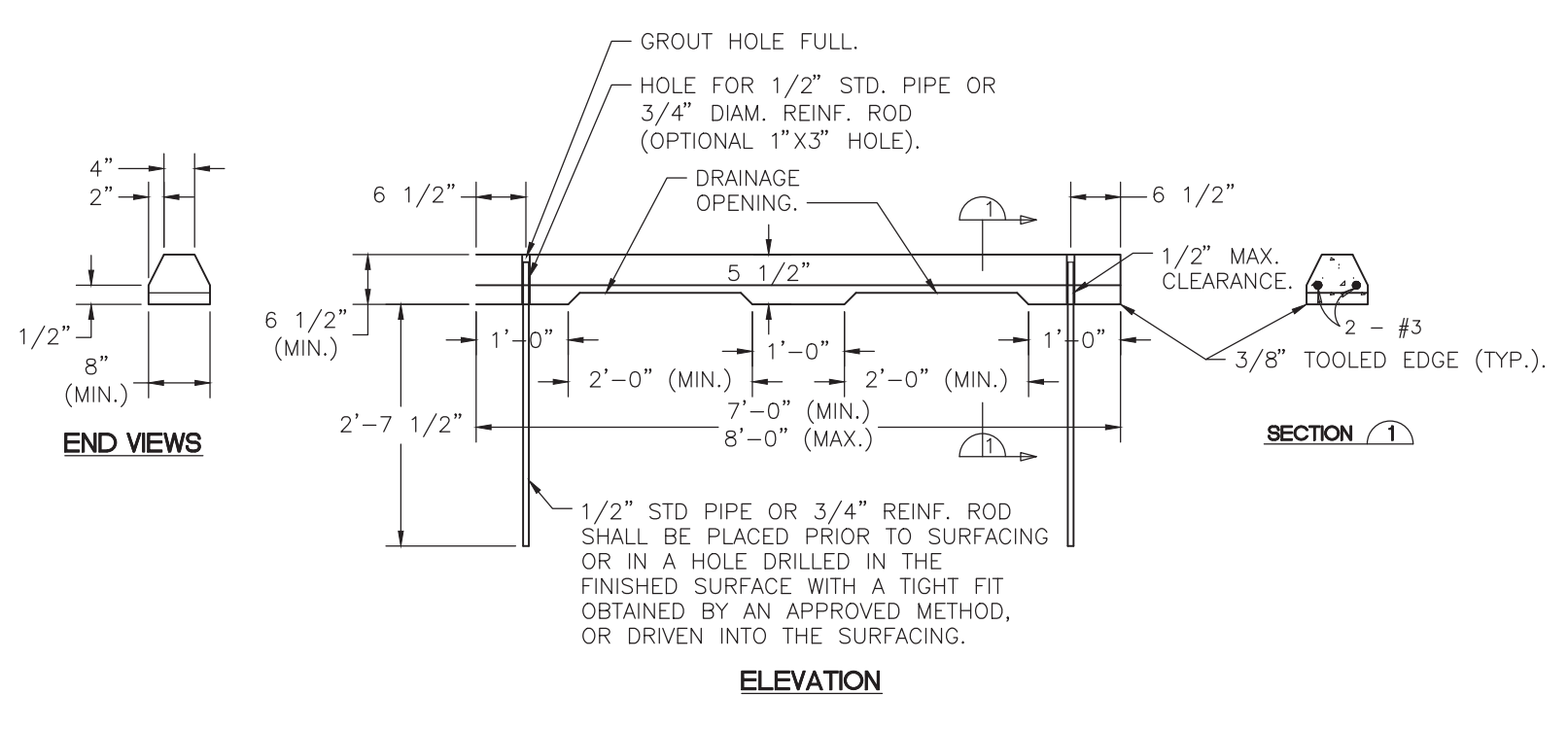
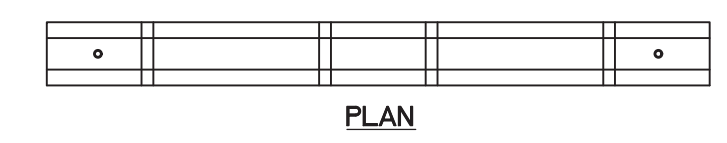
**C400**  
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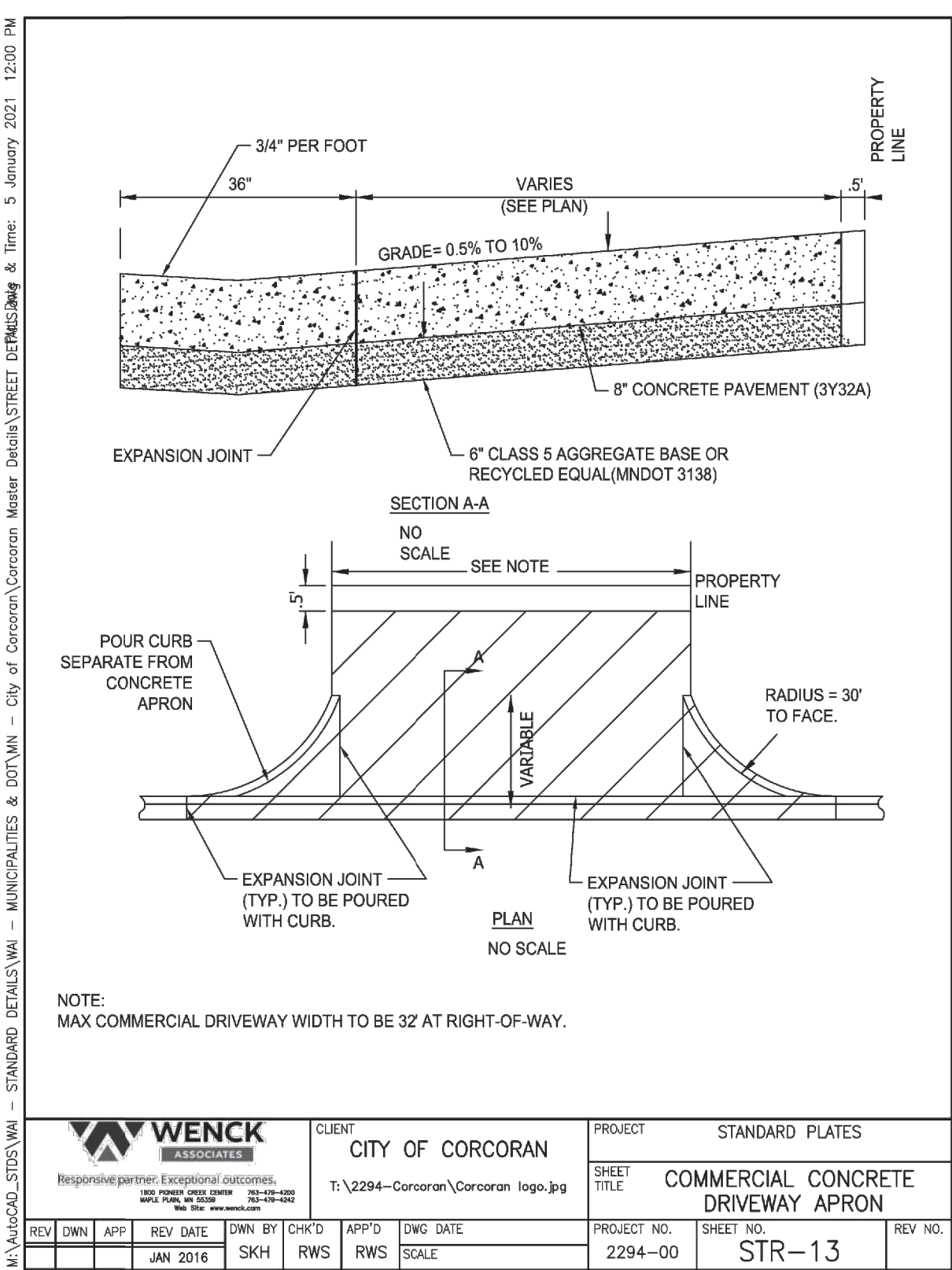
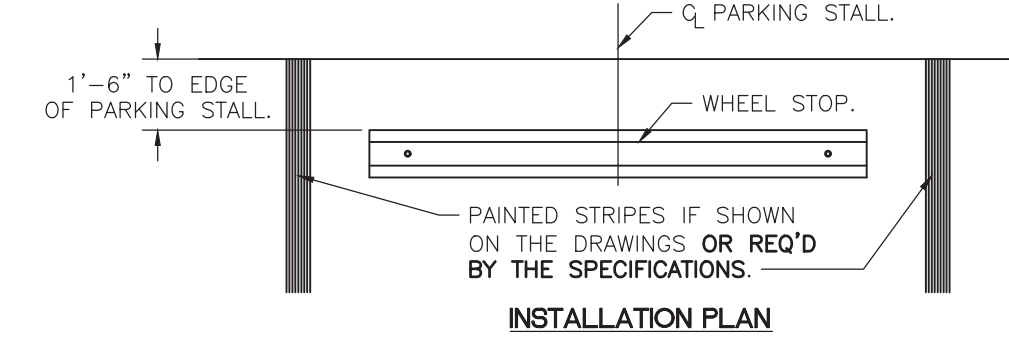
**10**  
**C401** PARALLEL RAMP  
NOT TO SCALE



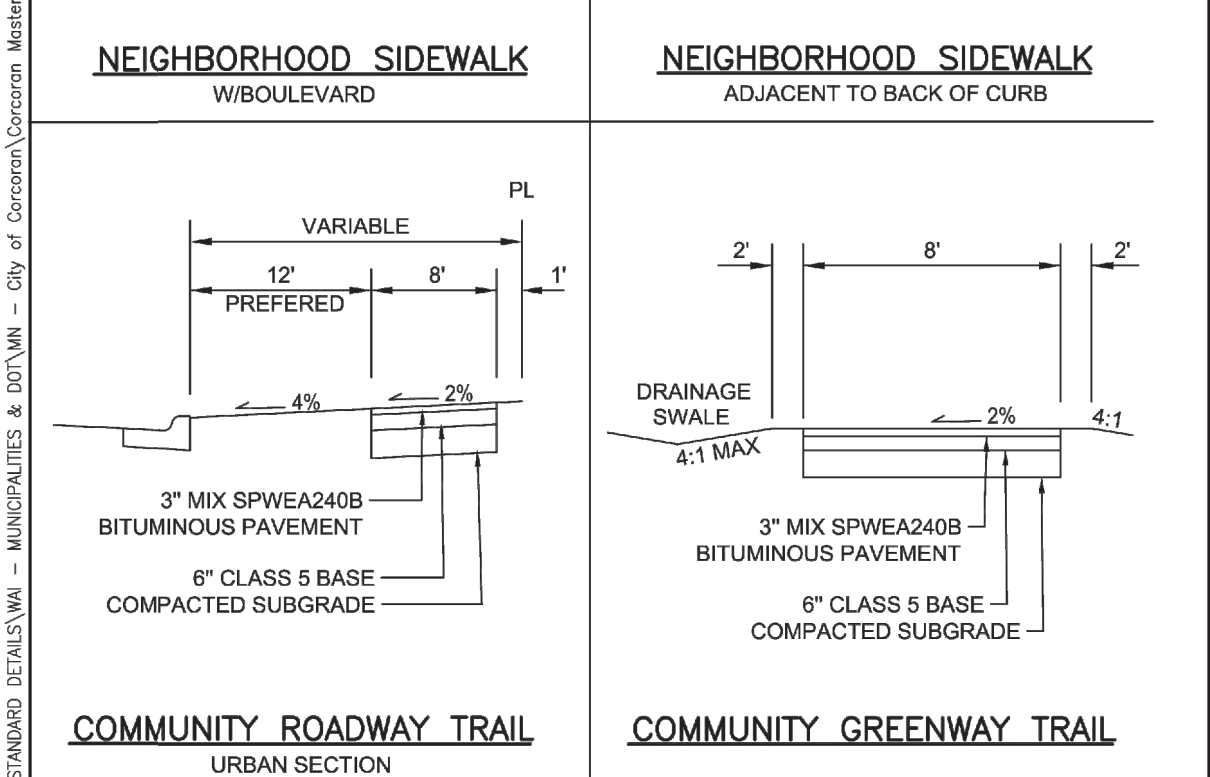
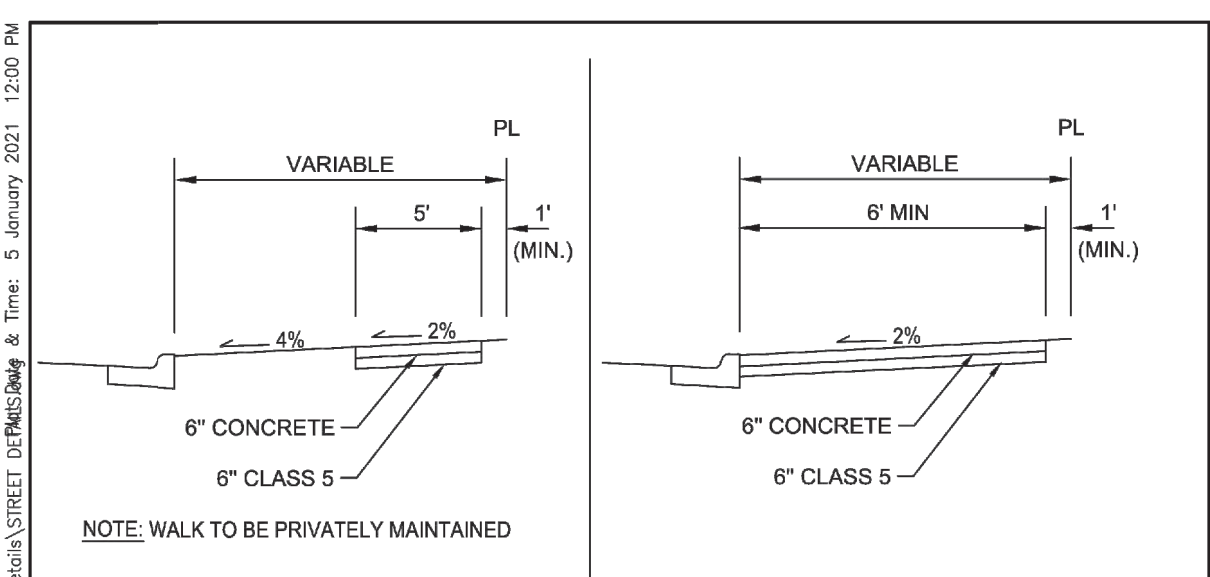
**11**  
**C401** SIGN AND POST  
NOT TO SCALE



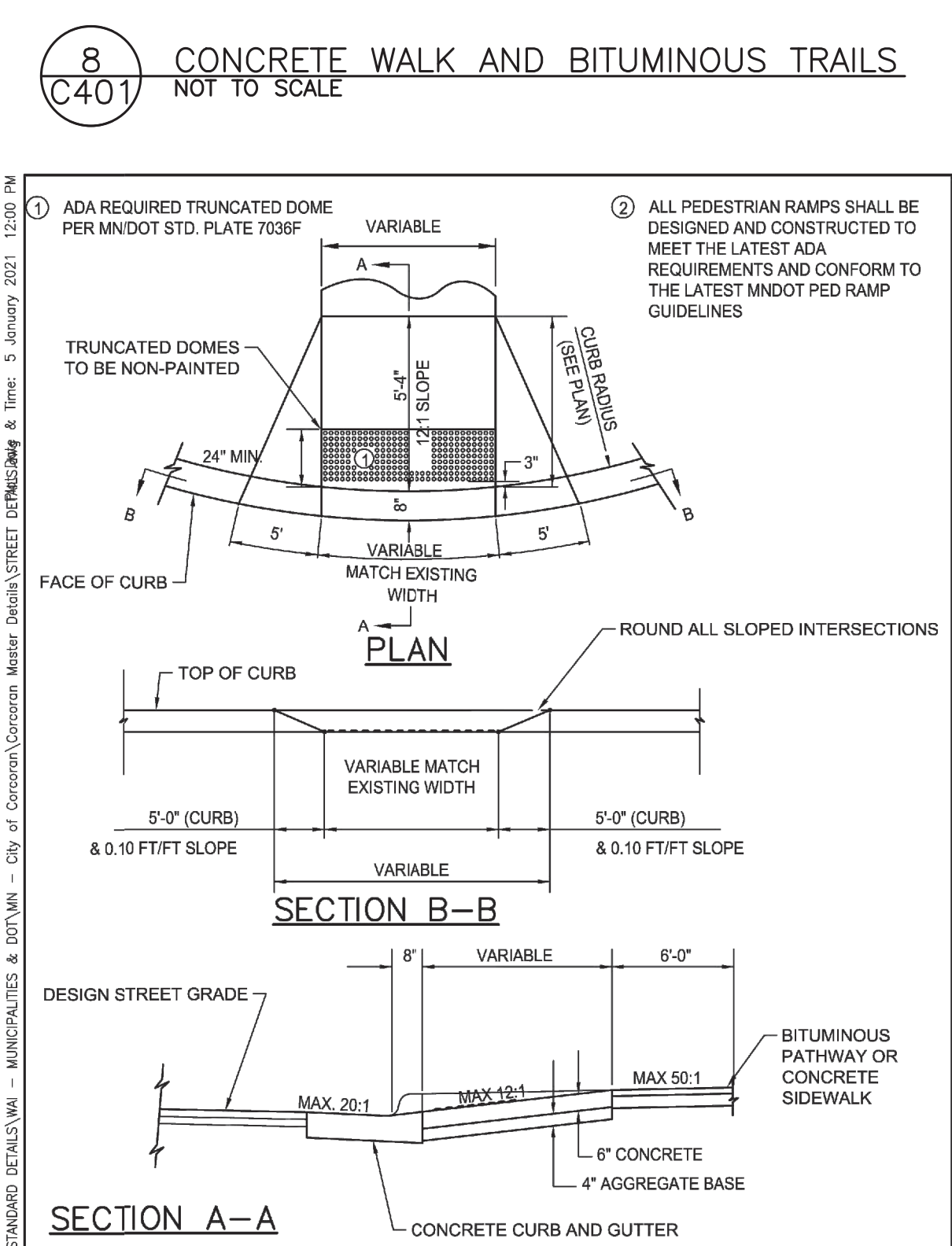
**12**  
**C401** PRECAST WHEEL STOP  
NOT TO SCALE



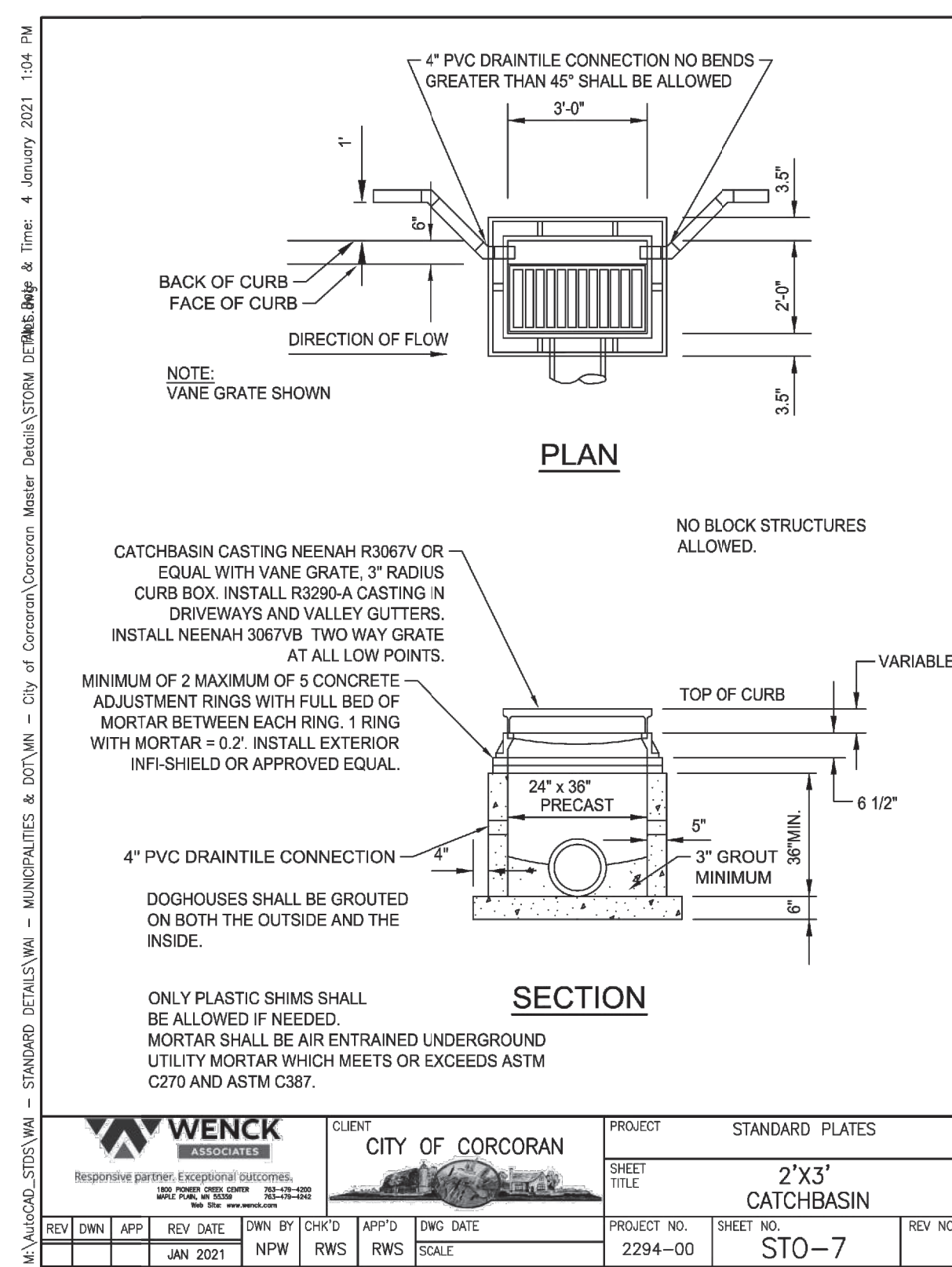
**7**  
**C401** CONCRETE DRIVEWAY APRON  
NOT TO SCALE



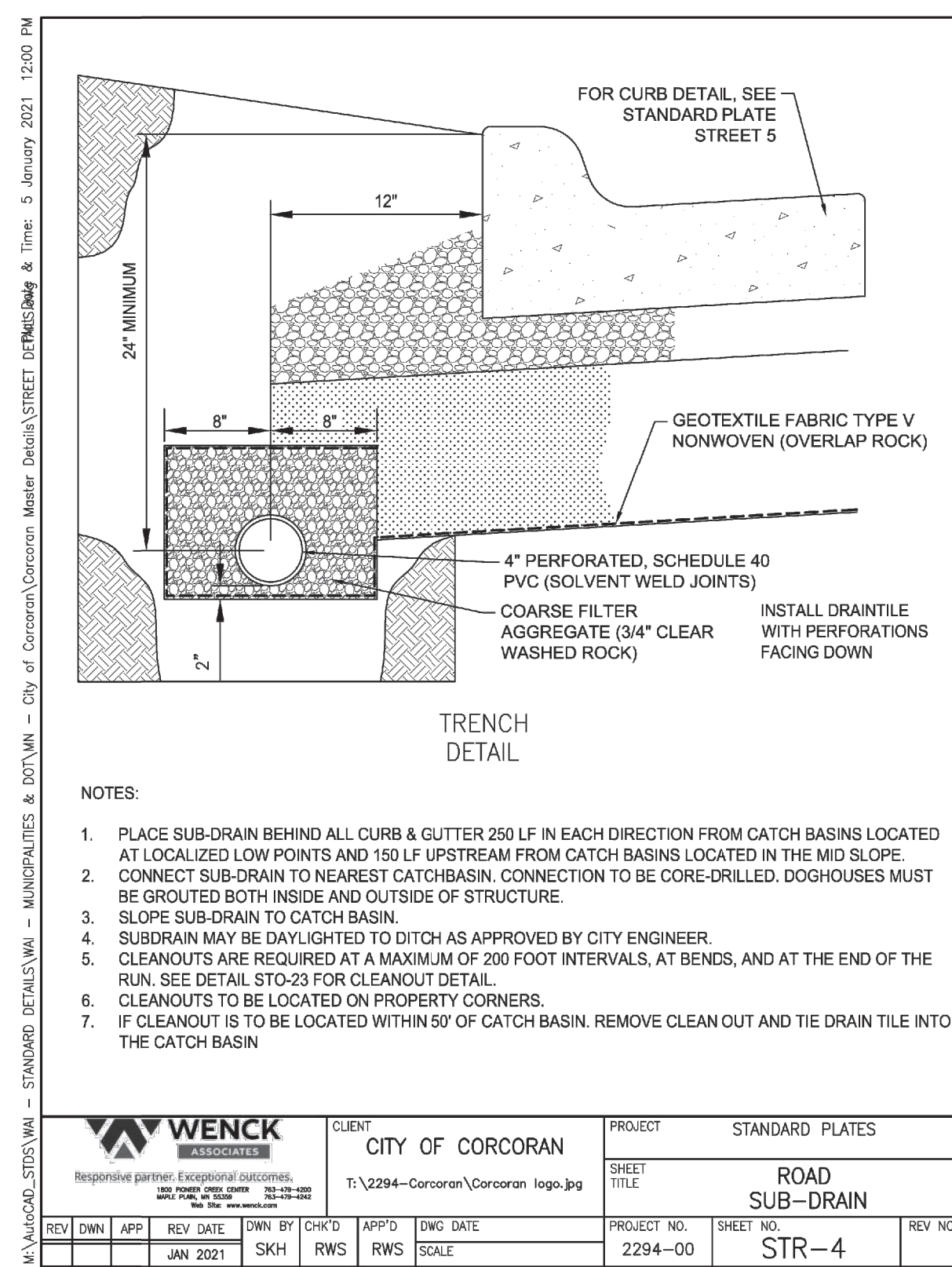
**8**  
**C401** CONCRETE WALK AND BITUMINOUS TRAILS  
NOT TO SCALE



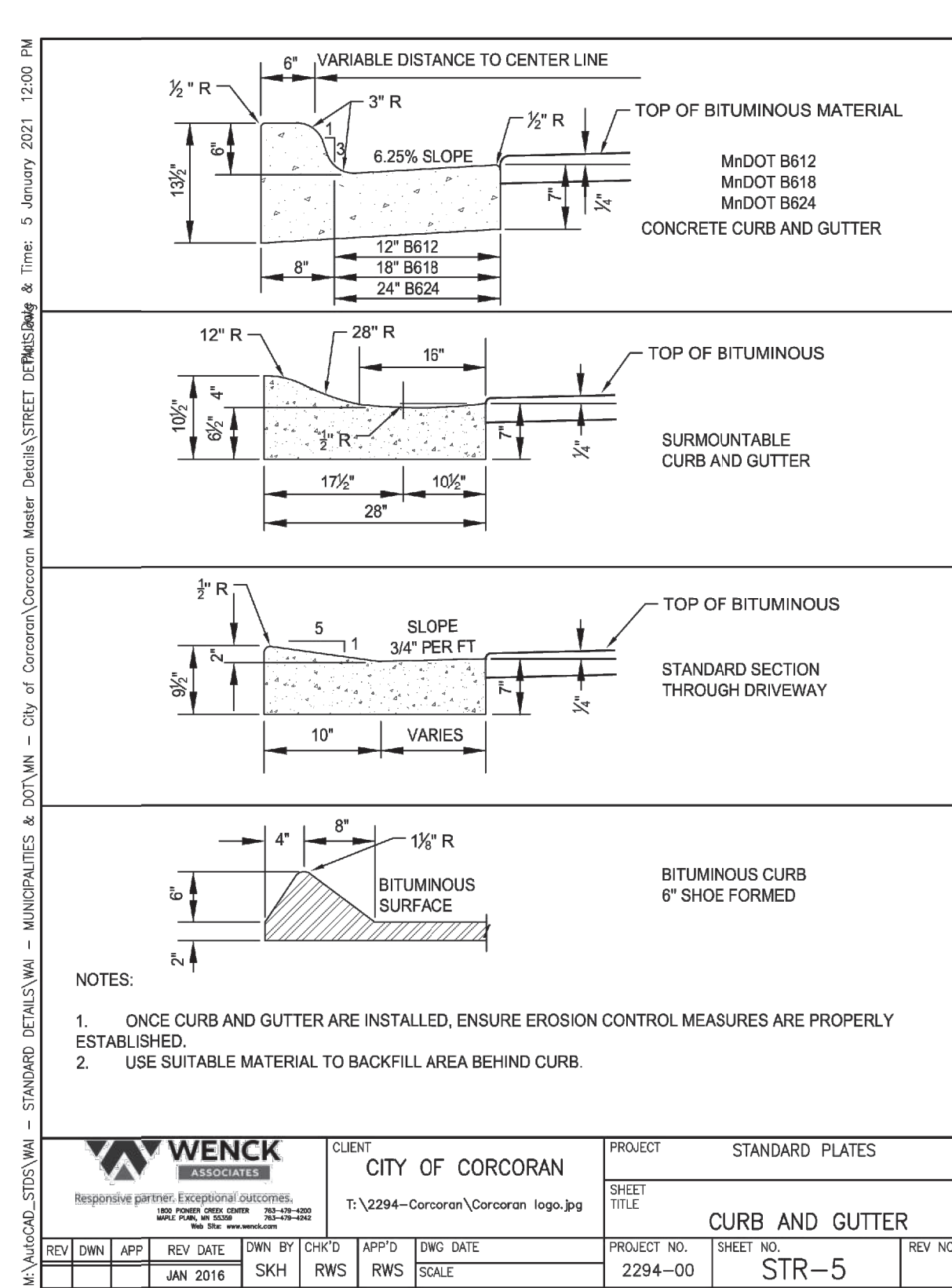
**9**  
**C401** SIDEWALK CURB RAMP  
NOT TO SCALE



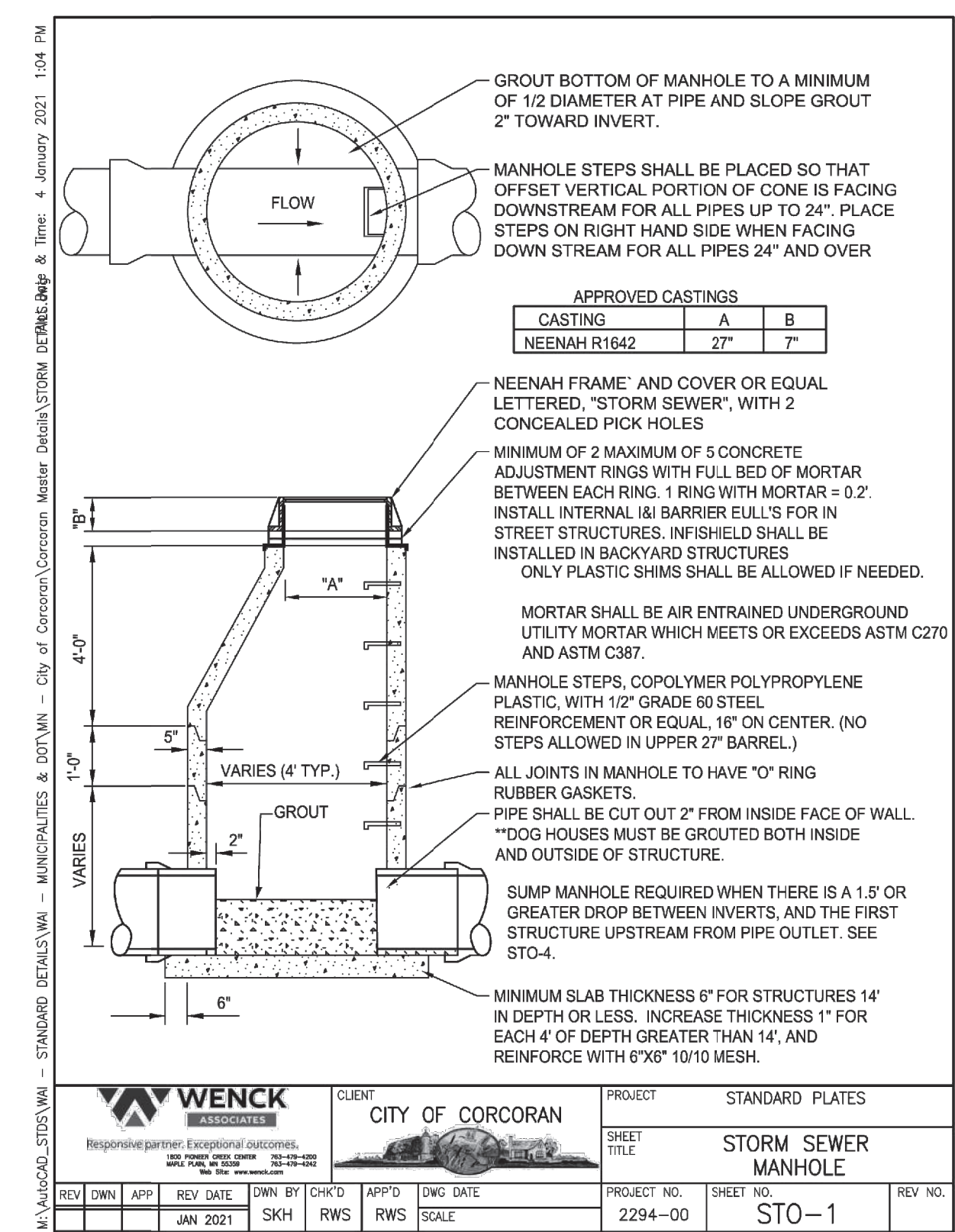
**4**  
**C401** 2'x3' CATCH BASIN  
NOT TO SCALE



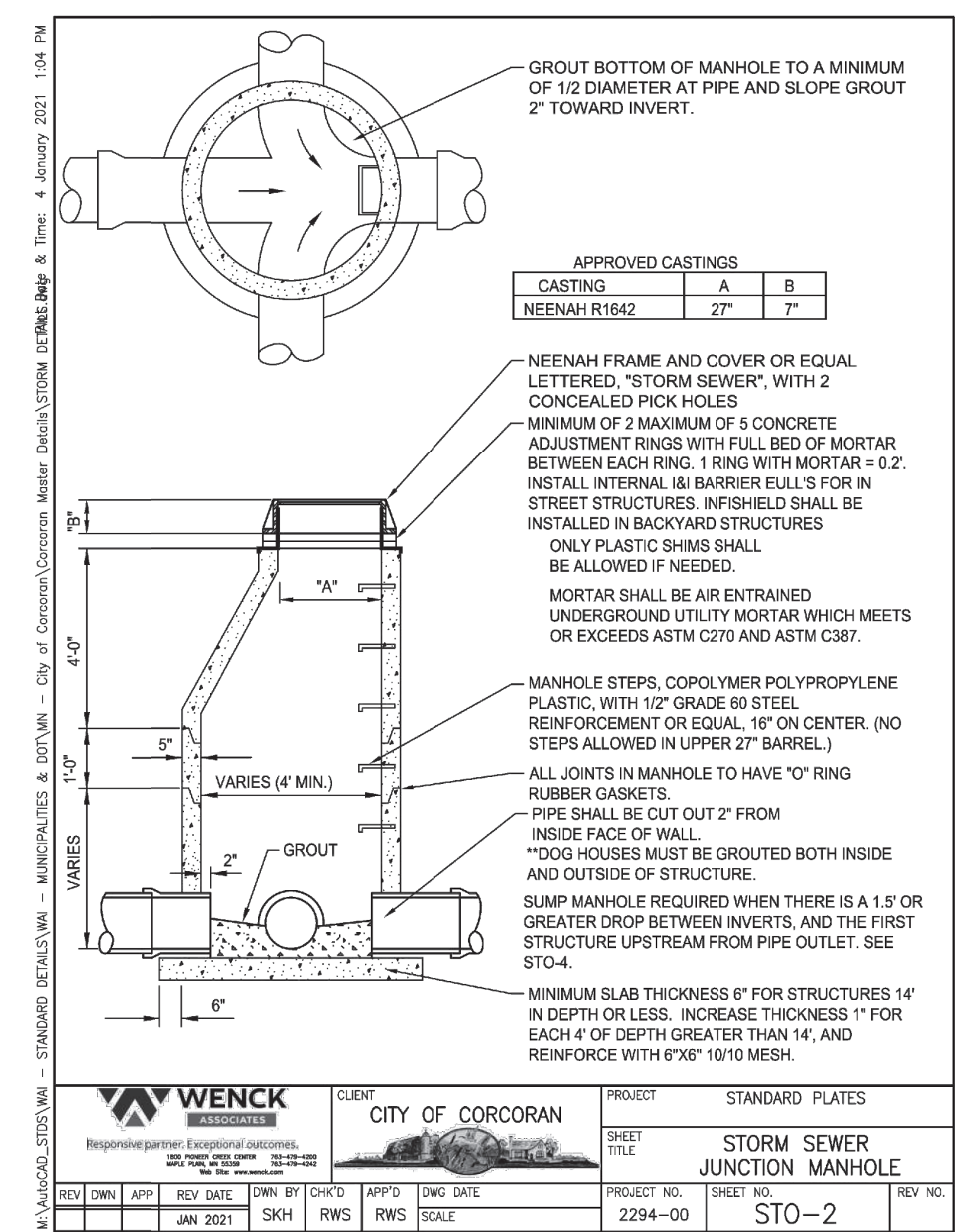
**5**  
**C401** ROAD SUB-DRAIN  
NOT TO SCALE



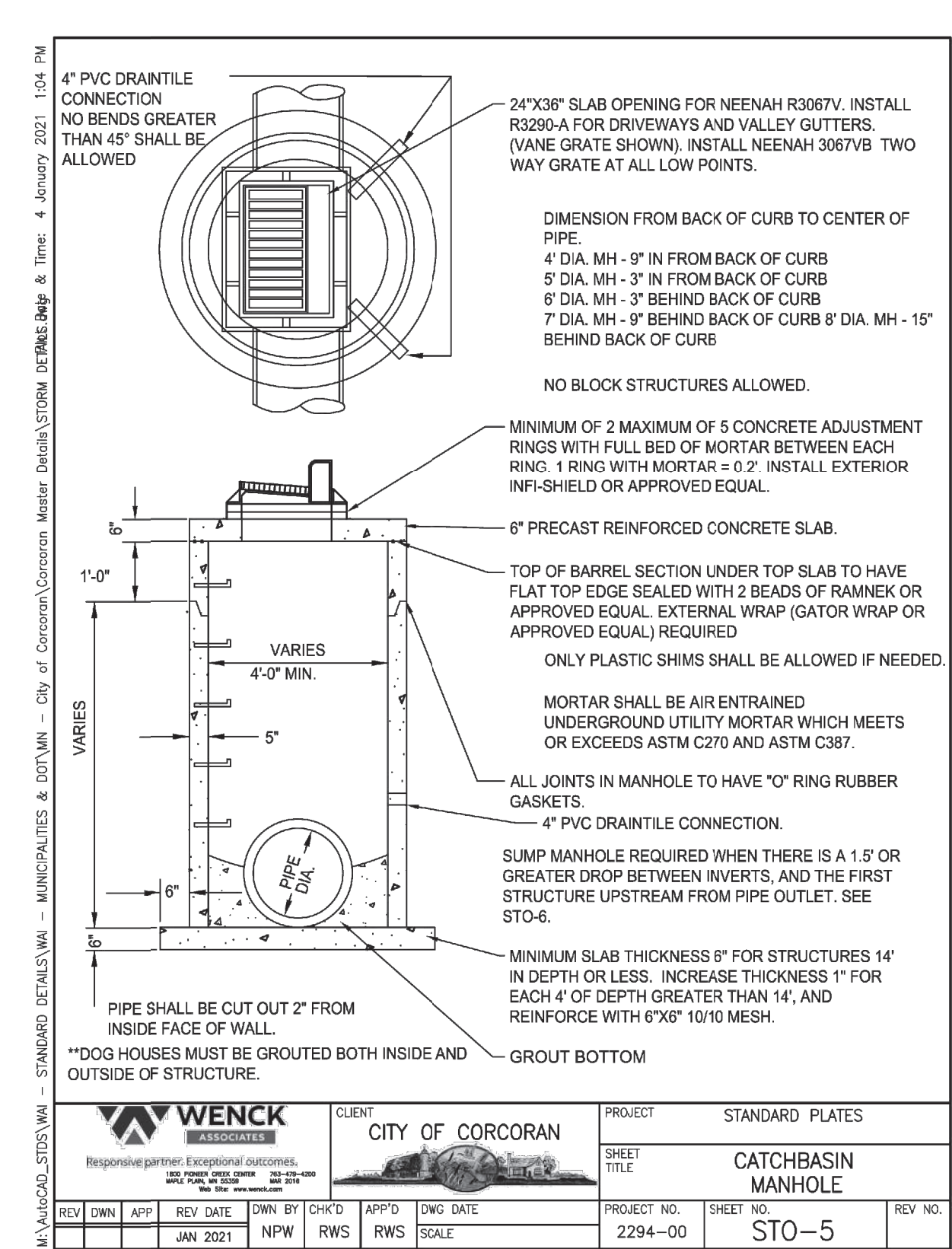
**6**  
**C401** CURB AND GUTTER  
NOT TO SCALE



**1**  
**C401** STORM SEWER MANHOLE  
NOT TO SCALE



**2**  
**C401** STORM SEWER JUNCTION MANHOLE  
NOT TO SCALE



**3**  
**C401** CATCH BASIN MAHOLE  
NOT TO SCALE



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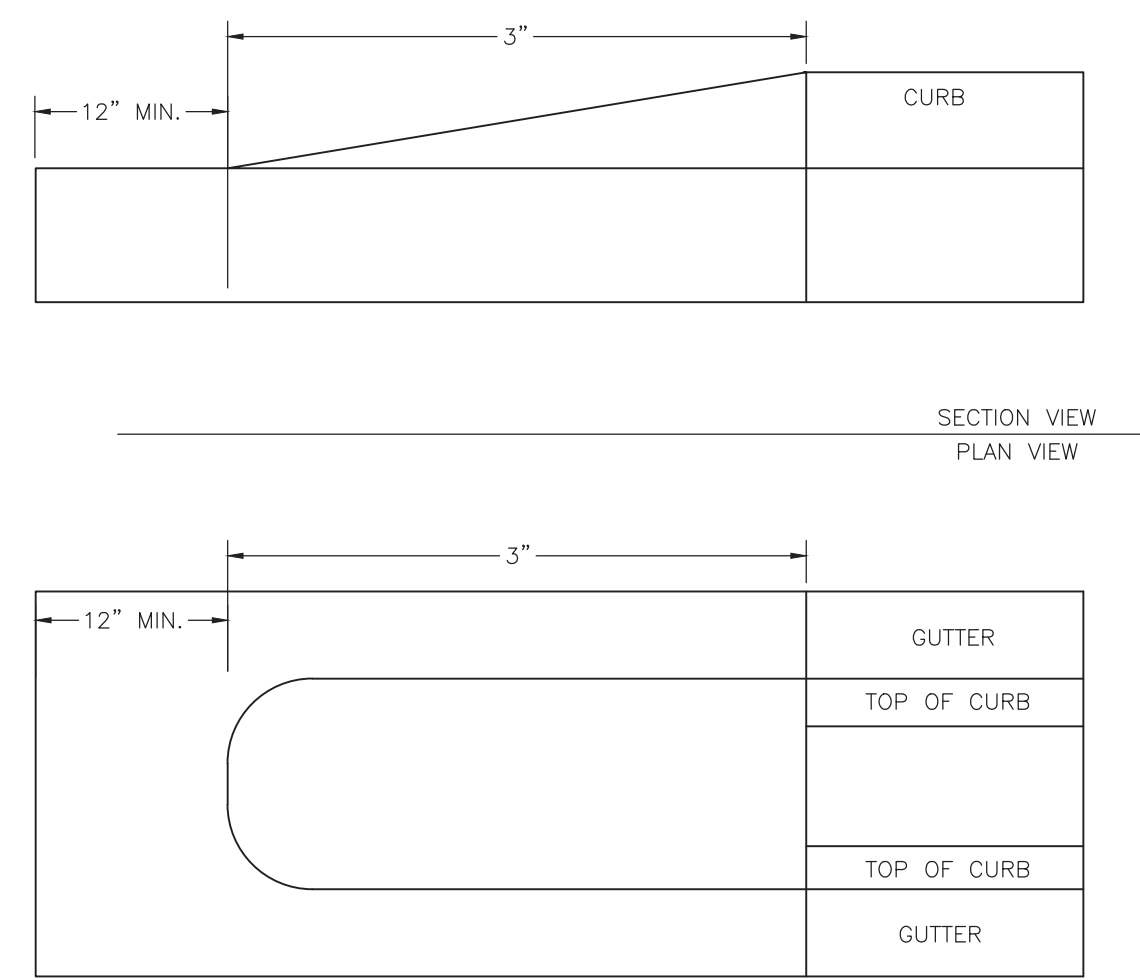
*Jeff W. Maire*  
Date: 09-21-2021 License No.: 19181

DATE: **09-21-2021**  
PROJECT #: **20398**  
PROJECT STATUS: **Preliminary Plat**

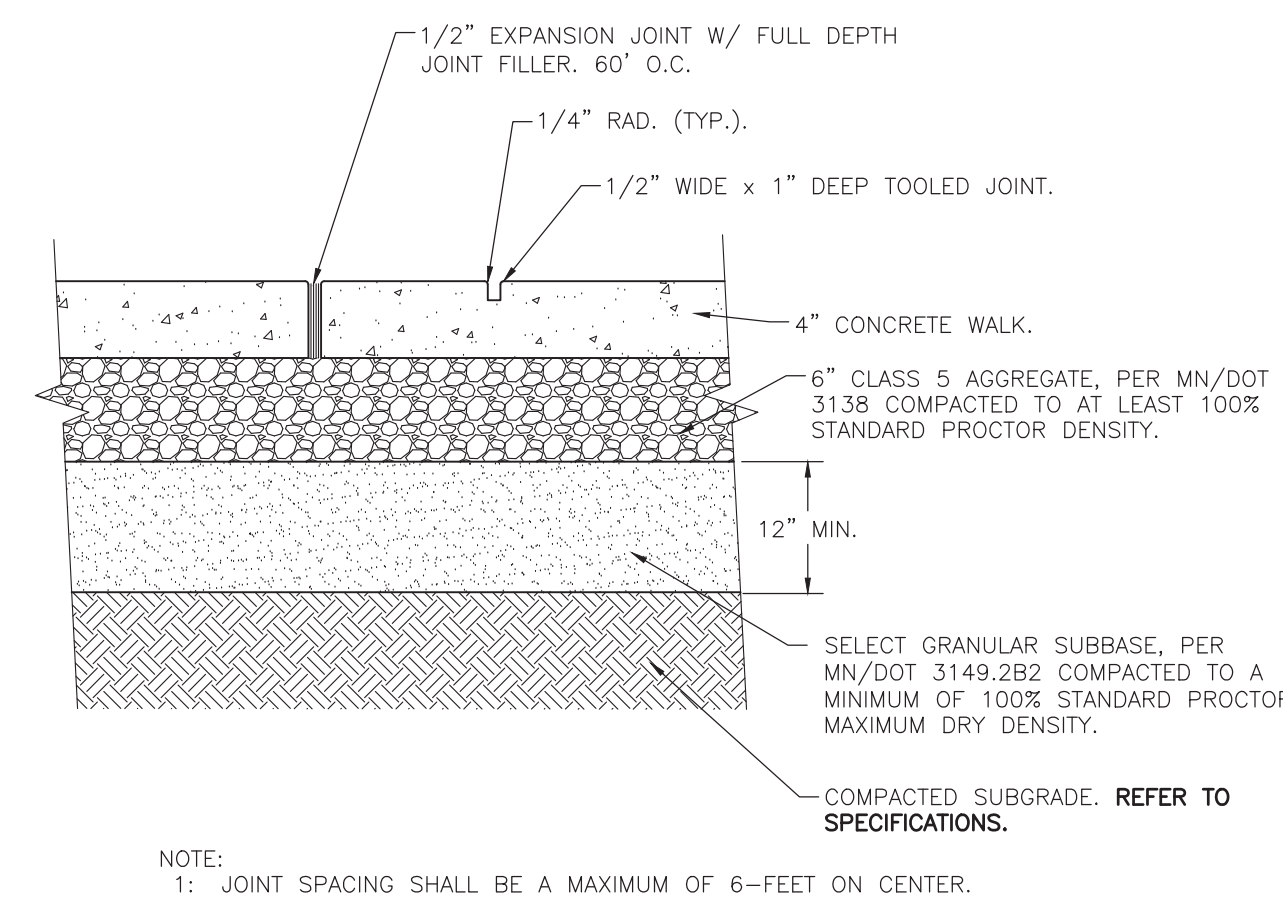
DRAWN BY: **AJA**  
CHECKED BY: **AJA**

KEY PLAN

**CIVIL DETAILS**

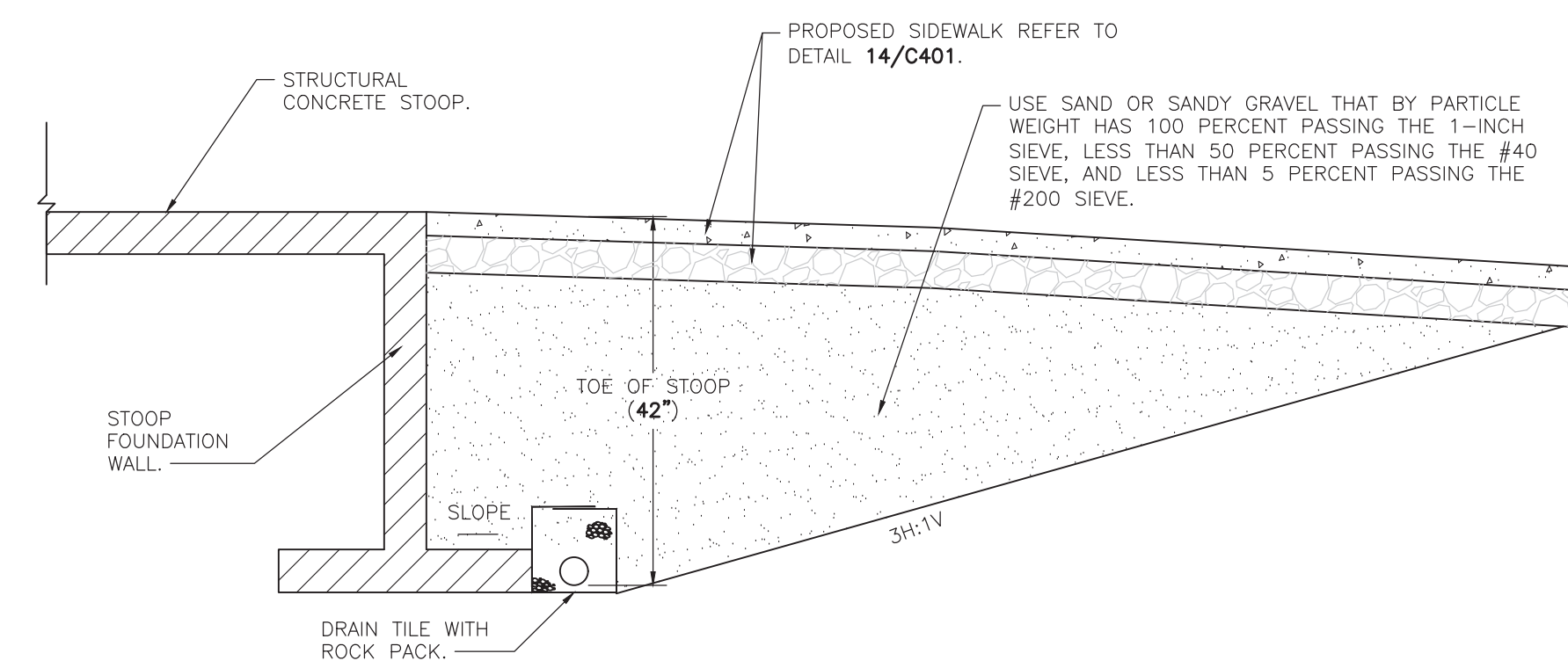


**6 SLOPED BULLET NOSE CURB SECTION**  
C402 NOT TO SCALE

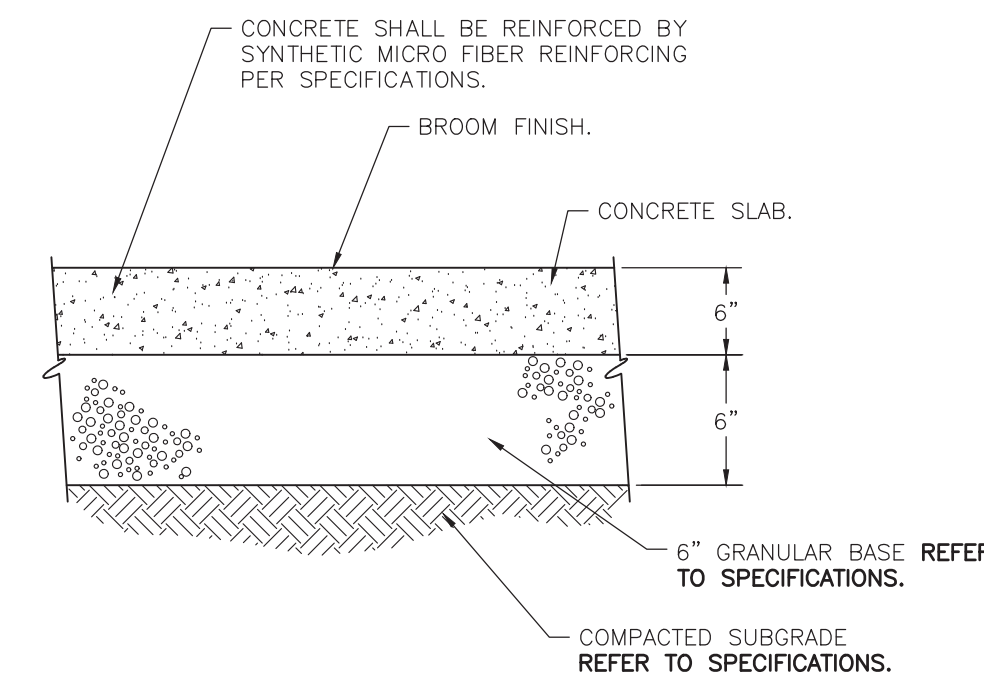


NOTE:  
1. JOINT SPACING SHALL BE A MAXIMUM OF 6- FEET ON CENTER.

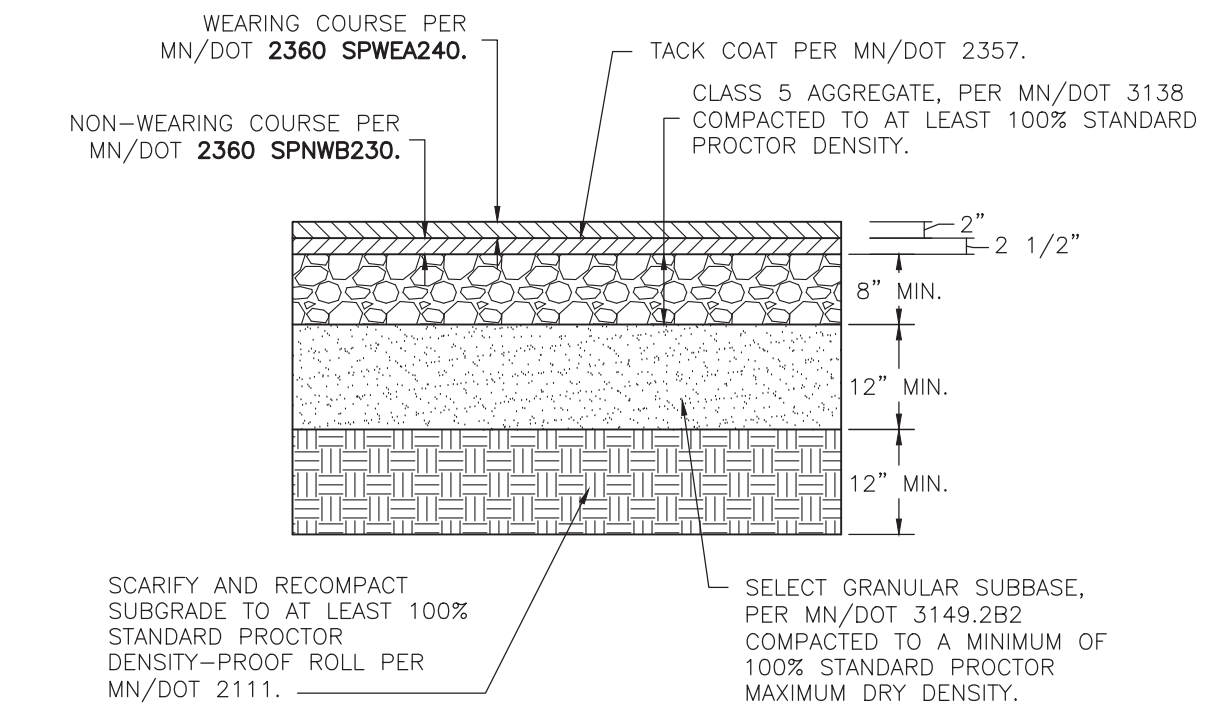
**7 CONCRETE SIDEWALK (TYP.)**  
C402 NOT TO SCALE



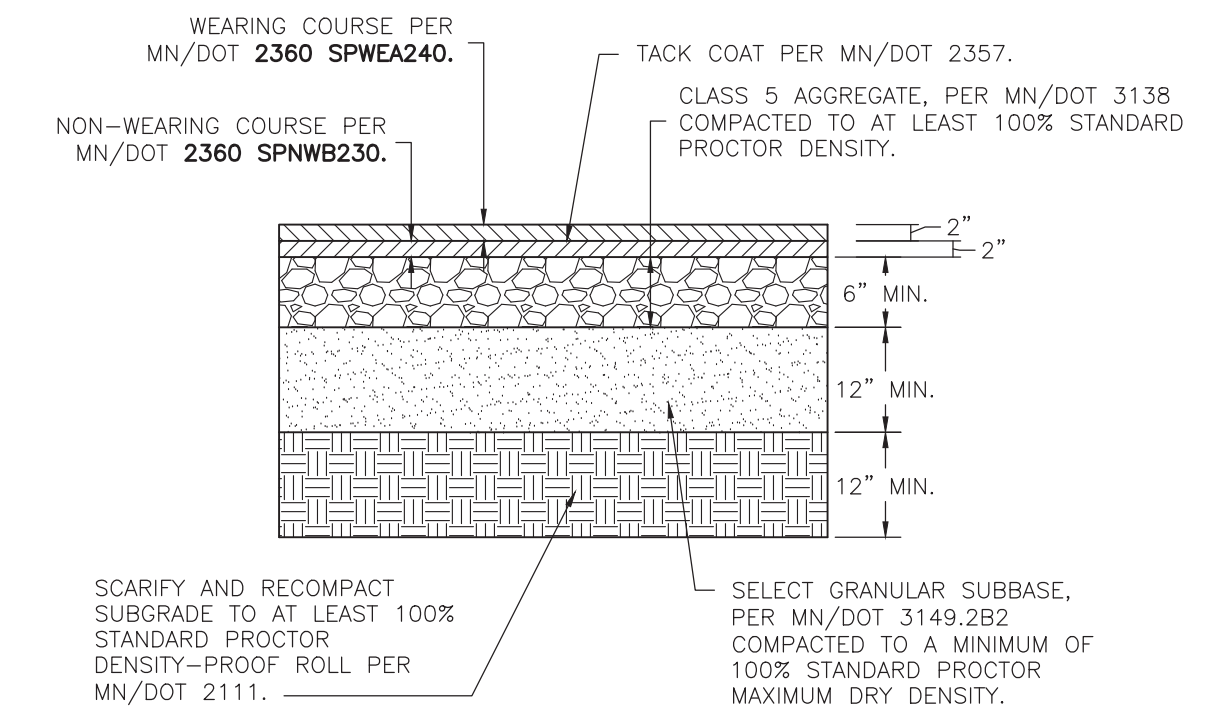
**8 FROST PROTECTION-SIDEWALK TRANSITION**  
C402 NOT TO SCALE



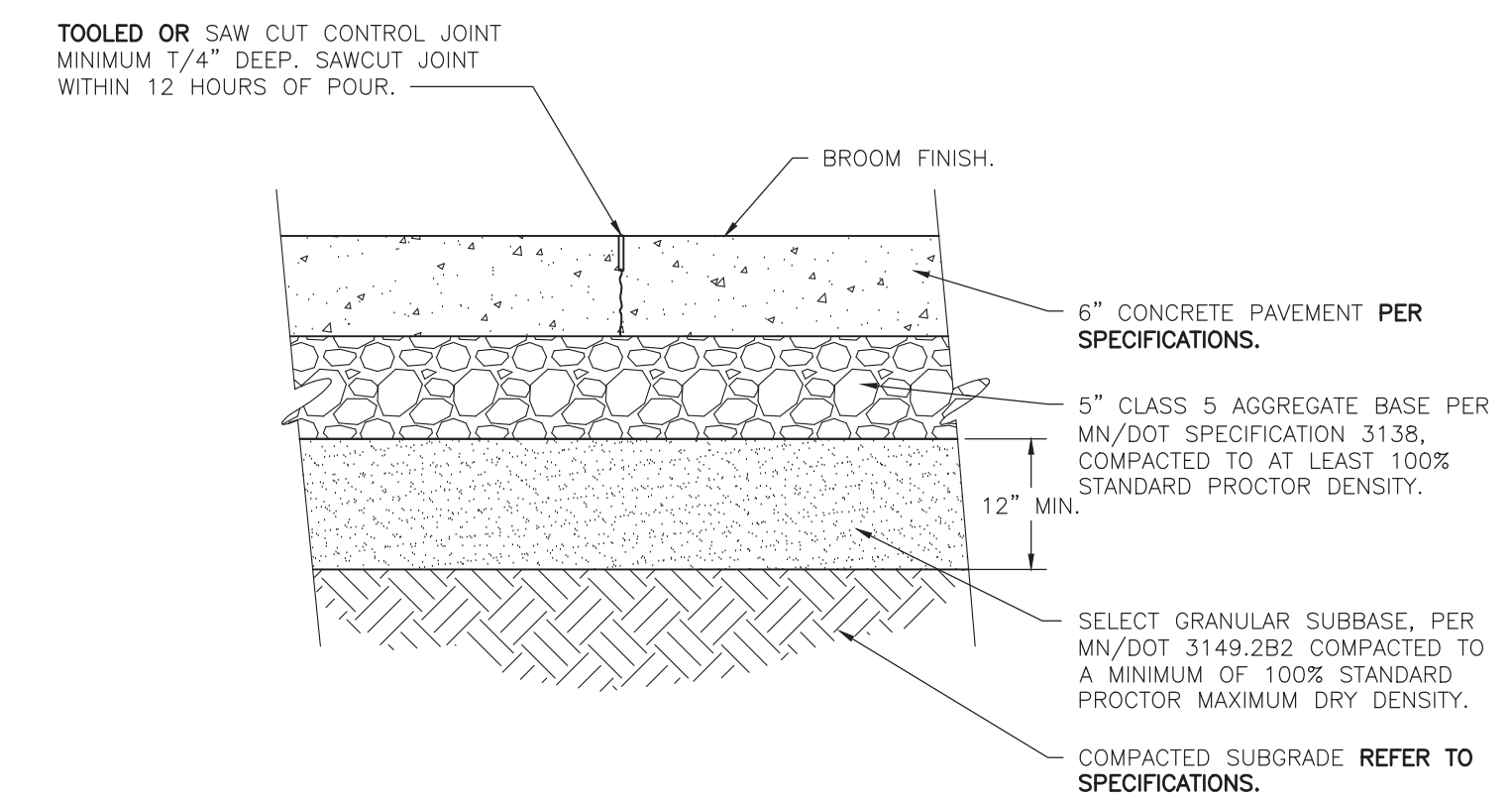
**9 CONCRETE SLAB**  
C402 NOT TO SCALE



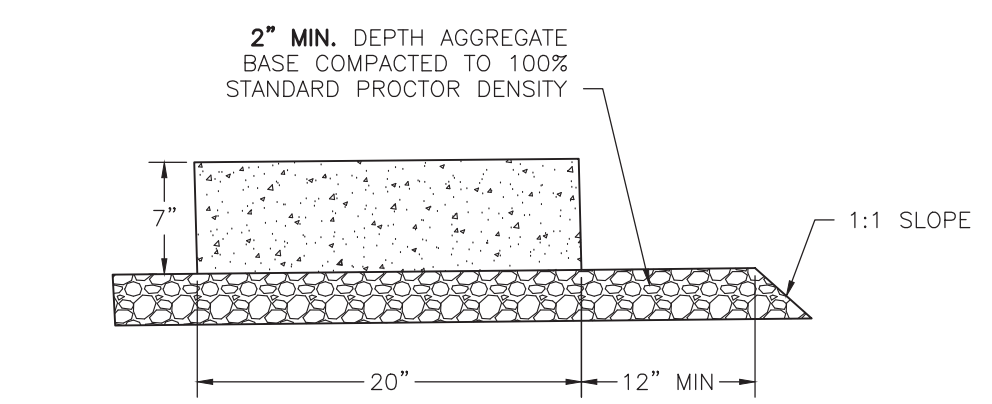
**1 HEAVY-DUTY BITUMINOUS PAVEMENT (SAND SUBBASE)**  
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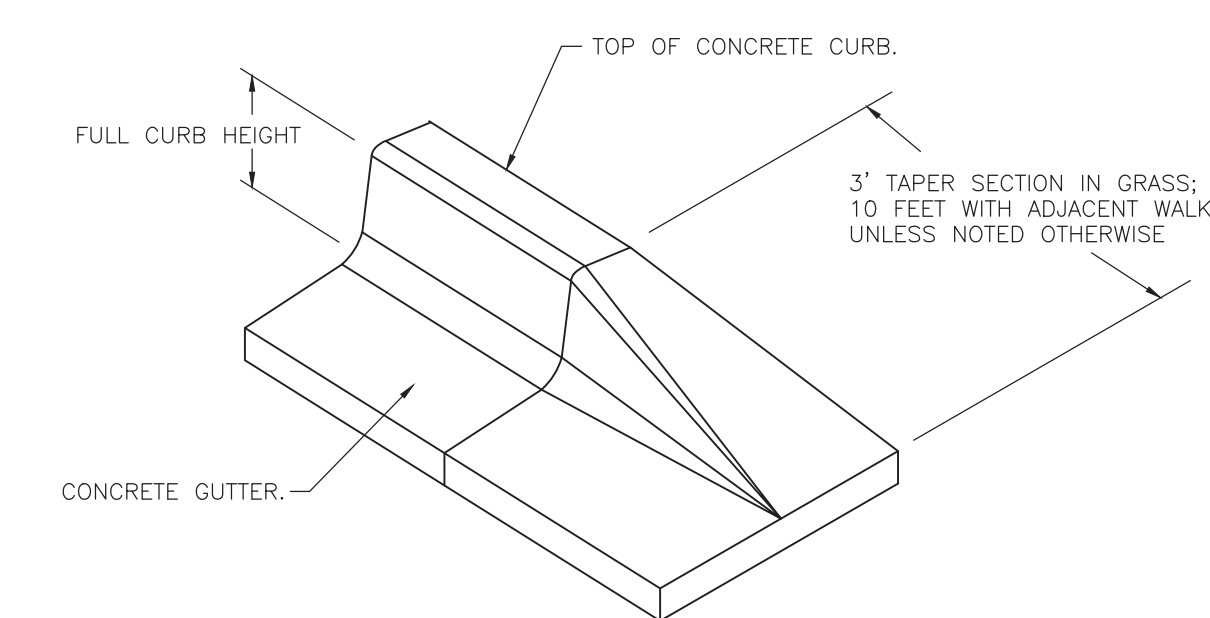
**2 LIGHT-DUTY BITUMINOUS PAVEMENT (SAND SUBBASE)**  
C402 NOT TO SCALE



**3 CONCRETE PAVEMENT**  
C402 NOT TO SCALE



**4 FLAT CURB/CONCRETE EDGER**  
C402 NOT TO SCALE



**5 NOSE-DOWN CURB SECTION**  
C402 NOT TO SCALE

**NOT FOR CONSTRUCTION**

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*Joel W. Maire*  
Joel W. Maire, PE  
Date: 09-21-2021 Lic. No. 19181

DATE: 09-21-2021  
PROJECT #: 20398  
PROJECT STATUS: Preliminary Plat

DRAWN BY: WH  
CHECKED BY: AJA

KEY PLAN

**CIVIL DETAILS**

**C402**

**NOT FOR  
CONSTRUCTION**

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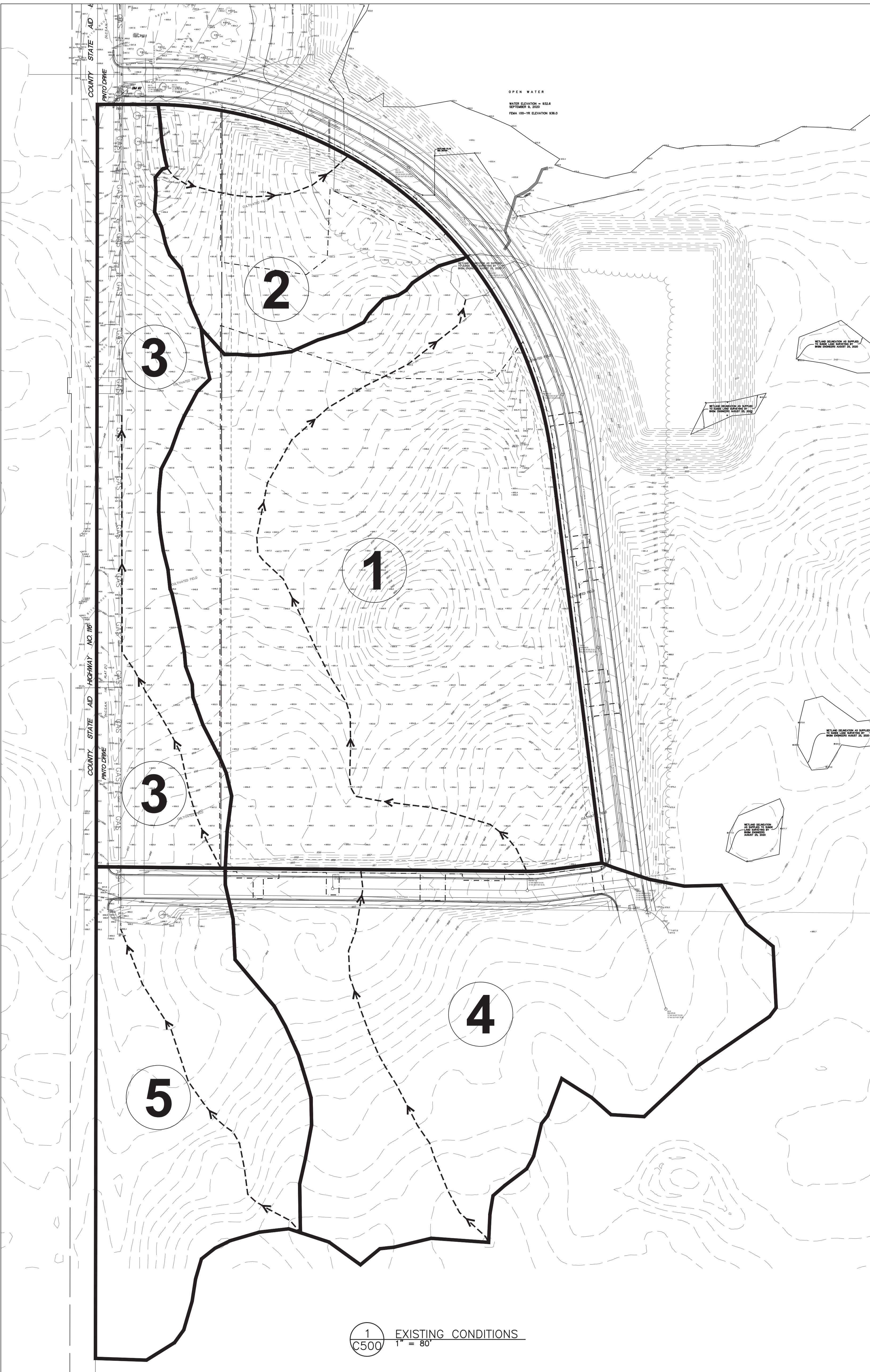
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CHECKED BY AJA

KEY PLAN

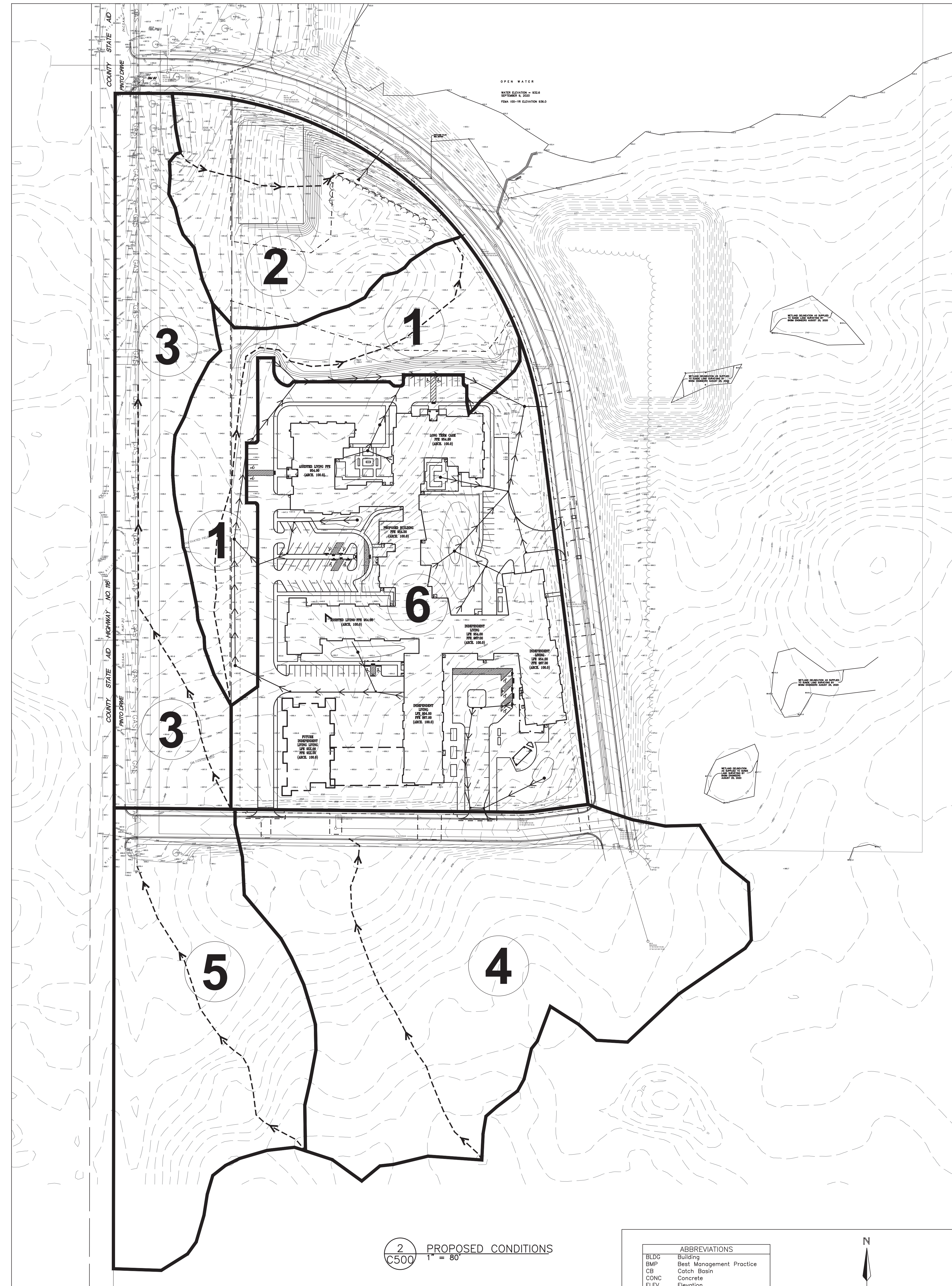
**STORM WATER  
POLLUTION  
PREVENTION PLAN**

**C500**

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1 EXISTING CONDITIONS  
C500 1" = 80'



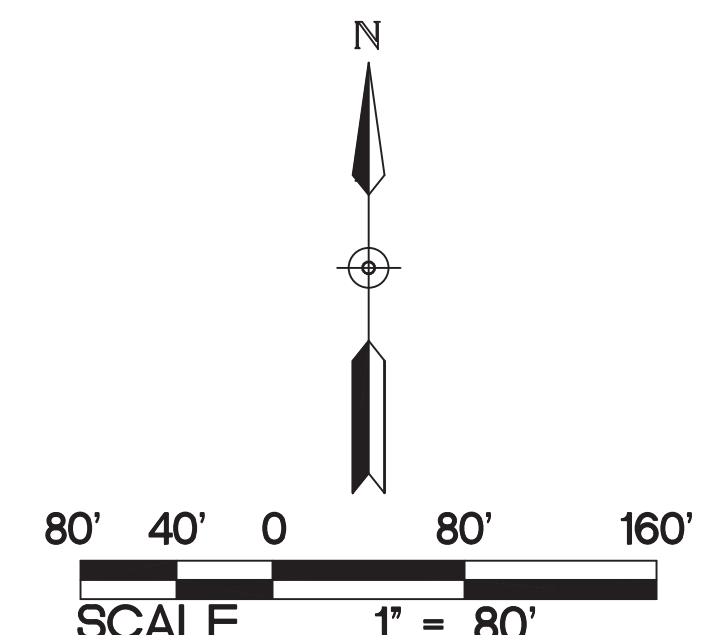
2 PROPOSED CONDITIONS  
C500 1" = 80'

EXISTING DRAINAGE AREAS							
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.67")	10-YEAR (4.26")	100-YEAR (7.23")	
1	0.00	11.63	11.63	24.92	45.47	90.72	SHEET FLOW TO SMALL WETLAND
2	0.00	2.81	2.81	7.50	13.54	26.76	SHEET FLOW TO LARGE WETLAND
3	0.53	3.26	3.79	-	-	-	SHEET FLOW TO DITCH LOW POINT
4	0.03	7.85	7.88	13.53	25.72	53.13	SHEET FLOW TO LARGE WETLAND
5	0.65	3.76	4.41	-	-	-	SHEET FLOW TO DITCH LOW POINT
DITCH LOW POINT	-	-	-	17.71	31.63	62.09	OVERLAND FLOW TO LARGE WETLAND
TOTAL	1.21	29.31	30.52	63.66	116.36	232.70	

PROPOSED DRAINAGE AREAS							
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.67")	10-YEAR (4.26")	100-YEAR (7.23")	
1	0.00	3.04	3.04	2.85	5.76	12.51	SHEET FLOW TO SMALL WETLAND
2	0.01	2.81	2.81	5.63	10.96	23.10	SHEET FLOW TO LARGE WETLAND
3	0.53	3.22	3.75	-	-	-	SHEET FLOW TO DITCH LOW POINT
4	1.08	6.80	7.88	15.04	27.26	54.53	SHEET FLOW TO LARGE WETLAND
5	0.86	3.56	4.42	10.46	18.13	34.91	SHEET FLOW TO DITCH LOW POINT
6	5.51	3.11	8.62	29.55	47.25	85.79	REGIONAL WET POND
DITCH LOW POINT	-	-	-	2.12	7.99	18.89	OVERLAND FLOW TO LARGE WETLAND
TOTAL	7.98	22.54	30.52	65.65	117.35	229.73	

STORMWATER RUNOFF SUMMARY			
	2-YR STORM (2.67") RUNOFF (CFS)	10-YR STORM (4.26") RUNOFF (CFS)	100-YR STORM (7.23") RUNOFF (CFS)
EXISTING SITE	63.66	116.36	232.70
PROPOSED SITE	65.65	117.35	229.73

ABBREVIATIONS	
BLDG	Building
BMP	Best Management Practice
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
I/W	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
MPCA	Minnesota Pollution Control Agency
NPDES	National Pollutant Discharge Elimination System
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
W.O.	Washout



**NOTE:**  
THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL ENGINEERING PLANS AND THE PROJECT MANUAL. CONTRACTOR SHALL SUPPLY CONSTRUCTION PHASING NARRATIVE, ESTIMATED PRELIMINARY QUANTITIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT, AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SQS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY PRIOR TO SUBMITTING APPLICATION.

**INSPECTIONS**  
EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2" INCH OVER 24 HOURS RAIN EVENT.  
STABILIZED AREAS: ONCE EVERY 30 DAYS.  
FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.  
RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

**FINAL STABILIZATION**  
STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY)  
DRAINAGE DITCHES STABILIZED.  
ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED.  
CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

**GRADING & SOILS**  
BASED ON SOIL BORING(S) PROVIDED BY AET SOILS TYPICALLY FOUND ON THIS PROJECT ARE: CL, SC, SP-SM  
REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

**SPECIAL AND IMPAIRED WATERS**  
THESE SPECIAL AND IMPAIRED WATERS ARE LOCATED WITHIN ONE MILE (AERIAL RADIUS) OF THE PROJECT LIMITS AND RECEIVE RUNOFF FROM THE PROJECT SITE. DUE TO THE PROXIMITY OF THESE SPECIAL AND IMPAIRED WATERS, THE BMP'S DESCRIBED IN APPENDIX A OF THE NPDES PERMIT WILL APPLY TO ALL AREAS OF THE SITE.

WATERBODY	IMPAIRMENT(S)
FISH	
RUSH CREEK SOUTH FORK	BIOASSESSMENTS

MINIMUM ESTIMATED QUANTITIES FOR EROSION CONTROL		
ITEM DESCRIPTION	ESTIMATED QUANTITY	
DRAINAGE STRUCT - INLET FILTER	24	EACH
ROCK CONSTRUCTION ENTRANCE	1	EACH
CONCRETE WASHOUT	1	EACH
SILT FENCE	2994	LF
EROSION CONTROL BLANKET	6342	SQ

NOTE: QUANTITIES SHOWN ARE THE MINIMUM REQUIRED. ADDITIONAL QUANTITIES MAY BE NEEDED IF REQUIRED BY THE MPCA, WATERSHED DISTRICT, OR CITY. CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF QUANTITIES PRIOR TO CONSTRUCTION.

**PROJECT NARRATIVE**  
EXISTING SITE DESCRIPTION --- THE FUTURE ST. THERESE SENIOR LIVING SITE IN CORCORAN IS CURRENTLY AGRICULTURAL LAND. A 16.8-ACRE TRACT OF LAND WILL BE SUBDIVIDED AND IS GENERALLY LOCATED DIRECTLY SOUTH OF THE CORCORAN CITY HALL AND EAST OF COUNTY ROAD 116. BRSM HAS ANALYZED THE EXISTING DRAINAGE PATTERNS FOR THE PARCEL BASED ON AN IMAGE FROM THE MNTOPD WEBSITE. WE HAVE ESTIMATED AN ADDITIONAL 1.65 ACRES OF THE COUNTY ROAD RIGHT-OF-WAY DRAINS ONTO THE PROPERTY. ALSO, IT IS ASSUMED THE NEW CITY ROAD RIGHT-OF-WAY WILL CAPTURE ANY ADDITIONAL STORMWATER RUNOFF FROM THE SOUTH, EAST AND SOUTHWEST (APPROXIMATELY 8.1-ACRES THAT ALSO CURRENTLY SHEET FLOWS ONTO THIS PROPERTY). THE EXISTING SITE DRAINS IN THREE DIRECTIONS GENERALLY DESCRIBED AS NORTHEAST TO A LARGE WETLAND, EAST-NORTHEAST TO A SMALL WETLAND THAT EVENTUALLY OVERFLOWS INTO THE LARGE NORTHEAST WETLAND, AND WEST TO THE COUNTY ROAD 116 EAST DRAINAGE DITCH. WHEN THE COUNTY ROAD DRAINAGE DITCH OVERFLOWS, THE STORMWATER RUNOFF REACHES AN APPROXIMATELY ELEVATION OF 946.7 AND THEN FLOWS EAST TO THE SMALL EAST-NORTHEAST WETLAND.  
PROPOSED SITE DESCRIPTION --- THE PROPOSED DEVELOPMENT CONSISTS OF AN INDEPENDENT LIVING, ASSISTED LIVING, AND LONG TERM LIVING BUILDINGS. HYDROLOGY CALCULATIONS INCLUDE A FUTURE INDEPENDENT LIVING BUILDING ON THE SOUTHWEST SIDE OF THE SITE. A REGIONAL STORMWATER POND IS BEING DESIGNED, BY OTHERS, TO MANAGE STORMWATER RUNOFF FROM THE DEVELOPMENT AND ADJACENT ROAD RIGHT-OF-WAY.

**CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES**  
CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHENEVER ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.  
FOR PUBLIC WATER THAT THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPawning TIME FRAMES, ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE, AND DRAIN TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.  
PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.  
SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN.

**SEDIMENT AND EROSION CONTROL MAINTENANCE**  
PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING.  
CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ONTO PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.  
CONSTRUCTION SITE DEWATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS. DISCHARGE FROM ALL DEWATERING OPERATIONS SHALL BE DIRECTED TO ON-SITE DEPRESSIONS. NO DISCHARGE FROM DEWATERING OPERATIONS SHALL BE DIRECTED OFF-SITE TOWARDS A WATER OF THE STATE.

**HANDLING AND STORAGE OF HAZARDOUS MATERIALS:**  
IF THE CONTRACTOR INTENDS TO USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ON THE PROJECT SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING MINIMUM REQUIREMENTS:  
1. THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.  
2. CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION, AND TO THE EXPECTED TURBIDITY, PH AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.  
3. CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS.  
ON-SITE FUEL TANKS REQUIRE SECONDARY CONTAINMENT AS REQUIRED BY THE PERMIT. PORTABLE FUEL TRUCKS SHALL HAVE THEIR SPILL KITS AVAILABLE DURING FUELING. SPILLS GREATER THAN 5 GALLONS MUST BE REPORTED TO THE PROPER AUTHORITIES.

**OTHER NOTES:**  
1. LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER, SAINT THERESE. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:  
1.1. INSPECT SLUMP CATCH BASINS ON A BIENNIAL BASIS, ONCE IN THE SPRING AND ONCE IN THE FALL.  
1.2. CLEAN SLUMP CATCH BASINS OF SEDIMENT AND DEBRIS ANNUALLY OR WHEN SEDIMENTS FILL 1/3 OF THE STORAGE VOLUME.  
2. THIS SWPPP WAS PREPARED BY PERSONNEL THAT ARE CERTIFIED IN THE DESIGN OF CONSTRUCTION SWPPPS. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH BKBM AND ARE AVAILABLE UPON REQUEST.  
3. THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

**POLLUTION PREVENTION MANAGEMENT MEASURES**  
MPCA REQUIREMENTS:  
HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.  
NO EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION ALLOWED ON-SITE.  
CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THESE MUST NOT RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION.  
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.

**STOCKPILES:**  
ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TARPS, OR HYDRO MULCH IF LEFT ON-SITE FOR MORE THAN 7 DAYS.  
**TEMPORARY SEDIMENT BASINS:**  
TEMPORARY SEDIMENT BASIN SHALL BE PROVIDED PER APPENDIX A, SECTION 12.1.B OF THE MPCA GENERAL STORMWATER PERMIT.  
ENGINEER ANTICIPATES THAT, PRIOR TO INSTALLATION OF FILTRATION MEDIA AND DRAIN TILE, CONTRACTOR WILL USE PROPOSED FILTRATION BASINS AS TEMPORARY SEDIMENT BASINS.  
CONTRACTOR SHALL EXCAVATE TEMPORARY BASINS AND CLAY LINE PRIOR TO USE. SURFACE WATER SHALL BE REMOVED BY SKIMMER DEVICE SUCH AS FABCLOTH SKIMMER OR THIRSTY DUCK, OR USING A PUMP WITH A FILTER. ALTERNATIVE TEMPORARY SEDIMENT BASINS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.  
IN LIEU OF USING TEMPORARY SEDIMENT BASINS, THE CONTRACTOR MAY PHASE THEIR CONSTRUCTION SO THAT NOT MORE THAN 5 ACRES OF AREA IS DISTURBED AT ONE TIME. FULL STABILIZATION OF THE DISTURBED AREA IS REQUIRED PRIOR TO DISTURBING ADDITIONAL AREAS.

**PORTABLE TOILET NOTES:**  
1. PORTABLE TOILETS POSE AN ENVIRONMENTAL HAZARD WHEN PLACED IN THE VICINITY OF STORM DRAINS OR BODIES OF WATER. PORTABLE TOILET CLEANING ACTIVITIES CAN ALSO GENERATE POLLUTANTS THAT CAN DEGRADE WATER QUALITY.  
2. PORTABLE TOILET PLACEMENT:  
2.1. PLACE PORTABLE TOILETS ON FLAT STABLE GROUND WITH CLEAR ACCESS TO THE UNITS.  
2.2. LOCATE TOILETS A MINIMUM OF 20 FEET FROM ANY WATER BODY AND 10 FEET FROM ANY CURB AND GUTTER. IF UNFEASIBLE, AN EARTHEN BERM OR SAND BAG BERM SHALL BE PLACED AROUND THE UNIT FOR SPILL AND LEAK CONTAINMENT.  
2.3. AVOID PLACING TOILETS ON IMPERVIOUS SURFACES THAT WILL QUICKLY DRAIN TO STORM SEWERS.  
2.4. LOCATE TOILETS SO THAT EXPOSURE TO TRAFFIC AND MOVING EQUIPMENT IS MINIMIZED.  
2.5. SECURE TOILETS TO THE GROUND WITH STAKES OR CABLES.  
2.6. RINSE WATER FROM CLEANING ACTIVITIES SHALL NOT BE DISPOSED ON SITE.  
3. REGULARLY CHECK TOILETS FOR DAMAGE, LEAKS AND SPILLS AS PART OF THE WEEKLY STORMWATER SITE INSPECTION.  
4. OWNER IDENTIFICATION AND CONTACT INFORMATION SHALL BE DISPLAYED IN A PROMINENT LOCATION ON EACH UNIT.

**MECHANICAL AND NON STORMWATER DISCHARGES, EXISTING AND PROPOSED**  
1. WATER LINE FLUSHING  
2. LANDSCAPE IRRIGATION  
3. UNCONTAMINATED PLUMBED GROUND WATER  
4. DISCHARGE FROM POTABLE WATER SOURCES  
5. FOUNDATION DRAINS  
6. AIR CONDITIONING CONDENSATION

**AGENCY CONTACTS**  
CITY OF CORCORAN  
ENGINEERING DEPARTMENT  
PHONE: (763) 400-7028

MINNESOTA POLLUTION CONTROL AGENCY  
PHONE: (651) 296-6300

ELM CREEK WATERSHED MANAGEMENT ORGANIZATION  
PHONE: (763) 553-1144

OWNER  
SAINT THERESE  
1680 SOUTH HIGHWAY 100, SUITE 103  
SAINT LOUIS PARK, MINNESOTA 55416  
PHONE: (952) 283-2206

**NOTE:**  
THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNERS SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION, CONTRACTOR SHALL PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR. SWPPP DOCUMENTATION, INCLUDING INSPECTION REPORTS SHALL BE RETAINED FOR A PERIOD OF THREE (3) YEARS. RESIGN CALCULATIONS ARE ON FILE AT BKBM.  
THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION HAS BEEN FILED.

**STOCKPILES:**  
ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TARPS, OR HYDRO MULCH IF LEFT ON-SITE FOR MORE THAN 7 DAYS.

**TEMPORARY SEDIMENT BASINS:**  
TEMPORARY SEDIMENT BASIN SHALL BE PROVIDED PER APPENDIX A, SECTION 12.1.B OF THE MPCA GENERAL STORMWATER PERMIT.  
ENGINEER ANTICIPATES THAT, PRIOR TO INSTALLATION OF FILTRATION MEDIA AND DRAIN TILE, CONTRACTOR WILL USE PROPOSED FILTRATION BASINS AS TEMPORARY SEDIMENT BASINS.  
CONTRACTOR SHALL EXCAVATE TEMPORARY BASINS AND CLAY LINE PRIOR TO USE. SURFACE WATER SHALL BE REMOVED BY SKIMMER DEVICE SUCH AS FABCLOTH SKIMMER OR THIRSTY DUCK, OR USING A PUMP WITH A FILTER. ALTERNATIVE TEMPORARY SEDIMENT BASINS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

**HAZARDOUS MATERIALS, TOXIC WASTE (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT, SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACES) MUST BE PROPERLY STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES.**

**SWPPP IMPLEMENTATION, INSTALLATION, INSPECTION, AND BMP MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR.**

NAME: \_\_\_\_\_  
CERTIFICATION #: \_\_\_\_\_  
DATE: \_\_\_\_\_



VICINITY MAP  
CORCORAN, MN

**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

*Joel W. Maine*  
Joel W. Maine, PE Lic. No. 19181

DATE: 09-21-2021  
PROJECT #: 20398  
PROJECT STATUS: Preliminary Plat

DRAWN BY: WH  
CHECKED BY: AJA

KEY PLAN

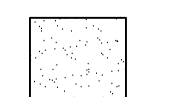

**STORM WATER POLLUTION PREVENTION PLAN NOTES**

**C501**

**General Notes:**

01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
02. See Civil Engineer's plans for site plan layout and dimensions.
03. Protect adjacent landscape areas from damage during construction.
04. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
05. Ensure care is taken not to damage paving and other site improvements during landscape installation.
06. The Landscape Contractor is required to coordinate with the Owner, General Contractor, and City prior to any work in the right-of-way. Obtain permits as necessary for work on city or county property.
07. Irrigation/Landscape contractor is required to coordinate irrigation steeve installation with paving and earthwork contractors. Steeves to be provided by the irrigation/landscape contractor.
08. Refer to specifications regarding maintenance and warranty of newly installed landscape materials.

**Landscape Symbols:**

-  New Turf Sod Per Notes
-  New Low Maintenance Turf Seed Per Schedule

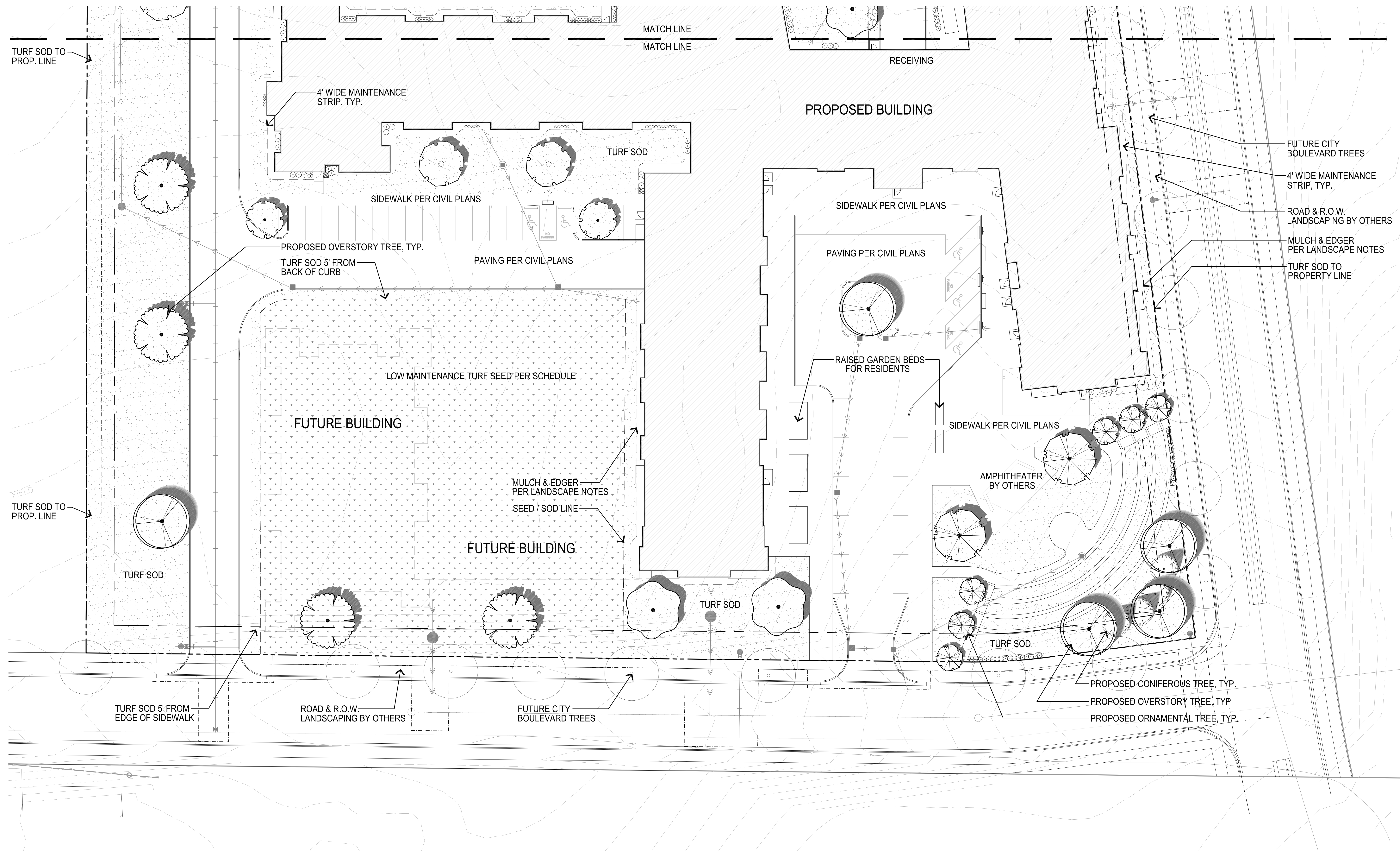
**Municipal Landscape Requirements:**

Per City of Corcoran City Code. Non-Residential uses shall contain at a minimum 1 Overstory Tree per 50 lineal feet of site perimeter and 1 Shrub per 30 lineal feet of site perimeter. 3 Understory Trees may replace 1 required Overstory Tree for up to 50% of the Overstory Requirement.

Lineal Feet of Site Perimeter: 3,223 LF  
 Total Overstory Trees Required: 64  
 Calculation: 3,223 / 50  
 Total Shrubs Required: 107  
 Calculation: 3,223 / 30

Total Overstory Trees Shown: 64  
 Total Understory Trees Shown: 25  
 Total Shrubs Shown: 216

Revised 10/19/21



- FUTURE CITY BOULEVARD TREES
- 4' WIDE MAINTENANCE STRIP, TYP.
- ROAD & R.O.W. LANDSCAPING BY OTHERS
- MULCH & EDGER PER LANDSCAPE NOTES
- TURF SOD TO PROPERTY LINE

**NOT FOR CONSTRUCTION**

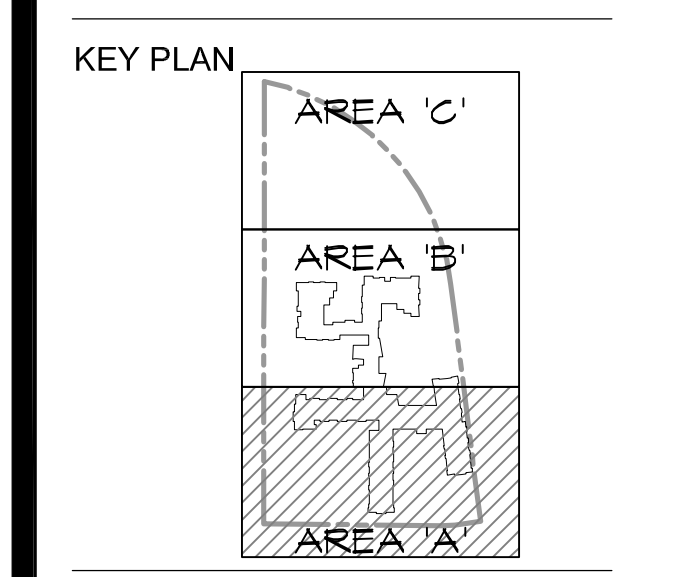
Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

Benjamin Hedberg, P.L.A. License No. 10000

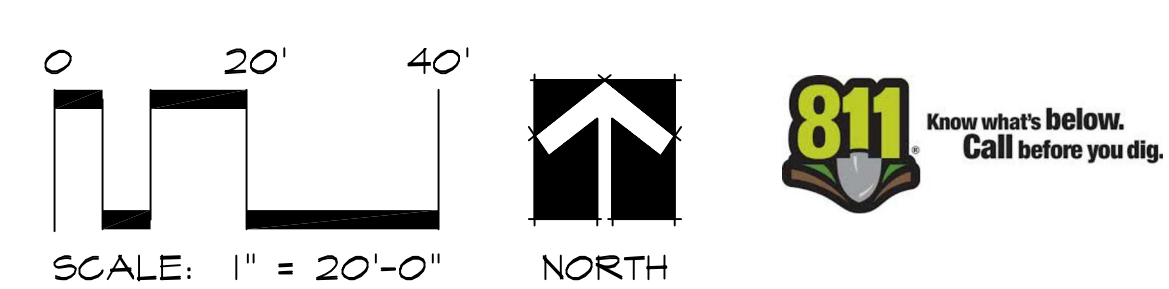
DATE: 10/18/2021  
 PROJECT # 20398  
 PROJECT STATUS

DRAWN BY: HL  
 CHECKED BY: BH



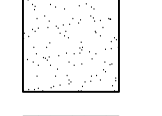
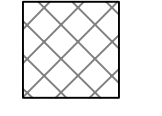
LANDSCAPE PLAN AREA 'A'

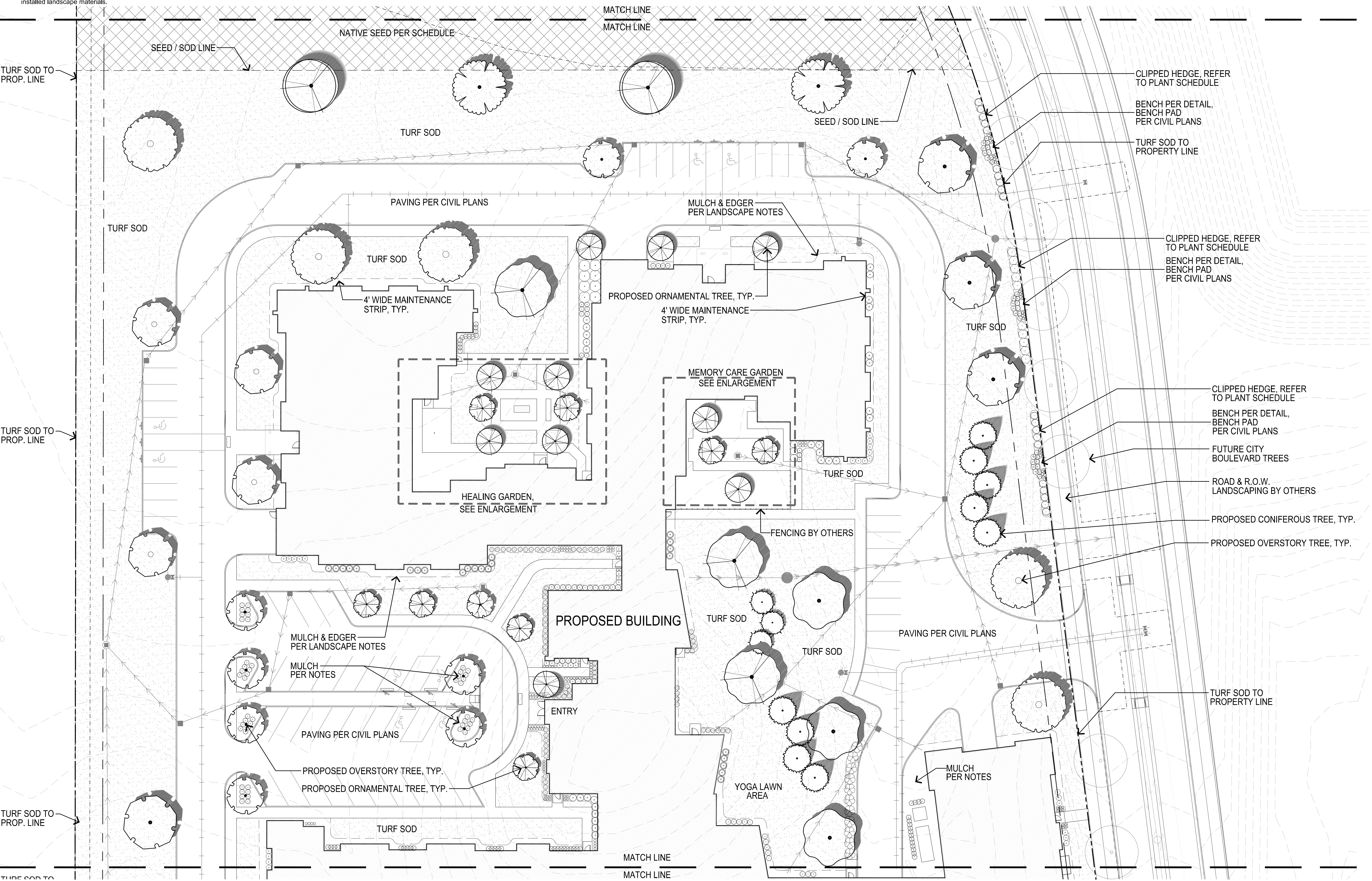
L1.0



- General Notes:**
01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
  02. See Civil Engineer's plans for site plan layout and dimensions.
  03. Protect adjacent landscape areas from damage during construction.
  04. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
  05. Ensure care is taken not to damage paving and other site improvements during landscape installation.
  06. The Landscape Contractor is required to coordinate with the Owner, General Contractor, and City prior to any work in the right-of-way. Obtain permits as necessary for work on city or county property.
  07. Irrigation/Landscape contractor is required to coordinate irrigation sleeve installation with paving and earthwork contractors. Sleeves to be provided by the irrigation/landscape contractor.
  08. Refer to specifications regarding maintenance and warranty of newly installed landscape materials.

**Landscape Symbols:**

-  New Turf Sod Per Notes
-  New Native Seed Per Schedule



- CLIPPED HEDGE, REFER TO PLANT SCHEDULE
- BENCH PER DETAIL, BENCH PAD PER CIVIL PLANS
- TURF SOD TO PROPERTY LINE
- CLIPPED HEDGE, REFER TO PLANT SCHEDULE
- BENCH PER DETAIL, BENCH PAD PER CIVIL PLANS
- CLIPPED HEDGE, REFER TO PLANT SCHEDULE
- BENCH PER DETAIL, BENCH PAD PER CIVIL PLANS
- FUTURE CITY BOULEVARD TREES
- ROAD & R.O.W. LANDSCAPING BY OTHERS
- PROPOSED CONIFEROUS TREE, TYP.
- PROPOSED OVERSTORY TREE, TYP.
- TURF SOD TO PROPERTY LINE

- TURF SOD TO PROP. LINE
- TURF SOD TO PROP. LINE
- TURF SOD TO PROP. LINE

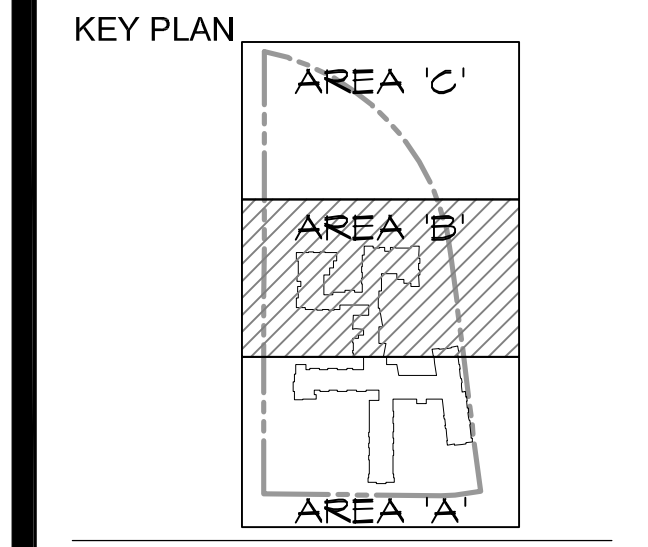


**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

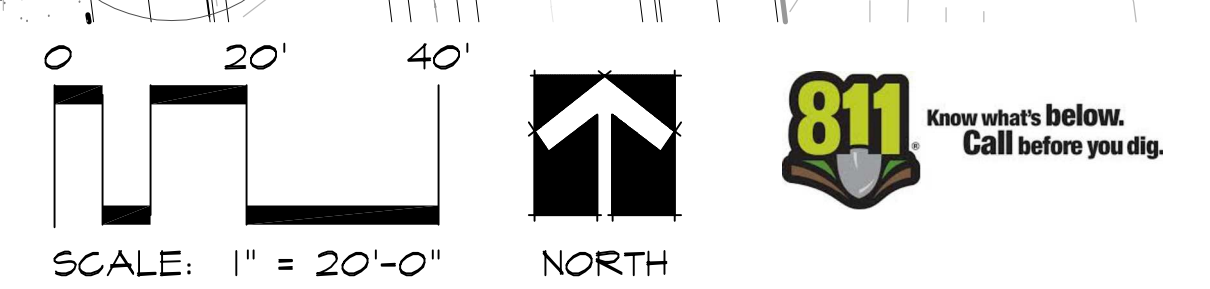
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

DATE	10/18/2021
PROJECT #	20398
PROJECT STATUS	
DRAWN BY	HL
CHECKED BY	BH



**LANDSCAPE PLAN AREA 'B'**

**L2.0**



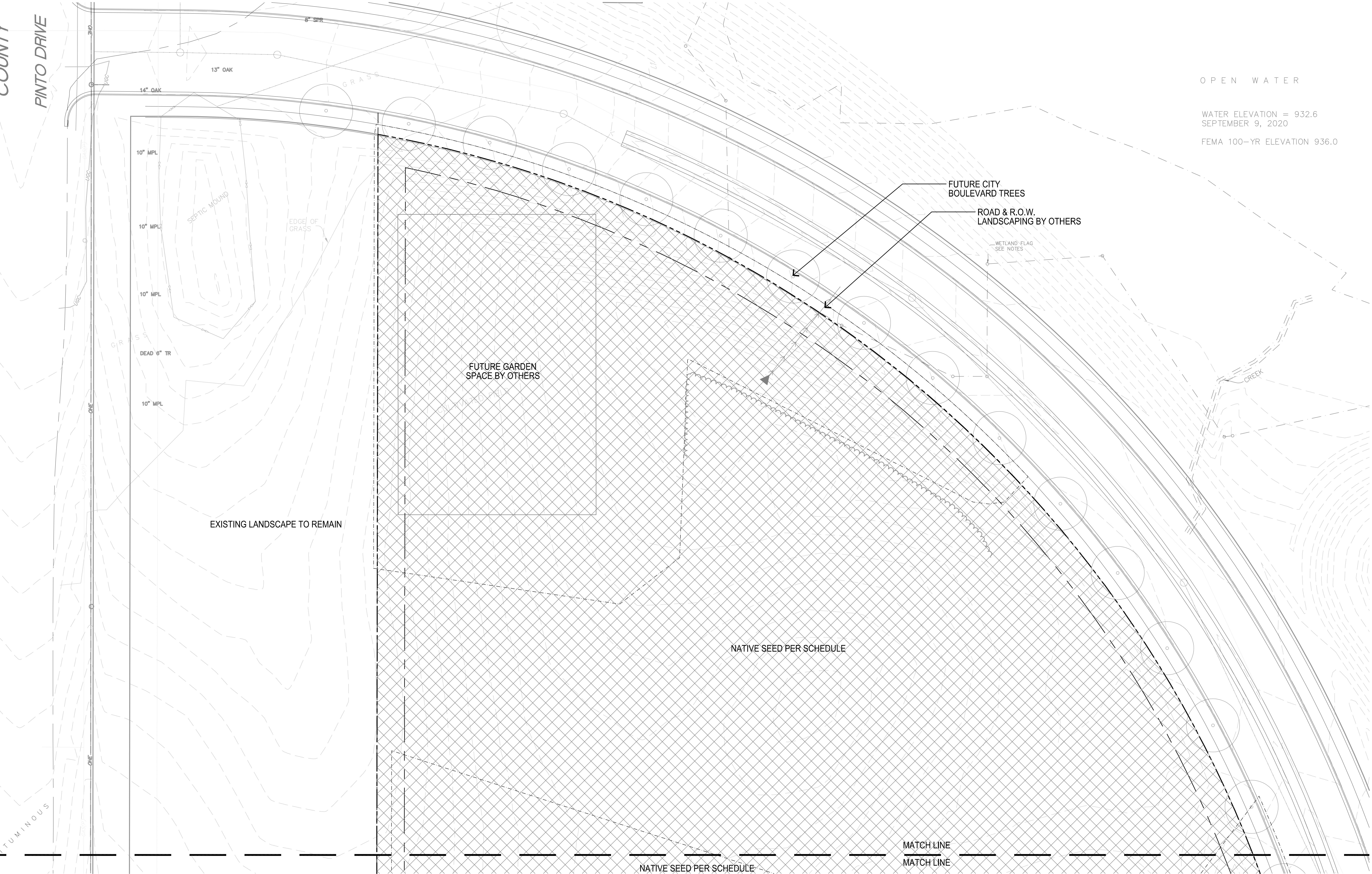


**General Notes:**

- 01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
- 02. See Civil Engineer's plans for site plan layout and dimensions.
- 03. Protect adjacent landscape areas from damage during construction.
- 04. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
- 05. Ensure care is taken not to damage paving and other site improvements during landscape installation.
- 06. The Landscape Contractor is required to coordinate with the Owner, General Contractor, and City prior to any work in the right-of-way. Obtain permits as necessary for work on city or county property.
- 07: Irrigation/Landscape contractor is required to coordinate irrigation sleeve installation with paving and earthwork contractors. Sleeves to be provided by the irrigation/landscape contractor.
- 08: Refer to specifications regarding maintenance and warranty of newly installed landscape materials.

**Landscape Symbols:**

 New Native Seed Per Schedule



OPEN WATER  
 WATER ELEVATION = 932.6  
 SEPTEMBER 9, 2020  
 FEMA 100-YR ELEVATION 936.0

**ST. THERESE**

8200 COUNTY ROAD 116  
 CORCORAN, MN 55340



**NOT FOR CONSTRUCTION**

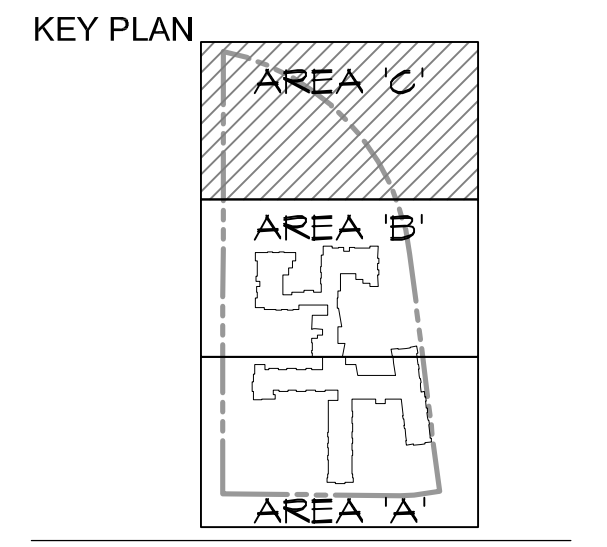
Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

Bernadine Hedberg, P.L.A. License No. 1000000000

DATE: 10/18/2021  
 PROJECT #: 20398  
 PROJECT STATUS:

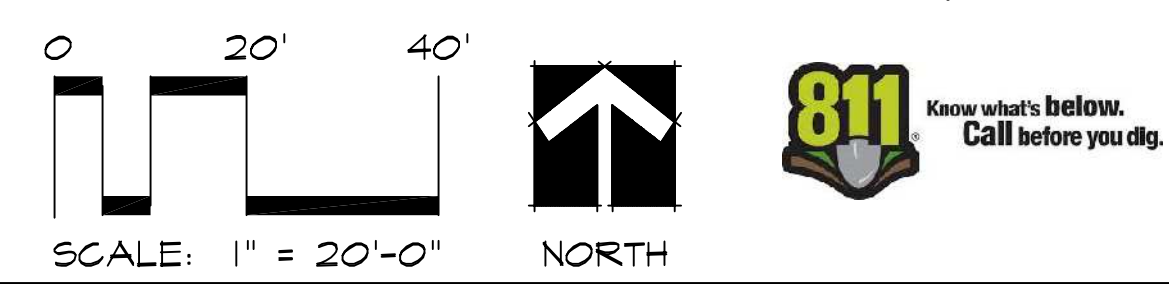
DRAWN BY: HL  
 CHECKED BY: BH



**LANDSCAPE PLAN AREA 'C'**

**L3.0**

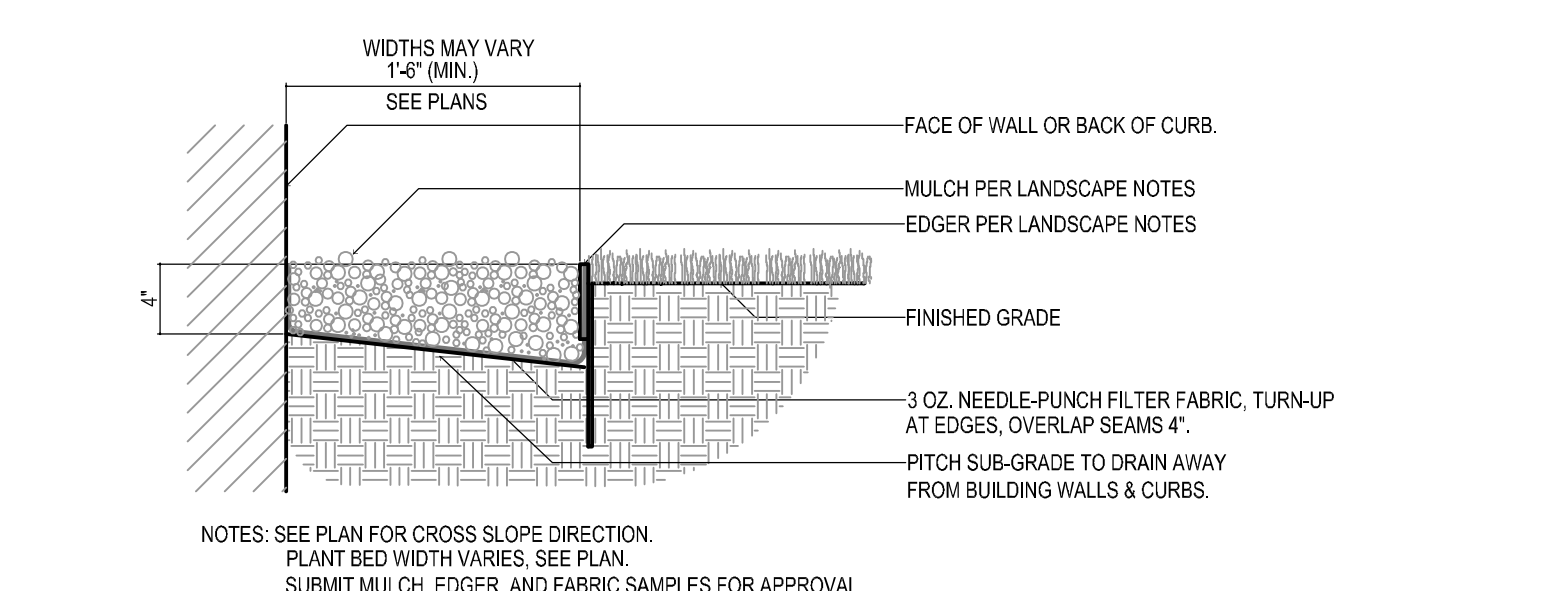
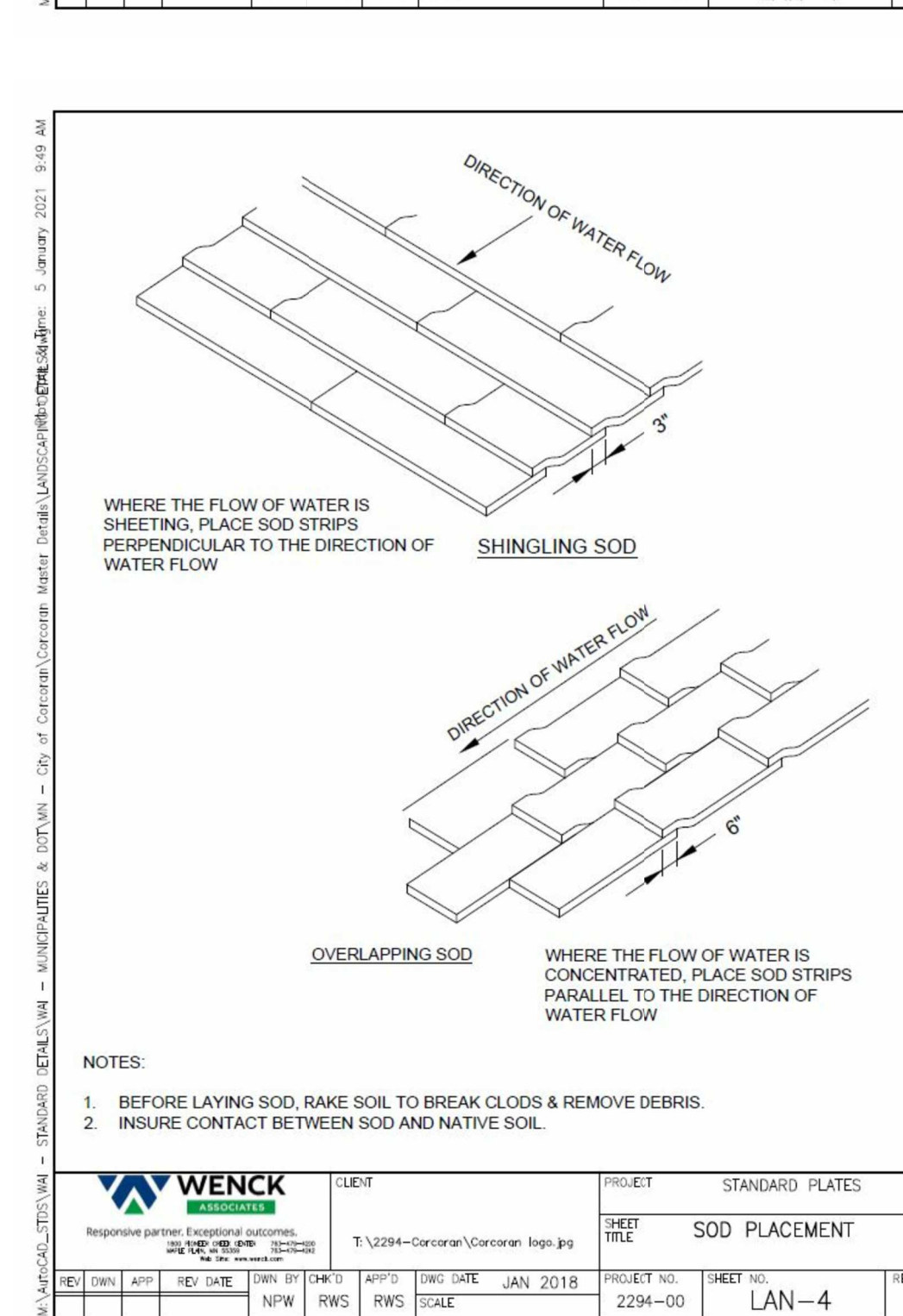
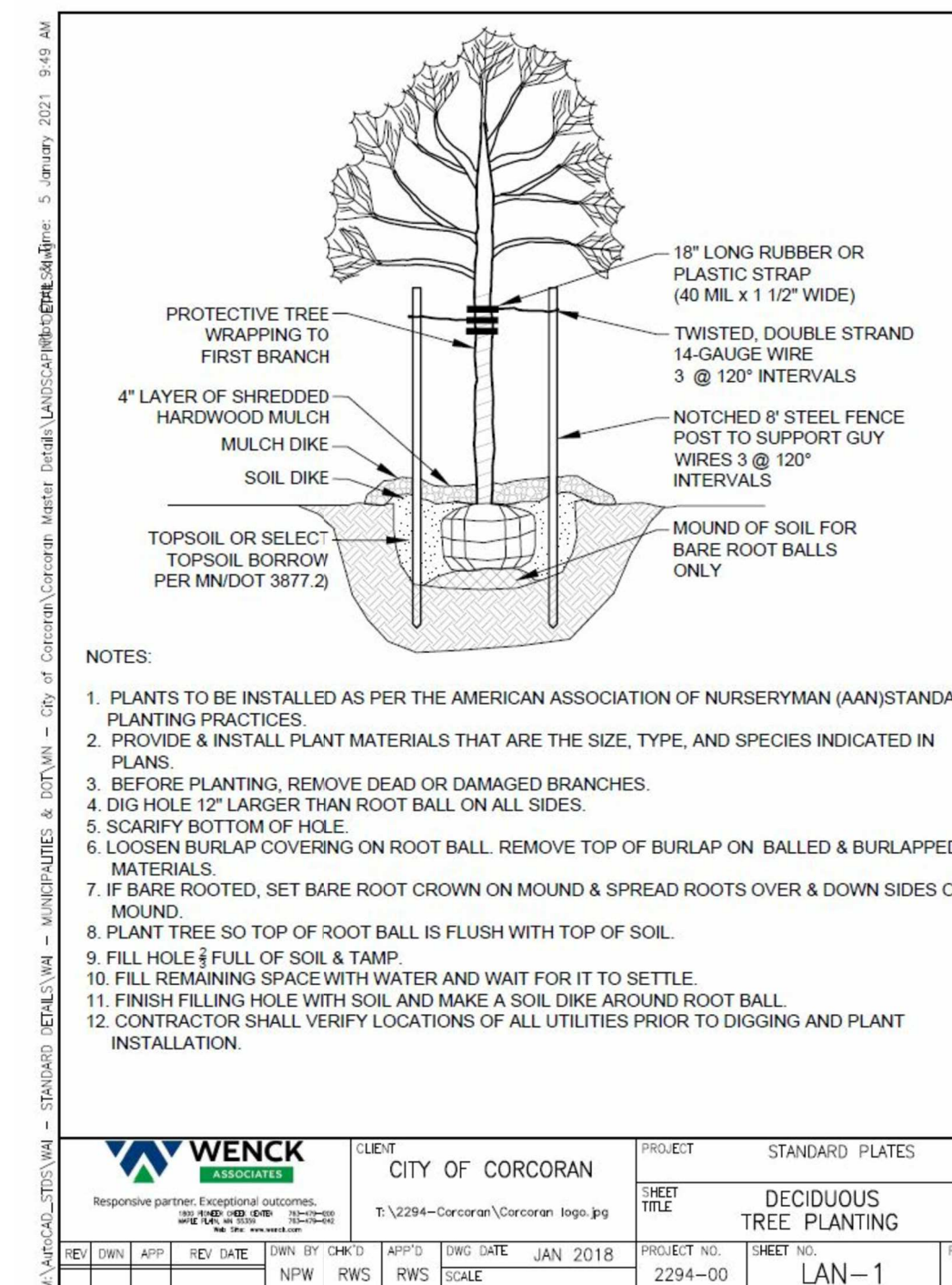
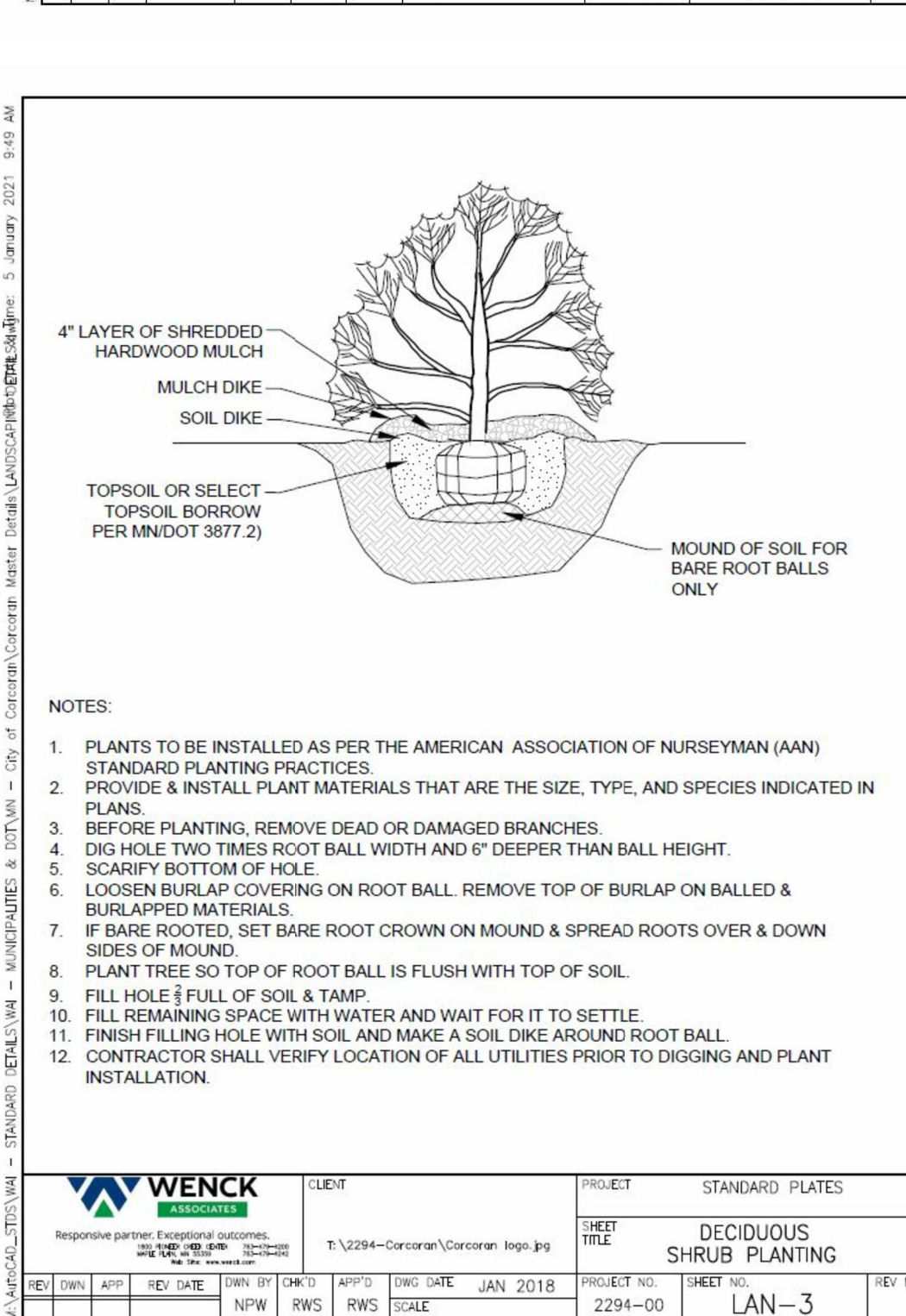
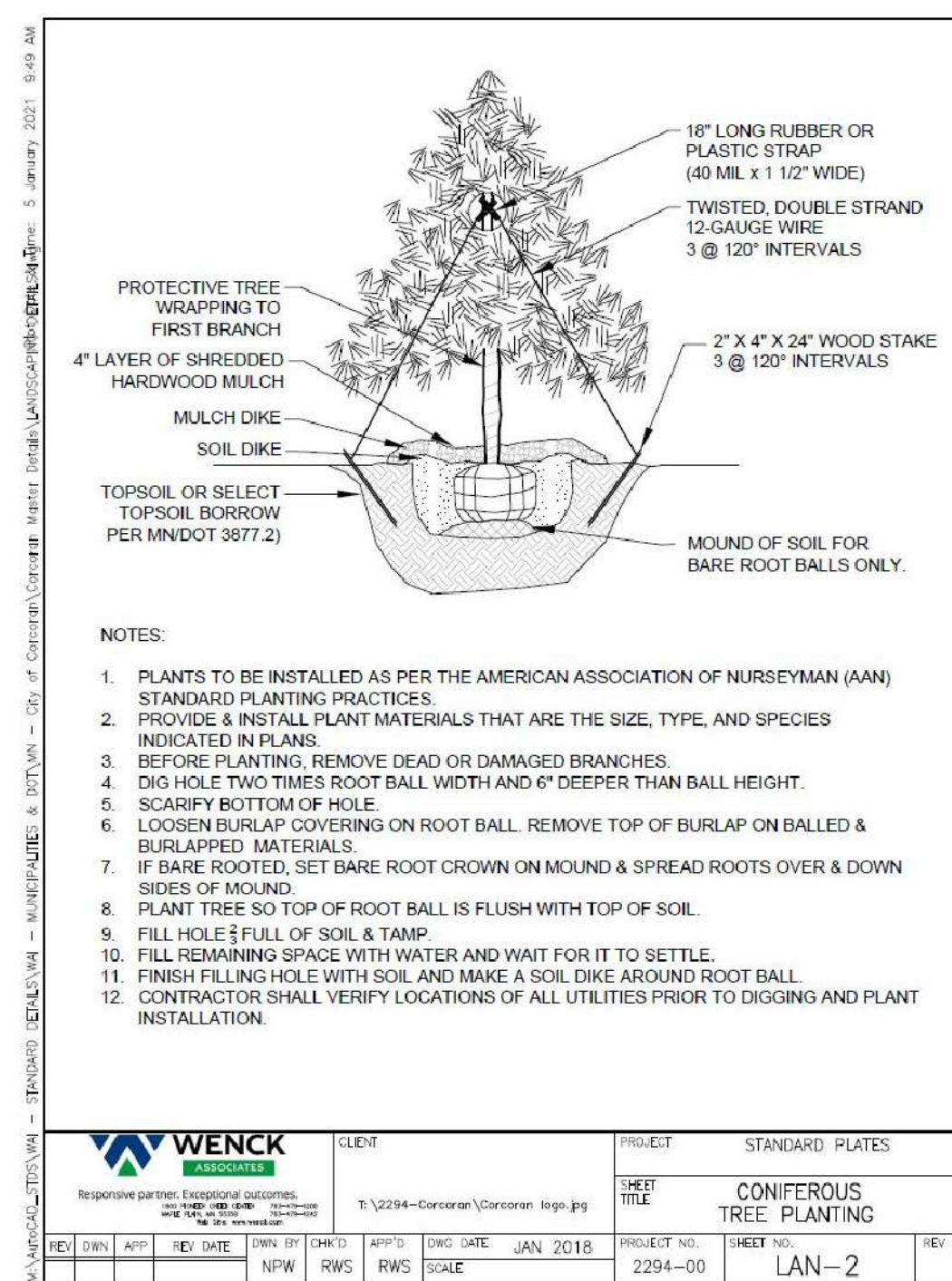
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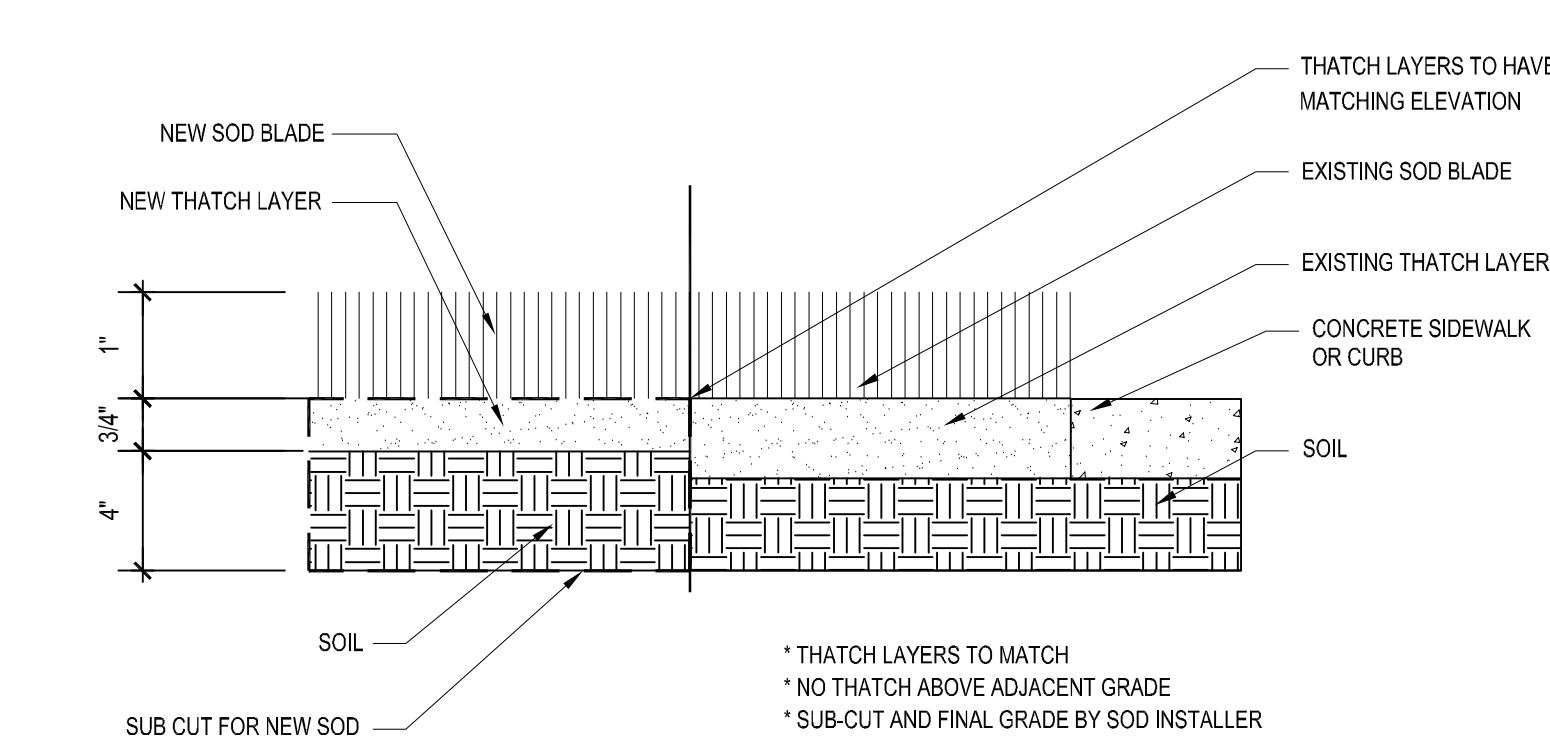


**Landscape Notes & Requirements:**

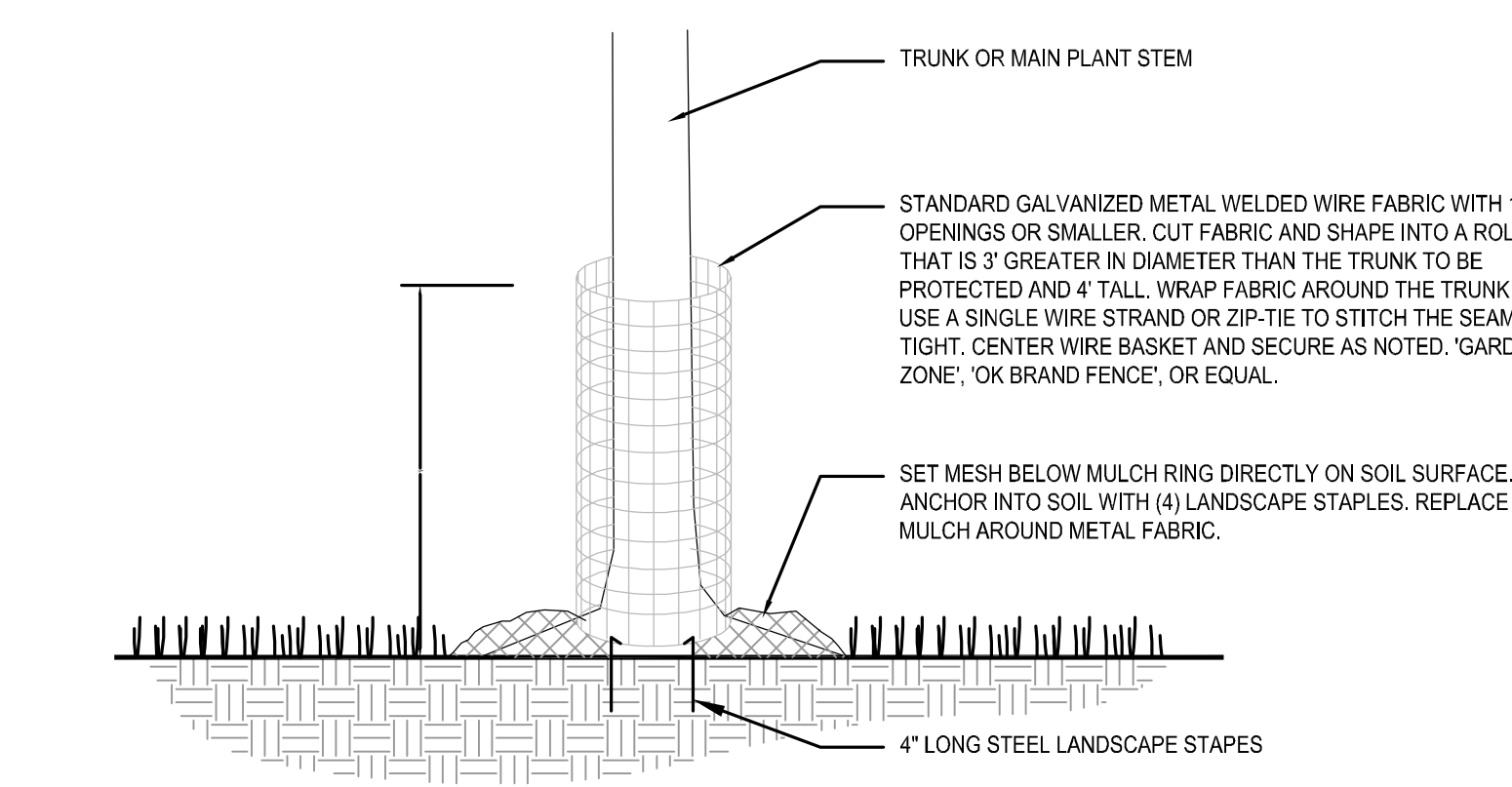
1. Tree saucer for individual trees outside of a plant bed to be four inches (4") depth natural single-shred Western Red Cedar mulch. Install per tree planting detail. Dyed mulch is not accepted. Do not place mulch against tree trunk. Remove wire and burrap from top third of root ball before final soil back-fill and mulch.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material until time of written owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
13. The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based upon applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. **Irrigation:** The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree, turf and shrub planting areas. Use commercial-grade irrigation equipment and provide product cut-sheets and (4) copies of the proposed layout plan to the landscape architect for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valving locations with the mechanical engineer, architect, & general contractor. Include 1" fall shut-down and spring start-up in irrigation bid. Sch 80 PVC sleeves necessary under paved areas to be coordinated between the landscape contractor, irrigation contractor, excavator, paving contractor, and General Contractor.
18. All edger shall be professional grade Coyote perforated aluminum industrial edging, 1/2" thickness with black finish. Anchor every 18" on-center (minimum). Submit sample.
19. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
20. **Mulch:** Unless otherwise noted/indicated, plant beds shall receive 4" depth of locally available 3/4" limestone rock mulch over fabric weed mat, per detail. Submit mulch sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses. Where wood mulch is noted per plan (in the Healing and Memory Care Gardens only), plant beds shall receive 4" depth locally available natural single-shred Western Red Cedar Mulch over fabric weed mat, per detail. Submit sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses. Dyed mulch is not accepted.
21. All planting, seeding, and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, slicks, construction debris, etc.
22. Turf Sodding and Seeding activity shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. Turf Seed installation to include TWO years of maintenance in the bid price. This includes mowing, weeding, & spot-spraying invasive weeds no less than 3 times per year. Maintenance also includes re-seeding bare patches larger than 6" in any direction, and fertilization no less than twice per calendar year. An acceptable stand of seeded turf is lush, full, and weed-free.
23. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
24. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
25. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
26. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
27. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
28. See Site and Civil plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.
29. **Topsoil Requirements:** All graded areas of the site that are designated on the plan set for turf sod shall have no less than 6" of imported top soil, meeting MnDOT classifications for planting soil for trees, shrubs, and turf. Slope away from building.
30. **Percolation Testing:** Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
31. Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.



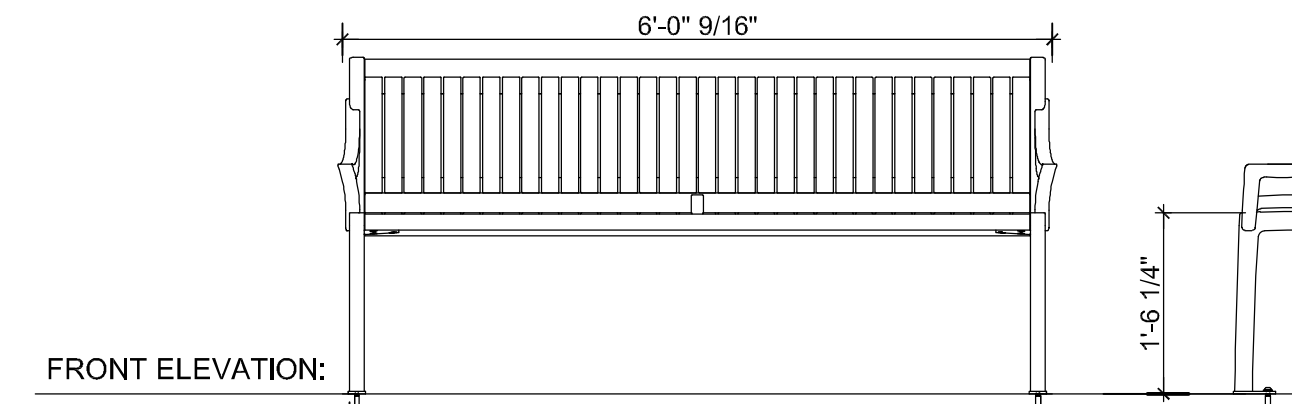
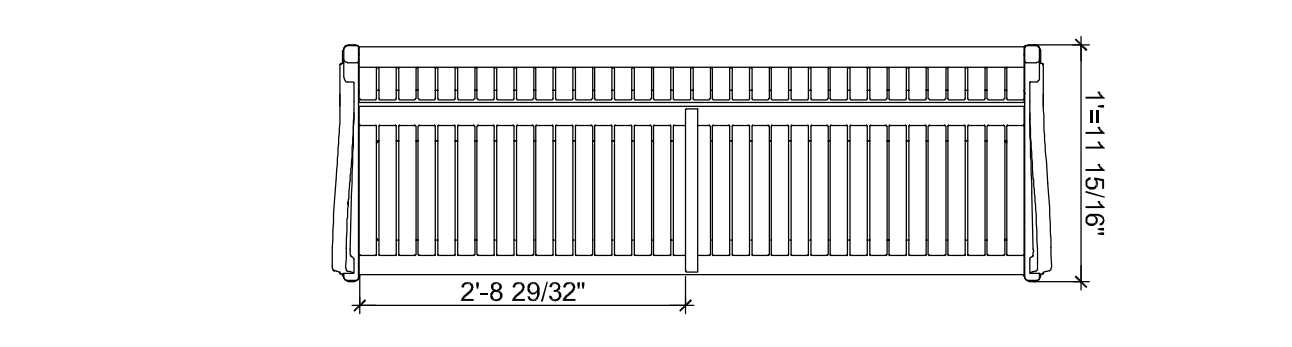
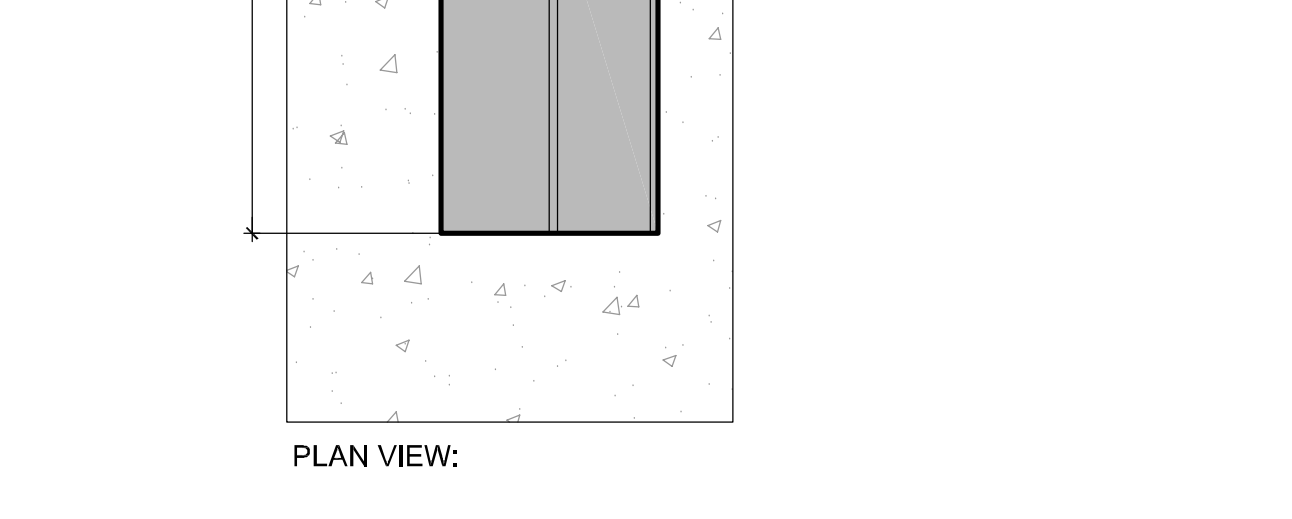
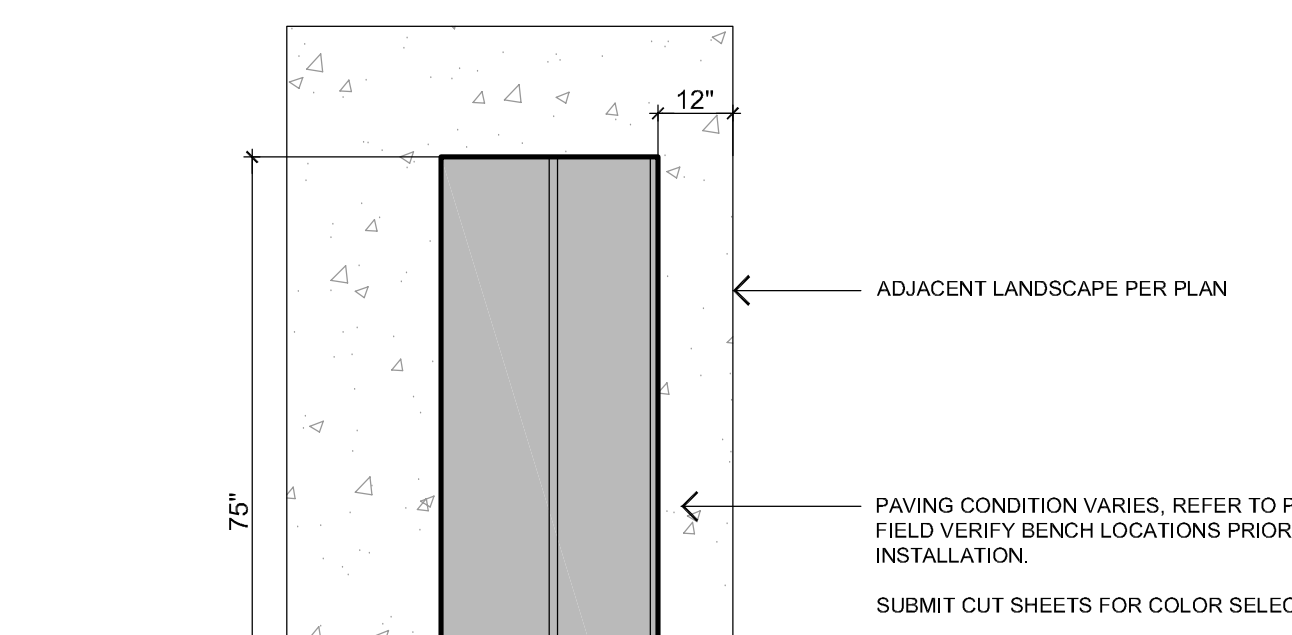
**1 TYP. MULCH DETAIL**  
L5.0 NOT TO SCALE



**2 NEW SOD TO EXISTING SOD DETAIL**  
L5.0 NOT TO SCALE



**3 TREE TRUNK DEER & RODENT PROTECTION**  
L5.0 NOT TO SCALE



- NOTES:**
1. INSTALL SURFACE MOUNT BENCHES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  2. SUBMIT PRODUCT DATA SHEET FOR FINAL APPROVAL, PRIOR TO ORDERING.
  3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
  4. SITE FURNISHINGS CONTRACTOR TO INCLUDE ASSEMBLY, MOUNTING HARDWARE, AND LABOR IN BID.

**4 6' BENCH DETAIL**  
L5.0 NOT TO SCALE

**Note:** City standard landscape installation details shown per City requirement. Contractor to use industry best practices at install.

**General Notes:**

01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
02. See Civil Engineer's plans for site plan layout and dimensions.
03. Protect adjacent landscape areas from damage during construction.
04. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
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07. Irrigation/Landscape contractor is required to coordinate irrigation sleeve installation with paving and earthwork contractors. Sleeves to be provided by the irrigation/landscape contractor.
08. Refer to specifications regarding maintenance and warranty of newly installed landscape materials.



**ST. THERESE**

8200 COUNTY ROAD 116  
CORCORAN, MN 55340



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**NOT FOR CONSTRUCTION**

No.	Revisions	
	Description	Date

DATE: 10/18/2021  
PROJECT #: 20398  
PROJECT STATUS:      

DRAWN BY: HL  
CHECKED BY: BH

KEY PLAN

**LANDSCAPE DETAILS**

**L5.0**







Department Legend

- CIRCULATION
- INDEPENDENT LIVING
- STAIR / ELEV.
- SUPPORT

LEVEL TWO

Issue and Revisions:

Commission No:	77732-19034
Drawn by:	Author
Checked by:	Checker

SHEET

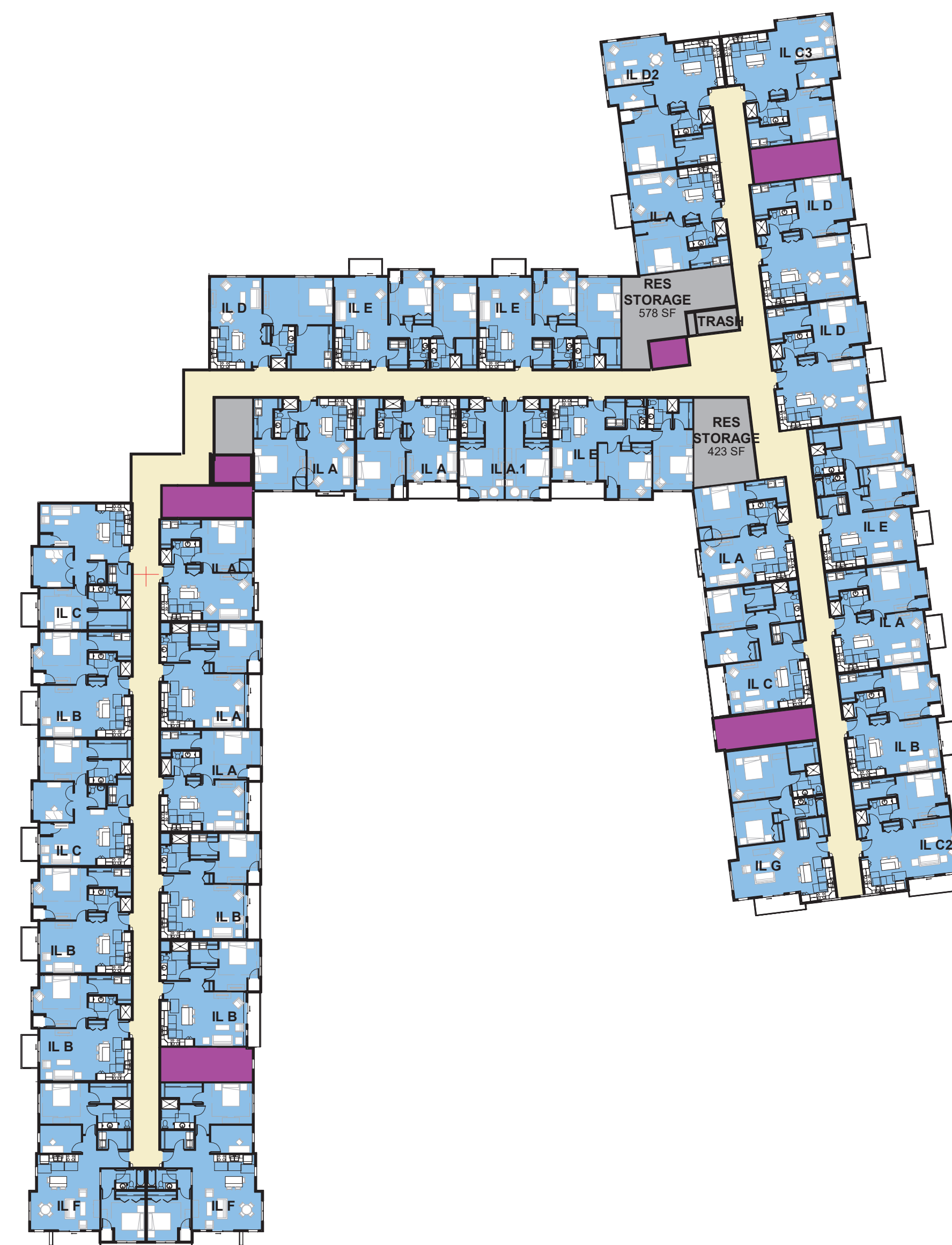
A4

1 LEVEL TWO  
A4 1" = 30'-0"



Department Legend

- CIRCULATION
- INDEPENDENT LIVING
- STAIR / ELEV.
- SUPPORT



1 LEVEL THREE  
A5 1" = 30'-0"

LEVEL THREE

Issues and Revisions:

NO.	DATE	DESCRIPTION

Commission No. 77732-19034

Drawn by: Author

Checked by: Checker

SHEET

A5



**LEVEL FOUR**

Issues and Revisions:

NO.	DATE	DESCRIPTION

1  
A6 MARKETING - LEVEL FOUR  
1" = 30'-0"

Commission No: 77732-19034  
Drawn by: Author  
Checked by: Checker

SHEET

**A6**







POPE ARCHITECTS, INC.  
 1295 BANDANA BLVD N, SUITE 200  
 ST. PAUL, MN 55108-2725  
 (651) 642-9200 | FAX (651) 642-1101  
 www.popearch.com

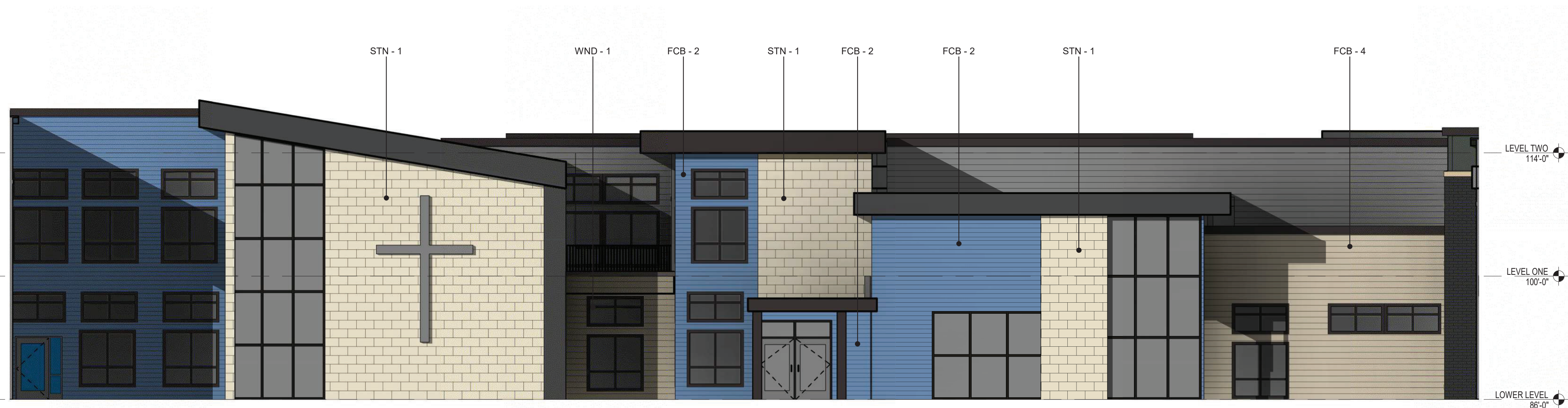
ST. THERESE  
 ST. THERESE  
 CORCORAN, MN



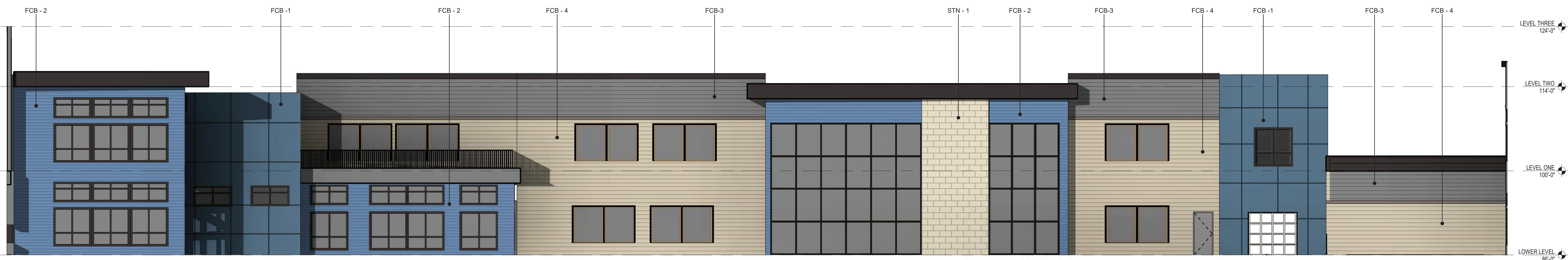
Saint Therese

EXTERIOR MATERIAL FINISH SCHEDULE					
MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	JAMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VINYAL/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VINYAL/ FIBREX	BLACK/ BRONZE	

NOTE:  
 THE "BASIS OF DESIGN" MATERIALS FOR THE PROJECT ARE LISTED ON THE SCHEDULE ABOVE. SEE SPECIFICATIONS FOR ADDITIONAL MATERIAL INFORMATION AND OTHER APPROVED SUBSTITUTIONS.



2  
 A3.2 AREA C - TOWN CENTER WEST ELEVATION  
 1/8" = 1'-0"



1  
 A3.2 AREA C - TOWN CENTER EAST ELEVATION  
 1/8" = 1'-0"

EXTERIOR ELEVATIONS

Revision	Description

Commission by: 77732-19034  
 Drawn by: Author  
 Checked by: Checker

SHEET

A3.2



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Lum. Lumens
	7	AA2	Single	0.846	RAYON T349LED-240-XX-40K-T2 MOUNT ON 20FT POLE WITH 2FT BASE	239.12	24567
	1	AA3H	SINGLE	0.846	RAYON T349LEDB-170-XX-40K-T3-HS MOUNT ON 20FT POLE WITH 2FT BASE	166.56	15438
	3	AA42H	TWIN	0.846	RAYON T349LEDB-240-XX-40K-T4-HS MOUNT ON 20FT POLE WITH 2FT BASE (WITH ROTATED OPTICS)	479.54	21520
	6	AA4H	SINGLE	0.846	RAYON T349LEDB-240-XX-40K-T4-HS MOUNT ON 20FT POLE WITH 2FT BASE	239.77	21520
	2	AA52	Back-Back	0.846	RAYON T349LED-240-XX-40K-T5 MOUNT ON 20FT POLE WITH 2FT BASE	479.74	25032
	20	BB	SINGLE	0.900	PEMCO LEX2-96W4K-Type III- Spun Top, T1, T3, T4 MOUNT ON 8FT POLE	102.23	9797
	10	CC	Single	0.900	ELITE HH6-LED-2000L-DIM10-MVOLT-WD-40K-90-HH6-650L-SHZ-SHZ	22.7	2013
	2	WP1	SINGLE	0.900	ELITE OWP-FC-201-LED-4500L-MVOLT-40K-XX WALL MOUNT AT APPROX 10FT	45.2	4611
	23	WP2	SINGLE	0.900	ELITE OWP-FC-116-LED-1500L-DIM10-MVOLT-40K-XX WALL MOUNT AT APPROX 8FT	12.4	1674

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE GROUND	Illuminance	Fc	1.25	18.5	0.0	N.A.	N.A.
EAST PARKING	Illuminance	Fc	2.67	5.0	1.5	1.78	3.33
NORTH PARKING	Illuminance	Fc	4.11	8.4	1.6	2.57	5.25
NW PARKING	Illuminance	Fc	3.99	9.0	1.0	3.99	9.00
SE PARKING	Illuminance	Fc	3.44	10.3	1.4	2.46	7.36
WEST PARKING	Illuminance	Fc	3.83	9.5	1.2	3.19	7.92



TYPE AA



TYPE BB



TYPE CC



TYPE WP1



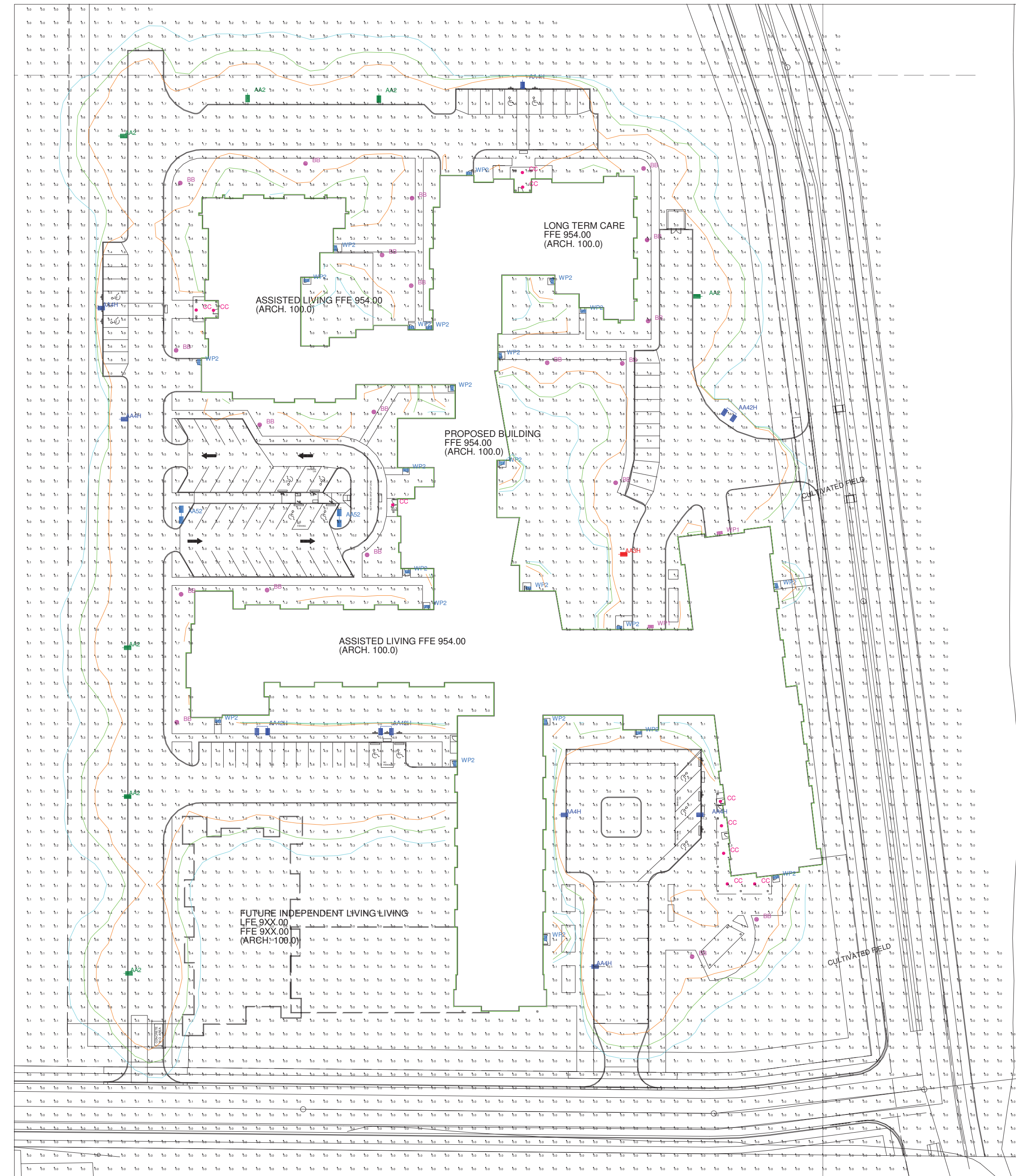
TYPE WP2

GENERAL NOTES:

A. PULSE PRODUCTS DOES NOT ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THIS CALCULATION OR COMPLIANCE TO THE LOCAL, STATE, OR FEDERAL LIGHTING CODES OR ORDINANCES.

B. LIGHTING LAYOUT IS NOT INTENDED FOR CONSTRUCTION DOCUMENTS BUT ONLY TO ILLUSTRATE THE PERFORMANCE OF THE PRODUCT.

C. ALL READINGS/CALCULATIONS SHOWN ARE SHOWN ON OBJECTS/SURFACES.



Plan View  
Scale: 1 inch= 60 Ft.



#	Date	Comments

Revisions	

Drawn By: SANDY  
Checked By: JILL  
Date: 9/13/2021  
Scale: AS NOTED

**ST. THERESE**  
**CORCORAN, MN**



**SITE PLAN**



**ST. THERESE**  
 CORCORAN, MN  
 OCTOBER 19, 2021



Saint Therese



**BIRDS EYE VIEW OF AMPHITHEATER**



**ST. THERESE**  
CORCORAN, MN  
OCTOBER 19, 2021



Saint Therese



**MAIN STREET RENDER**



**ST. THERESE**  
CORCORAN, MN  
OCTOBER 22, 2021



Saint Therese







POPE ARCHITECTS, INC.  
 1295 BANDANA BLVD N, SUITE 200  
 ST. PAUL, MN 55108-2735  
 (651) 642-9200 | FAX (651) 642-1101  
 www.popearch.com

ST. THERESE  
 SENIOR COMMUNITY  
 CORCORAN, MN



MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VIYNAL/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VIYNAL/ FIBREX	BLACK/ BRONZE	

NOTE:  
 THE "BASIS OF DESIGN" MATERIALS FOR THE PROJECT ARE LISTED ON THE SCHEDULE ABOVE. SEE SPECIFICATIONS FOR ADDITIONAL MATERIAL INFORMATION AND OTHER APPROVE D SUBSTITUTIONS.



3 AREA B - EAST ELEVATION  
 A3.2 1/8" = 1'-0"



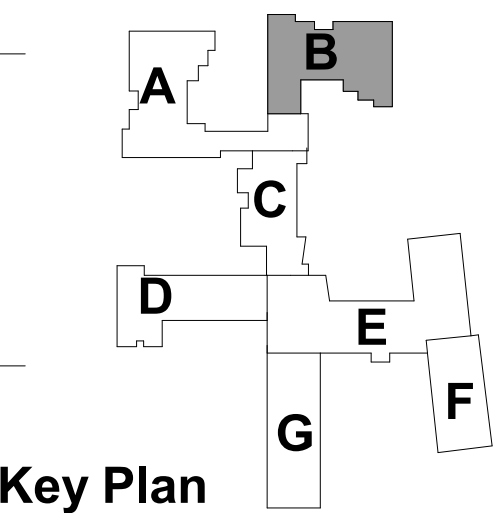
1 AREA B - NORTH ELEVATION  
 A3.2 1/8" = 1'-0"



4 AREA B - WEST ELEVATION  
 A3.2 1/8" = 1'-0"



2 AREA B - SOUTH ELEVATION  
 A3.2 1/8" = 1'-0"



Key Plan

EXTERIOR ELEVATIONS

Issues and Revisions:

No.	Description

Commission No: 77732-19034  
 Drawn by: Author  
 Checked by: Checker

SHEET

A3.2





9  
A3.4 AREA D - ASSISTED  
TYP. BUMPOUT  
1/8" = 1'-0"

1  
A3.4 AREA D - ASSISTED NORTH ELEVATION  
1/8" = 1'-0"



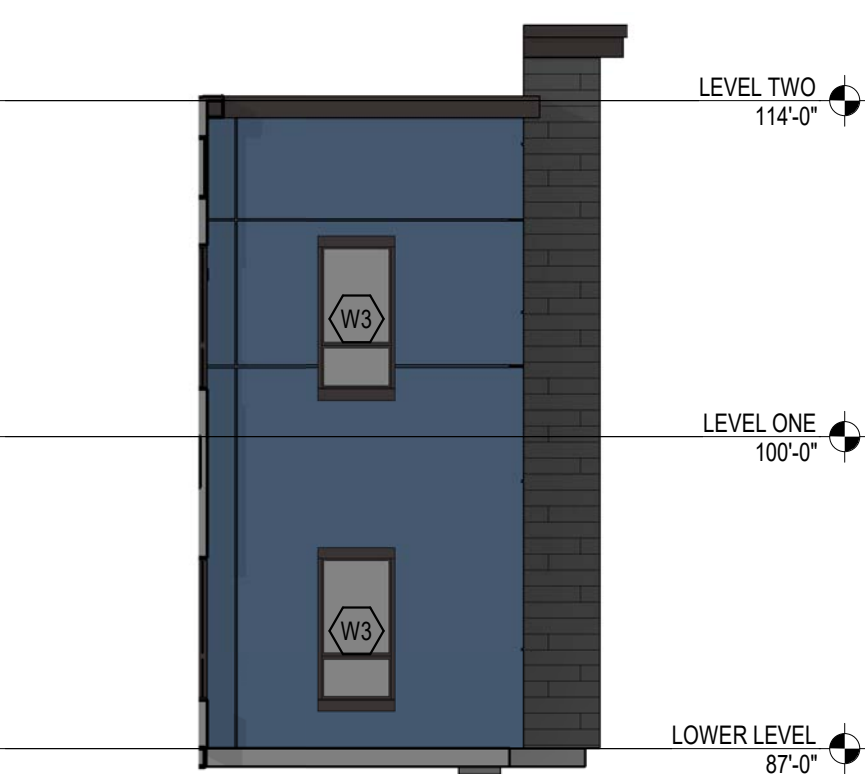
2  
A3.4 AREA D - ASSISTED SOUTH ELEVATION 2  
1/8" = 1'-0"



4  
A3.4 AREA D - ASSISTED SOUTH ELEVATION 1  
1/8" = 1'-0"



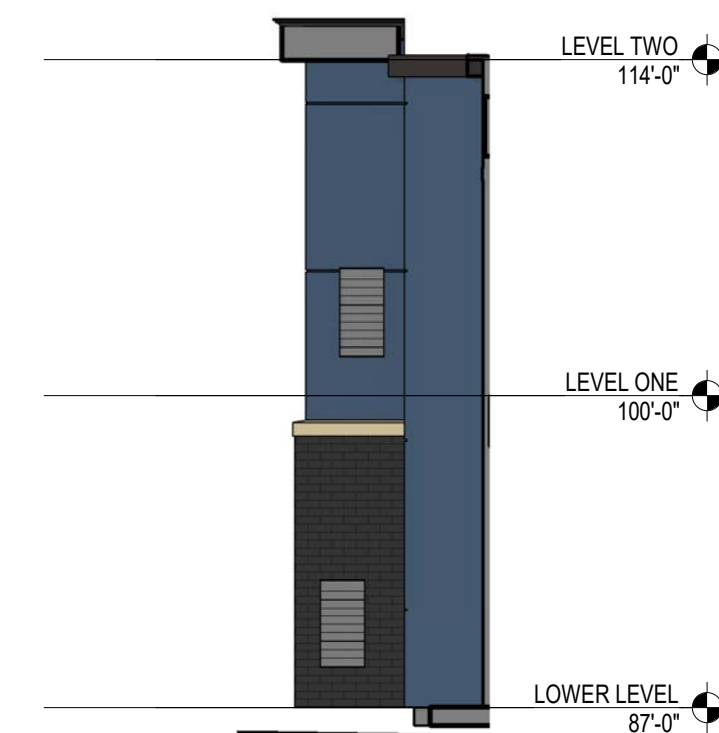
5  
A3.4 AREA D - ASSISTED  
EAST ELEVATION 1  
1/8" = 1'-0"



6  
A3.4 AREA D - ASSISTED  
EAST ELEVATION 2  
1/8" = 1'-0"



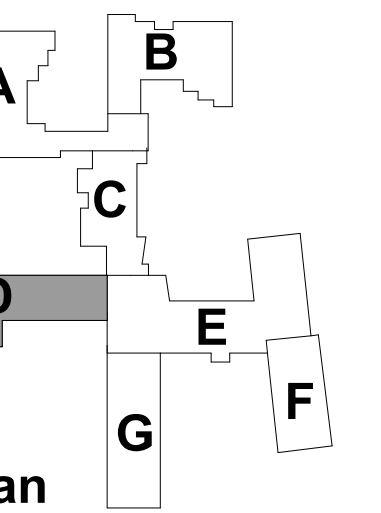
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A3.4 AREA D - ASSISTED  
WEST BUMPOUT 2  
1/8" = 1'-0"



7  
A3.4 AREA D - ASSISTED  
WEST BUMPOUT  
1/8" = 1'-0"



3  
A3.4 AREA D - ASSISTED WEST ELEVATION  
1/8" = 1'-0"



Key Plan

EXTERIOR  
ELEVATIONS - AL

Issues and Revisions:

NO.	DATE	DESCRIPTION

Commission No. 77732-19034  
Prepared by: Author  
Checked by: Checker

SHEET

A3.4



# EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VINYAL/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VINYAL/ FIBREX	BLACK/ BRONZE	

NOTE:  
THE "BASIS OF DESIGN" MATERIALS FOR THE PROJECT ARE LISTED ON THE SCHEDULE ABOVE. SEE SPECIFICATIONS FOR ADDITIONAL MATERIAL INFORMATION AND OTHER APPROVED SUBSTITUTIONS.



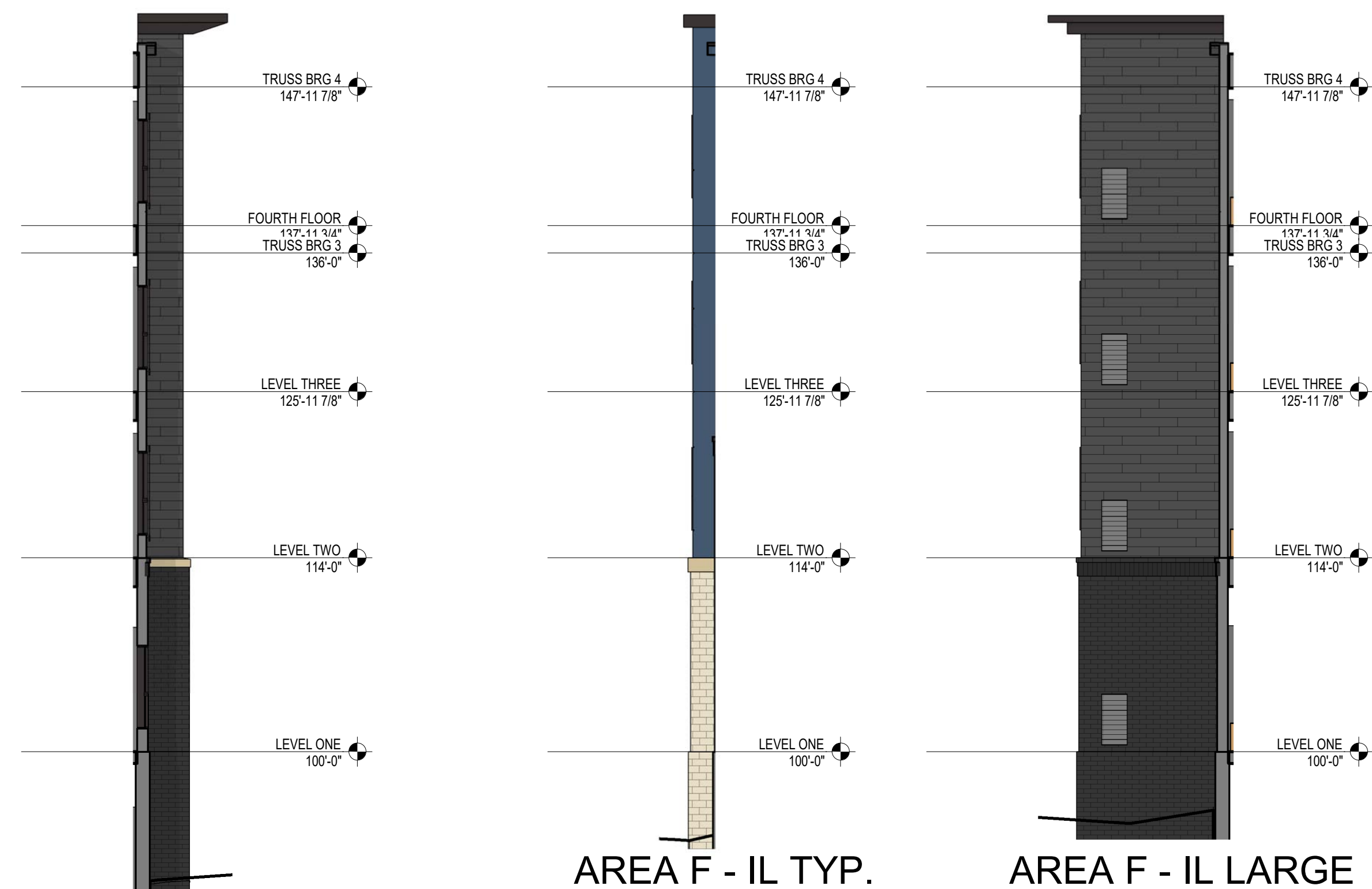
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1/8" = 1'-0"



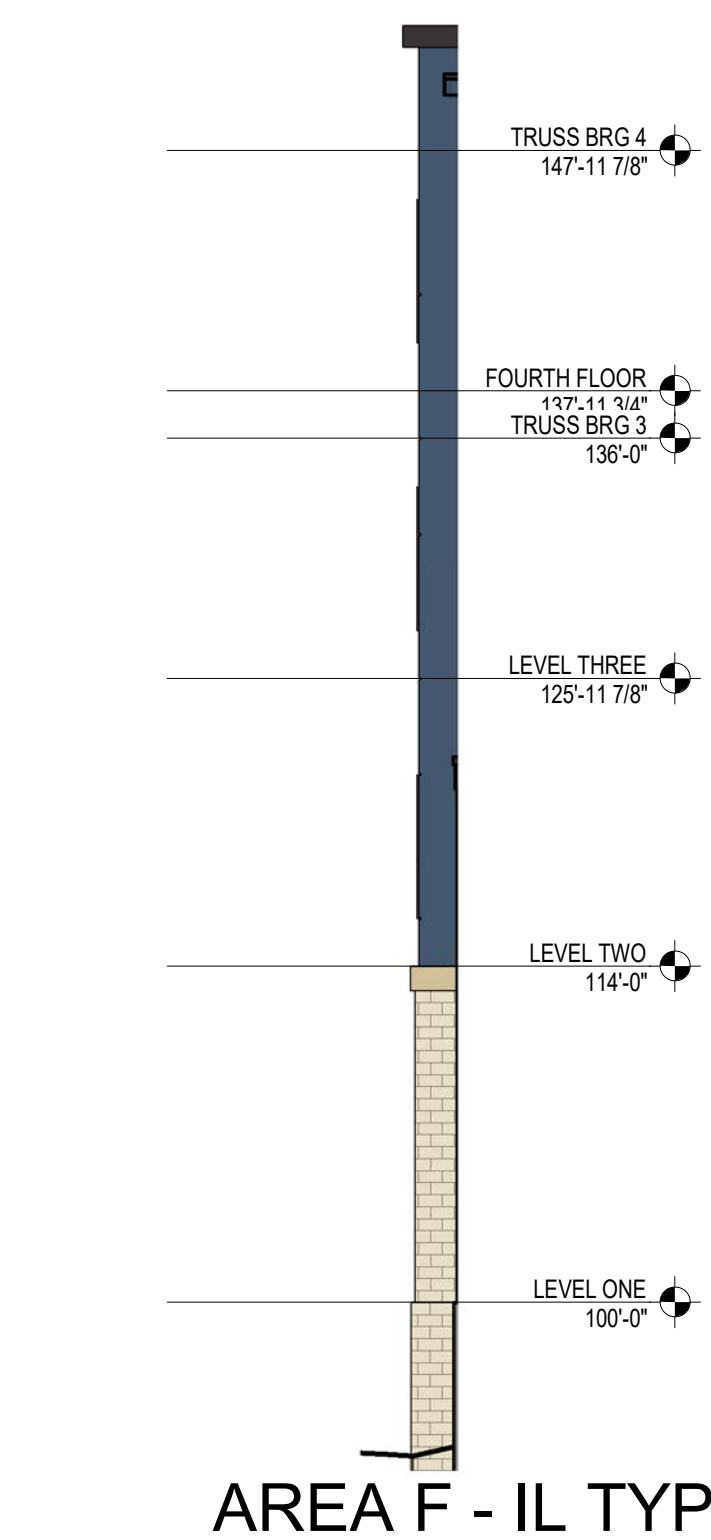
3 AREA F - IL WEST ELEVATION MAIN  
1/8" = 1'-0"



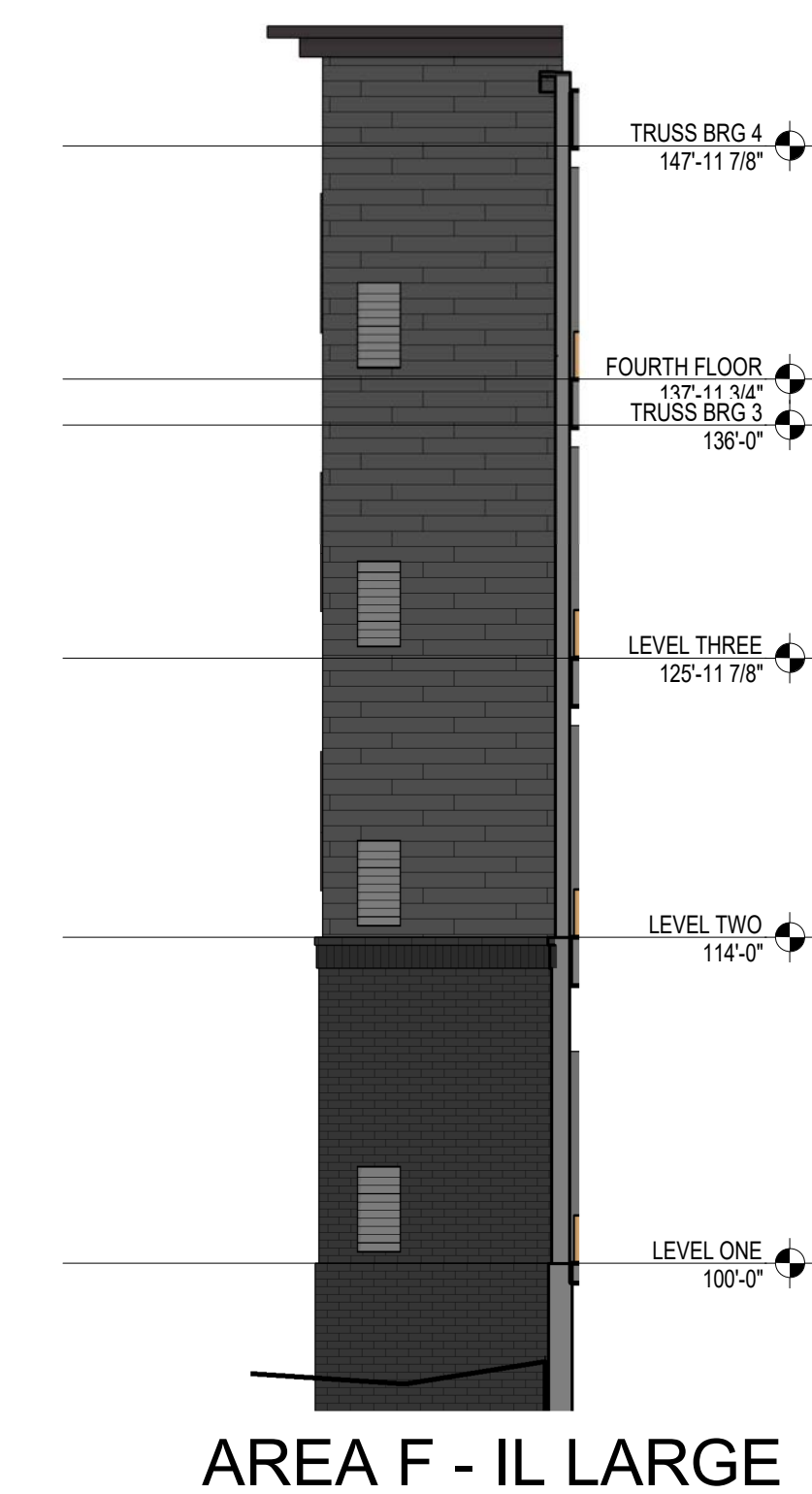
1 AREA F - IL EAST ELEVATION  
1/8" = 1'-0"



6 AREA F - IL TYP. BUMPOUT  
1/8" = 1'-0"



5 AREA F - IL TYP. BLUE BUMPOUT  
1/8" = 1'-0"

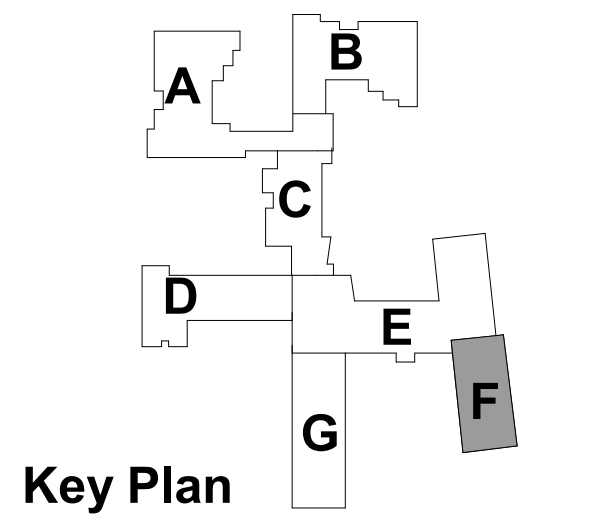
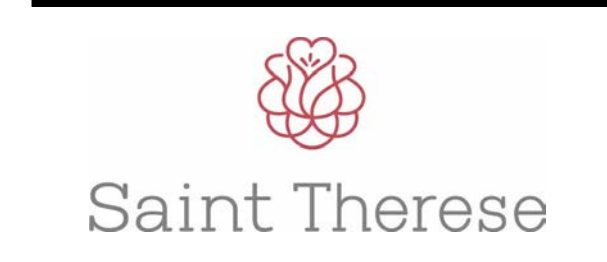


4 AREA F - IL LARGE BUMPOUT  
1/8" = 1'-0"



POPE ARCHITECTS, INC.  
1295 BANDANA BLVD N, SUITE 200  
ST. PAUL, MN 55108-2735  
(651) 642-9200 | FAX (651) 642-1101  
www.popearch.com

ST. THERESE  
SENIOR COMMUNITY  
CORCORAN, MN



## EXTERIOR ELEVATION - IL

Issue and Revisions:

NO.	DATE	DESCRIPTION

Commission No: 77732-19034  
Drawn by: Author  
Checked by: Checker

SHEET  
**A3.6**



St Therese | City Council Meeting | Nov. 22<sup>nd</sup> | Landscape Memo | Plant Quantity Calculations

**Site Data | St Therese | 8200 County Rd 116 Corcoran, MN 55340**

- Project Total Lot Area: 561,455 sq ft
- Project Total Impervious: 196,020 sq ft
- Project Total Pervious: 365,435 sq ft
  - Easement Areas: 0 sq ft
  - Future Expansion Areas: 177,331 sq ft
  - Building Foundation Planted Maintenance Strip: 13,700 sq ft
  - Underground Utilities (10' Clearance): 29,400 sq ft
  - Total Net Green Space Available for Trees: 145,004 sq ft

**10/18 City Submittal Plans**

- Plant Quantity Description: The landscape calculations were based upon the lineal feet of site perimeter. Quantity and type of building units were unknown to the Landscape Architect at the time.
  - 1 Overstory Tree per 50 lineal feet of site perimeter
    - Site Perimeter: 3,223 LF
    - Calculation:  $3,223 / 50 = 64$  Overstory Trees Required
    - Overstory Tree Quantity Shown on Plans: 64
    - Understory Tree Quantity Shown on Plans: 25
  - 1 Shrub per 30 lineal feet of site perimeter
    - Site Perimeter: 3,223 LF
    - Calculation:  $3,223 / 30 = 107$  Shrubs Required
    - Shrub Quantity Shown on Plans: 216

**11/04 City Comments**

- Plant Quantity Description: The City provides the following formula for the required number of trees on site. This formula totals to 259 Overstory Trees and 535 Shrubs Required.
  - 99 Overstory Trees Required for the 99 Independent Living Apartments
  - 160 Overstory Trees and 535 Shrubs for the remainder of the building (160,358 sq ft of 289,660 sq ft)

*The project would need 207,000 sq ft of net green space to appropriately fit 259 trees. The project currently has 145,000 sq ft of net green space.*

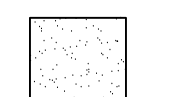

**11/16 City Resubmittal Plans**

- Plant Quantity Description: The Landscape Architect describes that the site cannot horticulturally support the 259 trees required by the code. For an optimal growing environment, an overstory tree needs approximately 800 sq ft of space. Therefore, the following tree calculation is proposed:
  - 1 Overstory Tree Required per 800 sq ft of net green space available:
    - Net Green Space Available On Site: 145,004 sq ft
    - Calculation:  $145,004 / 800 = 181$  Overstory Trees Required
    - Overstory Tree Quantity Shown on Plans: 159
    - Understory Tree Quantity Shown on Plans: 66 (1 understory = 1/3 overstory)
  - 535 Shrubs Required (as described above in the city comments)
    - Shrub Quantity Shown on Plans: 535

**General Notes:**

01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
02. See Civil Engineer's plans for site plan layout and dimensions.
03. Protect adjacent landscape areas from damage during construction.
04. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
05. Ensure care is taken not to damage paving and other site improvements during landscape installation.
06. The Landscape Contractor is required to coordinate with the Owner, General Contractor, and City prior to any work in the right-of-way. Obtain permits as necessary for work on city or county property.
- 07: Irrigation/Landscape contractor is required to coordinate irrigation sleeve installation with paving and earthwork contractors. Sleeves to be provided by the irrigation/landscape contractor.
- 08: Refer to specifications regarding maintenance and warranty of newly installed landscape materials.

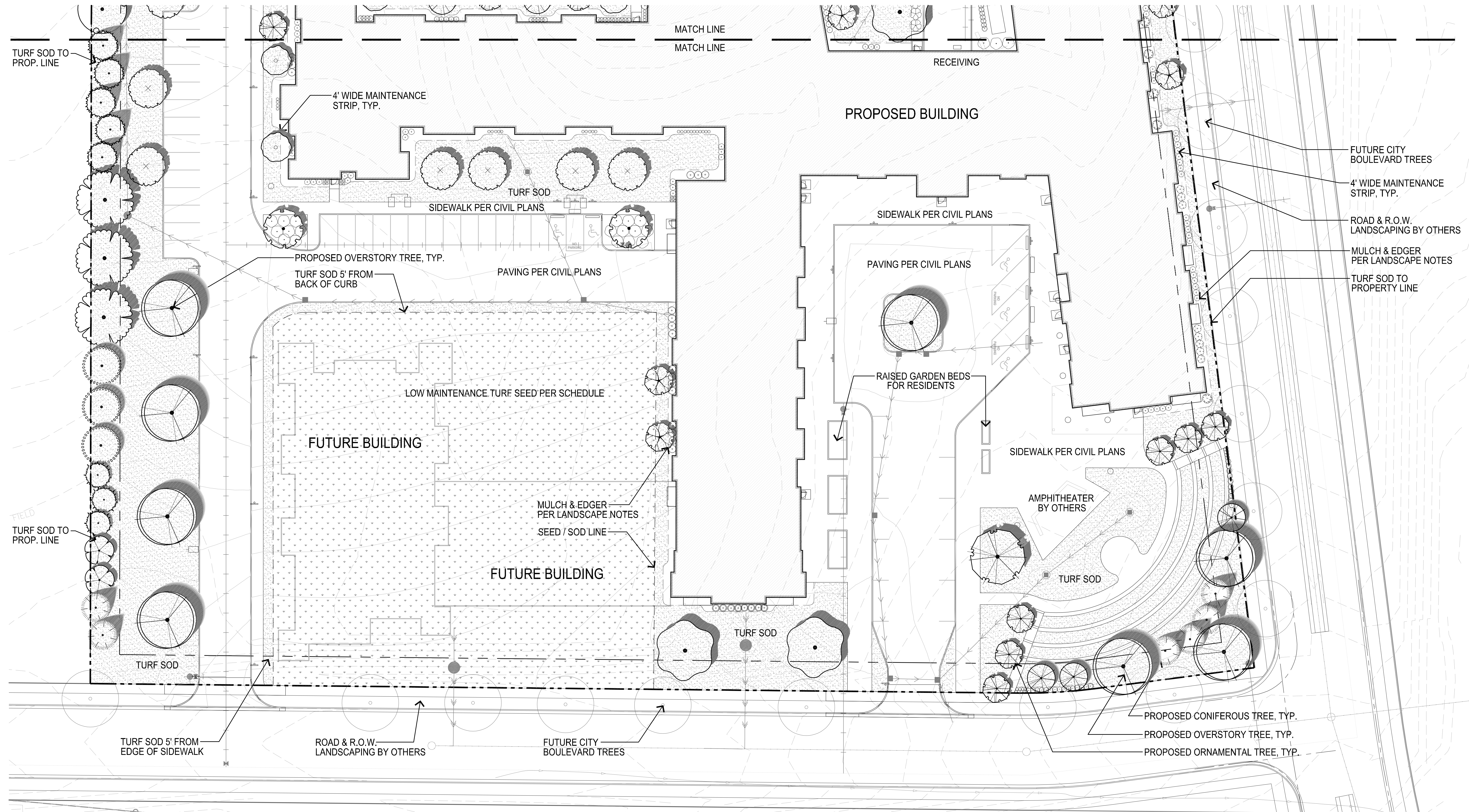
**Landscape Symbols:**

-  New Turf Sod Per Notes
-  New Low Maintenance Turf Seed Per Schedule

**Irrigation Note:**

An underground irrigation system is required as part of this project. All turf sod and landscape bed areas indicated per plan shall receive irrigation.

**RECEIVED**  
By Kendra Lindahl, AICP at 3:05 pm, Nov 16, 2021



**NOT FOR CONSTRUCTION**

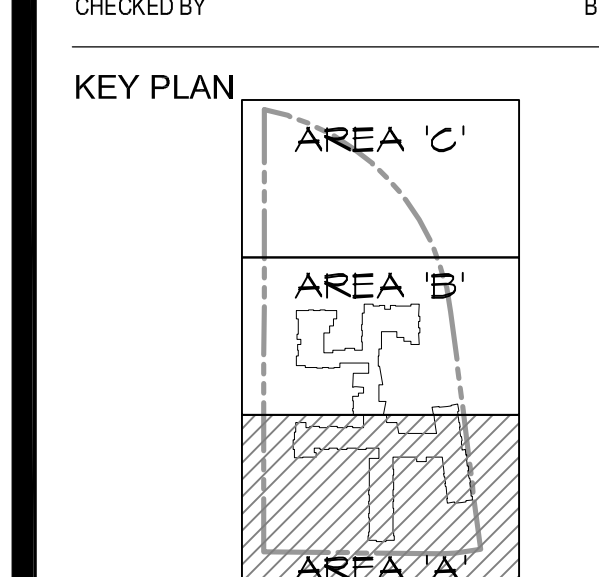
Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

Benjamin Hedberg, P.L.A.  
Landscape Architect

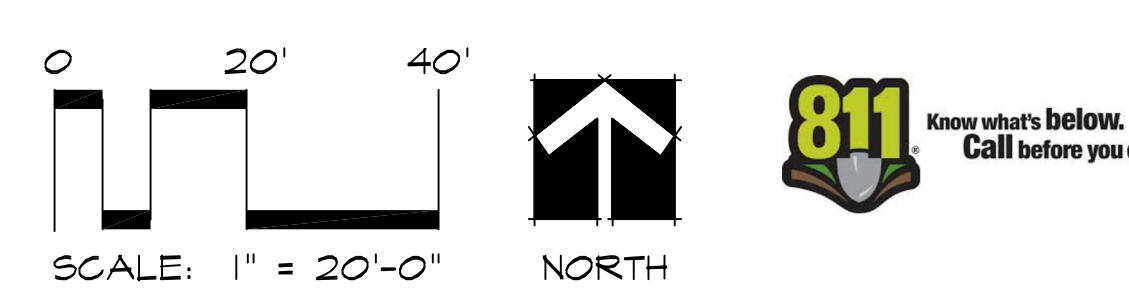
DATE: 11/16/2021  
PROJECT #: 20398  
PROJECT STATUS:

DRAWN BY: HL  
CHECKED BY: BH



LANDSCAPE PLAN  
AREA 'A'

L1.0





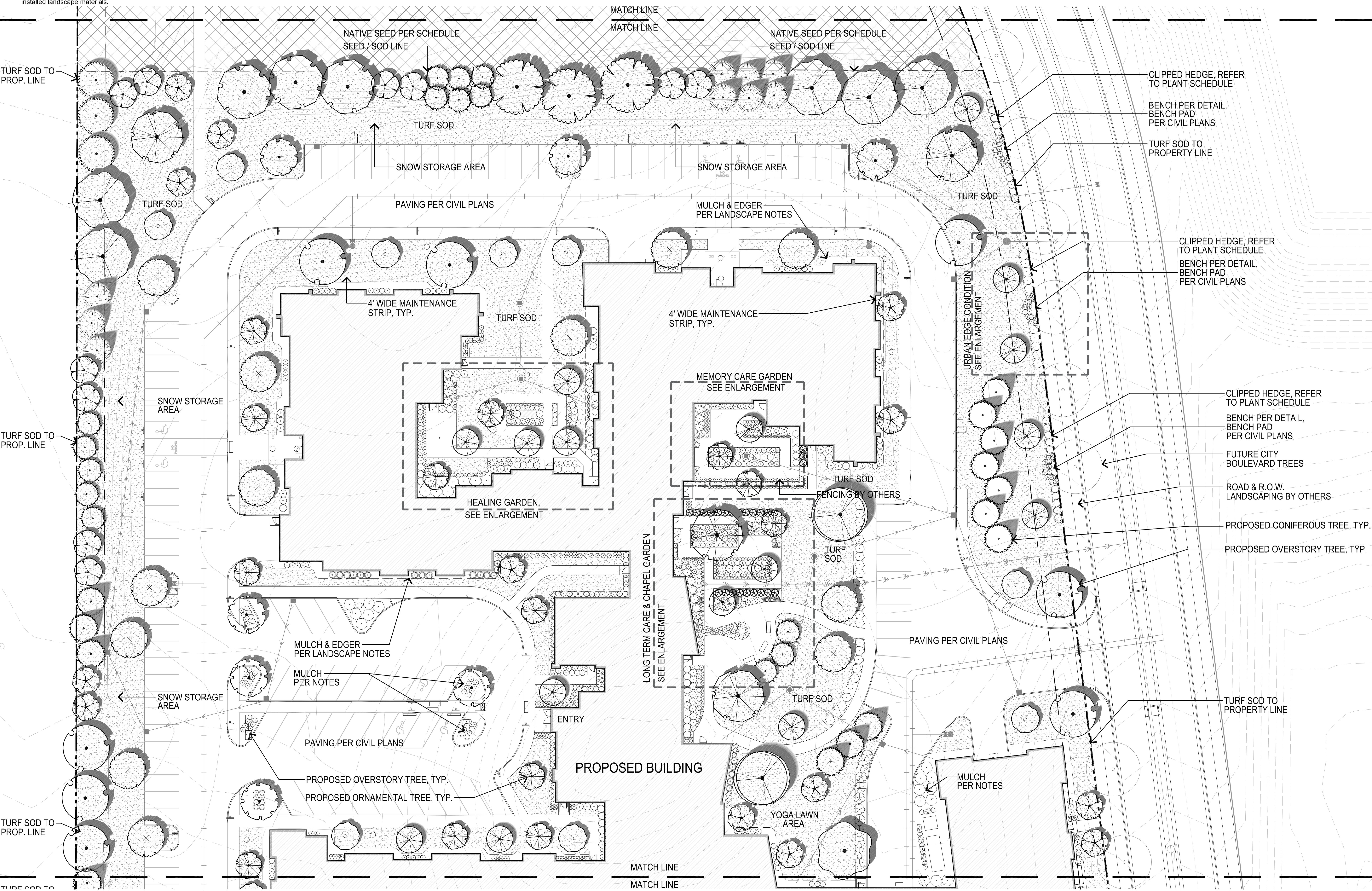
- General Notes:**
01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
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  07. Irrigation/Landscape contractor is required to coordinate irrigation sleeve installation with paving and earthwork contractors. Sleeves to be provided by the irrigation/landscape contractor.
  08. Refer to specifications regarding maintenance and warranty of newly installed landscape materials.

**Landscape Symbols:**

- New Turf Sod Per Notes
- New Native Seed Per Schedule

**Irrigation Note:**

An underground irrigation system is required as part of this project. All turf sod and landscape bed areas indicated per plan shall receive irrigation.



- CLIPPED HEDGE, REFER TO PLANT SCHEDULE
- BENCH PER DETAIL, BENCH PAD PER CIVIL PLANS
- TURF SOD TO PROPERTY LINE
- CLIPPED HEDGE, REFER TO PLANT SCHEDULE
- BENCH PER DETAIL, BENCH PAD PER CIVIL PLANS
- CLIPPED HEDGE, REFER TO PLANT SCHEDULE
- BENCH PER DETAIL, BENCH PAD PER CIVIL PLANS
- FUTURE CITY BOULEVARD TREES
- ROAD & R.O.W. LANDSCAPING BY OTHERS
- PROPOSED CONIFEROUS TREE, TYP.
- PROPOSED OVERSTORY TREE, TYP.

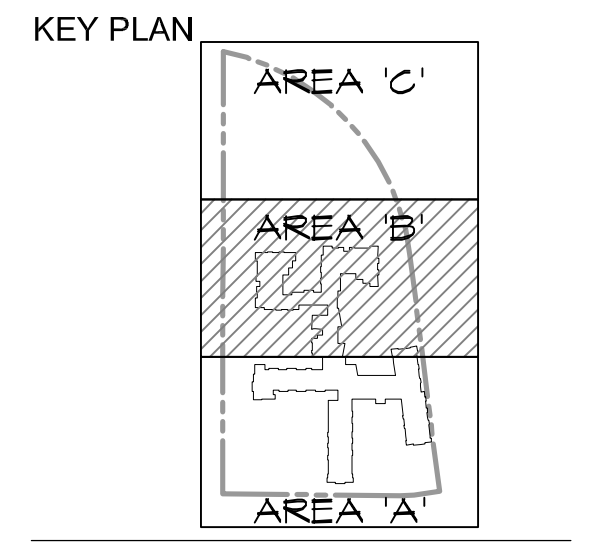


**NOT FOR CONSTRUCTION**

No.	Revisions Description	Date

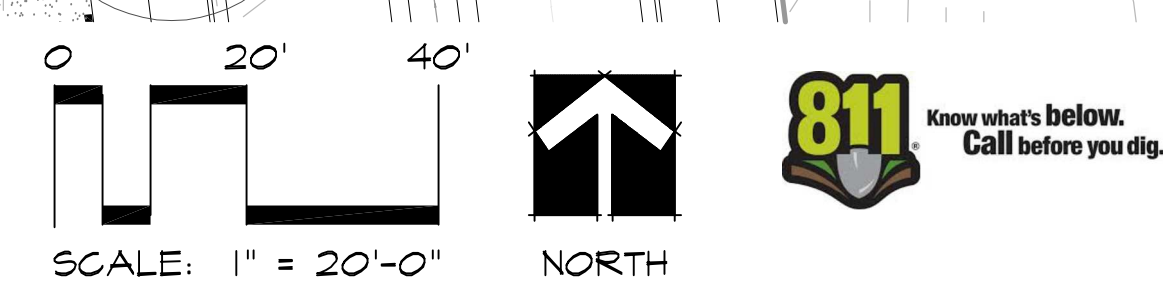
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

DATE	11/16/2021
PROJECT #	20398
PROJECT STATUS	
DRAWN BY	HL
CHECKED BY	BH



LANDSCAPE PLAN AREA 'B'

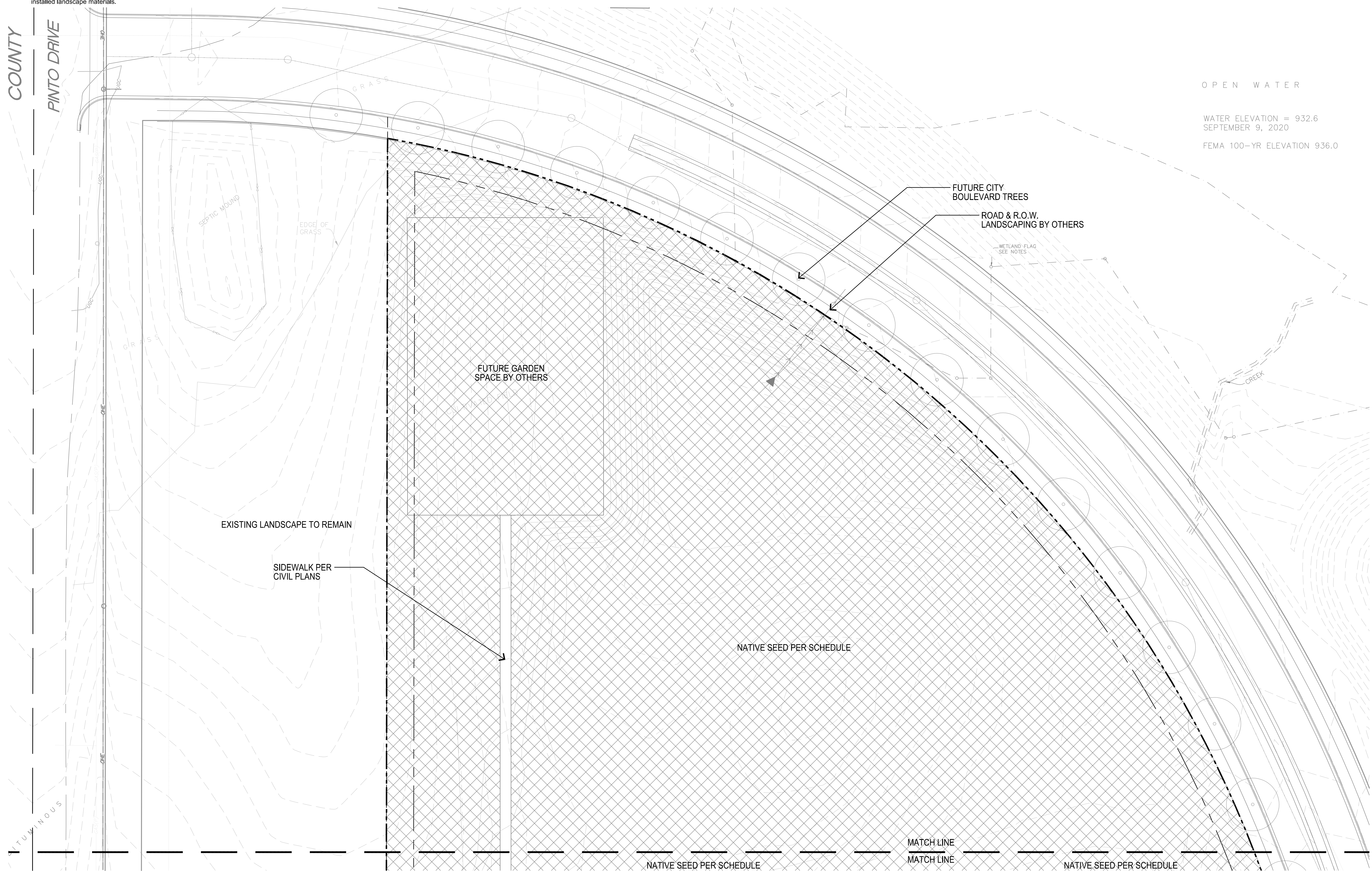
L2.0



- General Notes:**
01. Refer to Sheet L4.0+L5.0 for Details, Notes, and Schedules.
  02. See Civil Engineer's plans for site plan layout and dimensions.
  03. Protect adjacent landscape areas from damage during construction.
  04. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
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  - 08: Refer to specifications regarding maintenance and warranty of newly installed landscape materials.

**Landscape Symbols:**

New Native Seed Per Schedule



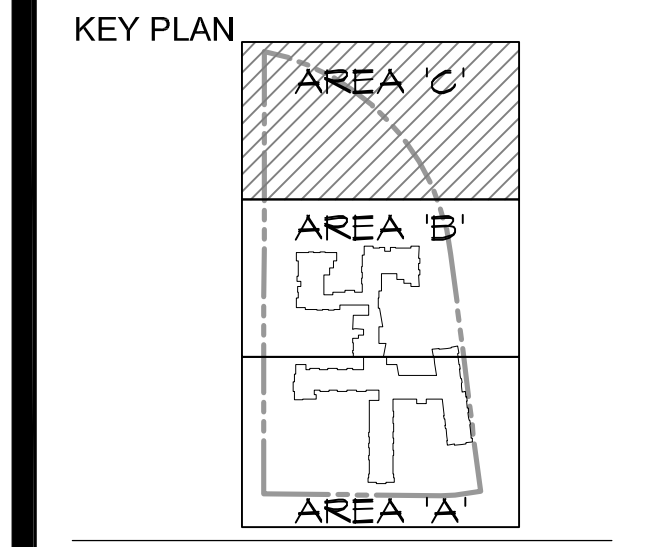
OPEN WATER  
WATER ELEVATION = 932.6  
SEPTEMBER 9, 2020  
FEMA 100-YR ELEVATION 936.0

**NOT FOR CONSTRUCTION**

Revisions		
No.	Description	Date

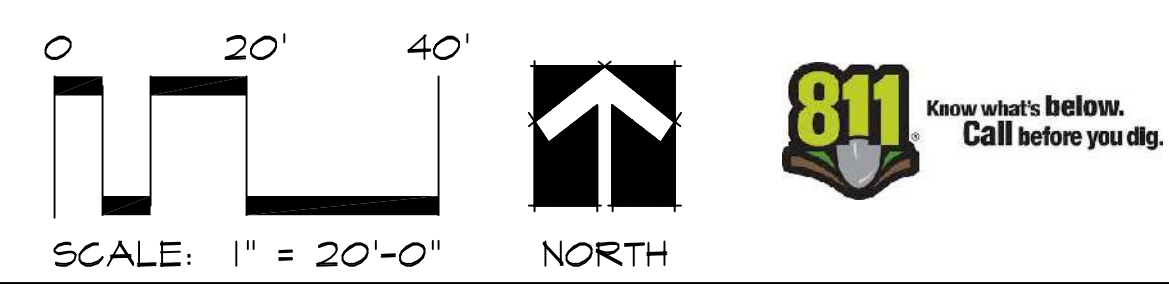
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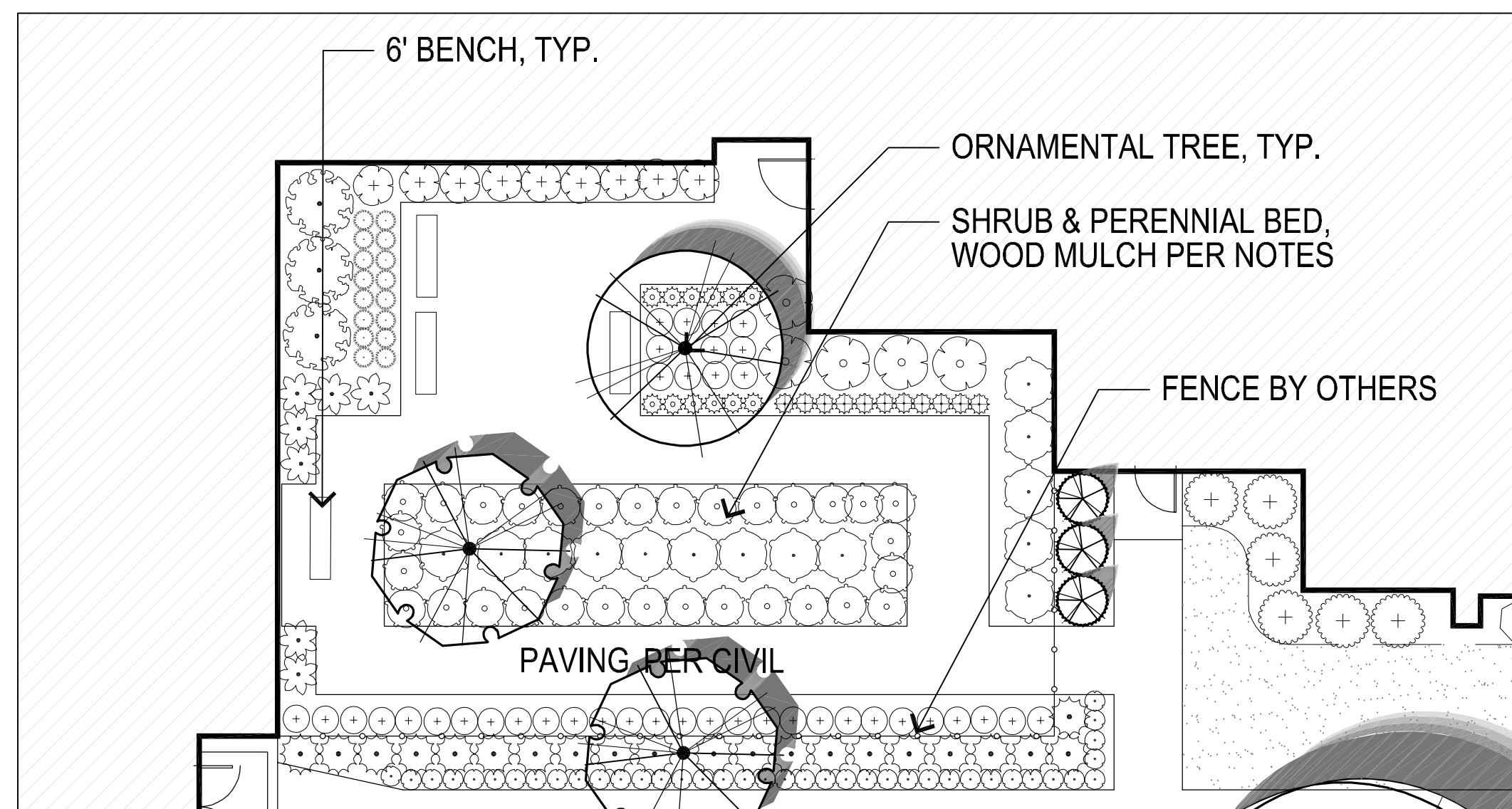
Benjamin Hedberg, P.L.A.  
DATE: 11/16/2021  
PROJECT #: 20398  
PROJECT STATUS:  
DRAWN BY: HL  
CHECKED BY: BH



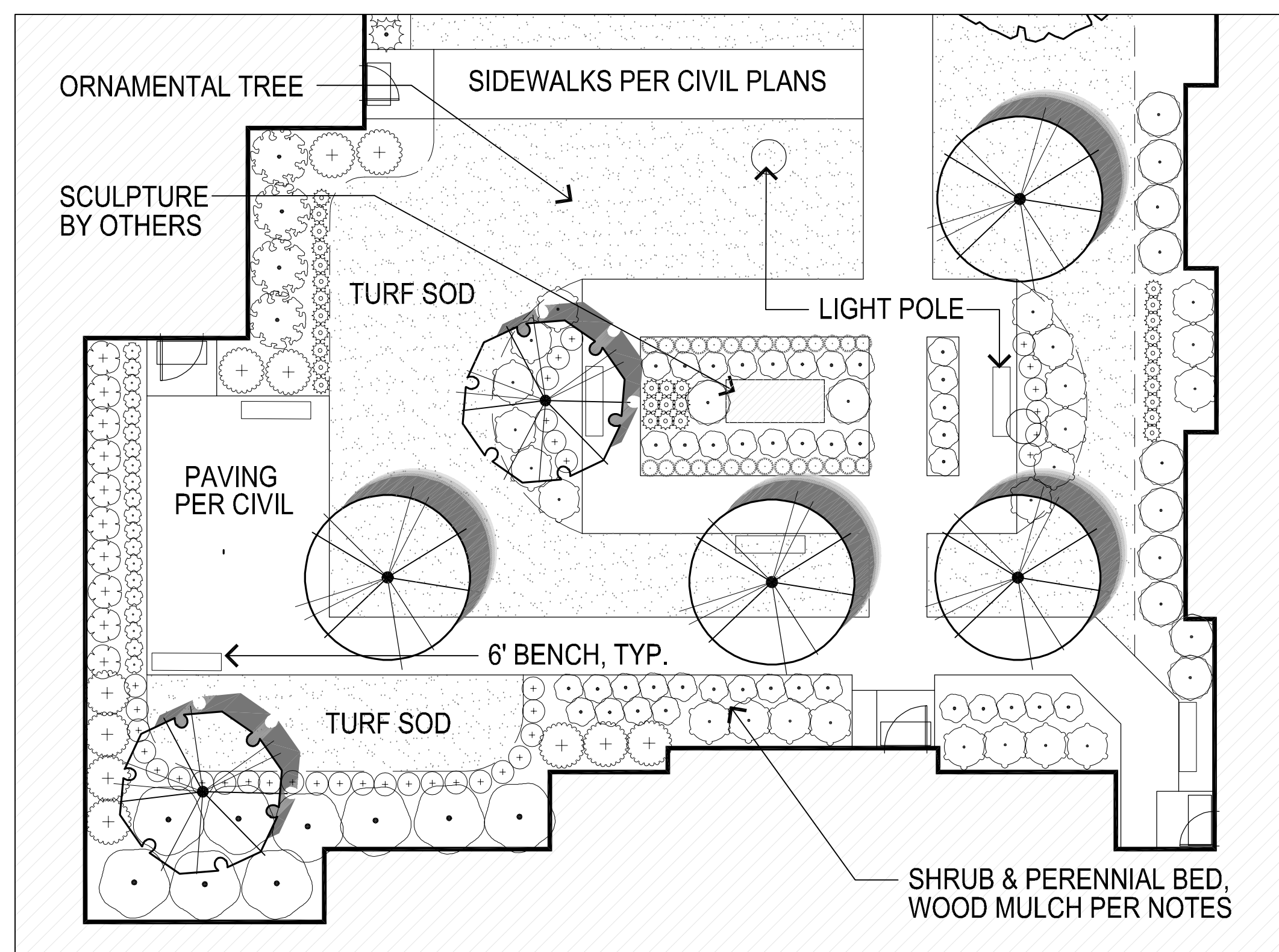
LANDSCAPE PLAN  
AREA 'C'

L3.0

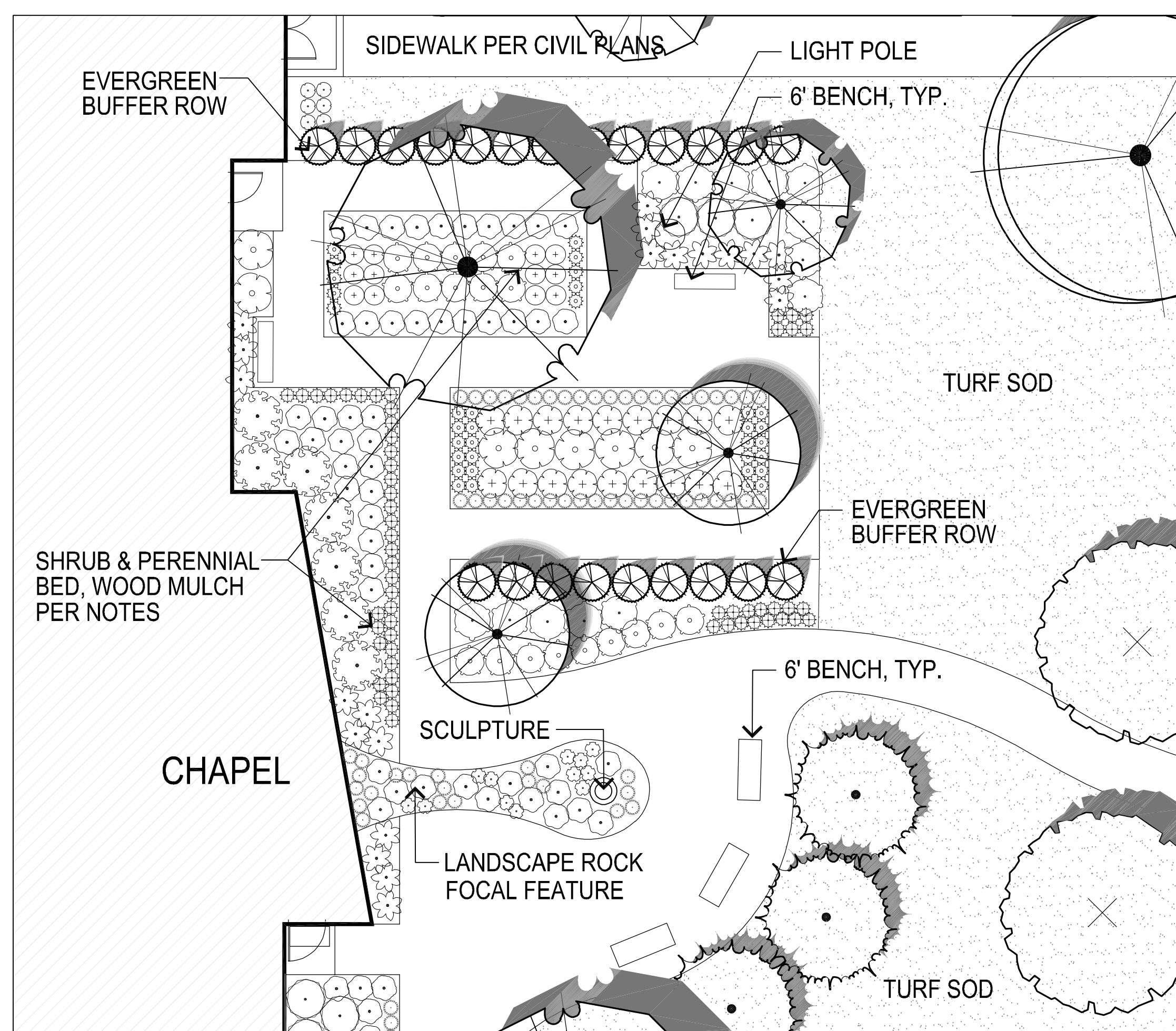




MEMORY CARE GARDEN ENLARGEMENT: SCALE: 1" = 10'-0"



HEALING GARDEN ENLARGEMENT: SCALE: 1" = 10'-0"



LONG TERM CARE & CHAPEL GARDEN ENLARGEMENT: SCALE: 1" = 10'-0"

PLANT SCHEDULE

DECIDUOUS OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	As	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5' Cal.	B&B	10	
	Br	Betula nigra	River Birch	2.5' Cal.	B&B	5	Clump Form
	Co	Celtis occidentalis	Common Hackberry	2.5' Cal.	B&B	6	
	Gm	Ginkgo biloba 'Magyar'	Magyar Maidenhair Tree	2.5' Cal.	B&B	6	
	Gd	Gleditsia triacanthos inermis 'Draves' TM	Street Keeper Honey Locust	2.5' Cal.	B&B	9	
	Gi	Gymnocladus dioica 'McKBranded' TM	Decal Kentucky Coffeetree	2.5' Cal.	B&B	3	
	Qc	Quercus	Crimson Spire Oak	2.5' Cal.	B&B	11	
	Ob	Quercus bicolor	Swamp White Oak	2.5' Cal.	B&B	3	Spring Dug
	Or	Quercus rubra	Northern Red Oak	2.5' Cal.	B&B	5	Spring Dug
	Tb	Tilia americana 'Boulevard'	Boulevard American Linden	2.5' Cal.	B&B	8	
	Ua	Ulmus x 'Accolade'	Accolade Elm	2.5' Cal.	B&B	18	
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Bf	Abies balsamea	Balsam Fir	6' Hgt.	B&B	17	
	Pd	Picea glauca 'Densata'	Black Hills Spruce	6' Hgt.	B&B	18	
	Pr3	Pinus nigra	Austrian Pine	6' Hgt.	B&B	15	
	Ta	Thuja occidentalis 'Art Boe' TM	North Pole Arborvitae	6' Hgt.	B&B	25	
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ao	Aesculus glabra	Ohio Buckeye	1.5' Cal.	B&B	12	
	Mp	Malus x 'Prairifire'	Prairifire Crab Apple	1.5' Cal.	B&B	16	
	Ms	Malus x 'Spring Snow'	Spring Snow Crab Apple	1.5' Cal.	B&B	19	
	Si	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5' Cal.	B&B	19	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Am	Aronia melanocarpa 'Morton' TM	Iroquois Beauty Black Chokeberry	5 gal.	Pot	61	
	Cr2	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	3 gal.	Pot	37	
	Ci	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	3 gal.	Pot	11	
	Cl	Cotoneaster lucidus	Shiny Cotoneaster	5 gal.	Pot	20	30" Hgt. Minimum, Clip to Hedge at Install
	DI	Diervilla lonicera	Dwarf Bush Honeysuckle	3 gal.	Pot	64	
	Ef	Euonymus alatus 'Fire Ball'	Fire Ball Burning Bush	3 gal.	Pot	21	
	Ec	Euonymus fortunei 'Canadale Gold'	Canadale Gold Euonymus	3 gal.	Pot	50	
	Ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	57	
	Jf	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	Pot	28	
	Rg	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	Pot	43	
	Ra	Ribes alpinum	Alpine Currant	5 gal.	Pot	33	30" Hgt. Minimum, Clip to Hedge at Install
	Sa	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	3 gal.	Pot	45	
	Sm3	Spiraea x bumalda 'Goldmound'	Gold Mound Spiraea	3 gal.	Pot	46	
	Sm2	Syringa patula 'Miss Kim'	Miss Kim Lilac	3 gal.	Pot	19	
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Af	Agastache foeniculum	Blue Giant Hyssop	4"	Pot	103	
	Am2	Allium x 'Millenium'	Millenium Ornamental Chive	1 gal.	Pot	68	
	Ba	Baptisia australis	Blue Wild Indigo	4"	Pot	26	
	Hh	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 gal.	Pot	147	
	Hp	Heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	1 gal.	Pot	102	
	Hg	Hosta x 'Guacamole'	Guacamole Hosta	2 gal.	Pot	87	
	Lb	Leucanthemum x superbum 'Becky'	Shasta Daisy	1 gal.	Pot	114	
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	162	
	Mp2	Miscanthus sinensis 'Purpureus'	Flame Grass	1 gal.	Pot	87	
	Ss2	Schizachyrium scoparium 'Standing Ovation'	Little Bluestem Grass	1 gal.	Pot	129	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS

**SEEDING NOTE:** Requirements of the seed installer including the following:

- removal of weeds ahead of seeding
- fine grading ahead of seeding
- tilling ahead of seeding
- temporary irrigation watering after seeding
- 3 years of maintenance under base bid

NATIVE SEED TYPE:

Native Seed areas shall be: MndOT #35-221 Dry Prairie General, seeded into the topsoil layer at 50.00 lbs per acre. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications. Add an additional 20.00 lbs per acre of MndOT #21-111 Oats Cover Crop to the mix below.

LOW MAINTENANCE TURF SEED TYPE:

Where noted on the plan, Low Maintenance seed areas shall be: Remy Turf Products 'CUT LESS' Low Growing Turf seed mix, drilled into the topsoil layer at 260.00 lbs per acre. Use a Brillion drill with dual cultipacker. Following seeding, cover soil with a hydromulch consisting of natural wood or paper fiber, water, and M-Binder at 100lbs per acre. Submit seed mix for approval. Grading and Erosion Control per Engineer's Plans and Specifications. Contractor is required to maintain low maintenance turf per native seed maintenance requirements. See specifications.

- 20% Cardinal Creeping Red Fescue
- 20% Jetty Hard Fescue
- 20% Blue Ray Sheep Fescue
- 20% Boreal Creeping Red Fescue
- 20% Sonar Chewings Fescue

NATIVE SEED REQUIRED MAINTENANCE - 3 YRS:

Below is an outline of required maintenance. See specifications for full details and exact requirements.

Native Grass and Forb Mixtures (mixtures beginning with the number 3)

- Year 1 Establishment (spring seeding):**
- 1) Prepare site - Late April - May
  - 2) Seed - May 1 - June 1
- Maintenance:**
- 1) Mow (6-8 inches) - every 30 days after planting until September 30.
  - 2) Weed Control - mowing should help control annual weeds. Spot spray thistles, etc.
- Establishment (fall seeding):**
- 1) Prepare site - Late August - early September
  - 2) Seed - late September to freeze-up
- Maintenance (following season):**
- 1) Mow (6-8 inches) - once in May, June, and July
  - 2) Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.

- Evaluation:**
- 1) Cover crop growing within 2 weeks of planting (except dormant plantings).
  - 2) Seedlings spaced 1-6 inches apart in drill rows.
  - 3) Native grass seedlings may only be 4-6 inches tall.
  - 4) If there is a flush of growth from foxtail etc., mow as necessary.

- Year 2 Maintenance:**
- 1) Mow (6-8 inches) one time between June 1 - August 15 before weeds set seed.
  - 2) Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.
  - 3) Some sites may not require much maintenance the second year.
- Evaluation:**
- 1) Cover crop will be gone unless winter wheat was used in a fall planting.
  - 2) Grasses forming clumps 1-6 inches apart in drill rows, but still short.
  - 3) Some flowers should be blooming (black-eyed Susans, bergamot, etc.).
  - 4) If there is a flush of growth from foxtail etc., mow site.

- Year 3 Maintenance:**
- 1) Mow only if necessary.
  - 2) Weed Control - Spot spray thistles, etc.
  - 3) Sites usually do not require much maintenance the third year.
- Evaluation:**
- 1) Planting should begin looking like a prairie - tall grasses, flowers, etc.

- Long-term Maintenance:**
- 1) Weed Control - Spot spray thistles, etc.
  - 2) Burning (3-5 year rotation) alternate spring and fall if possible.
  - 3) Haying (3-5 year rotation) late summer or early fall. Alternate with burning (may substitute for burning).
  - 4) Burning two years in a row will really "clean up" rough-looking sites.

NATIVE SEEDING INSTALLATION METHOD:

**Drop Seeding Onto Tilled Sites**  
This is the "standard" method for seeding on prepared sites such as those on construction projects.

- a) Site Preparation:** The site should be prepared by loosening topsoil to a minimum depth of 3 inches.
- b) Fertilizer:** Use a fertilizer analysis based on a soil test or a general recommendation is a 10-10-10 (NPK) commercial grade analysis at 200 lbs/acre.
- c) Seed Installation:** Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a cultipacker assembly to ensure seed-to-soil contact.
- d) Seeding Rates:** Rates are specified in the mixture tabulation for the specified mix.
- e) Packing:** If the drop seeder is not equipped with a cultipacker, the site should be cultipacked following the seeding to ensure seed-to-soil contact.
- f) Mulch:** Cover soil with a hydromulch consisting of natural wood fiber or paper fiber, water, and M-Binder at 100 lbs per acre.

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

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Benjamin Hedberg, P.L.A.  
Date: 11/16/2021  
Project #: 20398

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PROJECT STATUS:

DRAWN BY: HL  
CHECKED BY: BH

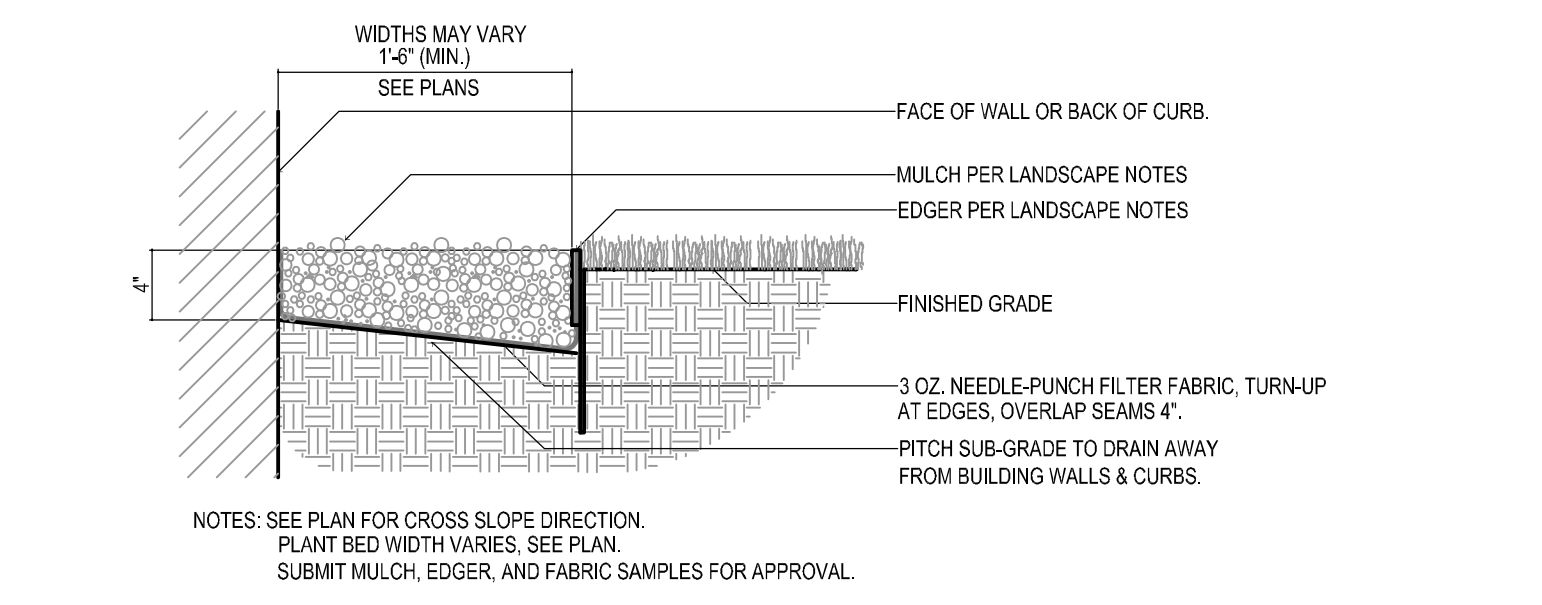
KEY PLAN

LANDSCAPE DETAILS

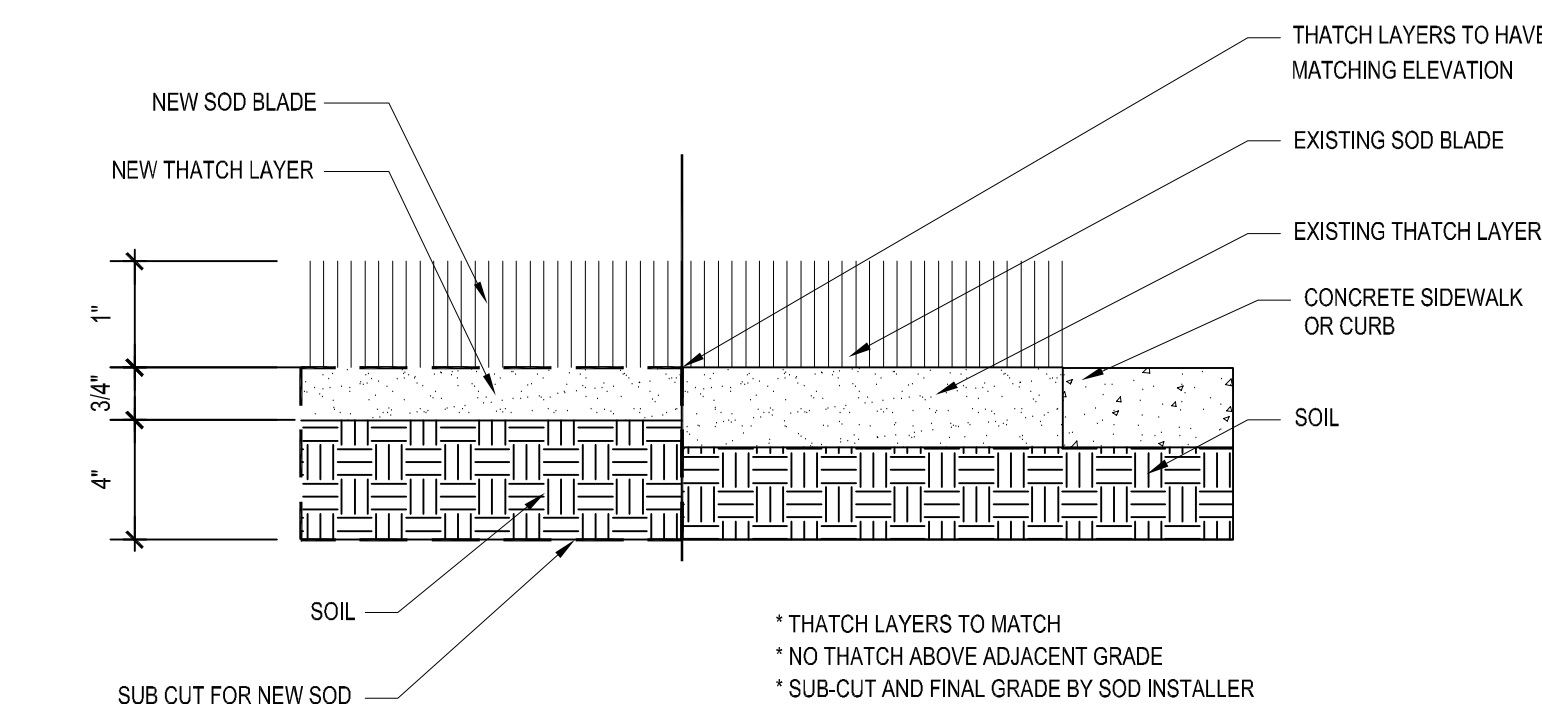
L4.0

**Landscape Notes & Requirements:**

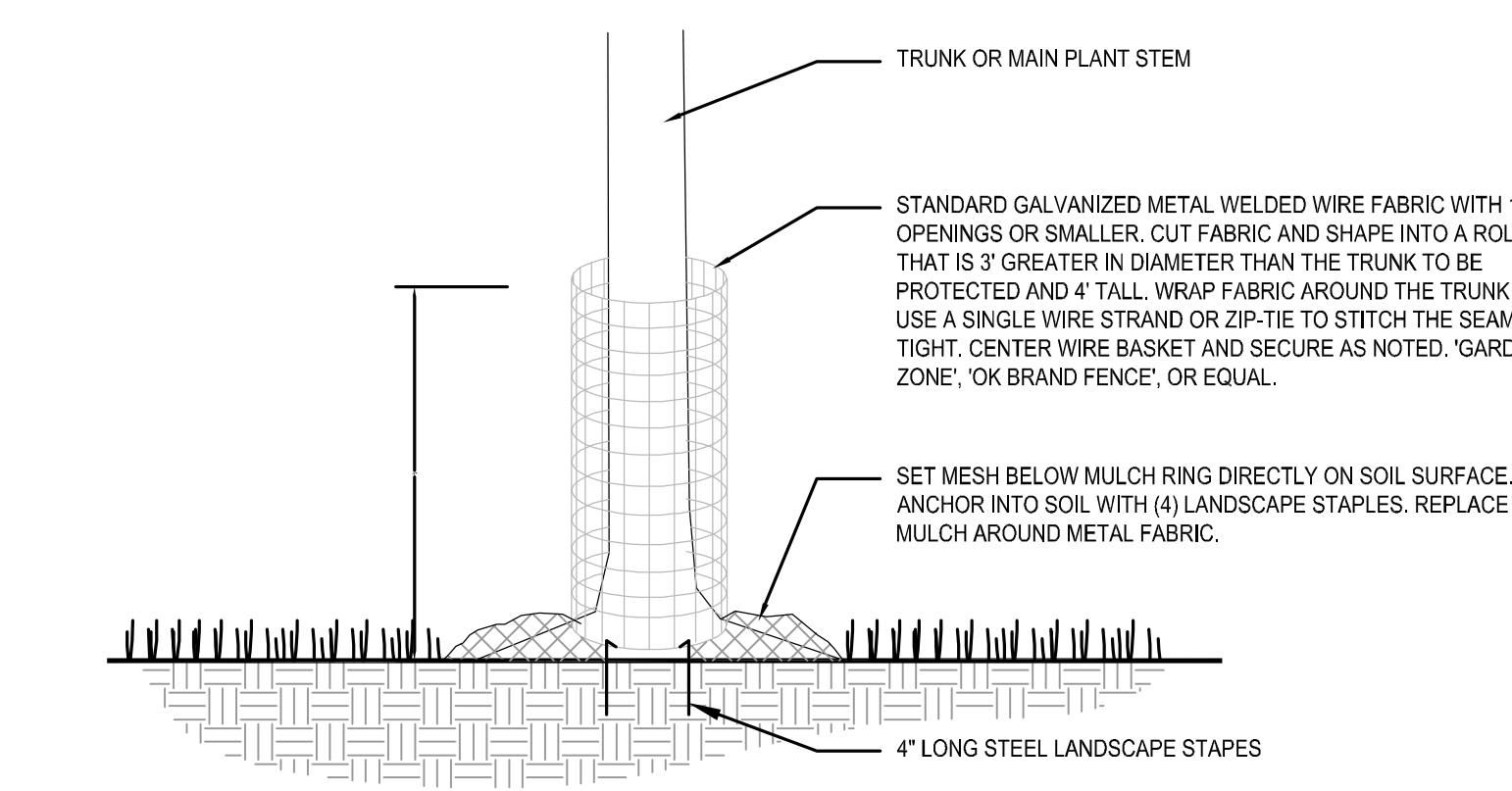
- Tree saucer for individual trees outside of a plant bed to be four inches (4") depth natural single-shred Western Red Cedar mulch. Install per tree planting detail. Dyed mulch is not accepted. Do not place mulch against tree trunk. Remove wire and burrap from top third of root ball before final soil back-fill and mulch.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until time of written owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Irrigation:** The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree, turf and shrub planting areas. Use commercial-grade irrigation equipment and provide product cut-sheets and (4) copies of the proposed layout plan to the landscape architect for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valving locations with the mechanical engineer, architect, & general contractor. Include 1" fall shut-down and spring start-up in irrigation bid. Sch 80 PVC sleeves necessary under paved areas to be coordinated between the landscape contractor, irrigation contractor, excavator, paving contractor, and General Contractor.
- All edger shall be professional grade Coyote perforated aluminum industrial edging, 1/2" thickness with black finish. Anchor every 18" on-center (minimum). Submit sample.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Mulch:** Unless otherwise noted/indicated, plant beds shall receive 4" depth of locally available 3/8" limestone rock mulch over fabric weed mat, per detail. Submit mulch sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses. Where wood mulch is noted per plan (in the Healing and Memory Care Gardens only), plant beds shall receive 4" depth locally available natural single-shred Western Red Cedar Mulch over fabric weed mat, per detail. Submit sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses. Dyed mulch is not accepted.
- All planting, seeding, and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, slicks, construction debris, etc.
- Turf Sodding and Seeding activity shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. Turf Seed installation to include TWO years of maintenance in the bid price. This includes mowing, weeding, & spot-spraying invasive weeds no less than 3 times per year. Maintenance also includes re-seeding bare patches larger than 6" in any direction, and fertilization no less than twice per calendar year. An acceptable stand of seeded turf is lush, full, and weed-free.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- See Site and Civil plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.
- Topsoil Requirements:** All graded areas of the site that are designated on the plan set for turf sod shall have no less than 6" of imported top soil, meeting MnDOT classifications for planting soil for trees, shrubs, and turf. Slope away from building.
- Percolation Testing:** Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.



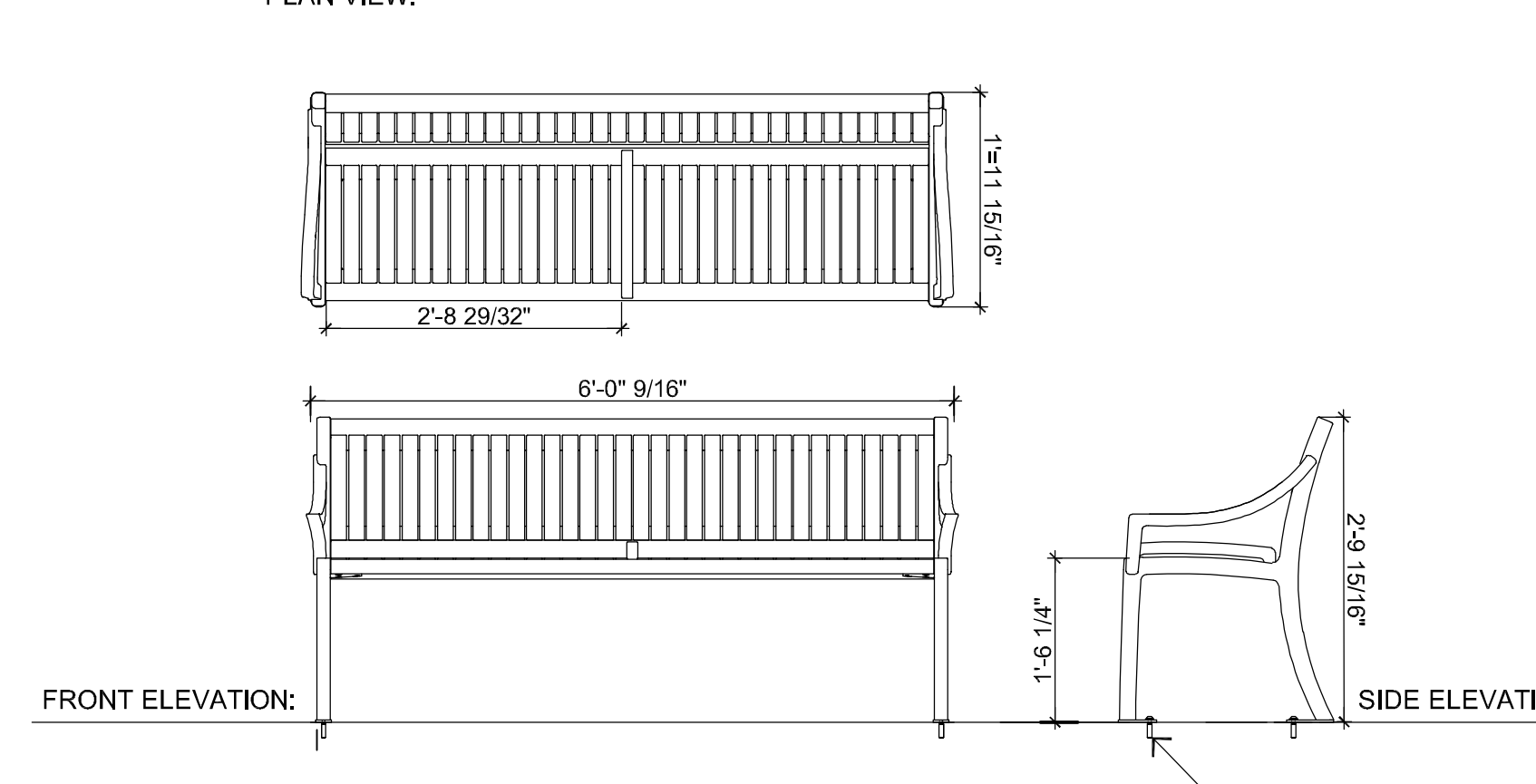
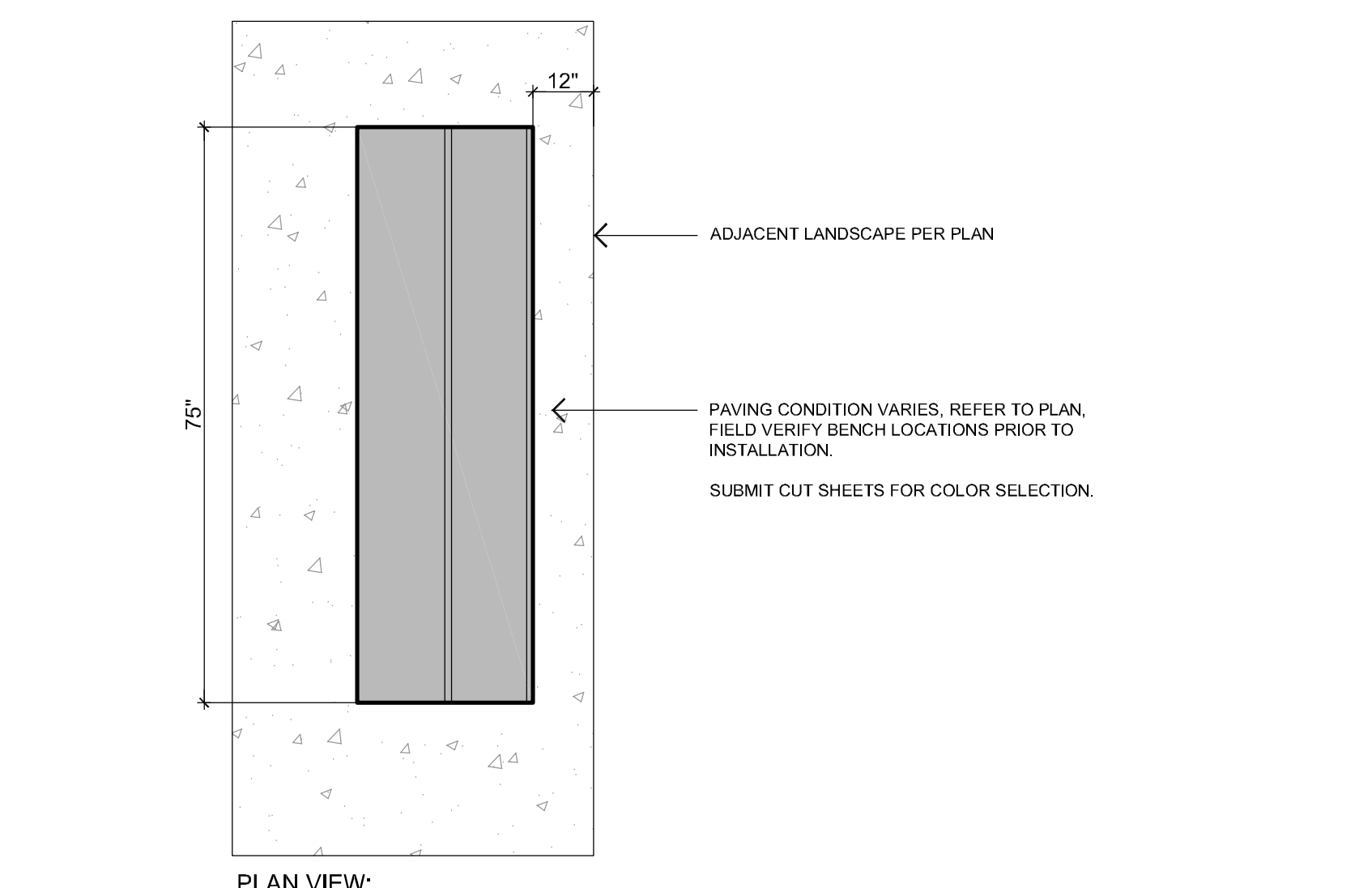
**1 TYP. MULCH DETAIL**  
NOT TO SCALE



**2 NEW SOD TO EXISTING SOD DETAIL**  
NOT TO SCALE

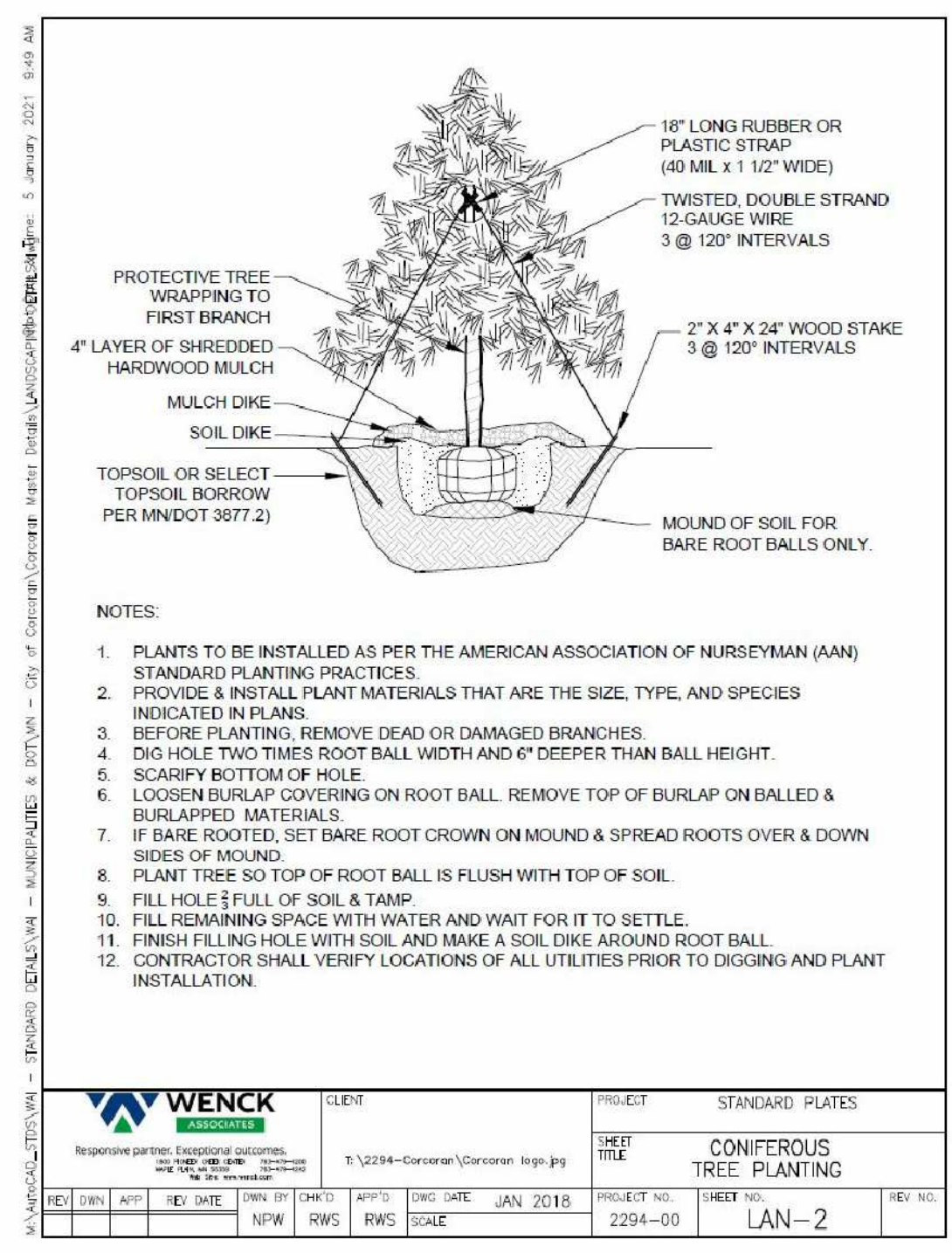


**3 TREE TRUNK DEER & RODENT PROTECTION**  
NOT TO SCALE

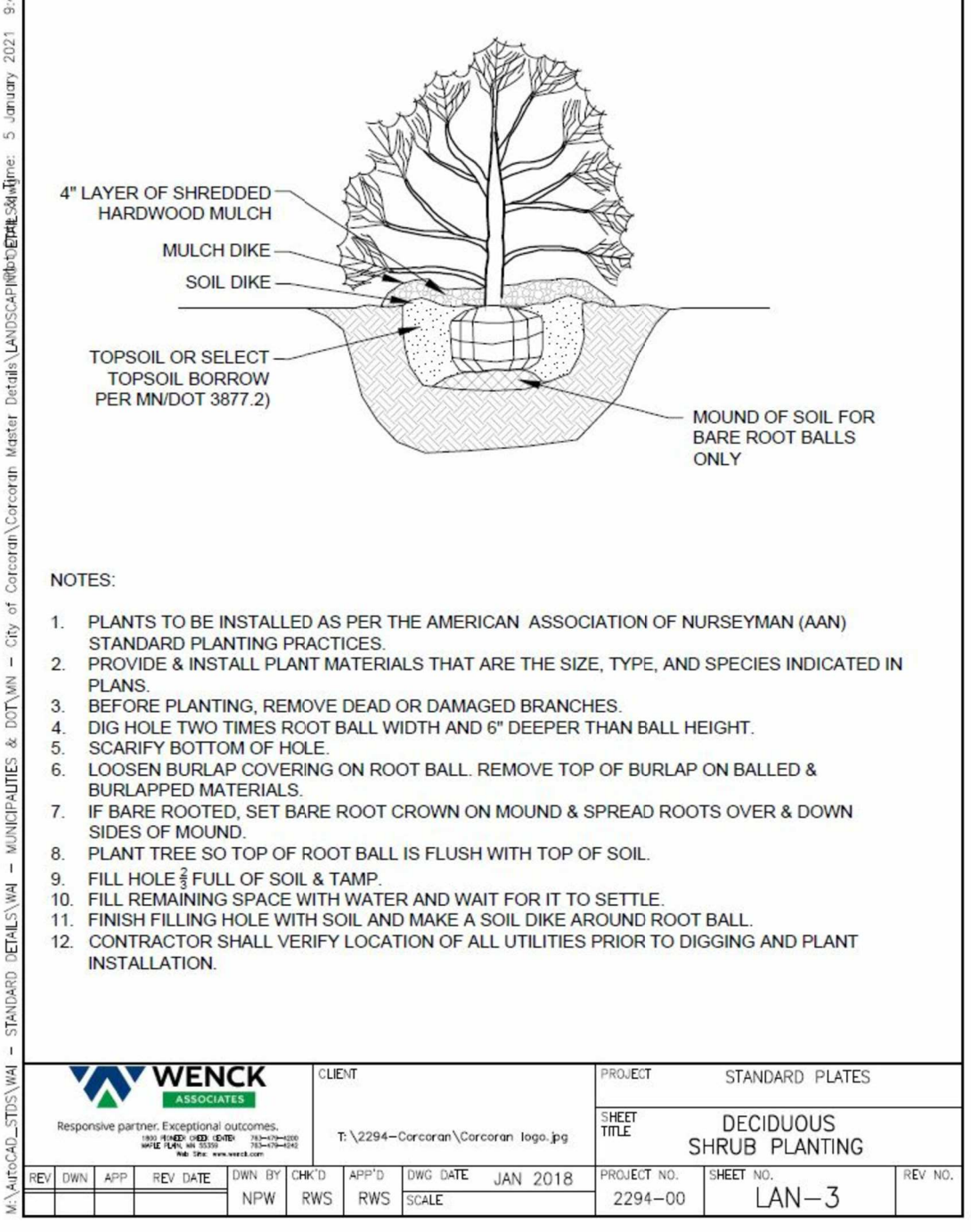


ASSEMBLY: THE BENCH REQUIRES SOME ASSEMBLY. STAINLESS STEEL HARDWARE IS INCLUDED.  
 PRODUCT: 6'-0" CORDIA BENCH  
 DESCRIPTION: PRODUCT ID: SBOR-72BW www.forms-surfaces.com  
 FRAME: POWDER COAT COLOR: DARK CORTEN  
 SEAT & BACK: FSC 100% JATOPA HARDWOOD SLATS  
 FURNISH AND INSTALL (4) BOLTS PER BENCH, DRILL INTO NEW CONCRETE AND INSTALL QUICK-BOLTS WITH TAMPER-PROOF NUTS, EXPOSE NO MORE THAN 25" OF THREADS.  
 NOTES:  
 1. INSTALL SURFACE MOUNT BENCHES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
 2. SUBMIT PRODUCT DATA SHEET FOR FINAL APPROVAL, PRIOR TO ORDERING.  
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.  
 4. SITE FURNISHINGS CONTRACTOR TO INCLUDE ASSEMBLY, MOUNTING HARDWARE, AND LABOR IN BID.

**4 6' BENCH DETAIL**  
NOT TO SCALE

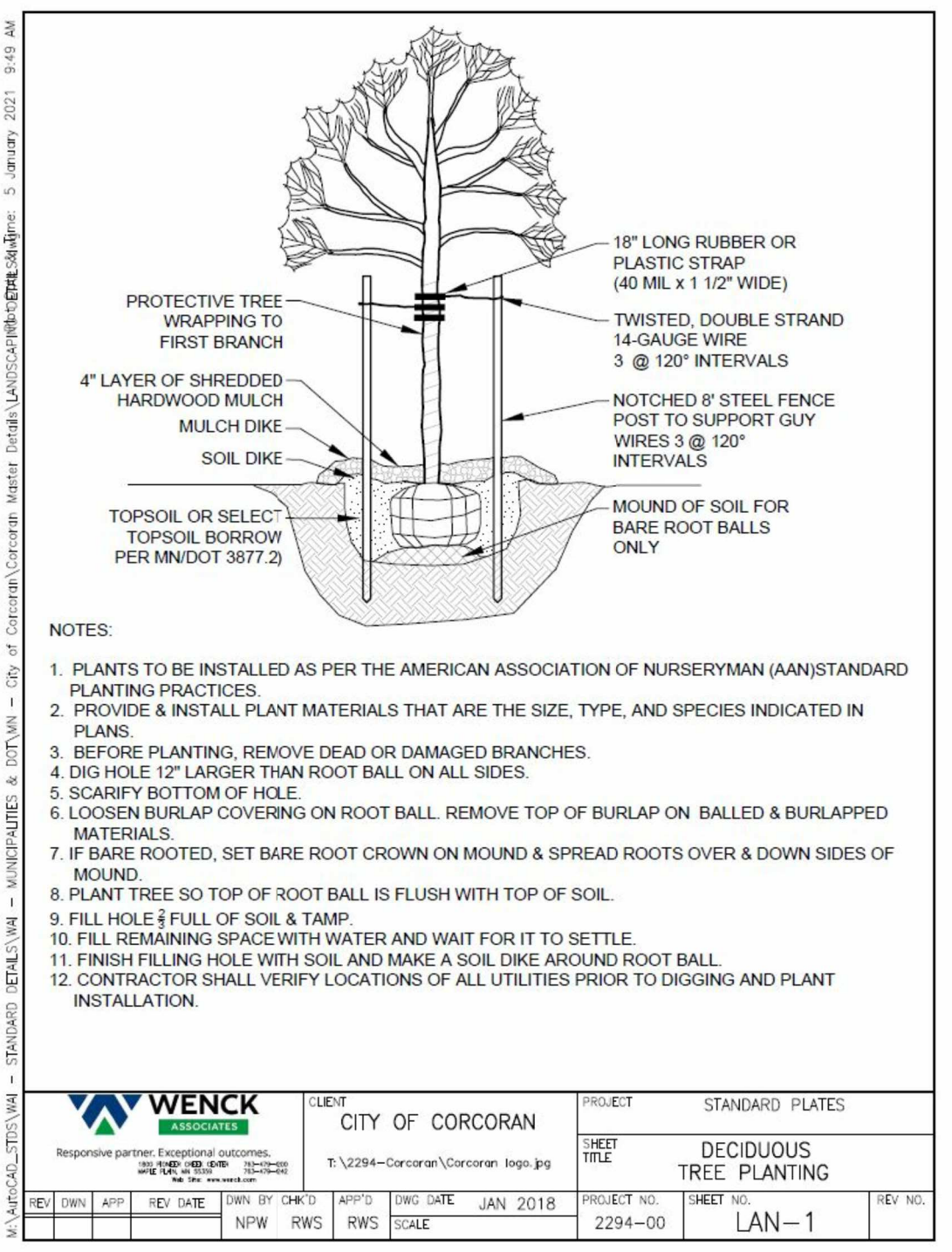


NOTES:  
 1. PLANTS TO BE INSTALLED AS PER THE AMERICAN ASSOCIATION OF NURSEYMAN (AAN) STANDARD PLANTING PRACTICES.  
 2. PROVIDE & INSTALL PLANT MATERIALS THAT ARE THE SIZE, TYPE, AND SPECIES INDICATED IN PLANS.  
 3. BEFORE PLANTING, REMOVE DEAD OR DAMAGED BRANCHES.  
 4. DIG HOLE TWO TIMES ROOT BALL WIDTH AND 6" DEEPER THAN BALL HEIGHT.  
 5. SCARIFY BOTTOM OF HOLE.  
 6. LOOSEN BURLAP COVERING ON ROOT BALL. REMOVE TOP OF BURLAP ON BALLED & BURLAPPED MATERIALS.  
 7. IF BARE ROOTED, SET BARE ROOT CROWN ON MOUND & SPREAD ROOTS OVER & DOWN SIDES OF MOUND.  
 8. PLANT TREE SO TOP OF ROOT BALL IS FLUSH WITH TOP OF SOIL.  
 9. FILL HOLE FULL OF SOIL & TAMP.  
 10. FILL REMAINING SPACE WITH WATER AND WAIT FOR IT TO SETTLE.  
 11. FINISH FILLING HOLE WITH SOIL AND MAKE A SOIL DIKE AROUND ROOT BALL.  
 12. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO DIGGING AND PLANT INSTALLATION.

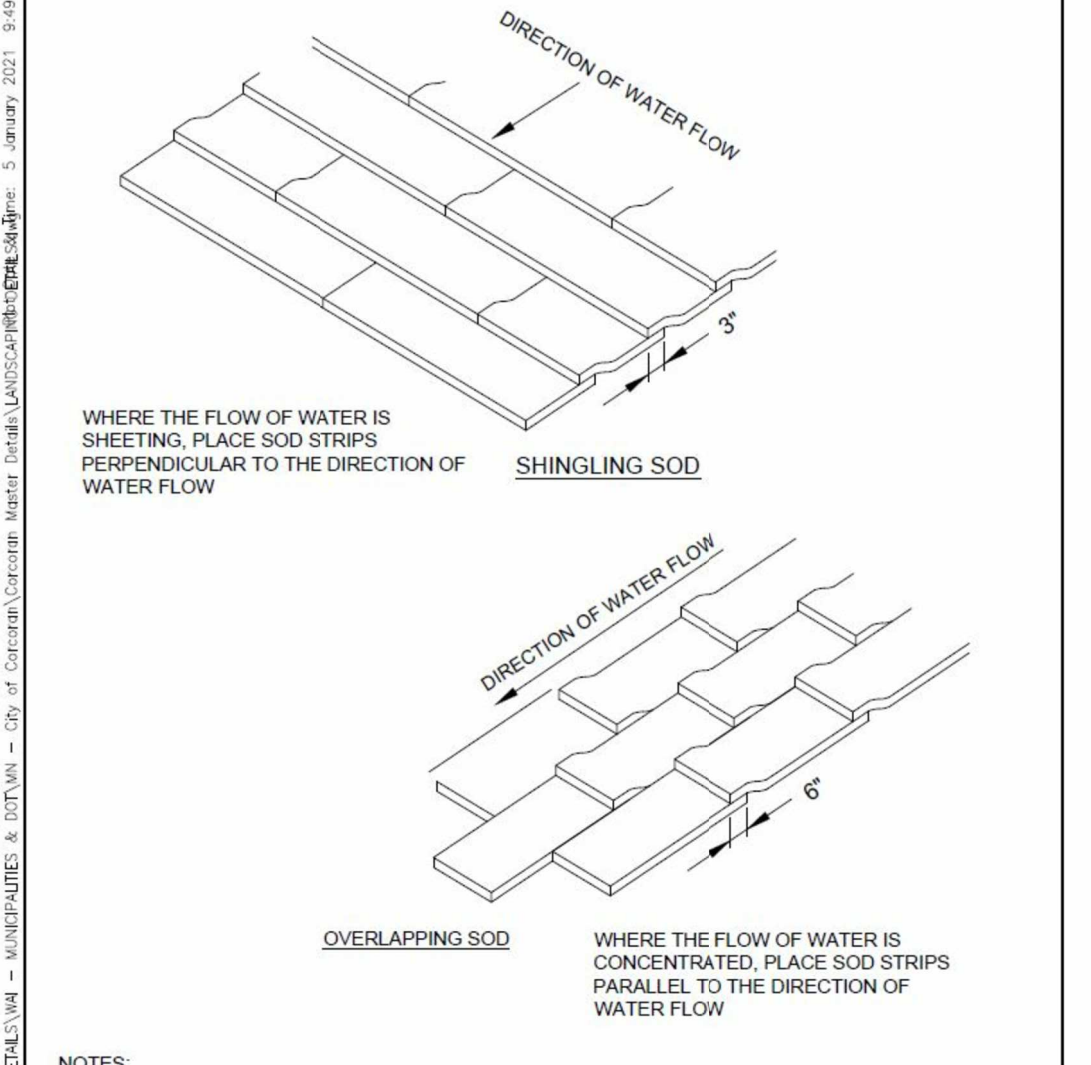


NOTES:  
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 3. BEFORE PLANTING, REMOVE DEAD OR DAMAGED BRANCHES.  
 4. DIG HOLE TWO TIMES ROOT BALL WIDTH AND 6" DEEPER THAN BALL HEIGHT.  
 5. SCARIFY BOTTOM OF HOLE.  
 6. LOOSEN BURLAP COVERING ON ROOT BALL. REMOVE TOP OF BURLAP ON BALLED & BURLAPPED MATERIALS.  
 7. IF BARE ROOTED, SET BARE ROOT CROWN ON MOUND & SPREAD ROOTS OVER & DOWN SIDES OF MOUND.  
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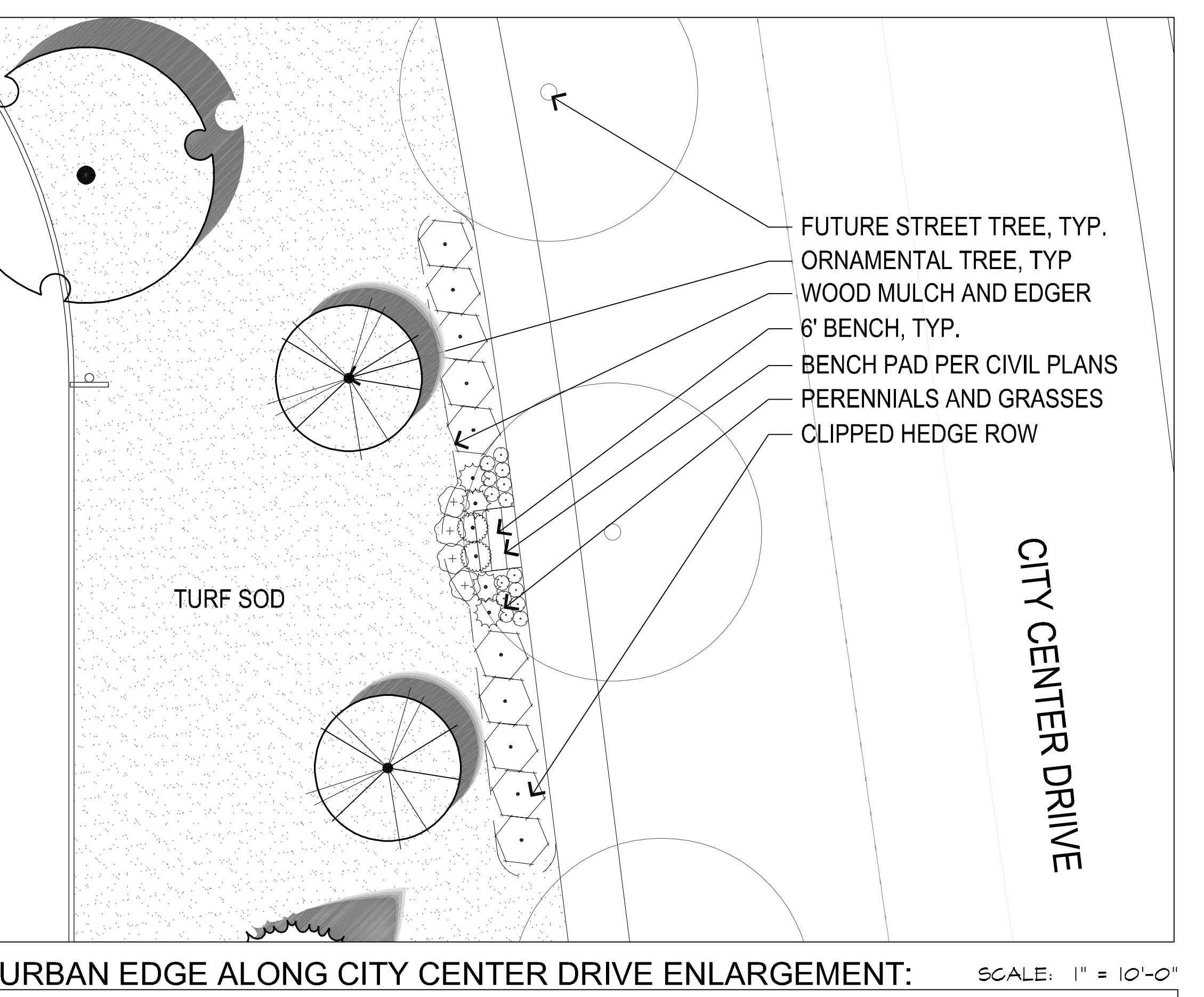
**Note:** City standard landscape installation details shown per City requirement. Contractor to use industry best practices at install.



NOTES:  
 1. PLANTS TO BE INSTALLED AS PER THE AMERICAN ASSOCIATION OF NURSEYMAN (AAN) STANDARD PLANTING PRACTICES.  
 2. PROVIDE & INSTALL PLANT MATERIALS THAT ARE THE SIZE, TYPE, AND SPECIES INDICATED IN PLANS.  
 3. BEFORE PLANTING, REMOVE DEAD OR DAMAGED BRANCHES.  
 4. DIG HOLE 12" LARGER THAN ROOT BALL ON ALL SIDES.  
 5. SCARIFY BOTTOM OF HOLE.  
 6. LOOSEN BURLAP COVERING ON ROOT BALL. REMOVE TOP OF BURLAP ON BALLED & BURLAPPED MATERIALS.  
 7. IF BARE ROOTED, SET BARE ROOT CROWN ON MOUND & SPREAD ROOTS OVER & DOWN SIDES OF MOUND.  
 8. PLANT TREE SO TOP OF ROOT BALL IS FLUSH WITH TOP OF SOIL.  
 9. FILL HOLE FULL OF SOIL & TAMP.  
 10. FILL REMAINING SPACE WITH WATER AND WAIT FOR IT TO SETTLE.  
 11. FINISH FILLING HOLE WITH SOIL AND MAKE A SOIL DIKE AROUND ROOT BALL.  
 12. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO DIGGING AND PLANT INSTALLATION.



NOTES:  
 1. BEFORE LAYING SOD, BAKE SOIL TO BREAK CLODS & REMOVE DEBRIS.  
 2. INSURE CONTACT BETWEEN SOD AND NATIVE SOIL.



**URBAN EDGE ALONG CITY CENTER DRIVE ENLARGEMENT:** SCALE: 1" = 10'-0"

**LANDSCAPE DETAILS, NOTES, & SCHEDULES:**

**ST. THERESE**

8200 COUNTY ROAD 116  
CORCORAN, MN 55340



6120 East Brown Drive, Suite 700  
Minneapolis, MN 55426  
Phone: (763) 843-0400  
Fax: (763) 843-0421  
www.bkbm.com  
DDBIA Job Number: 21109.50

**NOT FOR CONSTRUCTION**

No.	Revisions	
	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

Benjamin Hedberg, P.L.A.  
 DATE: 11/16/2021  
 PROJECT #: 20398  
 PROJECT STATUS:  
 DRAWN BY: HL  
 CHECKED BY: BH  
 KEY PLAN

**LANDSCAPE DETAILS**

**L5.0**

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Nov. 16, 2021

**Re: City of Corcoran Planning And Zoning Requirement  
Exterior Material Narrative  
Saint Therese Senior Living**

To Whom it May Concern:

We appreciate the opportunity to present our project to the City of Corcoran City Council, Planning Commission and Staff. We would like to create a proposal to Council to allow for Saint Therese to meet the building façade material code at the building façades directly facing the public roads (see diagram below) and request an alternate requirement for exterior cladding materials on the internal facades or those not directly facing a public street.

Per Appendix B Chapter 04 Section G-Materials, the Town Center the code states that primary materials shall cover at least 60% of the façade of the building. Secondary materials may cover no more than 30% of the façade. Accent materials may include door and window frames, lintels, cornices, and other minor elements and may cover no more than 10% of the façade.

Although the City of Corcoran's municipal code states, "Primary exterior building materials may be brick, stone EIFS, stucco, architectural precast concrete, or glass," we are proposing Nichiha Wood Series fiber cement panels be considered a primary material for the St. Therese Senior Living project. The intent of this portion of the code is to "support a higher level of design," which we believe the wood-look Nichiha fiber cement panels provide. Additionally, the code states "Architectural Style shall not be restricted. However, Architectural Styles as described in Section Two are encouraged," which includes agrarian contemporary, farmhouse and arts & crafts – prairie styles. Many of the example photos used in Section Two include wood siding as a main material. We have provided the feel of a "Main Street" throughout the variation of the building form and materials, and we believe the inclusion of Nichiha wood panels provide a necessary warmth to the design, complementing the mixed-use residential program of the building while still maintaining the desired commercial effect.

Per our conversations and potential recommendations with the city including comments discussed during the planning commission meeting, we have provided 60% or higher primary materials on the three main street facing facades (see attached locations). If Nichiha wood panels are not approved as a primary material, we propose portions on these three facades will be changed to thin brick veneer and will meet the requirements. For the rest of the building, the material percentages currently stand at 29% primary materials and 71% secondary. These percentages significantly grow to 41% primary and 59% secondary if Nichiha wood panels are accepted as a primary material.

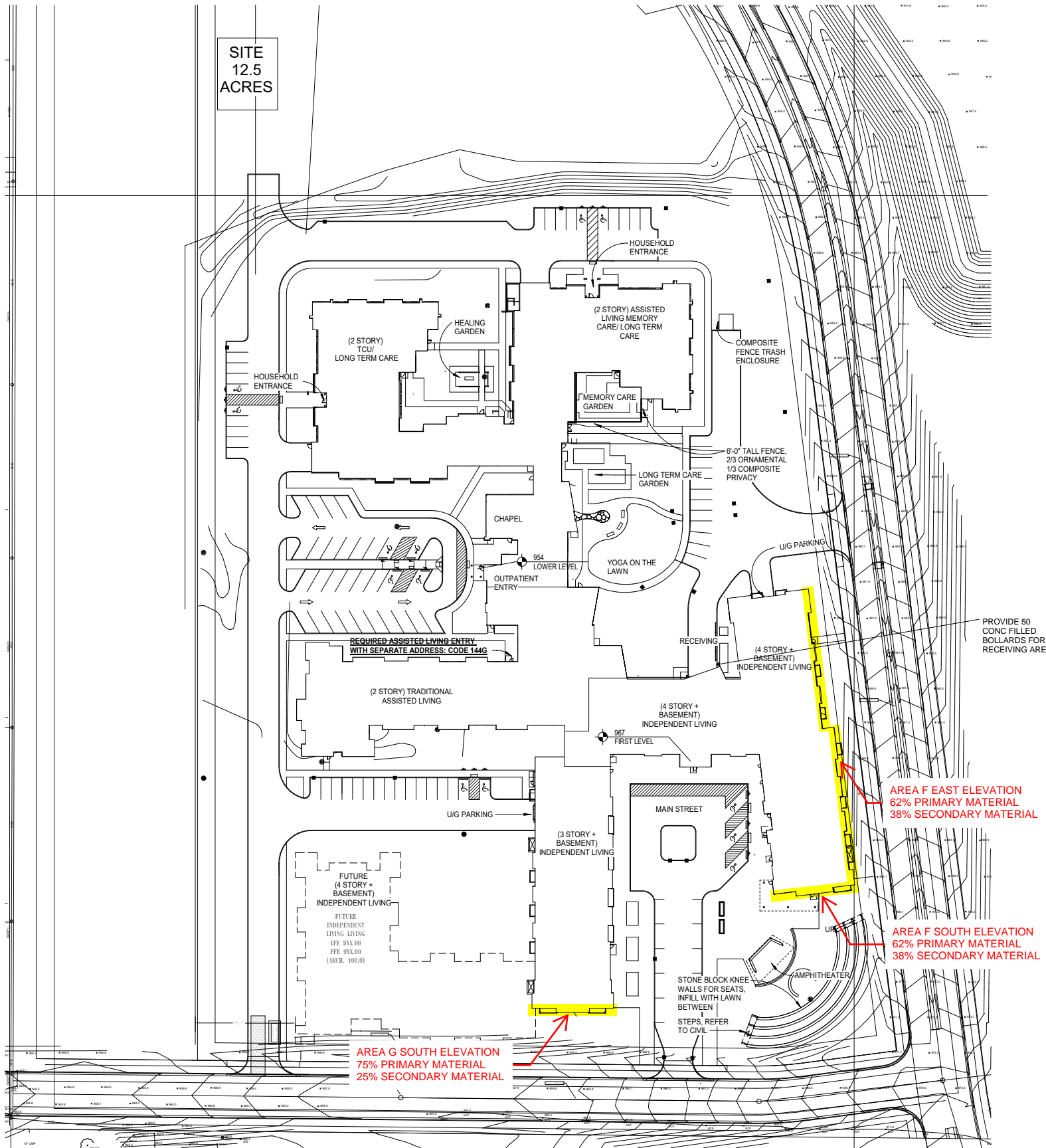
We have provided images of how this product can enhance a variety of materials, providing a contemporary yet classic statement for the design. Because of the reasons stated, we would like to consider Nichiha wood panels as a primary material in the St. Therese building design. We also propose that Council accept our proposed material percentages as shown at the non-public street facing facades.

Thank you for your consideration,

Christine Soma

**POPE ARCHITECTS, INC.**

SITE  
12.5  
ACRES



**ELEVATION IDENTIFICATION PLAN**

**Saint Therese Senior Living**

CORCORAN, MN

NOVEMBER 11, 2021 | 77732-19034



**Exterior Material Cladding Summary:**  
Highlighted walls considered street facing to meet Chapter 4 Section G (see notes for material averages)

Non-highlighted walls material average:  
29% Primary  
71% Secondary

Non-highlighted walls material average if Nichiha approved as primary material:  
41% Primary  
59% Secondary



1 AREA G - IL SOUTH ELEVATION

75% PRIMARY MATERIAL  
25% SECONDARY MATERIAL



4 AREA F - IL SOUTH ELEVATION

62% PRIMARY MATERIAL  
38% SECONDARY MATERIAL



1 AREA F - IL EAST ELEVATION

62% PRIMARY MATERIAL  
38% SECONDARY MATERIAL

## ELEVATION IDENTIFICATION PLAN



# Saint Therese Senior Living

CORCORAN, MN

NOVEMBER 11, 2021 | 77732-19034



## NICHIHA WOOD PANEL EXAMPLES



# Saint Therese Senior Living

CORCORAN, MN

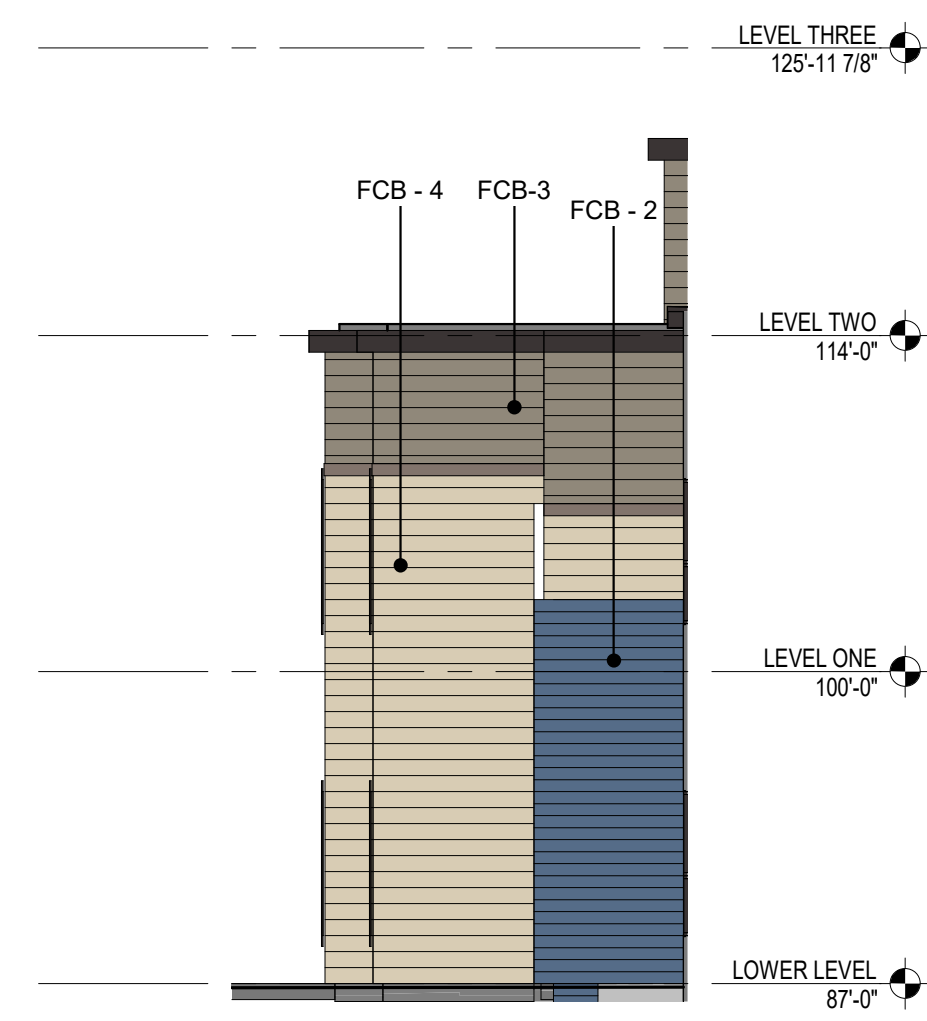
NOVEMBER 11, 2021 | 77732-19034



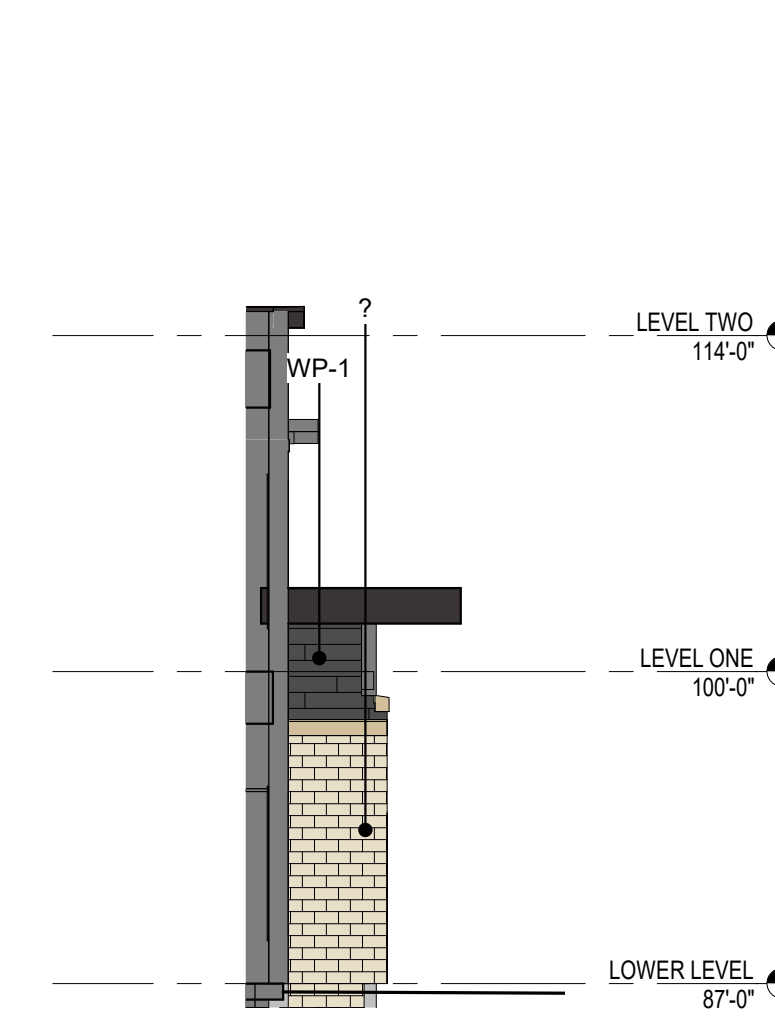
# EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
FCB - 5	FIBER CEMENT BOARD	JAMES HARDI	SMOOTH	DARK BRONZE	
WP-1	WALL PANEL	NICHHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VYNAU/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VYNAU/ FIBREX	BLACK/ BRONZE	
FSC - 1	FASCIA			DARK BRONZE	

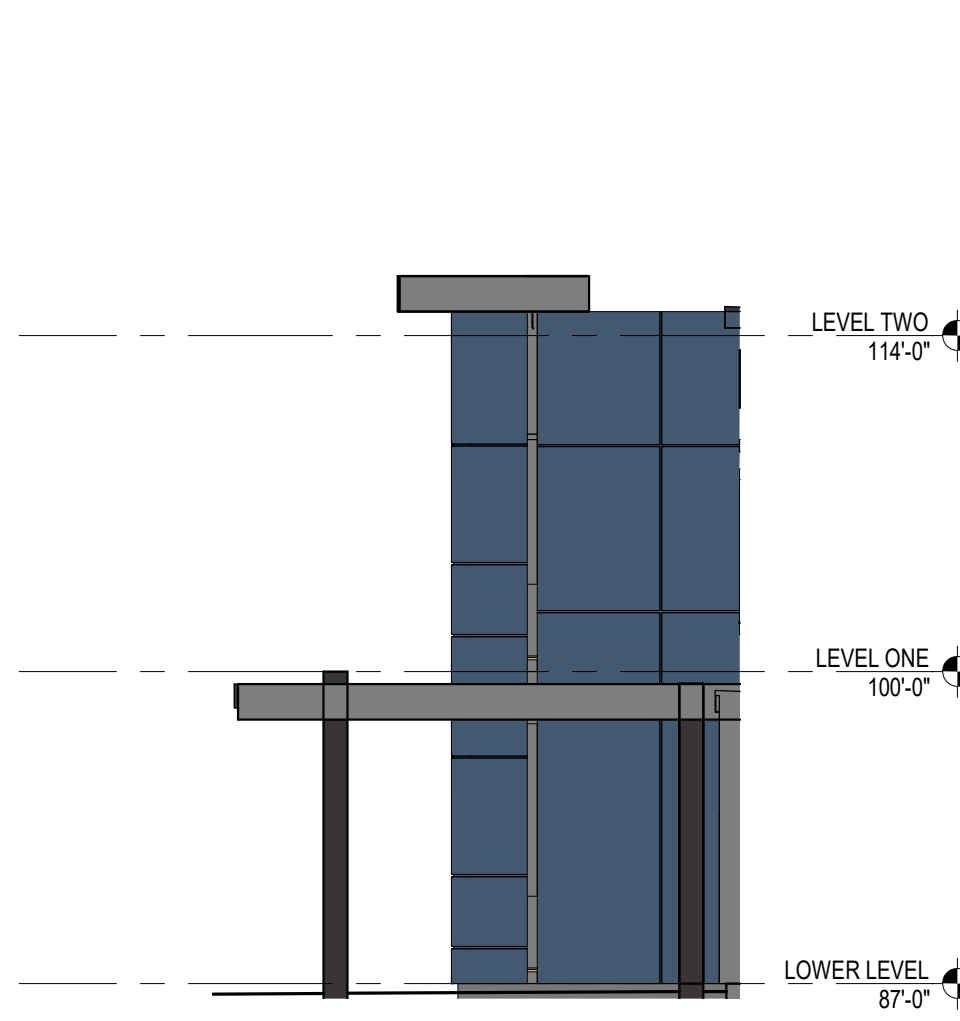
**NOTE:**  
THE "BASIS OF DESIGN" MATERIALS FOR THE PROJECT ARE LISTED ON THE SCHEDULE ABOVE. SEE SPECIFICATIONS FOR ADDITIONAL MATERIAL INFORMATION AND OTHER APPROVE D SUBSTITUTIONS.



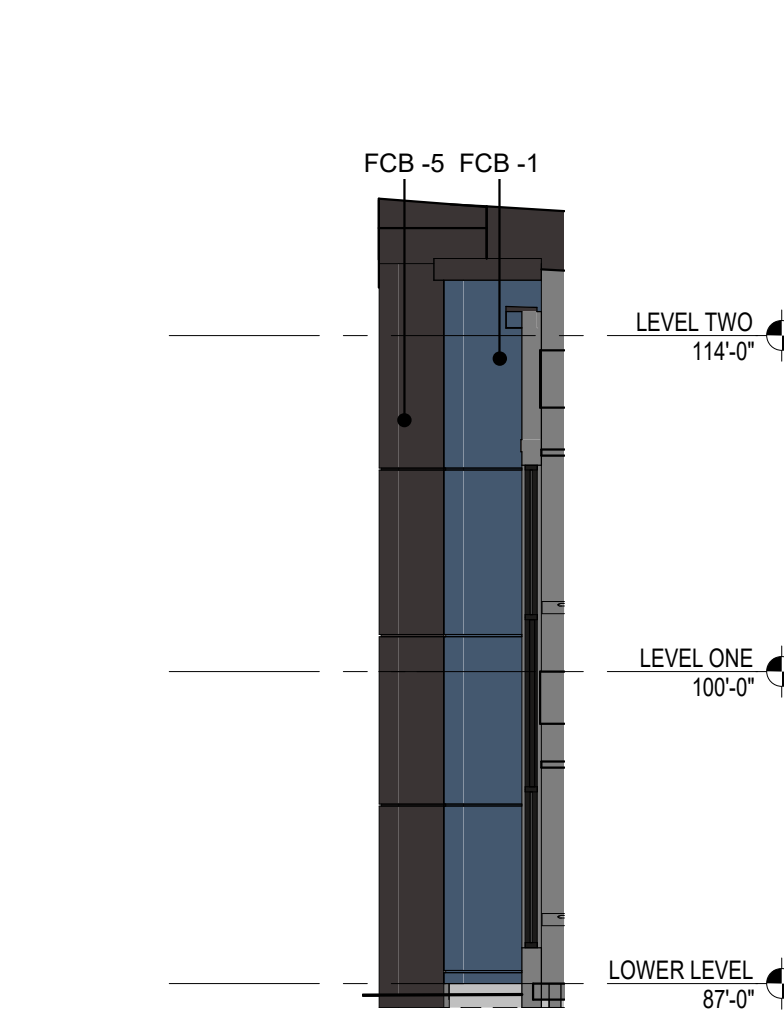
10  
A3.1  
**AREA A - SKILLED LARGE GROUP ELEVATION 2**  
1/8" = 1'-0"



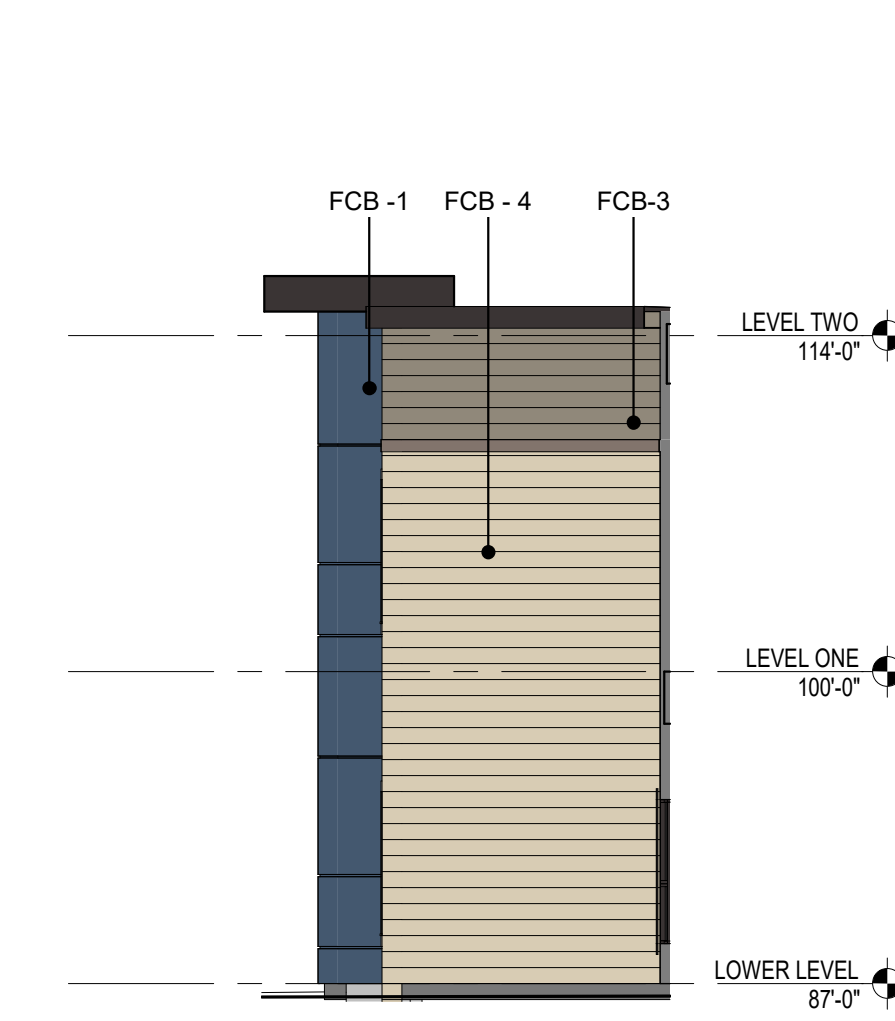
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A3.1  
**AREA A - SKILLED GARAGE ELEVATION**  
1/8" = 1'-0"



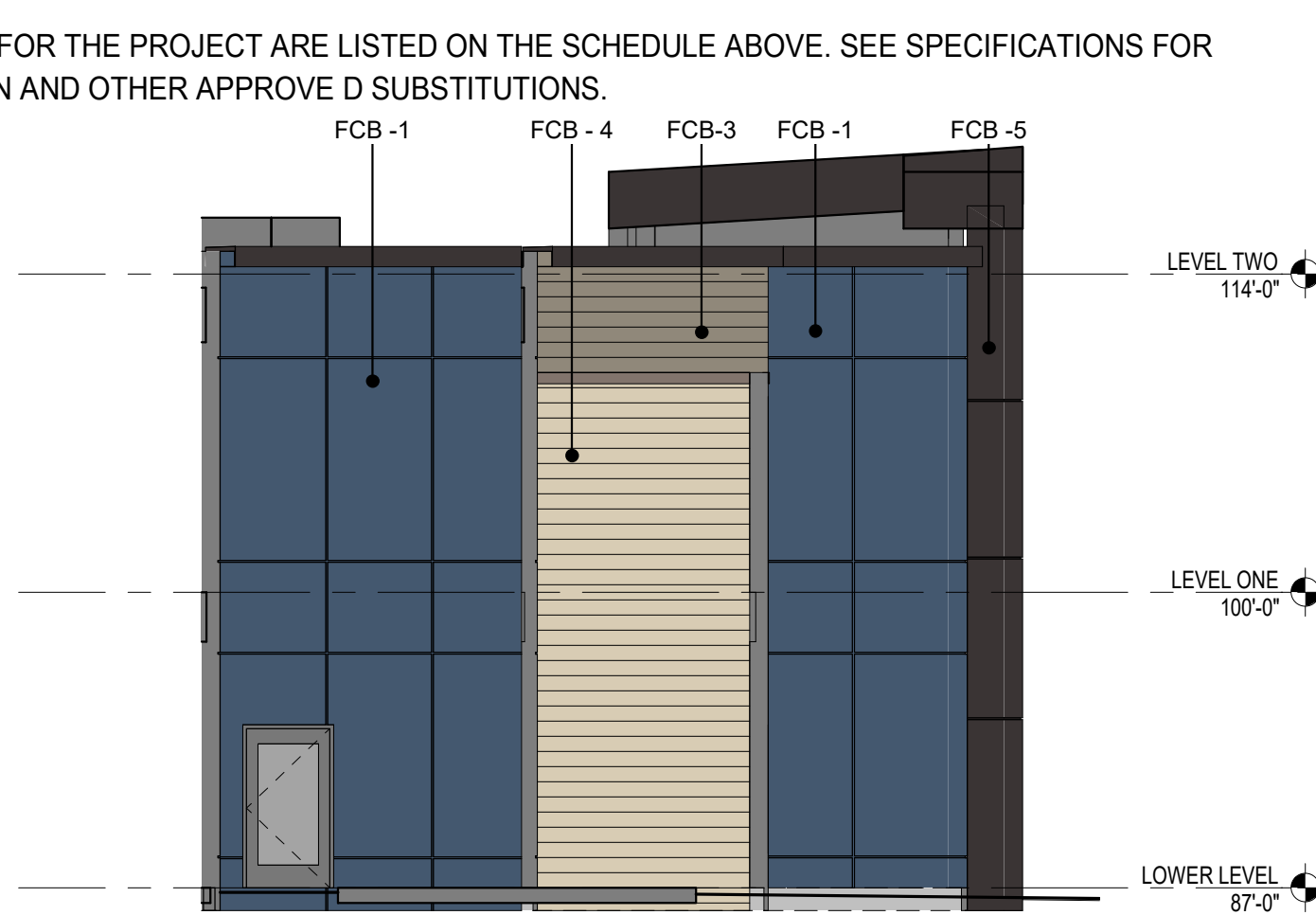
5  
A3.1  
**AREA A - SKILLED ENTRANCE ELEVATION**  
1/8" = 1'-0"



4  
A3.1  
**AREA A - SKILLED CORNER BUMPOUT**  
1/8" = 1'-0"



2  
A3.1  
**AREA A - SKILLED EAST BUMPOUT ELEVATION**  
1/8" = 1'-0"



11  
A3.1  
**AREA A - SKILLED NORTHEAST CORNER ELEVATION**  
1/8" = 1'-0"



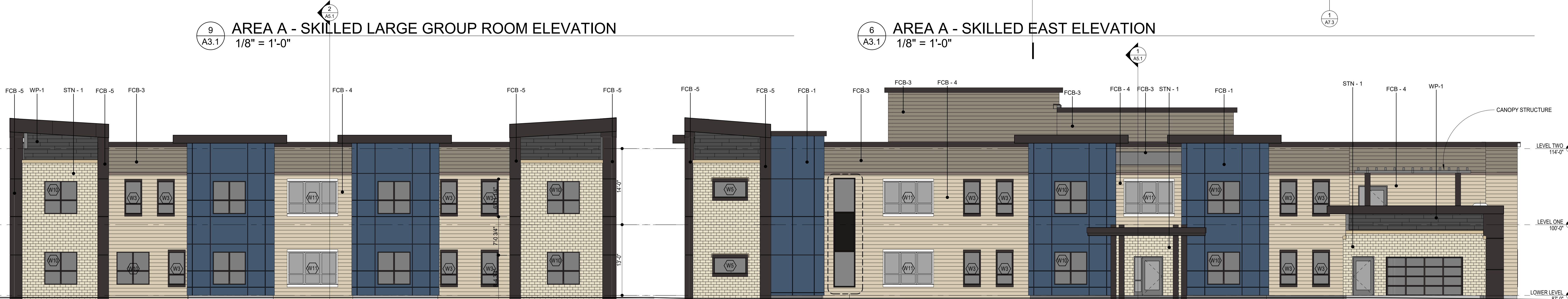
7  
A3.1  
**AREA A - SKILLED SOUTH ELEVATION**  
1/8" = 1'-0"



9  
A3.1  
**AREA A - SKILLED LARGE GROUP ROOM ELEVATION**  
1/8" = 1'-0"



6  
A3.1  
**AREA A - SKILLED EAST ELEVATION**  
1/8" = 1'-0"



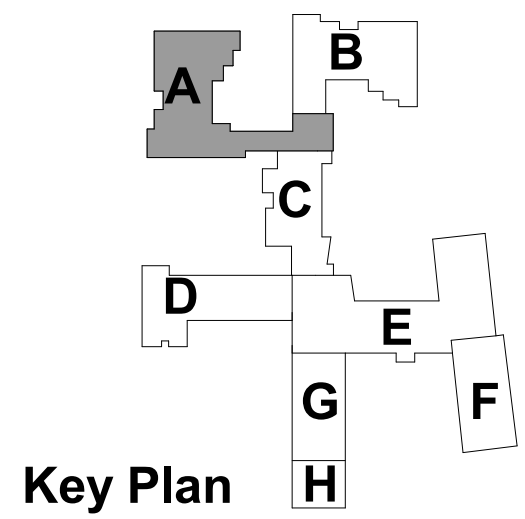
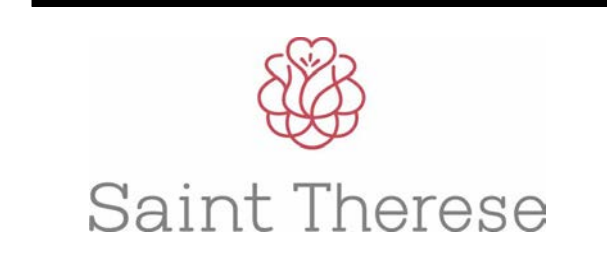
1  
A3.1  
**AREA A - SKILLED WEST ELEVATION**  
1/8" = 1'-0"

3  
A3.1  
**AREA A - SKILLED NORTH ELEVATION**  
1/8" = 1'-0"



POPE ARCHITECTS, INC.  
1295 BANDANA BLVD N, SUITE 200  
ST. PAUL, MN 55108-2735  
(651) 642-9200 | FAX (651) 642-1101  
www.popearch.com

ST. THERESE  
SENIOR COMMUNITY  
CORCORAN, MN



Key Plan

## EXTERIOR ELEVATIONS - SKILLED

Design Development 11/11/2021

Commission No: 77732-19034  
Author  
Checker

SHEET

A3.1

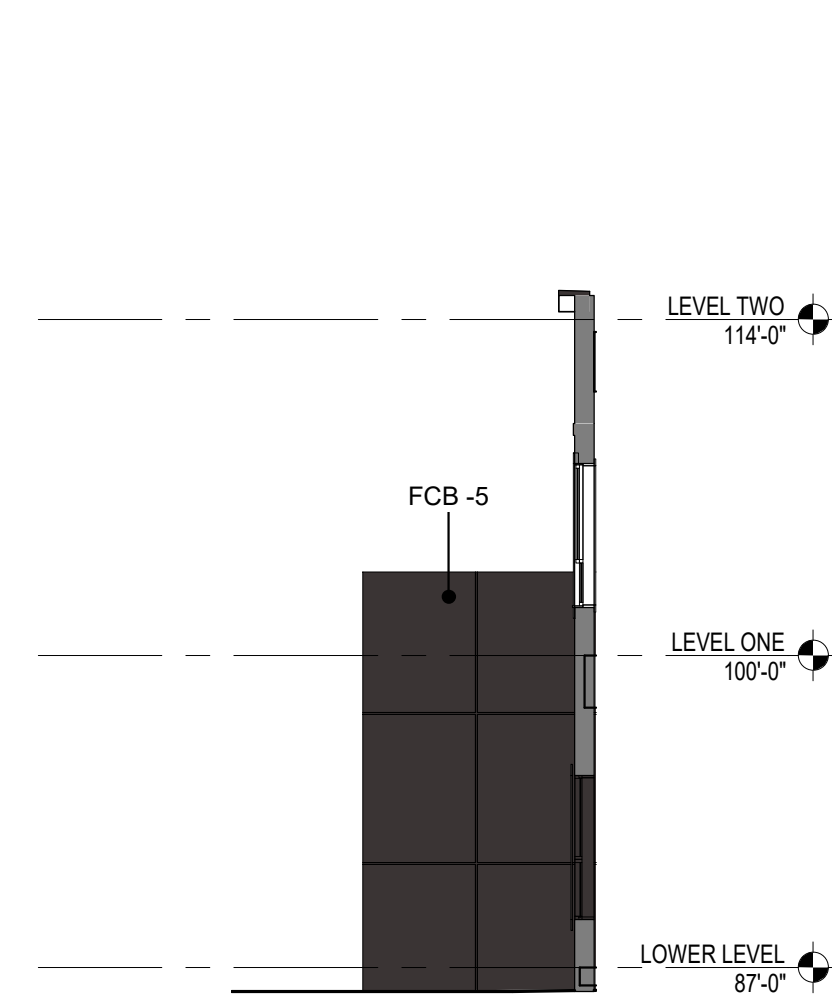
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EXTERIOR MATERIAL FINISH SCHEDULE					
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FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VYINAL FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VYINAL FIBREX	BLACK/ BRONZE	
FSC - 1	FASCIA			DARK BRONZE	

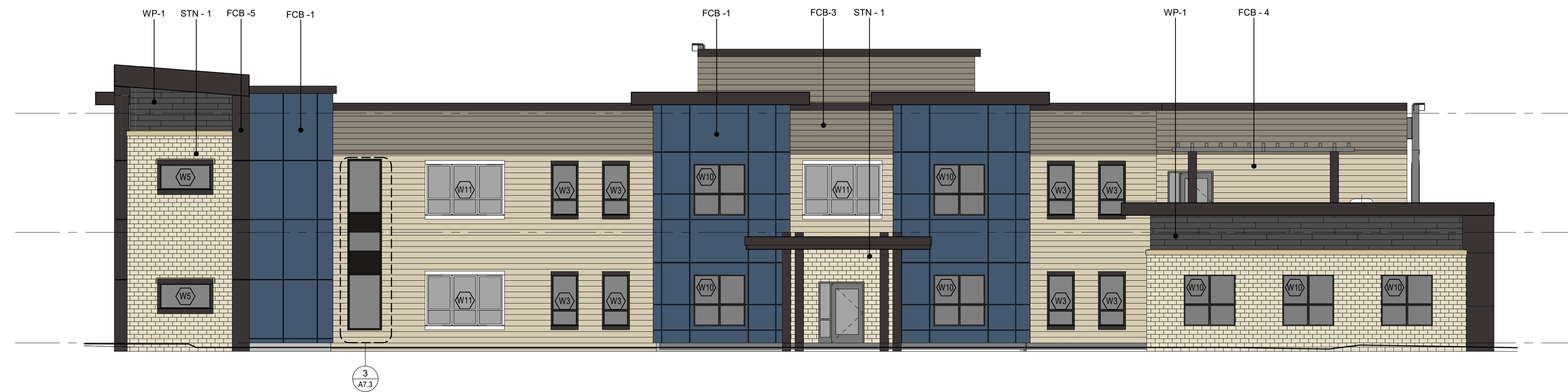
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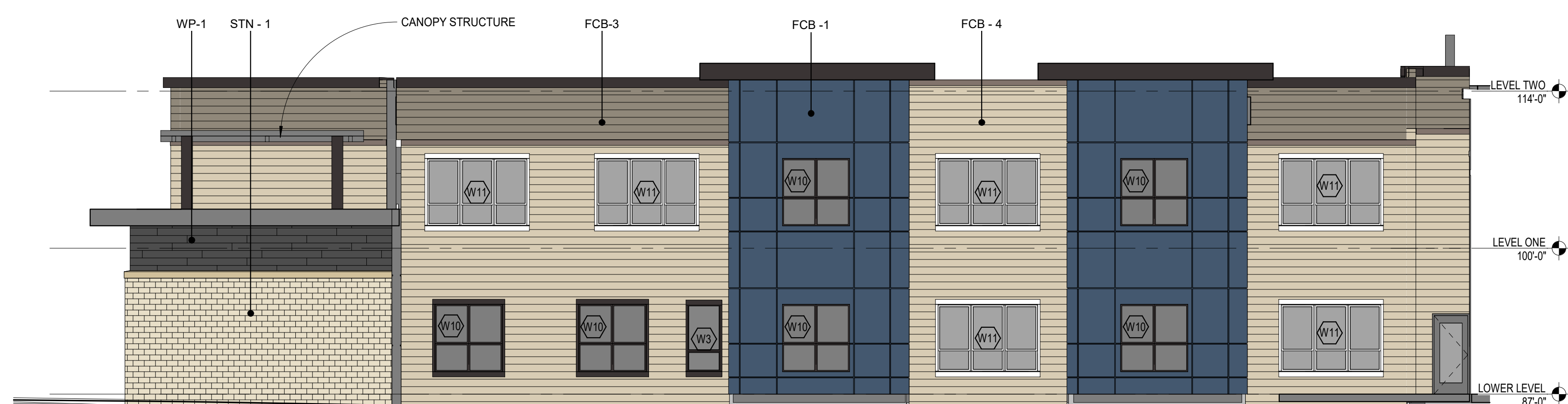
3  
A3.2 AREA B - EAST ELEVATION  
1/8" = 1'-0"



5  
A3.2 AREA B - NORTHEAST CORNER ELEVATION  
1/8" = 1'-0"



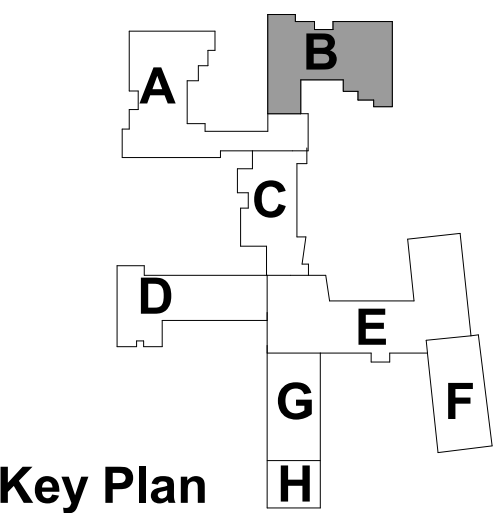
1  
A3.2 AREA B - NORTH ELEVATION  
1/8" = 1'-0"



4  
A3.2 AREA B - WEST ELEVATION  
1/8" = 1'-0"



2  
A3.2 AREA B - SOUTH ELEVATION  
1/8" = 1'-0"



Key Plan

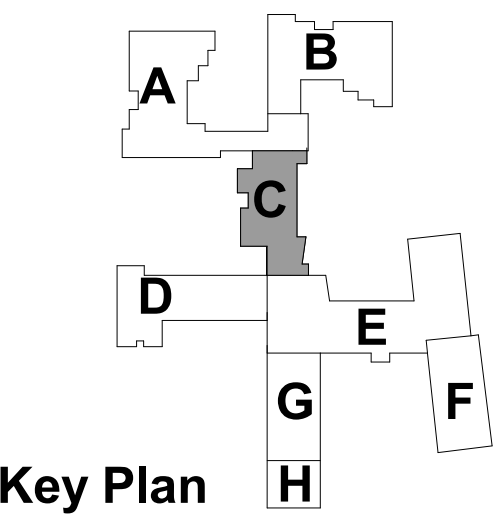
EXTERIOR ELEVATIONS

Design Development 11/11/2021

Commission No. 77732-19034  
Drawn by: Author  
Checked by: Checker

SHEET

A3.2



EXTERIOR ELEVATIONS

Design Development 11/11/2021

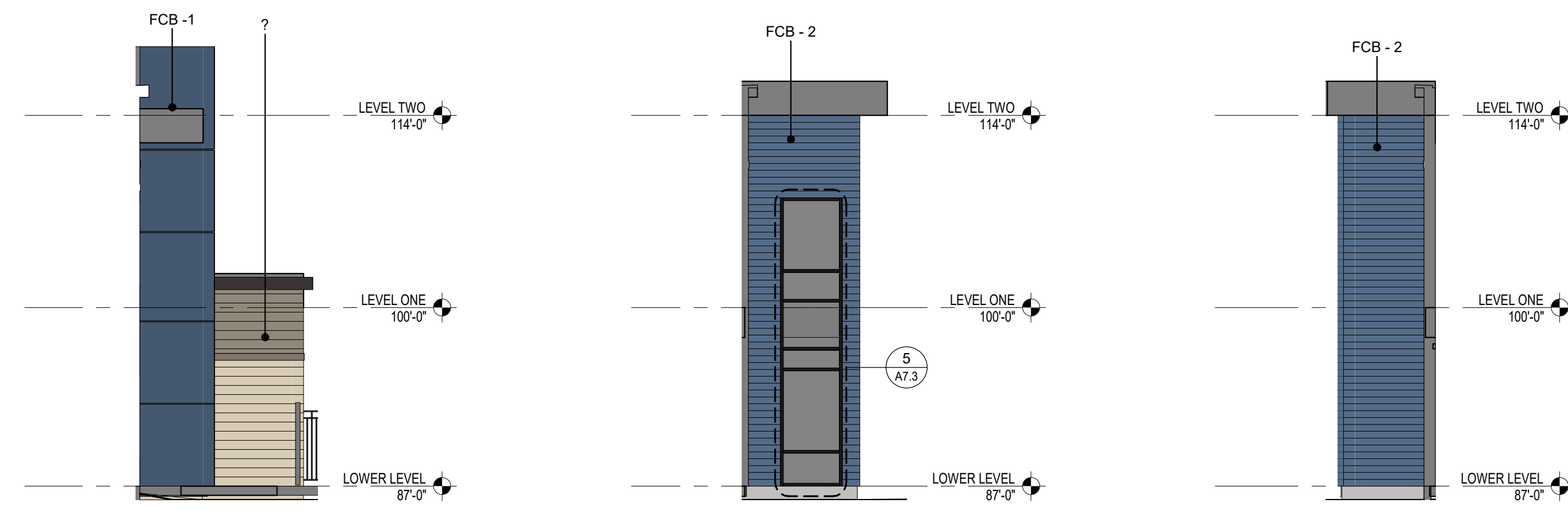
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Prepared by: Author  
Checked by: Checker

SHEET

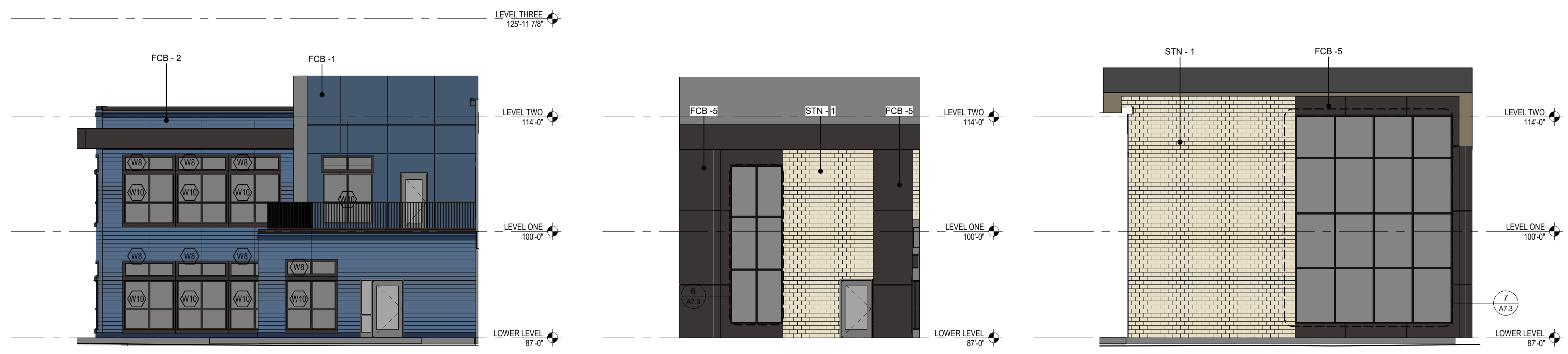
A3.3

EXTERIOR MATERIAL FINISH SCHEDULE					
MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
FCB - 5	FIBER CEMENT BOARD	JAMES HARDI	SMOOTH	DARK BRONZE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VINYAL/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE CURTAIN WALL		VINYAL/ FIBREX	BLACK/ BRONZE	
FSC - 1	FASCIA			DARK BRONZE	

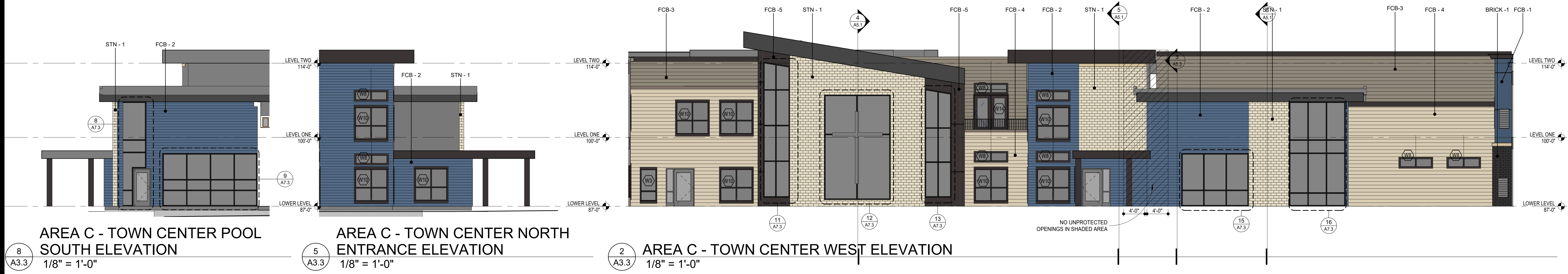
NOTE:  
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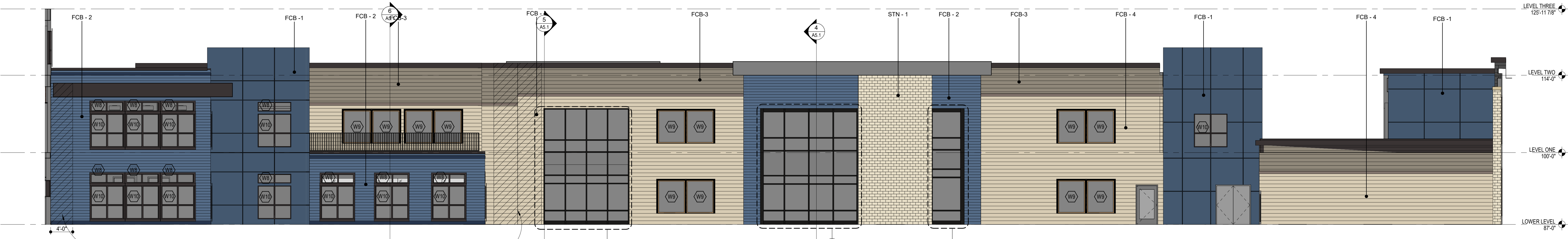
7 AREA C - TOWN CENTER NORTHWEST BUMPOUT 1/8" = 1'-0"  
6 AREA C - TOWN CENTER NORTHEAST ELEVATION 1/8" = 1'-0"  
9 AREA C - TOWN CENTER SOUTHEAST BUMPOUT 1/8" = 1'-0"



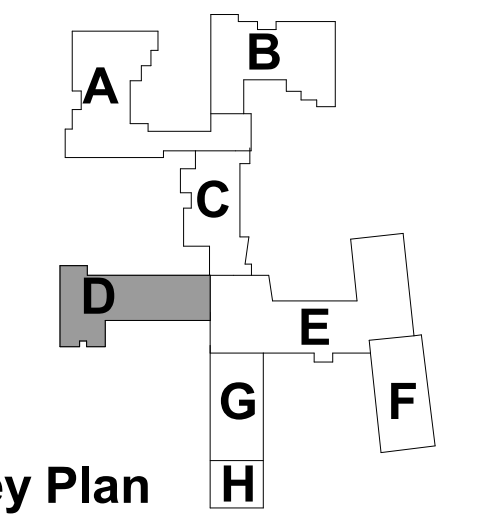
10 AREA C - TOWN CENTER SOUTHEAST ELEVATION 1/8" = 1'-0"  
4 AREA C - TOWN CENTER CHAPEL SOUTH ELEVATION 1/8" = 1'-0"  
3 AREA C - TOWN CENTER CHAPEL NORTH ELEVATION 1/8" = 1'-0"



8 AREA C - TOWN CENTER POOL SOUTH ELEVATION 1/8" = 1'-0"  
5 AREA C - TOWN CENTER NORTH ENTRANCE ELEVATION 1/8" = 1'-0"  
2 AREA C - TOWN CENTER WEST ELEVATION 1/8" = 1'-0"



1 AREA C - TOWN CENTER EAST ELEVATION 1/8" = 1'-0"



EXTERIOR  
ELEVATIONS - AL

Design Development 11/11/2021

Commission No. 77732-19034  
Prepared by Author  
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A3.4

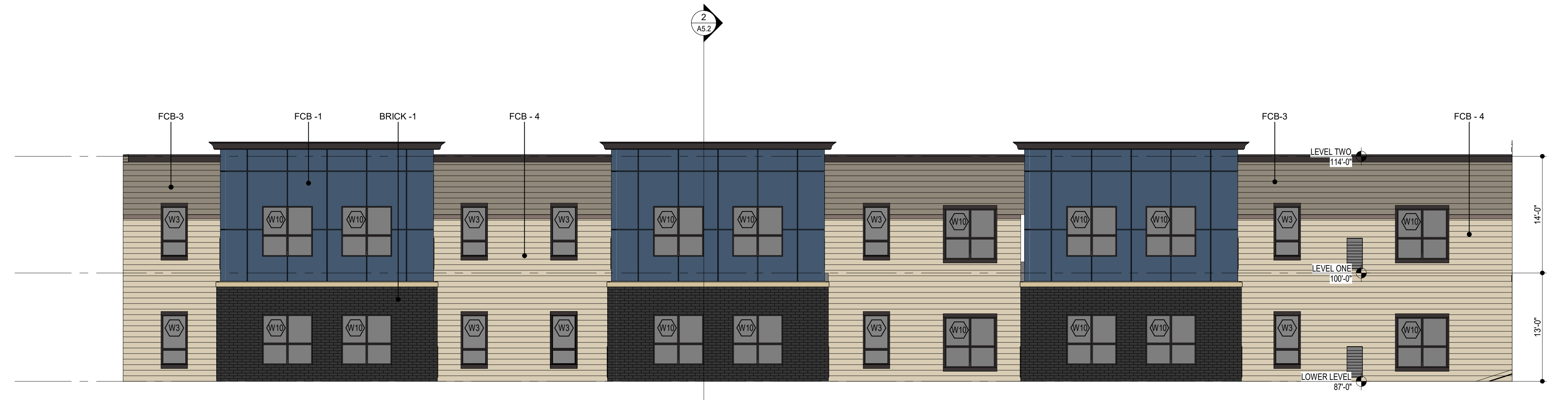


9  
A3.4  
AREA D - ASSISTED  
TYP. BUMPOUT  
1/8" = 1'-0"

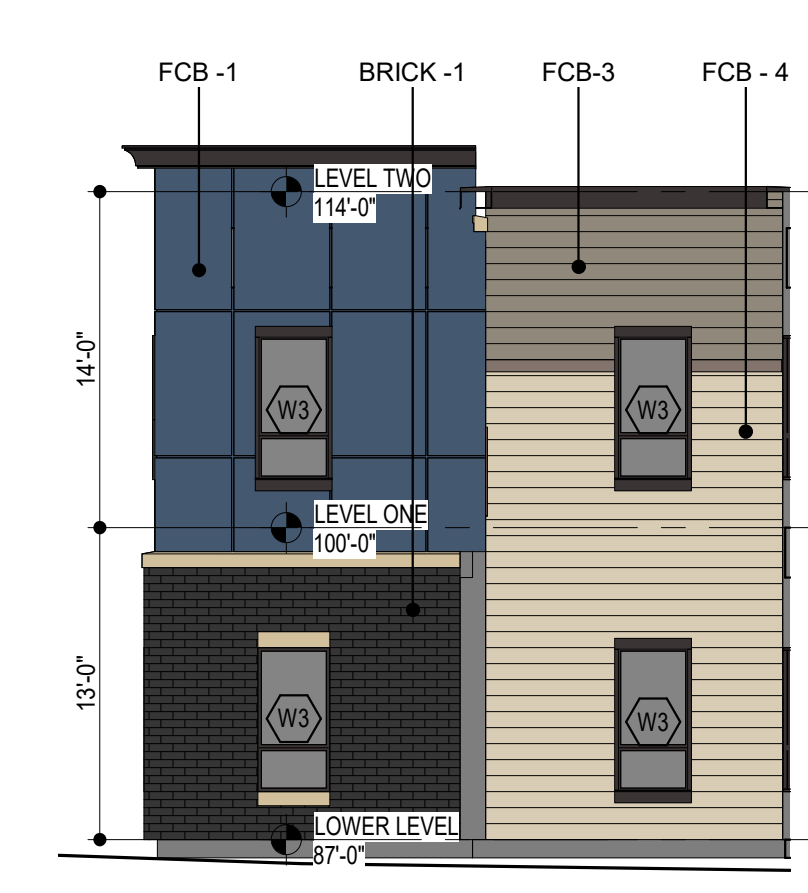
1  
A3.4  
AREA D - ASSISTED NORTH ELEVATION  
1/8" = 1'-0"



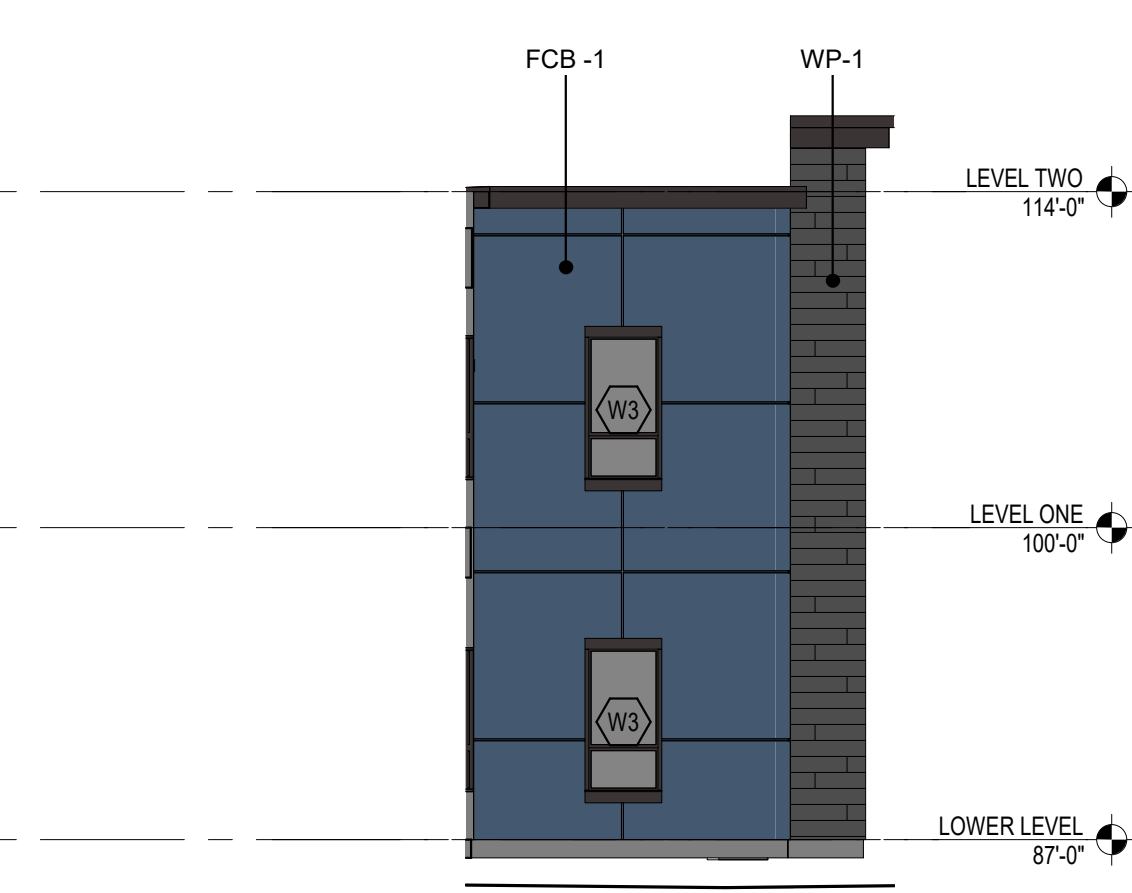
2  
A3.4  
AREA D - ASSISTED SOUTH ELEVATION 2  
1/8" = 1'-0"



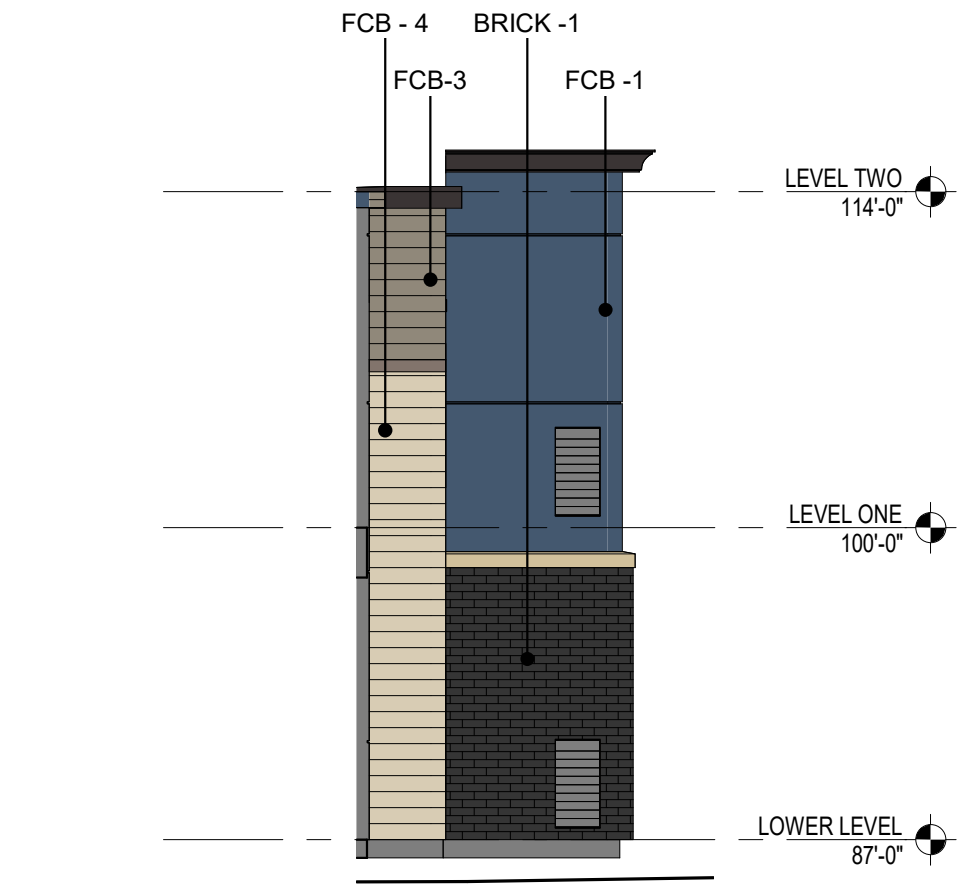
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A3.4  
AREA D - ASSISTED SOUTH ELEVATION 1  
1/8" = 1'-0"



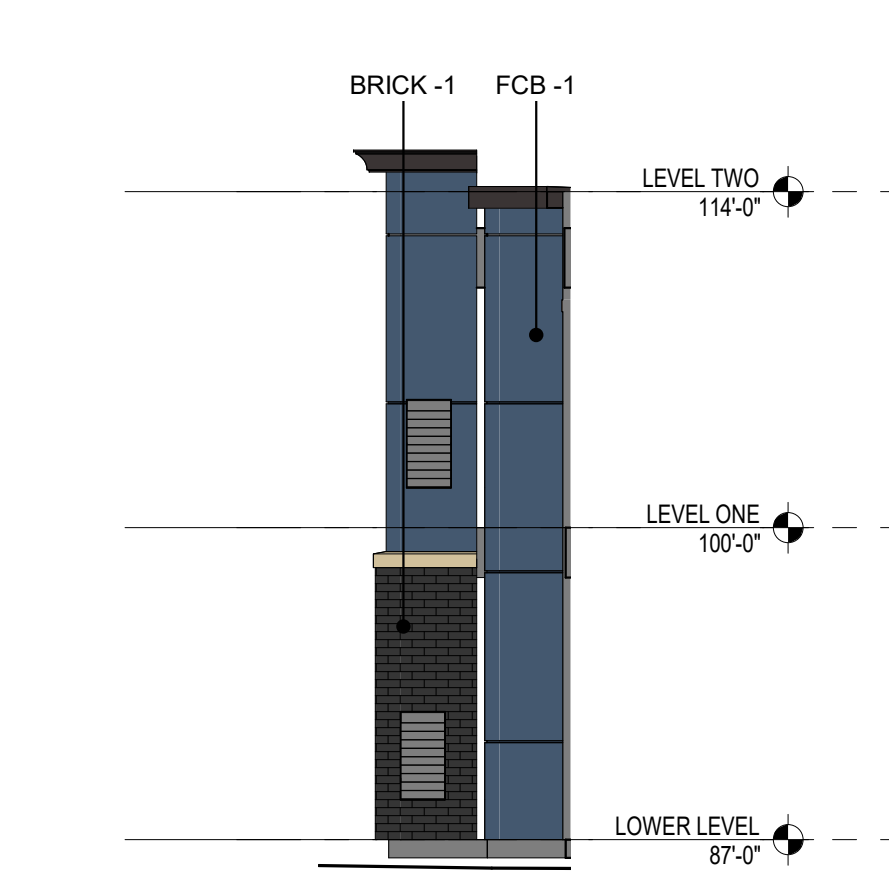
5  
A3.4  
AREA D - ASSISTED  
EAST ELEVATION 1  
1/8" = 1'-0"



6  
A3.4  
AREA D - ASSISTED  
EAST ELEVATION 2  
1/8" = 1'-0"



8  
A3.4  
AREA D - ASSISTED  
WEST BUMPOUT 2  
1/8" = 1'-0"



7  
A3.4  
AREA D - ASSISTED  
WEST BUMPOUT  
1/8" = 1'-0"

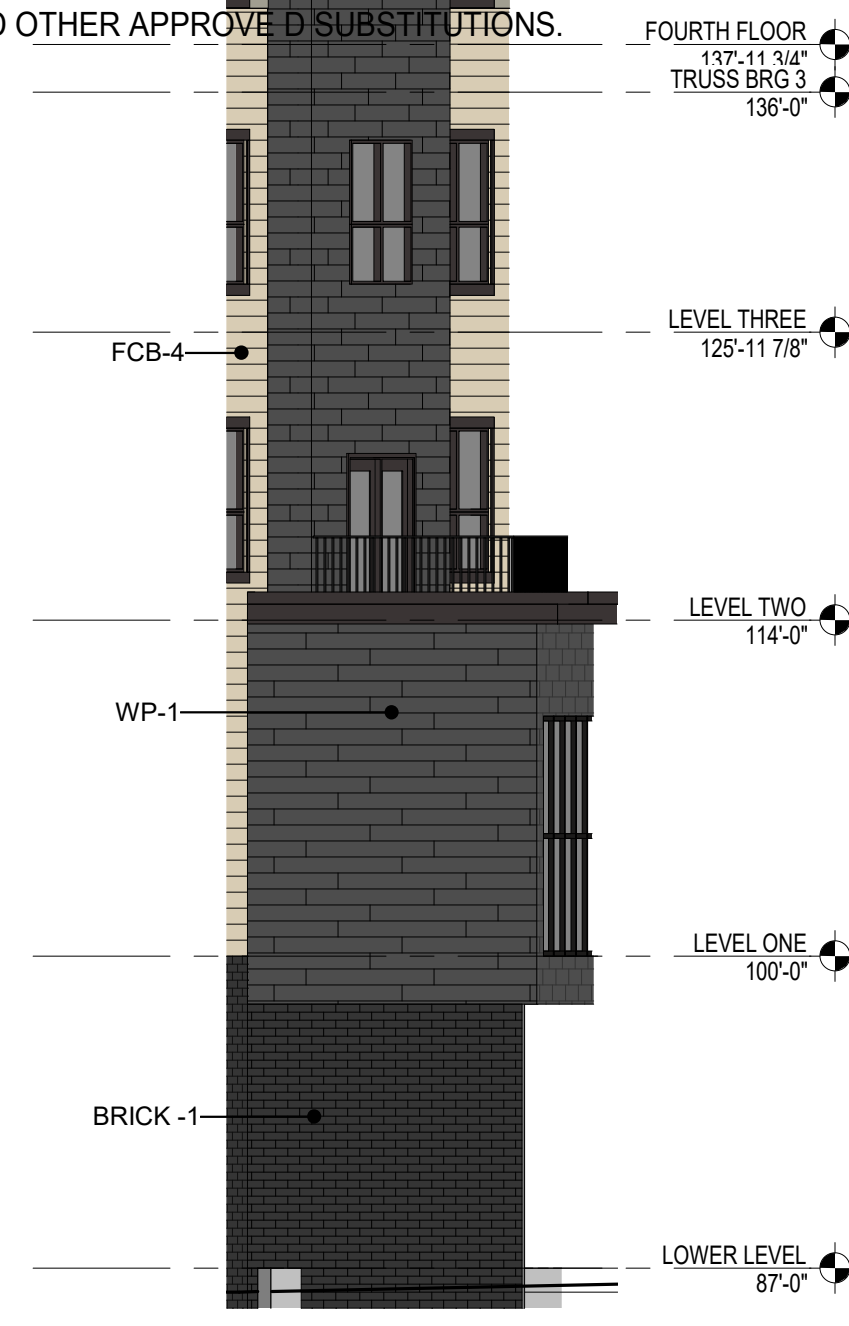


3  
A3.4  
AREA D - ASSISTED WEST ELEVATION  
1/8" = 1'-0"

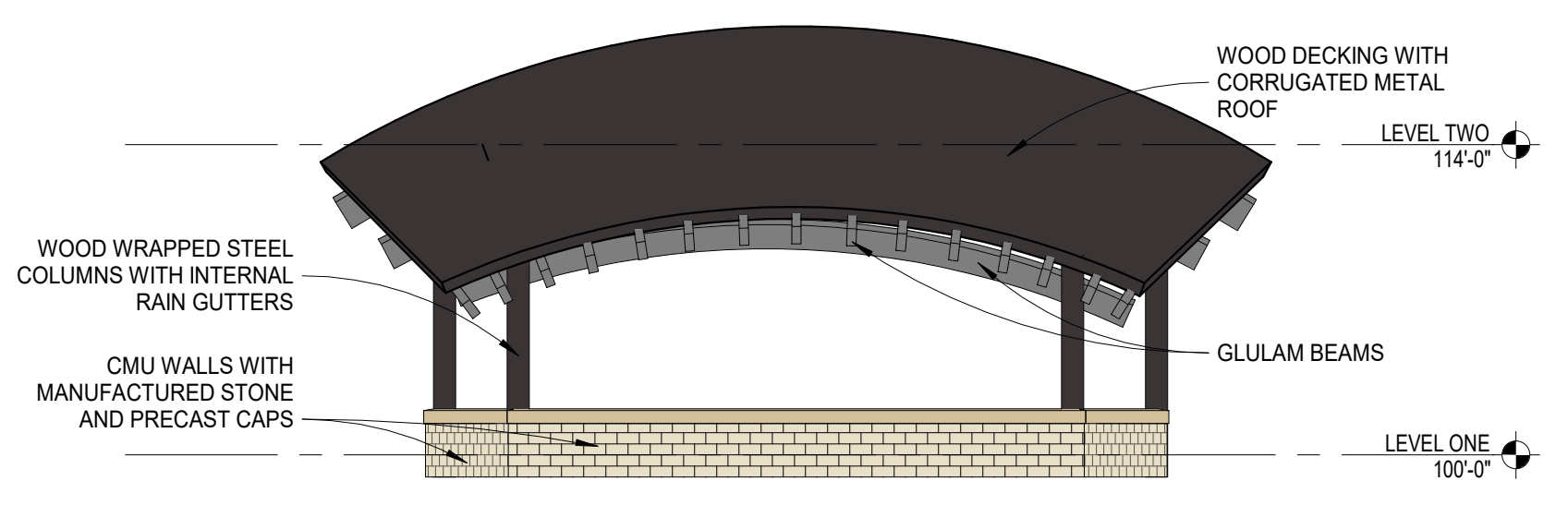
# EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
FCB - 5	FIBER CEMENT BOARD	JAMES HARDI	SMOOTH	DARK BRONZE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	FCB-3
WND - 1	WINDOW		VYNAL/FIBREX	BLACK/BRONZE	WP-1
STF - 1	ALUMINUM ENTRANCE CURTAIN WALL		VYNAL/FIBREX	BLACK/BRONZE	TRUSS BRG 4
FSC - 1	FASCIA			DARK BRONZE	TRUSS BRG 4

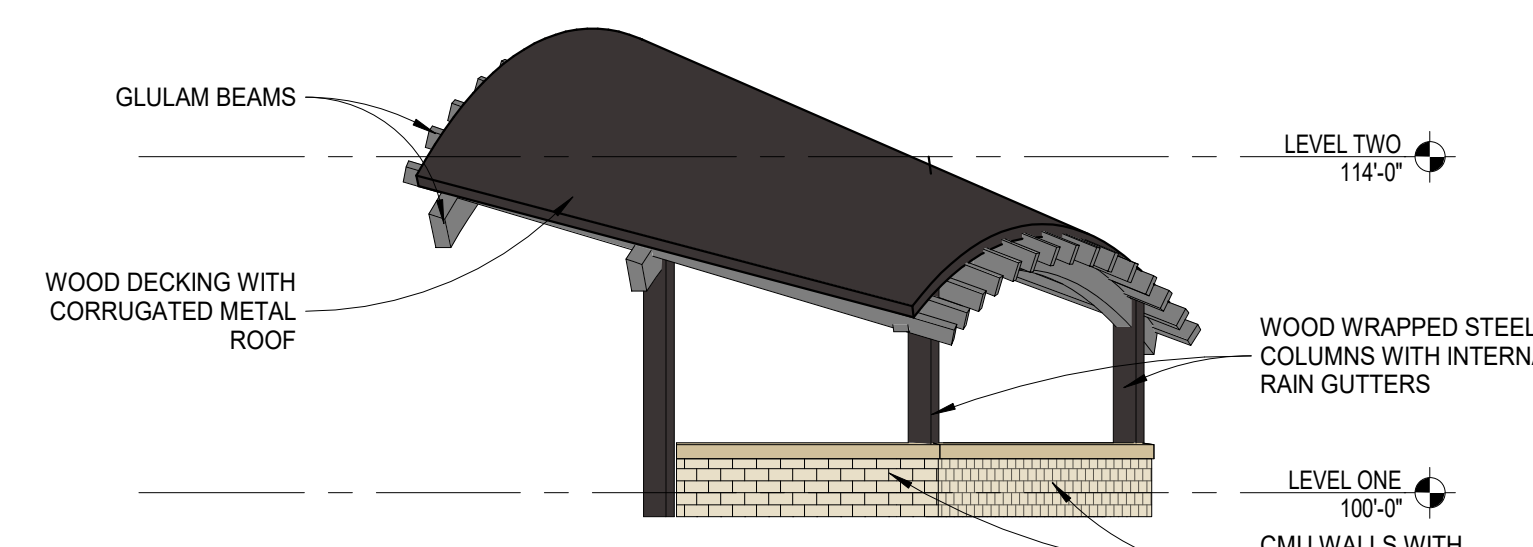
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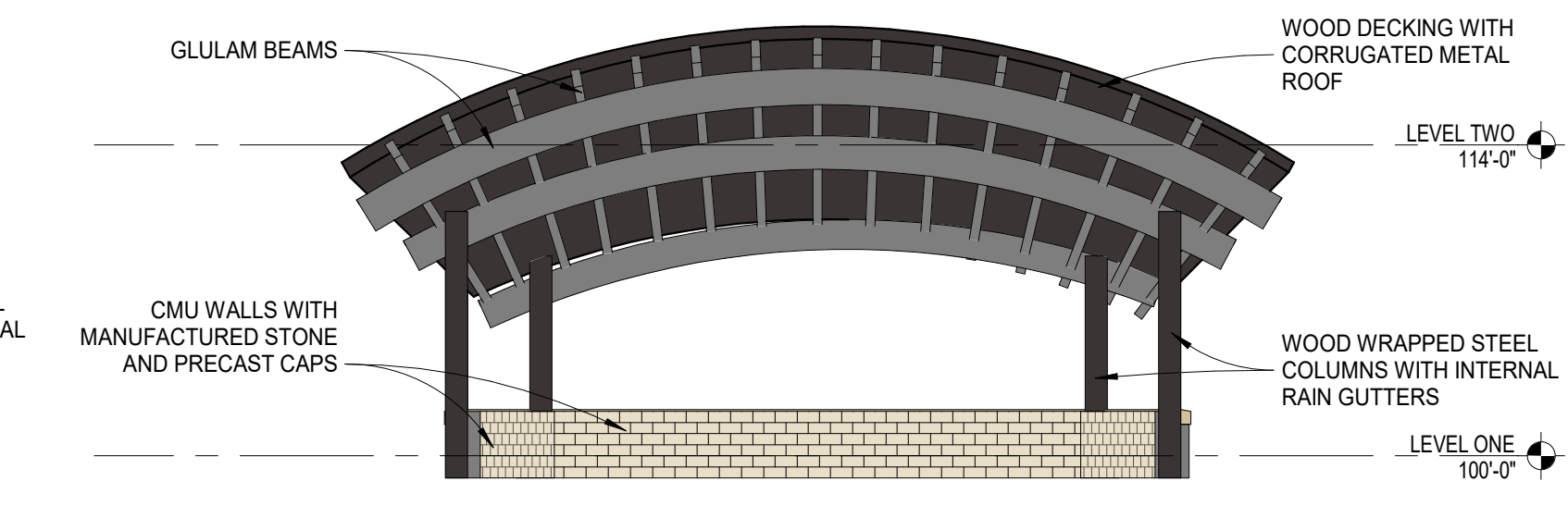
**5 AREA E - IL NORTHEAST ELEVATION**  
1/8" = 1'-0"



**8 AMPHITHEATER REAR ELEVATION**  
1/8" = 1'-0"



**7 AMPHITHEATER TYP. SIDE ELEVATION**  
1/8" = 1'-0"



**6 AMPHITHEATER FRONT ELEVATION**  
1/8" = 1'-0"



**3 AREA F - IL NORTH ELEVATION**  
1/8" = 1'-0"



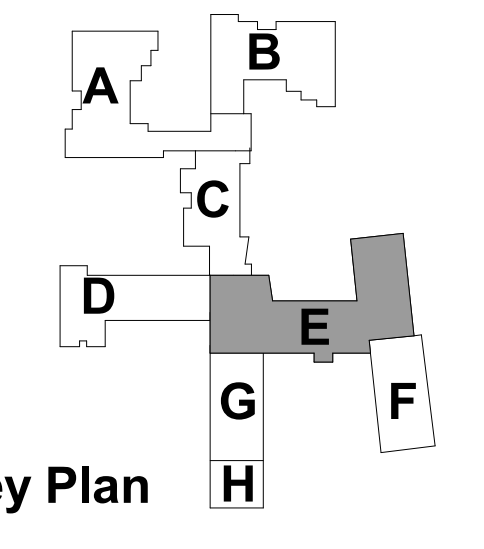
**4 AREA F - IL SOUTH ELEVATION**  
1/8" = 1'-0"



**1 AREA E - IL NORTH ELEVATION MAIN**  
1/8" = 1'-0"



**2 AREA E - IL SOUTH ELEVATION MAIN**  
1/8" = 1'-0"



## EXTERIOR ELEVATION - IL EAST

Design Development 11/11/2021

Commission by	77732-19034
Drawn by	Author
Checked by	Checker

SHEET

**A3.5**

# EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILLS			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILLS			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
FCB - 5	FIBER CEMENT BOARD	JAMES HARDI	SMOOTH	DARK BRONZE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VINYAL/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VINYAL/ FIBREX	BLACK/ BRONZE	
FSC - 1	FASCIA			DARK BRONZE	

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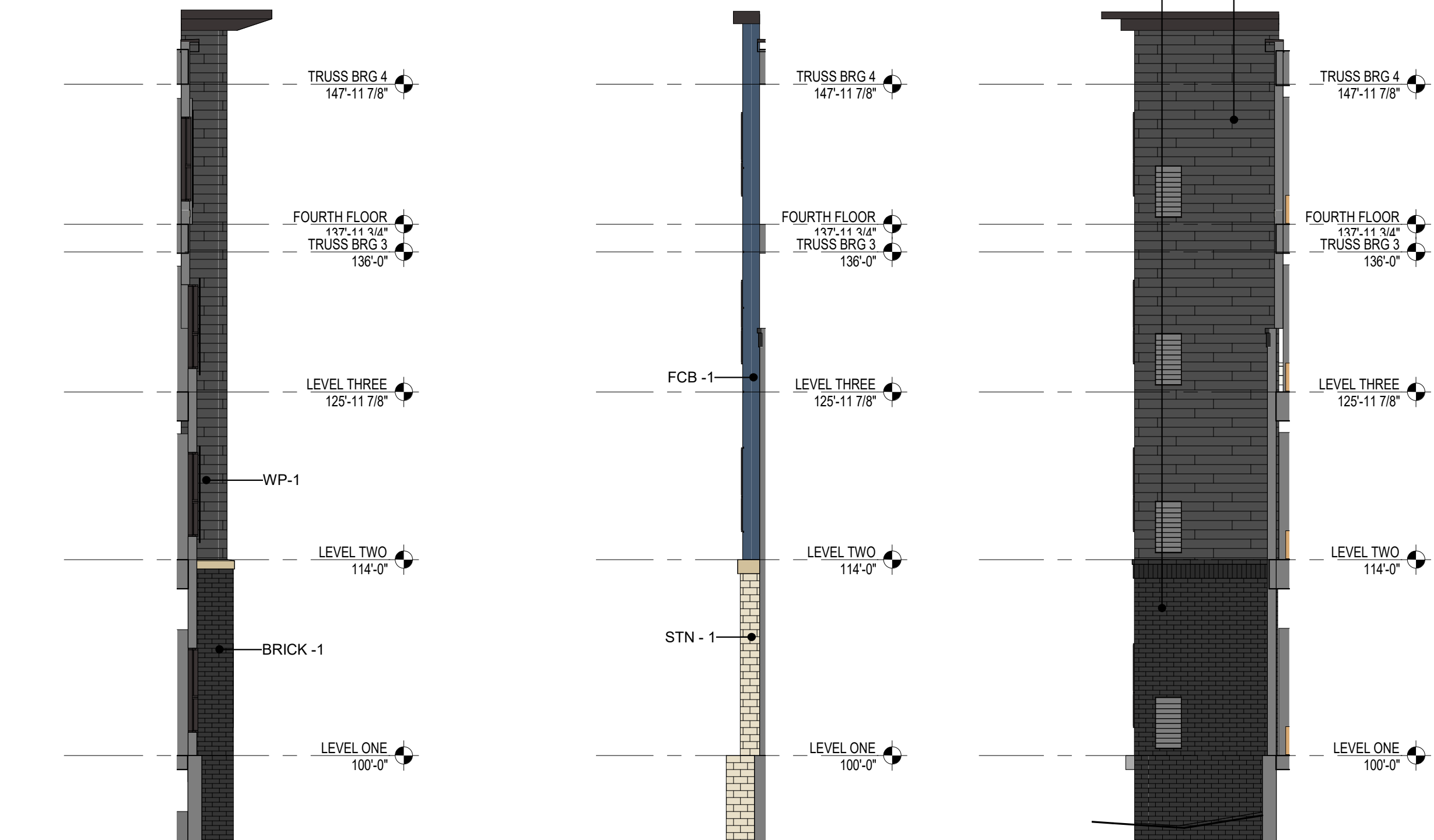
**2**  
A3.6  
AREA F - IL WEST ELEVATION  
1/8" = 1'-0"



**3**  
A3.6  
AREA F - IL WEST ELEVATION MAIN  
1/8" = 1'-0"



**1**  
A3.6  
AREA F - IL EAST ELEVATION  
1/8" = 1'-0"



**6**  
A3.6  
AREA F - IL TYP.  
BUMPOUT  
1/8" = 1'-0"

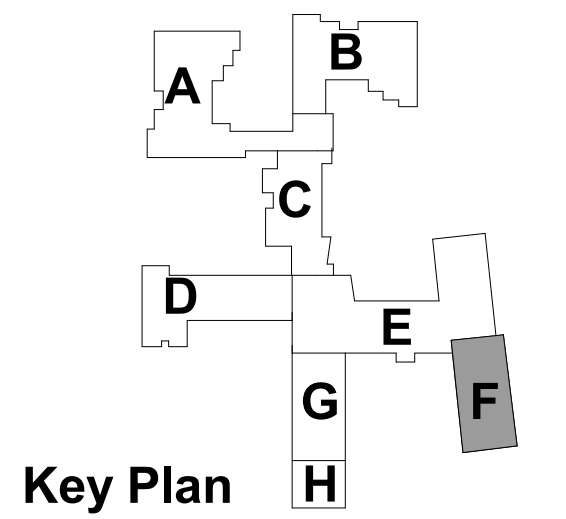
**5**  
A3.6  
AREA F - IL TYP.  
BLUE BUMPOUT  
1/8" = 1'-0"

**4**  
A3.6  
AREA F - IL LARGE  
BUMPOUT  
1/8" = 1'-0"



POPE ARCHITECTS, INC.  
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www.popearch.com

ST. THERESE  
SENIOR COMMUNITY  
CORCORAN, MN



Key Plan

## EXTERIOR ELEVATION - IL

Design Development 11/11/2021

Commission No: 77732-19034  
Drawn by: Author  
Checked by: Checker

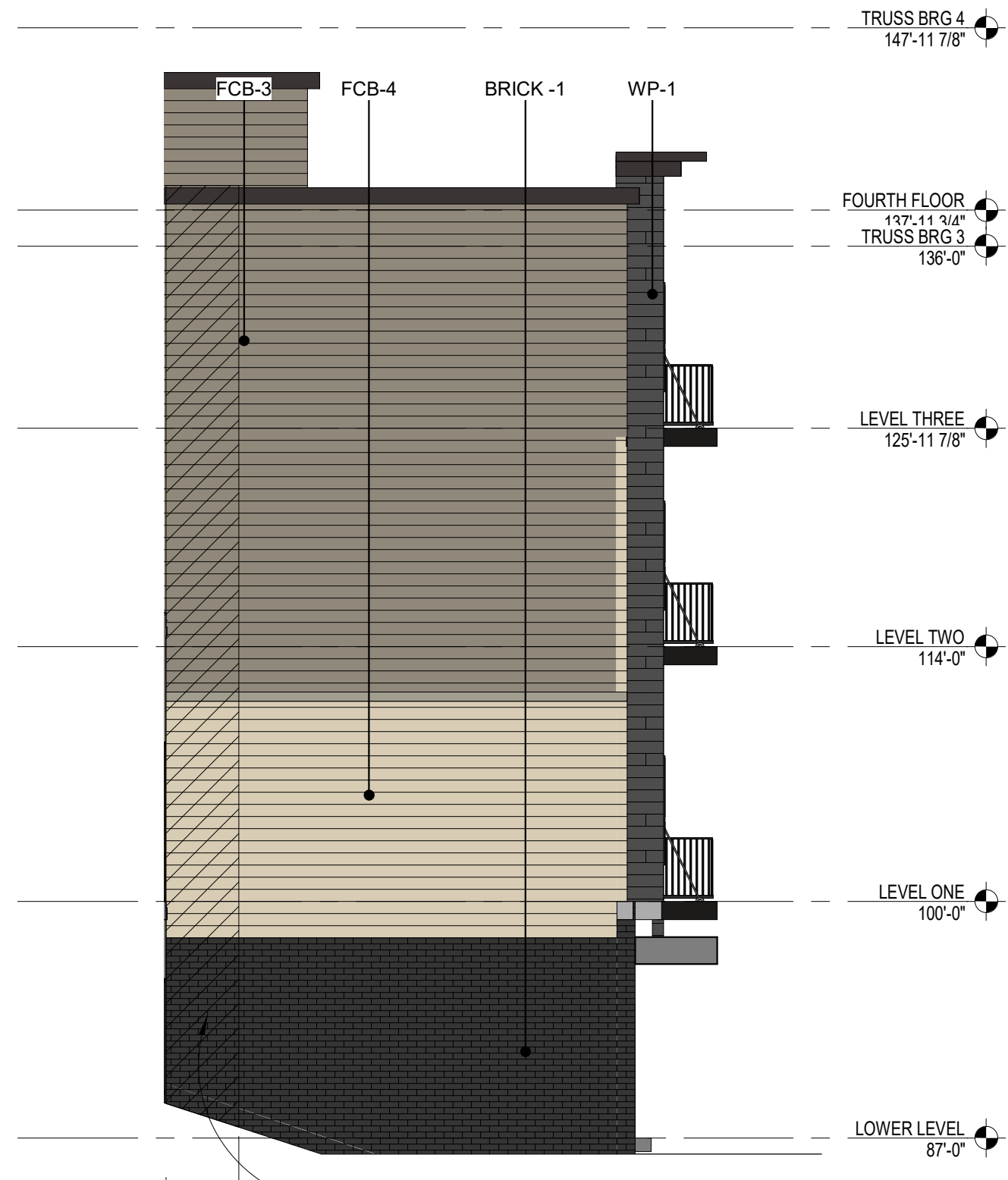
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# A3.6

# EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
PCAST - 1	PRECAST STONE SILL			DARK GREY	BRICK SILL
PCAST - 2	PRECAST STONE SILL			CREAM	STONE SILL
BRICK - 1	THIN BRICK VENEER		STANDARD	DARK GREY	
STN - 1	STONE VENEER	CORONADO	6" LIMESTONE	GENOA SAND	
STN - 2	STONE VENEER	AMCE BRICK	VELOUR	ALLENTOWN	
FCB - 1	FIBER CEMENT BOARD WITH REVEALS	JAMES HARDI	SMOOTH	BLUE	
FCB - 2	LAP SIDING	JAMES HARDI	SMOOTH	BLUE	
FCB - 3	LAP SIDING	JAMES HARDI	SMOOTH	GREY	
FCB - 4	LAP SIDING	JAMES HARDI	SMOOTH	BEIGE	
FCB - 5	FIBER CEMENT BOARD	JAMES HARDI	SMOOTH	DARK BRONZE	
WP-1	WALL PANEL	NICHIHA	VINTAGE WOOD	BARK	
FLASH - 1	CAP FLASHING		PREFINISH METAL	BLACK	
WND - 1	WINDOW		VYVNAU/ FIBREX	BLACK/ BRONZE	
STF - 1	ALUMINUM ENTRANCE, CURTAIN WALL		VYVNAU/ FIBREX	BLACK/ BRONZE	
FSC - 1	FASCIA			DARK BRONZE	

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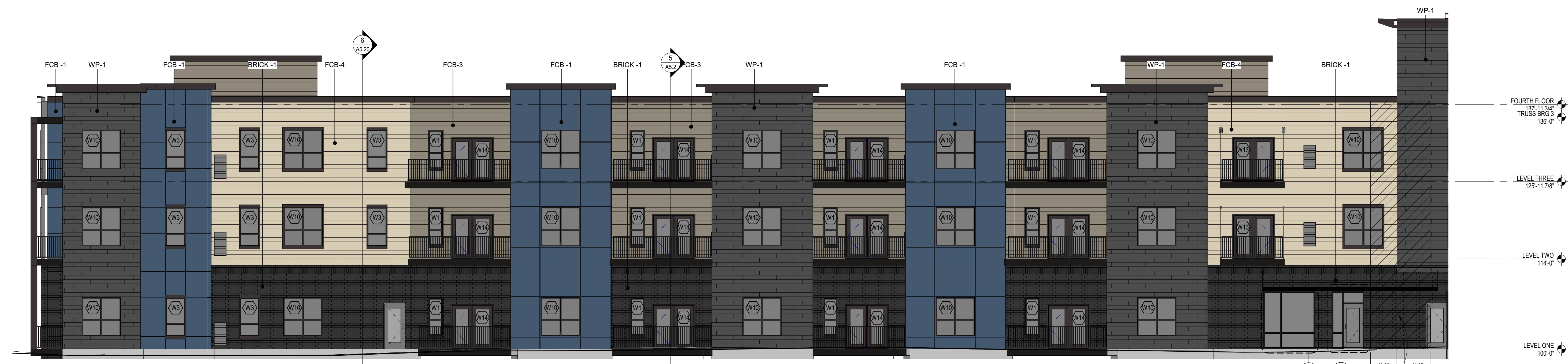
4  
A3.7  
AREA G - IL NORTH BUMPOUT  
1/8" = 1'-0"



1  
A3.7  
AREA G - IL SOUTH ELEVATION  
1/8" = 1'-0"



3  
A3.7  
AREA G - IL WEST ELEVATION  
1/8" = 1'-0"

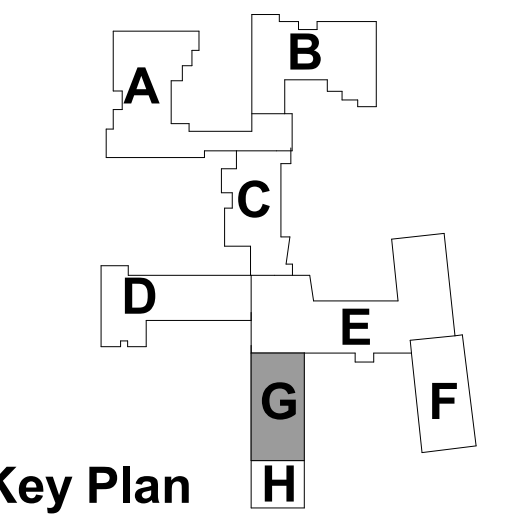


2  
A3.7  
AREA G - IL EAST ELEVATION MAIN  
1/8" = 1'-0"



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ST. THERESE  
SENIOR COMMUNITY  
CORCORAN, MN



Key Plan

## EXTERIOR ELEVATION - IL WEST

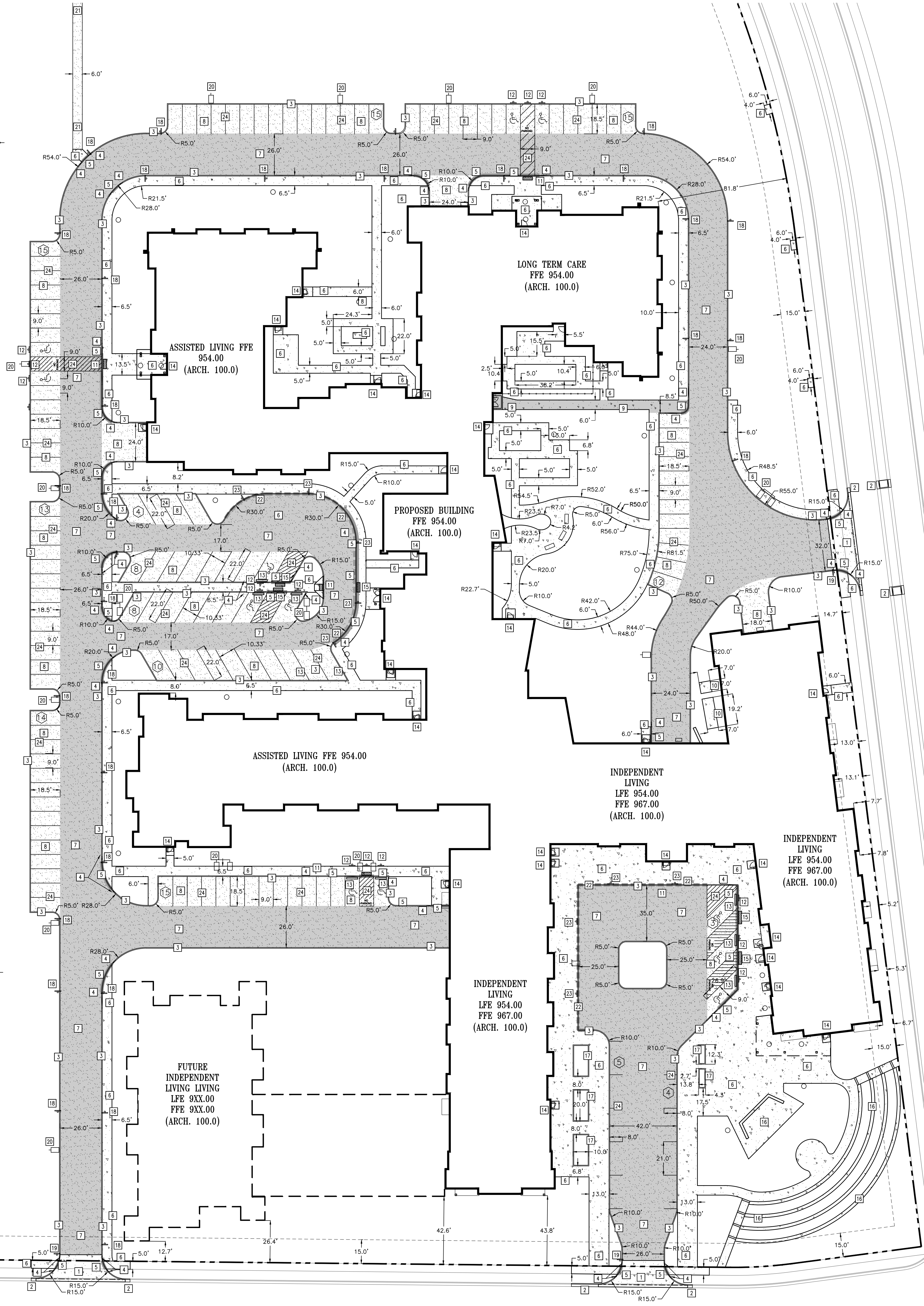
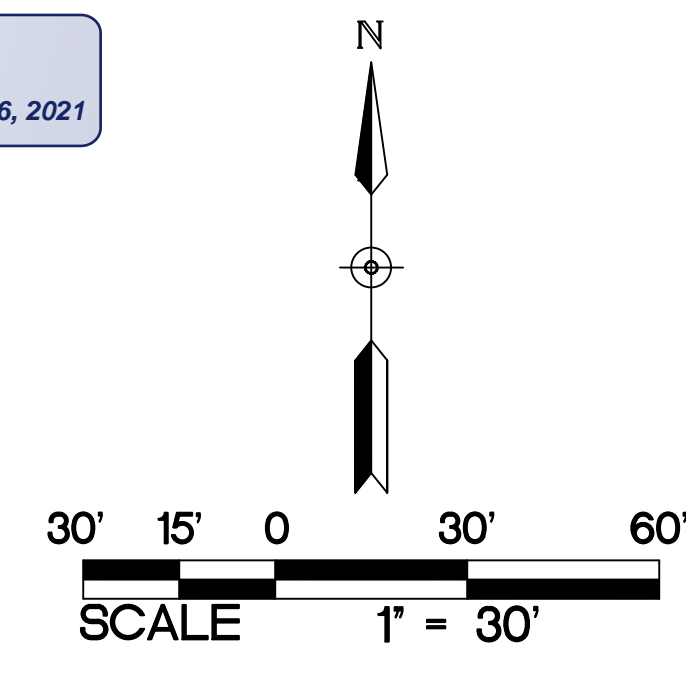
Design Development 11/11/2021

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Checked by: Checker

SHEET

A3.7

RECEIVED  
By Kendra Lindahl, AICP at 4:17 pm, Nov 16, 2021



ABBREVIATIONS

FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
R	Radius

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
LIGHT DUTY BITUMINOUS PAVEMENT	[Pattern]
HEAVY DUTY BITUMINOUS PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
CONCRETE PAVEMENT	[Pattern]
FLAT CURB AND GUTTER	[Symbol]
PEDESTRIAN CURB RAMP	[Symbol]
ACCESSIBLE PARKING SYMBOL	[Symbol]
SIGN	[Symbol]
PARKING STALL COUNT	[Symbol]
STREET LIGHT (BY OTHERS)	[Symbol]

NOTE:  
PUBLIC ROADS, SIDEWALKS, SANITARY SEWER, WATERMAIN, STORM SEWER, AND GRADING SHOWN ARE BEING DONE UNDER A SEPARATE CONTRACT BY THE CITY OF CORCORAN.

- KEYED NOTES
- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
- 1] INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAIL 7/C401.
  - 2] INSTALL B618 CONCRETE CURB AND GUTTER. REFER TO DETAIL 6/C401.
  - 3] INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 6/C401.
  - 4] INSTALL NOSE-DOWN CURB SECTION. REFER TO DETAIL 5/C402.
  - 5] INSTALL FLAT CURB SECTION. REFER TO DETAIL 4/C402.
  - 6] INSTALL CONCRETE WALK. REFER TO DETAILS 8/C401 AND 7/C402.
  - 7] INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 1/C402.
  - 8] INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 2/C402.
  - 9] INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 3/C402.
  - 10] INSTALL CONCRETE EQUIPMENT PAD. REFER TO DETAIL 9/C402 FOR BIDDING PURPOSES. FINAL PAD DESIGN SHALL BE PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
  - 11] INSTALL PEDESTRIAN CURB RAMP. REFER TO DETAILS 9/C401 AND 10/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038.
  - 12] INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 11/C401.
  - 13] INSTALL PRECAST CONCRETE WHEEL STOP. REFER TO DETAIL 12/C401.
  - 14] REFER TO STRUCTURAL PLANS FOR STOOP DETAIL.
  - 15] INSTALL TRUNCATED DOMES PER DETAIL 9/C401 AND 10/C401. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038.
  - 16] REFER TO ARCHITECTURAL AND LANDSCAPE FOR AMPHITHEATER PLANS AND DETAILS.
  - 17] INSTALL RAISED PLANTER BEDS. REFER TO LANDSCAPE PLANS.
  - 18] INSTALL NO PARKING FIRE LANE SIGN. REFER TO DETAIL 11/C401.
  - 19] INSTALL STOP SIGN. REFER TO DETAIL 11/C401.
  - 20] STREET LIGHTING. REFER TO LIGHTING PLANS.
  - 21] INSTALL BITUMINOUS TRAIL TO COMMUNITY GARDENS. REFER TO DETAIL 8/C401.
  - 22] PAINT CURB YELLOW TO EXTENTS SHOWN. REFER TO DETAIL 13/C401.
  - 23] INSTALL NO PARKING SIGN. REFER TO DETAIL 11/C401.
  - 24] PAINT PARKING LOT STRIPING AND NO PARKING AREA. 4" WIDE STRIPES, WHITE IN COLOR. STRIPING FOR CROSS HATCH SHALL BE AS SHOWN SPACED 3' APART.

- PAVING NOTES:
- 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - 2. ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
  - 3. NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
  - 4. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
  - 5. FOLLOW ALL CITY OF CORCORAN AND HENNEPIN COUNTY RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
  - 6. ALL PARKING STALLS ARE TO BE 9 FEET WIDE BY 18.5 FEET LONG, UNLESS NOTED OTHERWISE.
  - 7. ACCESSIBLE AISLES SHALL BE STRIPED PER MN CODE (SECTION 502), WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESS AISLE.
  - 8. THE CONTRACTOR IS TO CONTACT THE CITY OF CORCORAN FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
  - 9. REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
  - 10. INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
  - 11. ALL EXPANSION AND ISOLATION JOINTS SHALL BE SIZED PER SPECIFICATIONS.
  - 12. MATCH NEW PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
  - 13. MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
  - 14. MATCH NEW SIDEWALK INTO EXISTING SIDEWALK. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
  - 15. SAWCUT EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER.
  - 16. INSTALL DRIVE ENTRANCE PER CITY OF CORCORAN STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF CORCORAN AND HENNEPIN COUNTY REQUIREMENTS FOR TRAFFIC CONTROL.

NOT FOR CONSTRUCTION

Revisions

No.	Description	Date
-----	-------------	------

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

*Joel W. Mair*  
Joel W. Mair, PE  
Date 11-11-2021 Lic. No. 19181

DATE 11-11-2021  
PROJECT # 20398  
PROJECT STATUS DD SET

DRAWN BY WH  
CHECKED BY AIA

KEY PLAN

PAVING AND GEOMETRIC PLAN

C300

COUNTY STATE AID HIGHWAY NO. 116  
PINTO DRIVE  
(H.C.S.A.H. 116, PLAT 21)

UNIMPROVED





**TO:** Corcoran City Council

**FROM:** Nicholas Ouellette Kendra Lindahl, Landform

**DATE:** November 17, 2021 for the November 22, 2021 City Council Meeting

**RE:** Concept Plan for Corcoran Highway 55 Business Park (PID 32-119-23-34-0013, 32-119-23-34-0007, 32-119-23-43-0005 and 32-119-23-43-0006) (city file no. 21-047)

**REVIEW DEADLINE:** December 28, 2021

### 1. Description of Request

John Rausch has submitted a request for review of a concept plan to develop a five-lot business park, consisting of 10 buildings and a new frontage road. The site exists as undeveloped property today.

### 2. Background

The City of Corcoran completed an AUAR for Southwest Corcoran in 2005. The AUAR included this site, but the AUAR was not updated as required and has since expired.

On August 24, 2006, the City Council approved a preliminary plat, preliminary PUD development plan, rezoning and comprehensive plan amendment to allow development of approximately 545,000 square feet of industrial and commercial space on this approximately 55-acre site. This approval included construction of a traffic signal at Pioneer Trail and Highway 55 and included the extension of municipal sanitary sewer and water from the City of Medina.

On April 12, 2007, the City Council approved a final plat and final PUD development plan for “Corcoran Business Park”. The project did not proceed and all approvals have expired.

### 3. Context

#### *Zoning and Land Use*

The 56.64-acre site is guided Light Industrial. Three parcels are zoned Light Industrial (I-1) district and the northwest parcel is zoned Urban Reserve (UR) district. The land is vacant.

The site is located in the Metropolitan Urban Service Area (MUSA) and is part of the Future Study Area for sanitary sewer identified in the Comprehensive Plan.

#### *Surrounding Properties*

The site is bordered by Highway 55 and the City of Medina to the south. All surrounding properties to the north, east and west are located within the MUSA. Properties to the north, northeast and northwest



of the site are guided Existing Residential and Low Density Residential. Properties to the east and west are guided Light Industrial.

#### *Natural Characteristics of the Site*

There are no natural resources identified in the NRI. However, there are four delineated wetlands on site.

### **4. Analysis**

#### *Concept Plan*

The applicant is proposing a concept plan for a five-lot business park at the northeast corner of Highway 55 and Pioneer Trail. Four of the lots are warehouse/office uses and the fifth lot is a proposed mini storage/self storage facility. Ten buildings are proposed on the concept plan: six buildings would comprise the mini storage/self storage facility and the remaining four buildings are warehouse/office buildings on individual lots. A proposed frontage road will provide access to the five lots from Pioneer Trail. The applicant indicated in their narrative that only the mini storage/self storage facility on Lot 5 and the warehouse/office building on Lot 4 are planned for construction. The applicant should provide a phasing plan for development of the entire business park.

A rezoning will be required to change the zoning of the smallest lot from UR district to I-1 district. The rezoning would be consistent with the future land use. However, Section 1040.125, Subd. 1, of the Zoning Ordinance states, "New development within this district will be allowed only when a full range of municipal services and facilities are available to serve the area." Municipal services are not available to the site; therefore, a variance will be required to allow development in advance of municipal service availability.

- The Council should discuss whether this development is premature prior to availability of municipal sanitary sewer and water.

Warehouse/office uses are permitted in the I-1 district. Mini storage/self storage facilities are a permitted as a conditional use in the I-1 district and will require a conditional use permit application from the developer.

#### *Premature Subdivision*

Section 925 of the Subdivision Ordinance says that "Any proposed subdivision deemed premature for development shall not be approved by the City Council. A subdivision shall be deemed premature if the Council determines that any of the following conditions exist. The burden of proof shall be upon the subdivider to show that the proposed subdivision is not premature."



If the Council finds any of the following, the Council should deem the development premature:

**Subd. 1. Inconsistent with the Comprehensive Plan.** *A proposed subdivision may be deemed premature if it is inconsistent with the purposes, objectives, development staging plan, or recommendations of the City's Comprehensive Plan, as may be amended. Application for reguiding and/or rezoning may be made simultaneously with an application for subdivision approval, however, a subdivision application will not be considered for approval by the City Council until and unless any necessary reguiding and/or rezoning application is approved by the Council.*

- Staff finds that the proposal is consistent with the Light Industrial and use designation. It is in Stage 3 (2030-2035) of the sanitary sewer staging plan and in the Future Study Area for sanitary sewer, but the developer indicates that this project would not require municipal services and a Comprehensive Plan amendment to change the staging plan would not be needed.

**Subd. 2. Inconsistent with the Capital Improvements Program.** *A proposed subdivision may be deemed premature if it is inconsistent with the capital improvements program because public improvements, facilities, or services necessary to accommodate the proposed subdivision would not be completed within two years of the date of application.*

- Public sanitary sewer and water is not available and would not be available within two years, however, the applicant would provide private services to serve the project and would connect to municipal services in the future. The applicant would construct the planned Highway 55 frontage road as part of this project to provide street infrastructure consistent with the Capital Improvements Program.

**Subd. 3. Lack of Adequate Water Supply.** *A proposed subdivision shall be deemed to lack adequate water supply if the proposed subdivision does not have adequate sources of water to serve the proposed subdivision if developed to its maximum permissible density without causing an unreasonable depreciation of existing water supplies for surrounding areas. Within the urban service boundary, a proposed subdivision may be deemed premature if public water is not available to serve the proposed subdivision.*

- Public water supply is not available and would not be available within two years. However, the development plan appears to be consistent with urban density and could be connected to municipal water supply when available.

**Subd. 4. Lack of Adequate Waste Disposal Systems.** *A proposed subdivision shall be deemed to lack adequate waste disposal if there is inadequate on-site sewer capacity to support the subdivision if developed to its maximum permissible density.*

*Within the urban service boundary, a proposed subdivision may be deemed premature if:*

*A. Sanitary sewer is neither available nor proposed; or*

*B. Available or proposed sanitary sewer is inadequate to support the subdivision if developed to its maximum permissible density after reasonable sewer capacity is reserved for schools, public facilities, and other developments planned within five years of the date of application.*

- Public sanitary sewer is not available and would not be available within two years. However, the development plan appears to be consistent with urban density and could be connected to municipal water supply when available.



**Subd. 5. Lack of Adequate Streets to Serve the Subdivision.** A proposed subdivision may be deemed premature if:

A. Streets which serve the proposed subdivision are of such a width, grade, stability, vertical and horizontal alignment, site distance or surface condition that the traffic volume generated by the proposed subdivision would create a hazard to public safety and general welfare, or would seriously aggravate an existing hazardous condition; or

B. The traffic volume generated by the proposed subdivision would create congestion or unsafe conditions on existing or proposed streets.

- The developer would build the required public streets to serve the development. A traffic study would be completed as part of the required Environmental Assessment Worksheet (EAW).

**Subd. 6. Lack of Adequate Drainage.** A proposed subdivision may be deemed premature if:

A. Surface or subsurface water retention and runoff is such that it constitutes a hazard to the stability of proposed or existing structures; or

B. The proposed subdivision would cause pollution of water sources or would cause damage from erosion or siltation on downstream property; or

C. Factors including, but not limited to, the presence of floodplain, poor soils or subsoils, or steep slopes exist in such a manner as to preclude adequate site drainage or treatment of runoff.

- The developer would comply with state, watershed and local requirements for drainage.

**Subd. 7. Inconsistent with Environmental Requirements.** A proposed subdivision may be deemed premature if it is inconsistent with the rules and policies of the Minnesota Environmental Quality Board, as may be amended, and could adversely impact critical environmental areas, or potentially disrupt or destroy, in violation of State historical preservation laws, historic areas which are designated or officially recognized by the City Council.

- As part of any project, the City would complete an EAW as required by the Environmental Quality Board (EQB) and any development would be subject to the mitigation standards from that analysis.

The project is premature without municipal sanitary sewer and water; however, the Council could find that with provision of temporary well and septic systems to serve the development and an agreement to connect to municipal sewer and water when available and agreement to pay all infrastructure costs for those services would allow urban development consistent with the Comprehensive Plan. If so, the Council would direct the applicant to apply for a variance to allow development in advance of municipal services.

- This is a significant policy issue for the City Council. Unlike the Garages Too application, which did not require sewer and water, this project cannot develop without sewer and water services. Several other landowners in this area have expressed an interest in developing and support for development on this site will likely result in variance requests to allow development on other sites in this area in advance of municipal sewer and water.



### Lot Standards and Building Setbacks

Lot standards for the I-1 district are as follows:

Minimum lot area	1 acre
Minimum lot width	100 ft.
Minimum lot depth	200 ft.
Setbacks	
Front, from major roadways	100 ft.
Front, from all other streets	50 ft.
Side	20 ft.
Rear	20 ft.
Adjacent to residential	50 ft.
Maximum Principal Building Height	45 ft.
Maximum impervious surface coverage	70%

Street A will provide frontage for all lots in the business park. The applicant must dimension building, parking, and drive aisle setbacks on plans to ensure they comply with the above standards. The buildings shown on the concept plan appear to comply with setback standards for the I-1 district.

The five proposed lots range in size from 2.8 to 27.3-acres in size and generally exceed the lot area, width and depth requirements for the I-1 district.

### Access/Streets

The Southwest District Design Guidelines indicate that future driveways and other direct access from new developments to State Highway 55 shall not be permitted. Access to the business park would be provided through the Street A frontage road that connects with Pioneer Trail to the west of the site. The Southwest District Design Guidelines show the frontage road extending east to connect with Rolling Hills Road. All proposed lots will have access from Street A. This street is proposed in accordance with the Southwest District Design Guidelines, which states:

*Driveways and other direct access from new developments to State Highway 55 shall not be permitted. New access roads shall be provided for access to properties that currently front the highway.*

Street A is approximately 36 ft. wide and has a 66 ft. wide right-of-way. The City Engineer has noted a right-of-way width of at least 60 ft. is anticipated to accommodate the proposed frontage road, but would be evaluated as part of the EAW

MnDOT reviewed the plans and noted concerns about traffic at the Highway 55/Pioneer Trail intersection. They recommended that a traffic study be completed. Staff would complete a traffic study as part of the EAW. A copy of their letter is attached.



The City Engineer anticipates turn lanes into and out of the development will be necessary at the intersection of Pioneer Trail and Street A. A traffic signal was reviewed in 2005 and will be reviewed again for this development in coordination with MnDOT and the City of Medina. Additional offsite impacts will be reviewed as part of the EAW.

*Overlay Districts*

There are four wetlands on the site which are regulated by the standards in Section 1050.010, the “Wetland Overlay District.” The site plan does show the development of buildings, drive aisles and stormwater ponds over two of the wetlands.

There are no Floodplain or Shoreland Overlay districts on this site. The proposed development is subject to the performance standards in the Southwest District Design Guidelines in Appendix A of the Zoning Ordinance.

*Buildings/Architecture*

There are ten buildings shown on the concept plan. The warehouse/office buildings are shown as buildings 1-4 and the mini storage/self storage buildings are shown as buildings A-F. The square footage for each building is as follows:

<b>Building</b>	<b>Building Footprint (sq. ft.)</b>
Building 1 (Lot 1)	25,000
Building 2 (Lot 2)	12,000
Building 3 (Lot 3)	66,000
Building 4 (Lot 4)	100,000
<i>Total Warehouse/Office</i>	<i>203,000</i>
Building A (Lot 5)	24,500
Building B (Lot 5)	24,500
Building C (Lot 5)	100,000
Building D (Lot 5)	100,000
Building E (Lot 5)	88,000
Building F (Lot 5)	42,000
<i>Total Mini Storage/Self Storage</i>	<i>379,000</i>
<b>TOTAL (All Buildings)</b>	<b>582,000</b>

The applicant has not provided detailed elevations for the proposed buildings but has provided photos to represent the architectural style of the buildings. Section 1060.050, Subd. 1(C), provides standards for buildings in non-residential zoning districts. These appear to comply with ordinance standards.

*Parking*

The concept plan shows parking and drive aisle for the four warehouse/office buildings on Lots 1 through 4. Loading areas for the buildings on Lots 1-4 are situated between the proposed buildings and



Street A. No parking is shown for the mini storage/self storage facility on Lot 5. The applicant should describe the plan for parking at the mini storage/self storage facility. If customers are to park in front of their units, plans should show enough separation between buildings that would be adequate for parking in front of a unit and to allow traffic to pass unobstructed.

Parking and drive aisles must be setback 50 ft. from all other streets and 10 ft. from the side and rear property lines. The parking and drive aisles appear to comply with this requirement; however, the loading areas on Lots 1-4 appear do not appear to comply with the 50-foot minimum setback.

Section 1060.060, Subd. 3(B.9) stipulates that off-street loading areas are prohibited within 300 ft. of residentially zoned or guided property unless they are screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guide property by the use of berms, fences, or walls to provide 100% opacity to a height of at least 10 ft. This may impact the loading area on Lots 1 and 2 which appear to be within 300 ft. of residentially zoned properties across proposed Street A to the north.

### *Landscaping*

No landscaping is depicted on the concept plan. The Southwest District Design Guidelines recommend landscaping should be designed to work with the existing topography of the area, preserving the rolling hills and natural view corridors. The site will also be subject to the landscape standards in Section 1060.070 which requires the following:

- One overstory tree per 1,000 sq. ft. of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater.
- One understory shrub for each 300 sq. ft. of building or one tree per 30 lineal feet of site perimeter, whichever is greater.
- The planting screen shall consist of hardy trees that will provide a minimum of 80% opacity year-round. Planting screens shall contain a mix of overstory and understory planting and a mix of deciduous and coniferous materials.

The proposed concept would be required to plant approximately 155 trees and 258 shrubs, based on an estimated site perimeter of 7,725 linear feet. Property lines along the north, northeast and northwest perimeter of the site would also be required to plant screening to buffer from adjacent residential districts.

### *Utilities*

The site is located in the Metropolitan Urban Service Area (MUSA) and is shown within a future study area for the SW District proposed trunk sanitary sewer system. The I-1 district states that “New development within this district will be allowed only when a full range of municipal services and facilities are available to serve the area.” The applicant would be requesting a variance to allow development in advance of municipal sanitary sewer and water. The Council must decide whether or not this development is premature without municipal sewer and water.



If the Council supports development in advance of municipal sewer and water, the applicant will provide wells and septic systems to serve the development. Septic locations are delineated on the concept plan for Lots 1-4. The applicant must obtain preliminary approval of the septic locations from Hennepin County Public Health prior to submittal of a final plat application.

Lot 5 is the mini storage / self storage and does not show any septic facilities. However, staff notes that this site is planned for the development of Park Place storage and that site does have septic service. The applicant should provide more information about why well and septic is not required for this site and how fire suppression would be provided.

No public utilities are available to the site and the frontage road would be constructed without utilities below ground. The City Engineer recommends a utility corridor be identified on plans to allow for the future installation of utilities without requiring reconstruction of the road.

#### *Stormwater*

The applicant has proposed two stormwater ponds. One pond is located on Lot 5 and the other pond is located on both Lot 2 and Lot 3. As part of a development review plan, the applicant would be required to comply with state, watershed and local stormwater standards.

#### *Public Safety*

Public Safety Committee reviewed the plans and provided initial feedback. The committee noted that firetruck circulation that should be addressed with a circulation map and requested the applicant provide details for fire suppression in buildings with future plans.

#### *Environmental Assessment Worksheet (EAW)*

An EAW is required for the project as the gross square footage of industrial space (582,000 sq. ft.) exceeds the EAW threshold of 300,00 sq. ft. If the Council supports the concept shown by the applicant, City staff would begin work on an EAW for the site. Staff would provide the applicant with a cost estimate and upon receipt of the required escrow would begin the EAW process. No formal development application (preliminary plat, site plan, etc.) may be reviewed until the EAW process is complete.

#### Conclusion

The proposed uses are consistent with the planned future land use in this district. The policy question for Council is whether or not the project is premature and should be delayed until municipal services are available to the site.





Development in the MUSA is deemed premature until municipal sanitary sewer and water are available. However, the Council has approved a variance to allow the expansion of the Park Place Storage on County Road 19 and recently approved Garages Too self storage east of this site. The Council has discretion in allowing development in the MUSA without sewer and water and should weigh the impact of allowing development now rather than when infrastructure is available.

If the Council indicates support for the application, the next step would be for the applicant to submit applications for:

1. EAW
2. Rezoning, Preliminary Plat, Conditional Use Permit and Variance (for development in advance of municipal services)
3. Final Plat

## **5. Recommendation**

Staff recommends that the City Council review and discuss the concept plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.

## **Attachments**

1. Site Location Map
2. Concept Plan dated October 19, 2021
3. Applicant Narrative dated October 19, 2021
4. City Engineer's memo dated November 15, 2021
5. Public Safety Memo dated November 16, 2021
6. MnDOT letter dated November 4, 2021
7. Future Land Use Map
8. Zoning Map
9. Southwest District Plan
10. Architectural Images






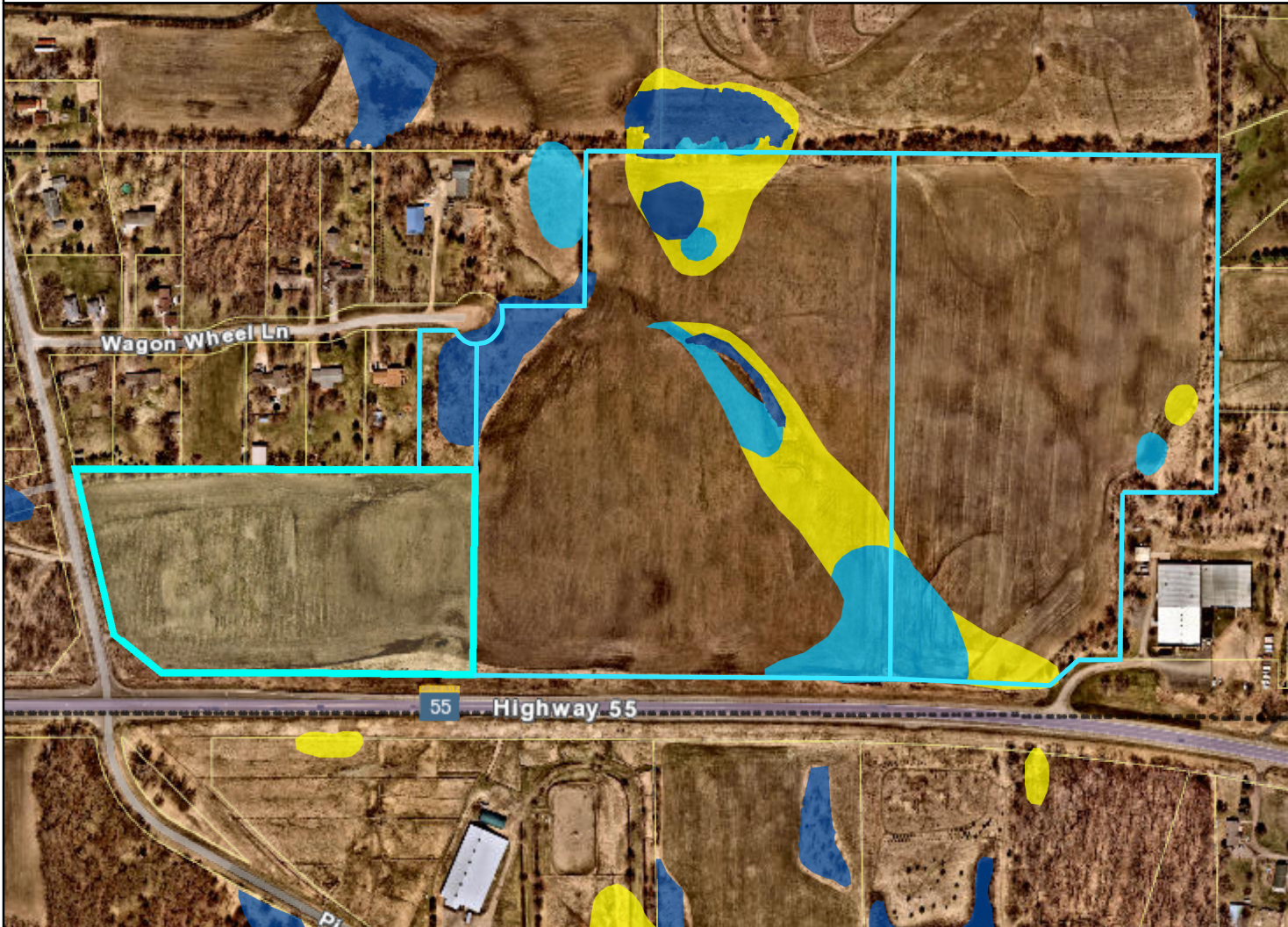
# Hennepin County Natural Resources Map

Date: 11/11/2021

## Legend

### Wetlands

-  Potential Wetland - HCWI
-  Probable Wetland - HCWI
-  Probable Wetland - NWI



PID: 3211923340013  
Address: 6210 Pioneer Tr,  
Corcoran 55357  
Owner: Landspec Fund 2 Llc  
Acres: 9.81

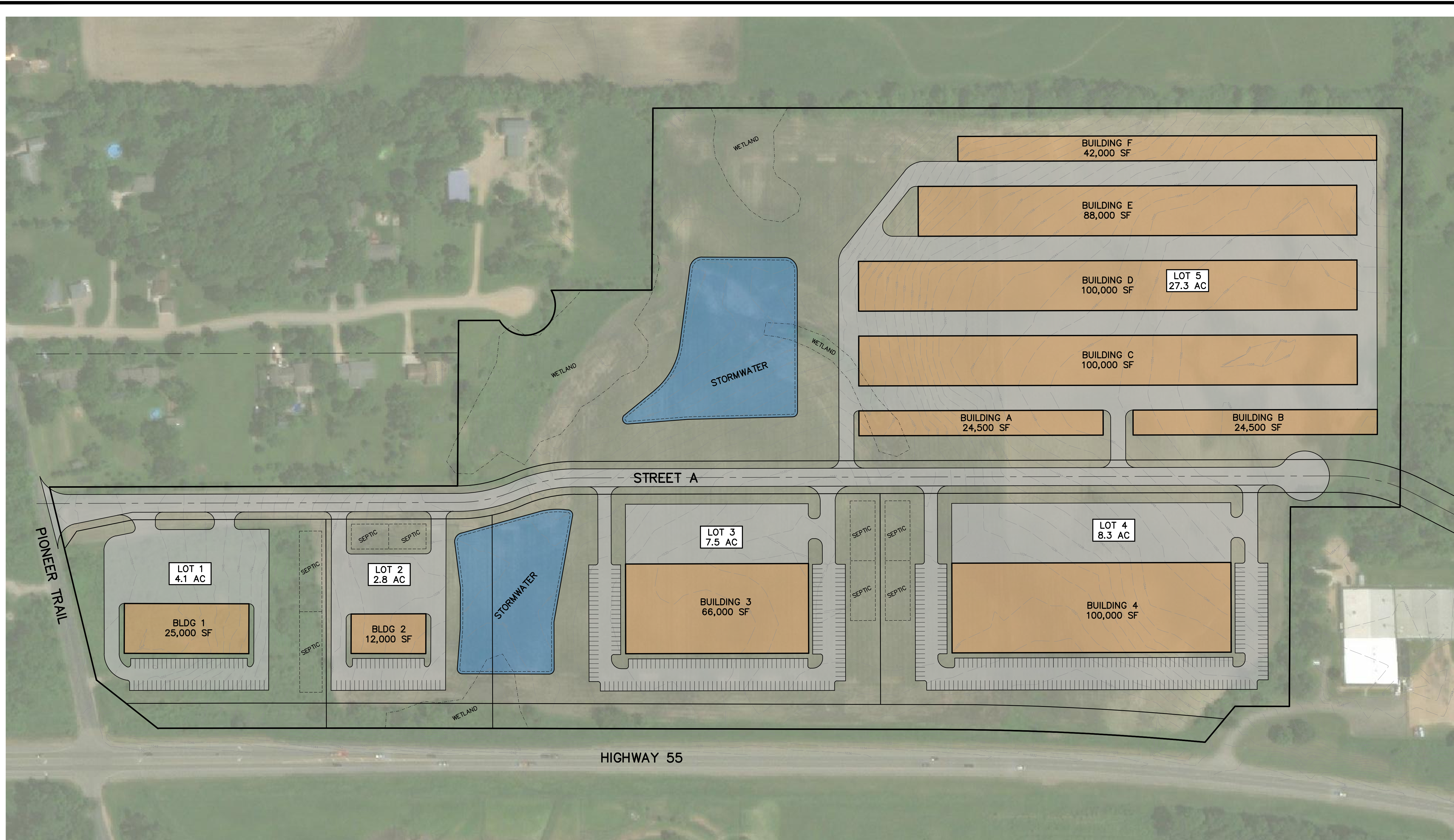
Comments:

1 inch = 400 feet



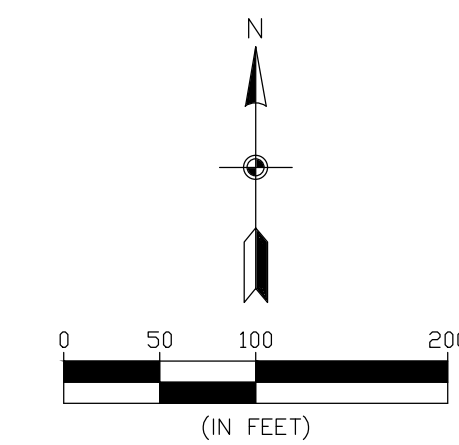
This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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**PROPOSED LOT USES**

- LOT 1: OFFICE, WAREHOUSE, CONTRACTOR YARD
- LOT 2: OFFICE, WAREHOUSE, CONTRACTOR YARD
- LOT 3: OFFICE, WAREHOUSE, DISTRIBUTION, ASSEMBLY
- LOT 4: OFFICE, WAREHOUSE, DISTRIBUTION, ASSEMBLY
- LOT 5: STORAGE CONDOMINIUMS



REVISIONS


DRAWN BY: JTR  
 DESIGNED BY: JTR  
 ISSUE DATE: 10/19/21

Site Date: 10/19/21 | I:\community\yadach, jekamp projects\northmar\corcoran - concept 0\_211019.dwg

## **Park Place Storage Condominiums Inc.**

**Site Address: Highway 55 and Pioneer Trail, Corcoran, MN**

**October 19, 2021**

Park Place Storage Condominiums Inc. has eight facilities around the Twin Cities including the existing Corcoran site on Highway 19. We continually strive to improve the existing facilities while building new improved facilities with added amenities. The proposed parcel is a 27 acre lot at the intersection of Highway 55 and Pioneer Trail along the future North frontage road. The Developer will engineer the site to hook up to utilities when they are available.

This proposal is for 6 buildings with an estimated 380,000 square feet of buildings with an estimated \$66,000,000 valuation upon completion. The buildings will all face into the property with no exposed garage doors and minimal light at the property boundary. The unit sizes will range from 500-1800 sf and are owned as a condominium similar to our other locations. The units include heat, water, electrical and WIFI. The site is gated, fenced with video security around the entire property with an option for security in the unit as well. There will not be any Residential or outside storage available on the property. The entire property is covered by a “dry” fire sprinkler system. This facility will also have an indoor RV wash station for owners use only.

We believe the very low impact of our use combined with excellent project screening makes this an ideal project for the City of Corcoran.

We would like to thank you for the last 20+ years and look forward to the next 20+ years and thank you for the consideration of our project.

Paul Jorgensen

President

Park Place Storage Condominiums Inc.

952-250-2163

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To: Kevin Mattson, PE, Public Works Director

From: Kent Torve, City Engineer  
Steve Hegland, PE

Project: Hwy 55 Business Park Concept

Date: November 15, 2021

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**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Concept Plan O, prepared by Carlson McCain, 10/19/21.
2. Concept Plan O Neighborhood Context Plan, prepared by Carlson McCain, 10/19/21.
3. Project Development Narrative, New Warehouse/Storage Facility 22400 State Highway 55, Dated 01/13/21.

**Comments:**General:

1. Comments provided are high level comments based on the concept plan schematic provided. Additional comments should be anticipated on future submittals on the details of the development.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran.
3. The development plan will require an Environmental Assessment Worksheet (EAW) or potentially Alternative Urban Area-Wide Review (AUAR) to be completed by the City. A previous AUAR was completed by the City in 2005. If the project were to proceed, the full scope of the environmental review will be determined. The EAW/AUAR process includes study of infrastructure components typical of a City Feasibility Study for developments.

Plat:

1. Plans shall show all drainage and utility easements and meet all platting requirements per the City Code. Drainage and utility easements shall be provided as standard per City requirements.
2. Easements should be provided over all infrastructure or swales used for the conveyance and treatment of stormwater.
3. Easements should be provided over any/all public infrastructure if applicable.
4. Any existing easements should be provided to the City for review. Easement vacation requires a separate City process.

### Transportation

1. It is anticipated that Street A will be a public roadway which would ultimately extend to Rolling Hills Road.
2. The ROW width shall be further determined but is anticipated to be at least 60'.
3. It is anticipated that turn lanes into and out of the development will be necessary at Pioneer Trail and Street A. Additional offsite impacts and mitigation measures will be reviewed with the EAW/AUAR. A traffic signal was reviewed in 2005 and will be reviewed with this development in coordination with MnDOT and Medina.
4. The proposed roadway connects to Pioneer Trail which is identified as a collector roadway on the Corcoran Comprehensive Plan and is a designated State Aid Route.
5. In accordance with code all parking areas shall have perimeter curbing and paved parking.
6. Fire access and emergency access to the site should be reviewed by Public Safety.
7. The extension of Street A to the east should be considered by the City with the proposed development.
8. The traffic study should be performed with the EAW/AUAR to determine impacts on the roadway system and what if any improvements may be necessary. The following intersections are anticipated to be studied at a minimum;
  - a. Hwy 55 and Rolling Hills Road
  - b. Hwy 55 and Pioneer Trail
  - c. Hwy 55 and County Road 19
  - d. Hwy 55 and Town Line Road
  - e. Rolling Hills Road and Horseshoe Trail
  - f. County Road 19 and Pioneer Trail
9. All streets and infrastructure shall be constructed to City standards.

### Grading /Stormwater

1. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
2. Preparation of an erosion control plan and compliance with an NPDES SWPPP shall be required for construction.
3. The City's Stormwater Guidelines shall be used for stormwater systems and modeling.
4. The WMO typically requires that the model P8 or a similar calculation to demonstrate that the site meets the total phosphorous and total suspended solids reduction standards for all treatment practices.
5. Provide a hydraulic stormwater model to ensure that the proposed development meets all required rate control standards and does not adversely impact surrounding properties.
6. Drainage from the site appears to primarily discharge to the north/northwest to Jubert Lake and south across Hwy 55. Small portions of the site discharge to the southeast and

northeast as well. Grading on the site should be in such a manner as to control runoff from the site and water shall not be discharged at a higher flowrate onto any portion of an adjacent property than which discharged during the existing conditions.

7. The majority of the site drains onto private property to the north towards Jubert Lake. The stormwater management plan should ensure no impacts onto adjacent properties and may require analysis downstream. Property considerations for drainage management will be coordinated with the City as the project moves forward.
8. The City will review the project's ability to limit discharge to the northeast if it is feasible within the overall development framework.
9. If filtration is required for the site to meet WMO requirements, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used.

#### Water/Sewer

1. The applicant shows concept septic sites for Lots 1-4. It is assumed that no sewer or domestic water will be required for the storage facility in Lot 5.
2. Public Safety should review the need for any current or future fire protection within the property.
3. Installation of sewer and water utilities through the development for future connection to the City system shall be considered with the development. If utilities are not installed at the time of the initial development, a utility corridor should be identified and preserved with easements to ensure utilities can be installed in the future without requiring the reconstruction of the roadway.
4. Septic sewer is reviewed and approved by Hennepin County.

**End of Comments**



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.corcoranmn.gov](http://www.corcoranmn.gov)

# Memo

**To:** Planning (Planners Lindahl and Davis)  
**From:** Director Gottschalk  
**Date:** November 16, 2021  
**Re:** City File 21-047 Corcoran Hwy 55 Business Park

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A Public Safety plan review meeting was held on 11/10/2021. In attendance were: Director of Public Safety Gottschalk, Lieutenant Ryan Burns, Planner Davis, Fire Chief Feist, Fire Chief Malewicki, and Construction Services Specialist Pritchard. The comments below are based on the concept plans dated October 19, 2021 and are intended as initial feedback as further plan review will need to be completed as construction plans are available.

1. The parking lots for Lots 3 and 4 should be designed to allow for fire truck circulation around the buildings.
2. Fire truck circulation within the lot for Park Place Storage will need to be addressed with a circulation map. The applicant should keep in mind that the 90-degree corners as depicted in the concept plan are very difficult for emergency vehicles to navigate, so the buildings may need to be shorter than what is currently shown. The applicant may want to consider splitting up larger buildings to allow for better circulation. Additionally, there will need to be passable lanes to accommodate two-way traffic.
3. The Public Safety team would like a better understanding of any plans to sprinkle the proposed storage buildings. A fire sprinkler system will need water storage tanks and the stormwater pond cannot be used for fire suppression. Firewalls could reduce the need for a sprinkler system.



November 4, 2021

Natalie Davis McKeown  
Planner  
City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

SUBJECT: MnDOT Review # **P21-051**  
**Park Place Storage Condominiums-Corcoran**  
NE Quad MN 55 & Pioneer Trail  
Corcoran, Hennepin County

Dear Ms. McKeown:

Thank you for the opportunity to review the plans for **Park Place Storage Condominiums-Corcoran**. MnDOT has reviewed the documents and has the following comments:

***Traffic:***

This proposed development, in conjunction with another in the SW quadrant of TH55 and Pioneer Trail, will add more traffic to an already busy intersection. In particular, heavy commercial traffic may struggle to find acceptable gaps to enter the highway from Pioneer Trail during peak periods. The City should consider a traffic study to evaluate the need for other traffic control at the intersection of MN 55 and Pioneer Trail.

For questions regarding these comments, contact Eric Lauer-Hunt, West Area Traffic, at [eric.lauer-hunt@state.mn.us](mailto:eric.lauer-hunt@state.mn.us) or 651-234-7875.

***Water Resources:***

A MnDOT drainage permit will be required to ensure that current drainage rates to MnDOT right-of-way will not be increased. The drainage permit application, including the information below, should be submitted online to: <https://dotapp7.dot.state.mn.us/OLPA/>

The following information must be submitted with the drainage permit application:

- 1) A grading plan showing existing and proposed contours.
- 2) Drainage area maps for the proposed project showing existing and proposed drainage areas. Any off-site areas that drain to the project area should also be included in the drainage area maps. The direction of flow for each drainage area must be indicated by arrows.

An equal opportunity employer

- 3) Drainage computations for pre and post construction conditions during the 2, 10, 50 and 100 year rain events.
- 4) Time of concentration calculations.
- 5) An electronic copy of any computer modeling used for the drainage computations.
- 6) See also the attached Drainage Permits Checklist for more information.

Once a drainage permit application is submitted, a thorough review will be completed and additional information may be requested.

Please direct questions concerning drainage issues to Jason Swenson (651-234-7539) or [Jason.Swenson@state.mn.us](mailto:Jason.Swenson@state.mn.us) of MnDOT's Water Resources section.

***Permits:***

In addition to the Drainage permit mentioned above, an access permit will be required. Additionally, any use of, or work within or affecting, MnDOT right of way will require a permit.

Permits can be applied for at this site: <https://olpa.dot.state.mn.us/OLPA/>. Please upload a copy of this letter when applying for any permits.

Please direct questions regarding permit requirements to Buck Craig of MnDOT's Metro Permits Section at 651-775-0405 or [Buck.Craig@state.mn.us](mailto:Buck.Craig@state.mn.us).

***Review Submittal Options***

MnDOT's goal is to complete reviews within 30 calendar days. Review materials received electronically can be processed more rapidly. Do not submit files via a cloud service or SharePoint link. In order of preference, review materials may be submitted as:

1. Email documents and plans in PDF format to [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us). Attachments may not exceed 20 megabytes per email. Documents can be zipped as well. If multiple emails are necessary, number each message.

2. PDF file(s) uploaded to MnDOT's external shared internet workspace site at: <https://mft.dot.state.mn.us/metrodevreviews.dot@state.mn.us>. Contact MnDOT Planning development review staff at for uploading instructions, and send an email listing the file name(s) after the document(s) has/have been uploaded.

If you have any questions concerning this review, please contact me at (651) 234-7797.

Sincerely,



Cameron Muhic  
Senior Planner

**Copy sent via E-Mail:**

Buck Craig, Permits  
Jason Swenson, Water Resources  
Brandon Nelson, Surveys  
Doug Nelson, Right-of-Way  
Mackenzie Turner Borgen, Multimodal  
Russell Owen, Metropolitan Council

Lance Schowalter, Design  
Eric Lauer-Hunt, Traffic  
Andrew Lutaya, Area Engineer  
Jason Junge, Transit  
Jesse Thorsen, Multimodal



# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 2-1

### 2040 Future Land Use

- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Future Study Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

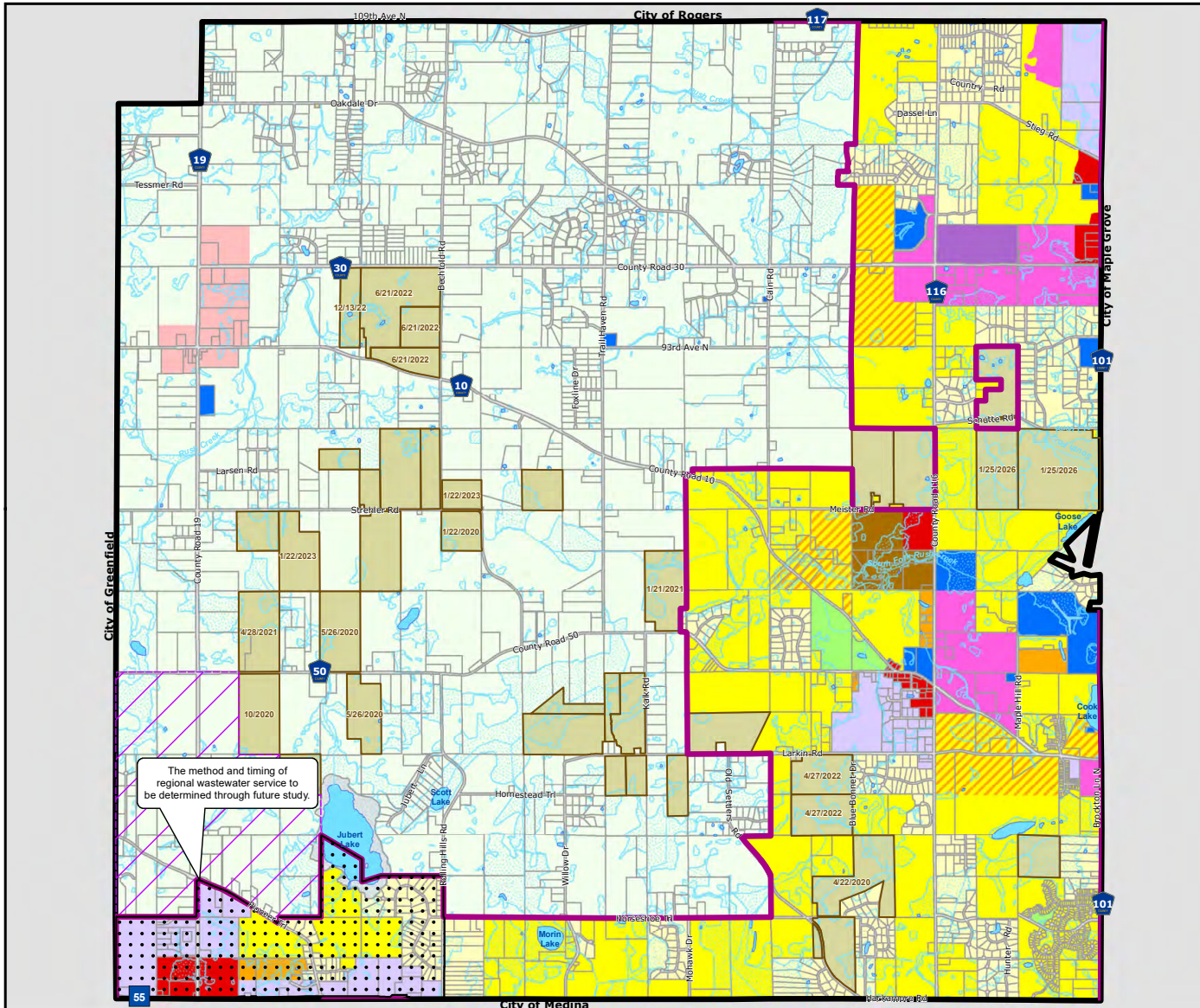
Source:  
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000

Feet



Path: L:\2284\100\2040CompPlan\2040 Future Land Use.mxd  
Date: 8/7/2019 Time: 8:03:42 AM User: Shu.JC0243































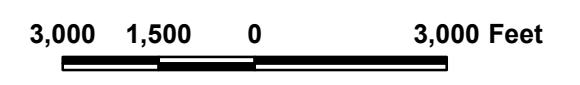


# CITY OF CORCORAN

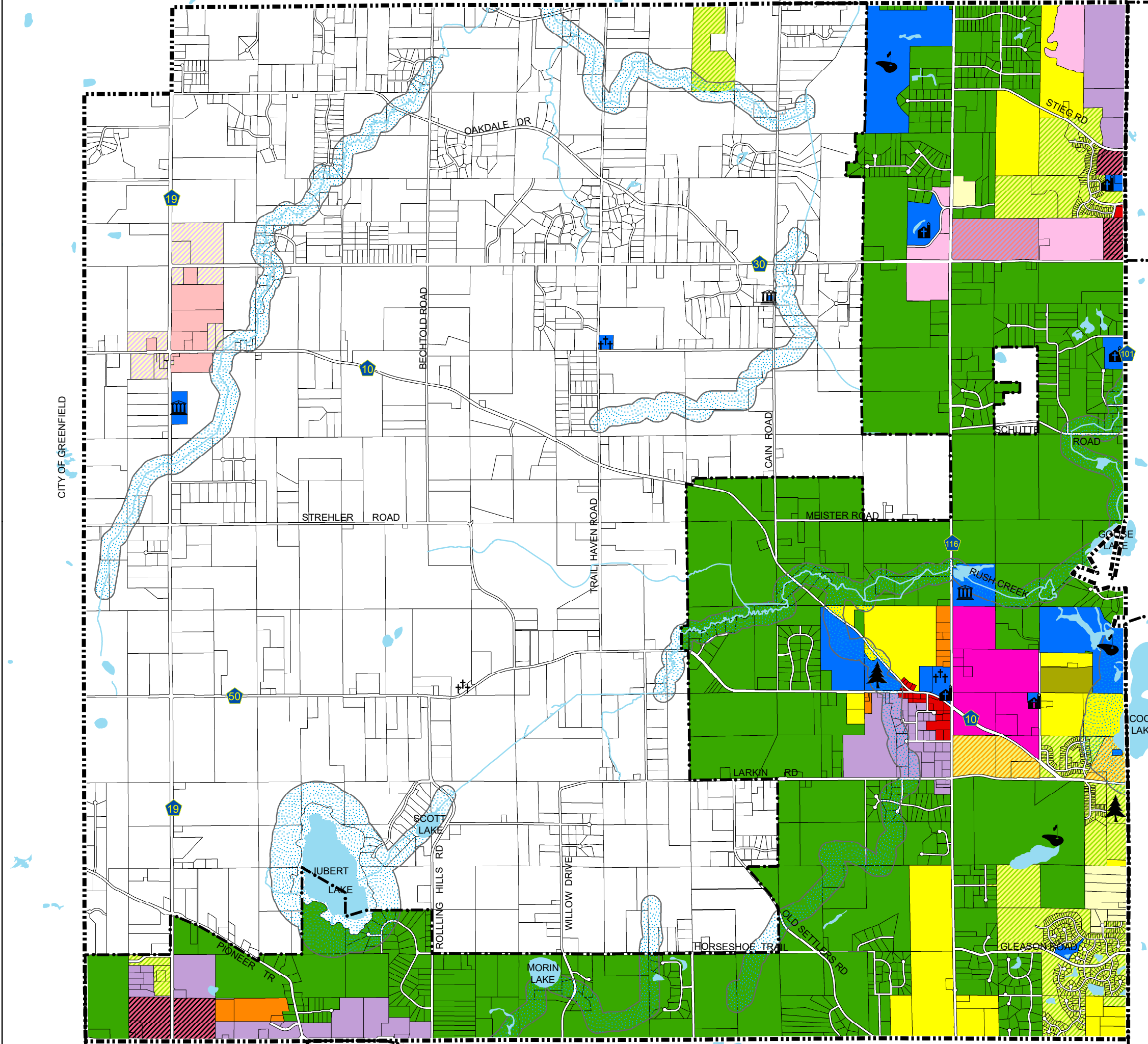
## Official Zoning Map

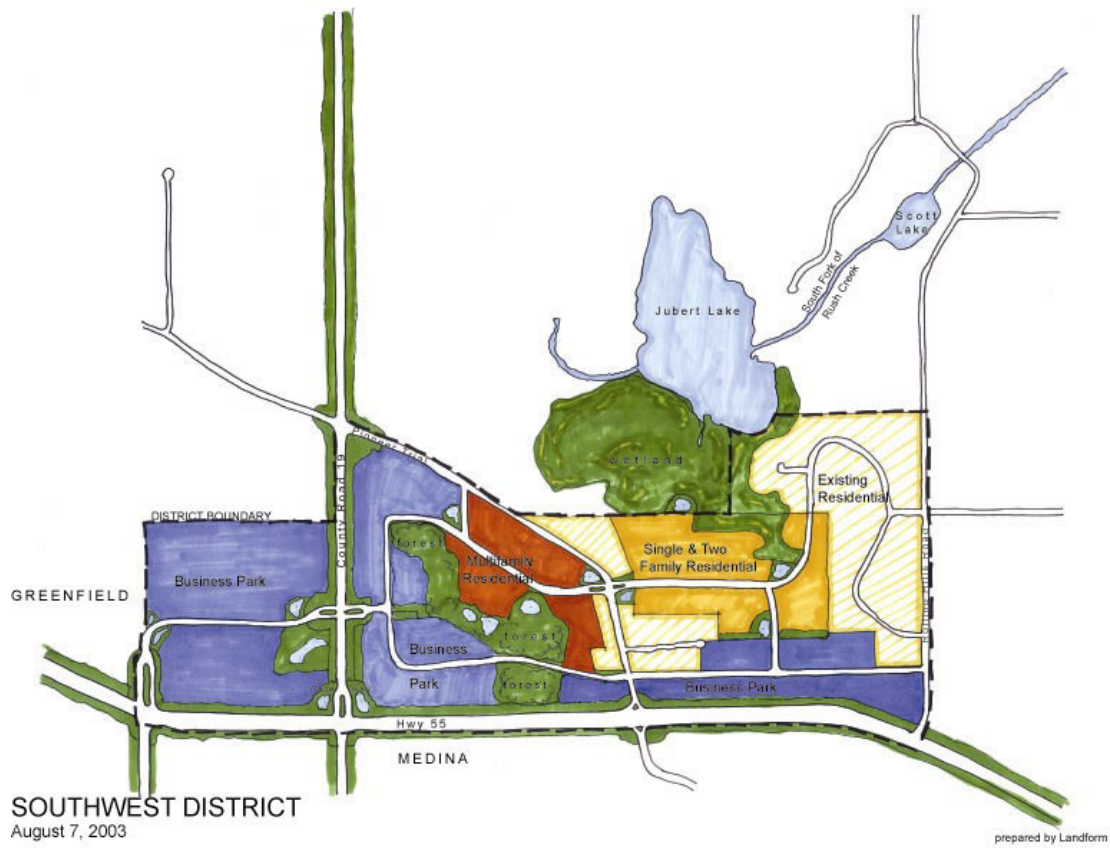
### Zoning Districts:

-  UR Urban Reserve
-  RR Rural Residential
-  RSF-1 Single Family Residential 1
-  RSF-2 Single Family Residential 2
-  RSF-3 Single and Two Family Residential 3
-  RMF-1 Medium Density Residential
-  RMF-2 Mixed Residential
-  RMF-3 High Density Residential
-  MP Manufactured Home Park
-  P-1 Public / Institutional
-  TCR Transitional Rural Commercial
-  CR Rural Commercial
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  DMU Downtown Mixed Use
-  GMU General Mixed Use
-  BP Business District
-  I-1 Light Industrial
-  PUD Planned Unit Development
-  Cemetery
-  Church
-  Golf Course
-  Government Building
-  Public Park
-  2040 Metropolitan Urban Service Area
-  City Limit
-  Open Water
-  Shoreland Overlay District



Updated September 2020  
Adopted June 2011





# Architectural Images

Highway 55 Business Park Concept Plan • Corcoran, MN

10.29.2021



Image #1: Representative image of the proposed office/warehouse buildings.



Image #2: Representative image of the proposed office/warehouse buildings.



Image #3: Representative image of the proposed office/warehouse buildings.



Image #4: Representative image of the proposed mini storage/self storage buildings.

## Michelle Friedrich

---

**From:** Jessica Beise  
**Sent:** Monday, November 22, 2021 12:57 PM  
**To:** Michelle Friedrich  
**Subject:** Fwd: Suggestion while considering the new Pulte development

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---

**From:** ajith varghese <ajith\_varghese@hotmail.com>  
**Sent:** Sunday, November 21, 2021 6:59:34 PM  
**To:** Tom McKee <tmckee@corcoranmn.gov>; Jeremy Nichols <jnichols@corcoranmn.gov>  
**Cc:** Jessica Beise <jbeise@corcoranmn.gov>  
**Subject:** Suggestion while considering the new Pulte development

Hi Mr.Tom McKee & Mr.Jeremy Nichols,

My name is Ajith Varghese and currently a resident of Lennar Ravinia, Corcoran. This refers to the recent development plan by Pulte and attaching the plan which I had seen/circulated online. I would like to add two suggestions while considering the development.

1) Rebuilding the Hackmore Road

The Hackmore Road between the corner 47 & 101 till the entrance to Ravinia (Steeple Chase) is in very bad condition and I would really appreciate this area of the road could be redone with a side walk so that residents can walk/bike from Ravinia Neighborhood till 55 (Target).

2) Park inside the new community development

I did not see any park inside the current plan. It would be very nice to have a small park inside the proposed development closer to the town homes so that children on the new development can access easily.

Thanks  
Ajith Varghese

cc:Jessica Beise





**From:** [Jessica Beise](#)  
**To:** [Michelle Friedrich](#)  
**Subject:** Fwd: Concern with Pulte New Development in Ravinia  
**Date:** Monday, November 22, 2021 12:56:20 PM  
**Attachments:** [Pulte Praposed.pdf](#)

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**From:** Sweta Prasad <sweetap175@gmail.com>  
**Sent:** Saturday, November 20, 2021 2:35:03 PM  
**To:** Jeremy Nichols <jnichols@corcoranmn.gov>; Tom McKee <tmckee@corcoranmn.gov>; Jonathan Bottema <jbottema@corcoranmn.gov>; Alan Schultz <ASchultz@corcoranmn.gov>; Dean Vehrenkamp <dvehrenkamp@corcoranmn.gov>; Jessica Beise <jbeise@corcoranmn.gov>  
**Cc:** SATYANARAYAN PRASAD <snprasad2005@gmail.com>  
**Subject:** Concern with Pulte New Development in Ravinia

Dear Council Members,

I and Satya Prasad, are the residents of Ravinia Community at 63rd Ave N. Our home is highlighted in red (please refer to the attachment).

We are glad that our city has very transparent council members to whom we can always reach out and express our any concern. We are excited that Corcoran is growing but at the same time we are concerned by the rezoning and increase in traffic due to Pulte's new proposed construction plan.

As you might be aware , the construction work in our area finally completed last spring, giving our kids and neighbors relief so they could step outside safely.

Based on the attached Pulte construction plan, Pulte would be extendending and using the 63rd Ave N road for new homes construction, which will increase traffic for the existing neighborhood. This would push us to stay inside until new constructions are complete as a huge number of construction vehicles will be on the 63rd Ave N road. During such times, construction workers would usually block our driveways and it would be hard for us to complain as it's not a Lennar project.

Hence , requesting you to make arrangements to use alternative routes for construction vehicles (parallel highlighted red arrow is an existing road that might be used).

Since it's not a Lennar project , shouldn't Pulte have a separate entry and exit road? We hope our concerns are valid and considered, and have separate entry/exit roads for Pulte residents.

Please reach out if you would like to talk more on this.

Thank you !

Sweta Prasad  
Satya Prasad  
19127 63rd Ave N , Corcoran.  
612-597-4944.



**From:** [Jessica Beise](#)  
**To:** [Michelle Friedrich](#)  
**Subject:** Fwd: Nearby Development Proposal - Concerns  
**Date:** Monday, November 22, 2021 12:57:03 PM

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**From:** Rohit Tripathi <rohit.tripathi239@gmail.com>  
**Sent:** Saturday, November 20, 2021 2:27:54 PM  
**To:** Jeremy Nichols <jnichols@corcoranmn.gov>; Tom McKee <tmckee@corcoranmn.gov>; Jonathan Bottema <jbottema@corcoranmn.gov>; Alan Schultz <ASchultz@corcoranmn.gov>; Dean Vehrenkamp <dvehrenkamp@corcoranmn.gov>; Jessica Beise <jbeise@corcoranmn.gov>  
**Subject:** Nearby Development Proposal - Concerns

Hi Jeremy/Tom,

My name is Rohit Tripathi and I am writing this email on behalf of myself and my wife - Chitranshi Mishra. We both live at 6357 Larkspur Ln, Corcoran, MN 55340.

I recently came to know about a nearby development proposal and I have few concerns regarding the same.

My concerns are :

- 1) Since the proposal includes a mix of townhomes and single family homes and smaller lot sizes, this will create high density in the area, including increased traffic and possible rezoning. Rezoning might also affect the real estate prices in the area.
- 2) There will also be high construction traffic for well over a year which will disturb our commute to and from Ravinia.

I propose these suggestions regarding my concerns :

- 1) Proposal should only include single family homes and land should remain zoned as RSF-2, a low density, single family home district.
- 2) Provide separate entry/exit for all construction traffic and avoid using 63rd and Larkspur.

We are writing this email with hope that these concerns will be discussed in the council meeting on 11/22.

Thanks  
Rohit

**From:** [Jessica Beise](#)  
**To:** [Michelle Friedrich](#)  
**Subject:** Fwd: Initial Comments: Proposed Pulte Development  
**Date:** Monday, November 22, 2021 12:57:21 PM  
**Attachments:** [image002.png](#)

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**From:** Jessica Beise <jbeise@corcoranmn.gov>  
**Sent:** Monday, November 22, 2021 6:19:04 AM  
**To:** kahowlett2@gmail.com <kahowlett2@gmail.com>  
**Subject:** Re: Initial Comments: Proposed Pulte Development

Kathy,

Thank you for your email and comments. Comments provided will be included in the materials Council reviews regarding the project. I'd note that the electronic packet has been posted but these will be added to the City's record for meeting material. If you have any questions please let me know.

Thanks,

Jessica Beise  
Administrative Services Director  
City of Corcoran  
763-400-7029

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**From:** kahowlett2@gmail.com <kahowlett2@gmail.com>  
**Sent:** Saturday, November 20, 2021 12:38:10 PM  
**To:** Jeremy Nichols <jnichols@corcoranmn.gov>; Tom McKee <tmckee@corcoranmn.gov>; Jonathan Bottema <jbottema@corcoranmn.gov>; Alan Schultz <ASchultz@corcoranmn.gov>; Dean Vehrenkamp <dvehrenkamp@corcoranmn.gov>; Jessica Beise <jbeise@corcoranmn.gov>  
**Subject:** Initial Comments: Proposed Pulte Development

Hi,

I am a resident of the Ravinia development and my home backs up to the large pond and tree line that separates the proposed development from Ravinia, specifically the northwest corner of the proposed Pulte development. I have a few comments / concerns that I would like to share.

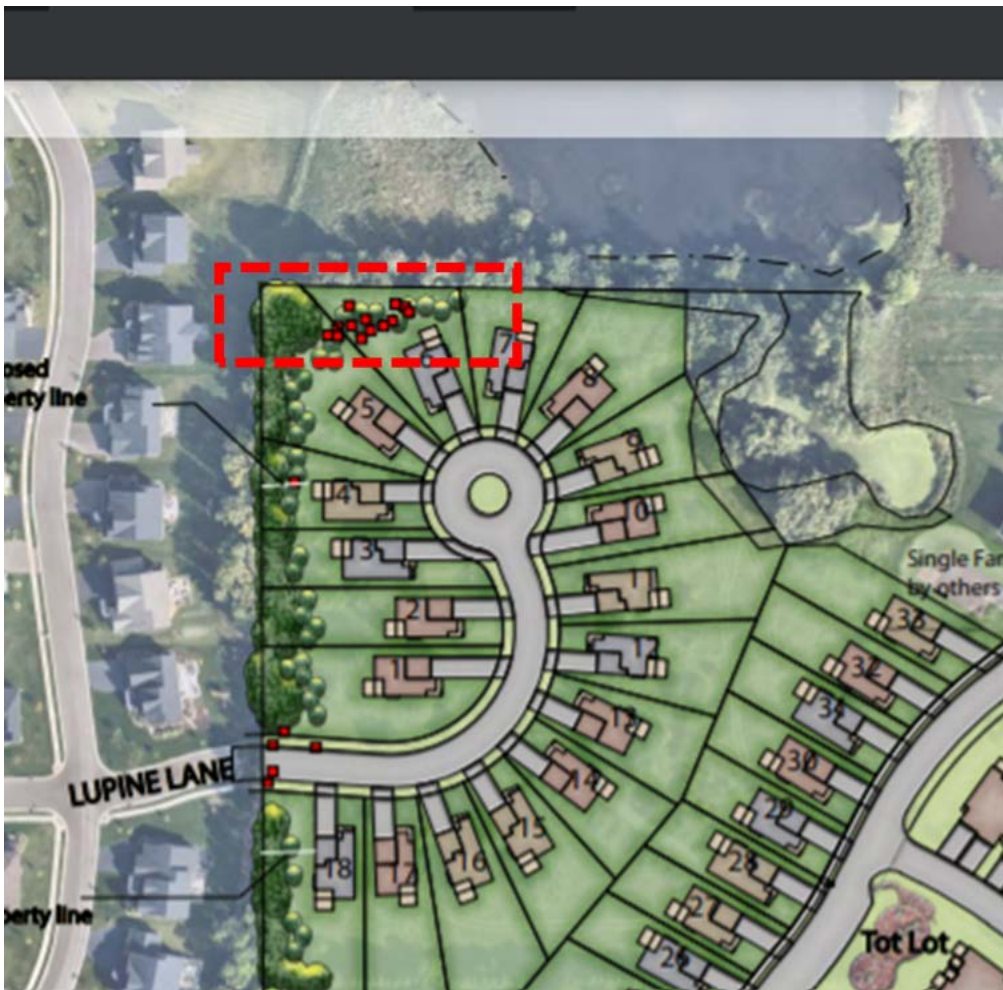
- I would like to see any future development to remain single family homes. I don't support

rezoning the land to allow for the building of the townhomes. I am concerned about the potential negative impact they would have on property values.

- I noticed that there are comments in the proposal to keep most of the trees to the west, but I also noticed that there are plans to remove many of the trees to the north. Why is that? Will there be plans to replace the trees? In the summer, those trees completely hide the existing home from my home. In the fall, they put on a beautiful show of colors! (I've included a picture with the area I am concerned about highlighted in the red box.)
  - I believe the proposal also included planting some evergreens on the western edge, is it possible to ask that the developer also plant evergreens on the northern edge?
- I am concerned about the increased traffic on both 101 and Hackamore. But, I also know it is inevitable that the land will be developed.

Thank you,

Kathy Howlett  
19247 Bridle Path  
Corcoran, MN 55340



**From:** [Jessica Beise](#)  
**To:** [Michelle Friedrich](#)  
**Subject:** Fwd: Concerns regarding proposed Pulte project  
**Date:** Monday, November 22, 2021 12:57:57 PM

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**From:** meenakshi jakhar <meenakshi.jakhar@gmail.com>  
**Sent:** Friday, November 19, 2021 9:54:35 AM  
**To:** Tom McKee <tmckee@corcoranmn.gov>; Jonathan Bottema <jbottema@corcoranmn.gov>; Jeremy Nichols <jnichols@corcoranmn.gov>; Alan Schultz <ASchultz@corcoranmn.gov>; Dean Vehrenkamp <dvehrenkamp@corcoranmn.gov>; Jessica Beise <jbeise@corcoranmn.gov>  
**Subject:** Concerns regarding proposed Pulte project

Dear Council Members,

I am a resident of 19139, 63rd Ave N (Ravinia), Corcoran. It has come to my knowledge that Pulte is proposing a development plan at SE corner of Ravinia. I am currently located at this corner and hence this new development directly impacts my home (it directly faces my backyard).

I want to register my strong disagreement with the proposal of rezoning the land. My disagreement is based on below pointers:

- 1) The rezoning to smaller lot sizes and townhomes will add significantly to the traffic and population density of the area.
- 2) When we made a decision to buy our house here, we took under consideration all the factors including the zoning and prospective development towards our backyard. We were informed to expect only single family housing in future. This rezoning makes us feel deceived.
- 3) The townhomes will also impact the property prospects in future.

Hoping the council members will keep the resident concerns in mind while making a decision.

Best regards,  
Meenakshi  
19139, 63rd Ave N  
Ravinia, Corcoran



**From:** [Jessica Beise](#)  
**To:** [Michelle Friedrich](#)  
**Subject:** Fwd: Pulte development proposal on SE corner of Ravinia  
**Date:** Monday, November 22, 2021 12:58:18 PM

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**From:** Cynthia Wilson <wilsonc54@gmail.com>  
**Sent:** Thursday, November 18, 2021 9:01:16 PM  
**To:** Jeremy Nichols <jnichols@corcoranmn.gov>; Tom McKee <tmckee@corcoranmn.gov>; Jonathan Bottema <jbottema@corcoranmn.gov>; Alan Schultz <ASchultz@corcoranmn.gov>; dvenhrenkamp@corcoranmn.gov <dvenhrenkamp@corcoranmn.gov>; Jessica Beise <jbeise@corcoranmn.gov>; Mike Wilson <mlwilson004@gmail.com>  
**Subject:** Pulte development proposal on SE corner of Ravinia

We are new home owners in the Ravinia neighborhood. We chose this location due to the wetlands, ponds, hills and trees. I just read about the Pulte proposal asking for rezoning of the SE corner of Ravinia to accommodate townhomes as well as single family homes. We would not be in support of changing the zoning as I am concerned about the density of homes and increased traffic. I have observed the increase in traffic and noise as a result of the large number of townhomes and apartments on Bass Lake Road and Hwy 101. We would definitely be opposed to changing the zoning to allow townhomes in this parcel on land. Thank you for your time and thoughtful planning of development for the residents in the Corcoran community.

Sincerely,  
Cynthia & Michael Wilson  
6759 Black Oak Lane  
Corcoran, MN 55340

**From:** [Jessica Beise](#)  
**To:** [Michelle Friedrich](#)  
**Subject:** Fwd: Concerns with new Pulte development on Hackamore  
**Date:** Monday, November 22, 2021 12:58:30 PM  
**Attachments:** [image.png](#)

---

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**From:** Divya Singh <er.divyasingh.mech@gmail.com>  
**Sent:** Thursday, November 18, 2021 5:18:47 PM  
**To:** Jeremy Nichols <jnichols@corcoranmn.gov>; Tom McKee <tmckee@corcoranmn.gov>; Jonathan Bottema <jbottema@corcoranmn.gov>; Alan Schultz <ASchultz@corcoranmn.gov>; Dean Vehrenkamp <dvehrenkamp@corcoranmn.gov>  
**Cc:** Jessica Beise <jbeise@corcoranmn.gov>; Gaurav Singh <gauravmca2007@gmail.com>  
**Subject:** Concerns with new Pulte development on Hackamore

Hello Council Members,

We (Gaurav and I) are the residents of Ravinia Community and are on 63rd & Larkspur, hence directly impacted by the new Pulte construction that is being proposed to the city. We are excited that Corcoran is growing but equally concerned by the rezoning request by Pulte. We are glad that our city has transparent council members to whom we can reach out and express our concerns. Please see them listed below and excuse my layman language:

1. We made Corcoran our home to live near beautiful landscape, bigger lots and bounty of wetlands. Since Pulte would be using the existing roads on 63rd Ave and Larkspur, rezoning the land to town-homes would create quite a dense backyard and would not blend well with the existing neighborhood. We welcome the idea of single-family homes as that would keep the original feel and look of the neighborhood alive even though the lot sizes are much smaller. Increasing the density of the city needs better infra (traffic control and better roads). We request you to deny the rezoning plan.
2. The construction work in our lane finally completed last spring, giving our kids and neighborhood kids relief so they could step outside safely. If you look at the map, our home is circled RED. Since they are extending 63rd Ave with 6 new homes and Larkspur on the other side, we would be bound to stay home until construction is done which could be more than a year(see blue lines). There is always an influx of huge construction vehicles on the road. During such instances, construction workers usually block our driveways and it would be difficult for us to complain as it's not a Lennar project. Our request is to use alternative routes for construction vehicles (black arrow is an existing road that might be used).



3. Being a separate builder, shouldn't Pulte plan a separate entry and exit for their lots (6 new homes on 63rd Ave are very weird as they dont have any other entry/exit)? It feels like having uninvited/unplanned guests over. If this could be addressed then concern #2 would be automatically resolved.

I hope our concerns are valid and considered upon. Please reach out if you would like to talk more on this.

Thanks,  
Divya and Gaurav Singh  
19151 63rd Ave N  
612-254-3499



**TO:** Corcoran City Council  
**FROM:** Kevin Shay through Kendra Lindahl, Landform  
**DATE:** November 17, 2021 for the November 22, 2021 City Council Meeting  
**RE:** Concept Plan for Pulte Hackamore Properties (city file 21-048)

## 1. Description of Request

The applicant, Pulte Homes, is requesting an opportunity to appear before the City Council to solicit informal comments on a sketch plan for a proposed subdivision. The proposal includes the properties at 19200 Hackamore Road, 19210 Hackamore Road, 19220 Hackamore Road, 6235 County Road 101 and 6301 County Road 101. The proposal includes 127-129 units (82 townhome lots and 45-47 single family lots).

## 2. Context

The site is a total of 32.38 acres with the five existing single family lots. Each of the existing lots has a single family home.

### *Zoning and Land Use*

All of the parcels included in the site are guided Low Density Residential in the Comprehensive Plan and are zoned RSF-2 (Single Family Residential 2).

### *Surrounding Properties*

The property to the east is located in the City of Maple Grove and is used for single family residential. The property to the south is located in the City of Medina and is used for large lot residential. The properties to the west and north are part of the Ravinia development and are guided Low Density Residential and zoned PUD (Planned Unit Development).

### *Natural Characteristics of the Site*

There are natural plant communities on the site identified as a wet prairie on the Natural Resource Inventory Areas Map in the Comprehensive Plan. Further, multiple wetlands are shown on Hennepin County's Natural Resources Map and on the concept submitted by the applicant.





**3. ANALYSIS:**

*Sketch Plan*

The sketch plan process provides an opportunity for the applicant to get information from the City that can be incorporated into a formal development application. The next steps would be:

- 1. Application for Rezoning, Preliminary PUD Development Plan and Preliminary Plat
- 2. Application for Final PUD Development Plan and Final Plat (and development contract)

*Rezoning*

The project as proposed would require a zoning map amendment for the property to be rezoned from RSF-2 (Single Family Residential 2) to PUD (Planned Unit Development).

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning must be consistent with the comprehensive plan. The zoning ordinance and zoning map are the enforcement tools used to implement the goals and standards set by the comprehensive plan.

*Proposed PUD Uses*

The applicant has proposed townhomes in this development, which are not be allowed within the RSF-2 zoning district. However, Section 1040.140 of the zoning ordinance states that the purpose of the PUD zoning is to allow for mixing of land uses that couldn't otherwise be accomplished through the standard zoning regulations.

*Sketch Plan*

The applicant's sketch plan shows 45-47 single family homes (2 of the homes are located in outlots of the Ravinia development and depend on the purchase of the land) and 82 townhomes for a total of 127-129 units. The single family homes are concentrated on the perimeter of the site to provide a transition from the existing single family homes in the Ravinia development and the townhomes located in the center and southeast areas of the concept plan. The sketch plan shows a gross density of 3.92 to 3.98 units per acre. This complies with the Low Density Residential land use category requirement of 3-5 units per acre.

The City applies this density evaluation on a parcel-by-parcel basis (3-5 units per acre for low density). When the City updates its comprehensive plan, the Metropolitan Council requires the City to show that they will provide a minimum of three units per net acre on average across all residential districts in the city's MUSA. The formula used by the Metropolitan Council shows that following the land use classifications in the adopted 2040 plan will result in slightly more than three units per acre. In order to monitor compliance with this goal, the Metropolitan Council plat monitoring program requires cities to ensure that each plat is in compliance with the density range for the adopted land use and provide an annual report. Regardless of housing type, development on this parcel must comply with the adopted density range.



### Setbacks

As part of a PUD, the developer can request flexibility from the zoning district standards. We do not have all of the development details at the concept plan, but the table below compares the request to the standard zoning based on the current information:

	<b>Proposed</b>	<b>RSF-2 (single family)</b>
<b>Minimum lot area</b>	6,926 sq. ft.	11,000 sq. ft.
<b>Minimum lot width</b>	50-feet	80 feet
<b>Minimum Principal Structure Setbacks:</b>		
<b>Front, From Major Roadways*</b>	50 feet	100 feet
<b>Front, From all other streets</b>	25 feet home/20 feet porch	20 feet
<b>Side</b>	15 feet between homes	10 feet/5 feet garage
<b>Rear</b>	25 feet	30 feet
<b>Maximum Principal Building Height</b>	unknown	35 feet

	<b>Proposed</b>	<b>RMF-1 (townhomes)</b>
<b>Minimum lot area</b>	unknown	5,400 sq. ft. per unit
<b>Minimum lot width</b>	50-feet	None
<b>Minimum Principal Structure Setbacks:</b>		
<b>Front, From Major Roadways*</b>	100 feet	100 feet
<b>Front, From all other streets</b>	25 feet	25 feet
<b>Side**</b>	10 feet	10 feet
<b>Rear</b>	40 feet rear to rear	25 feet
<b>Maximum Principal Building Height</b>	unknown	35 feet

Staff notes that the code requires a 100-foot setback from County Road 101. The 100-foot setback from major roadways is intended to maintain green corridors throughout the City. The ordinance allows a structure setback reduction to 60 feet if significant additional landscaping is provided adjacent to the roadway.

### Utilities

Water and Sewer utilities are available from the adjacent development.

### Transportation

The plans show a 60-foot street right-of-way with a 30-foot-wide street for the single family portion of the project which is consistent with the public street standards. The plans show a 30-foot-wide private street for the townhome portion of the project. The City does not have a private street standard.



The city engineer has noted that a feasibility study would be conducted as part of this project and that turn lanes will be required on Hackamore. The County is the permitting agency for County Road 101 should any emergency access be required from the cul-de-sac to County Road 101.

### *Stormwater*

The sketch plan shows several stormwater ponds. Stormwater appears to be manageable without off-site improvements.

### *Public Safety*

The public safety committee has reviewed the proposal and provided comments. The applicant should review all of the public safety comments and incorporate them into the plans if the project proceeds.

### *Wetlands*

There are a number of wetlands on site. The applicant must submit a wetland delineation for review and approval by the City as the LGU (Local Government Unit) for the WCA (Wetland Conservation Act). If wetland impacts are proposed additional applications for mitigation would be required.

The applicant must comply with the wetland buffer and setback requirements in Section 1050.010 of the Zoning Ordinance.

### *Landscaping*

No landscape plan was provided with the concept plan, but staff notes that a well-designed landscape is an important part of this project as indicated by the additional plantings mentioned in the applicant's narrative. We will review the landscape plan with the development plan submittal for compliance with the ordinance standards. The developer may wish to provide an upgraded landscape plan as one of the PUD benefits.

The City does not have a tree preservation ordinance, but the applicant has shown preservation of the trees in the northwest portion of the site to provide a transition to the existing homes in Ravinia.

### *Parks and Trails*

The Park and Trail map in Comprehensive Plan shows an on-road trail on County Road 101 and Hackamore Road, which could be accommodated within the additional right-of-way or within additional easements. The trail along County Road 101 should be shown on plans with a formal application.

The Code requires 5-foot-wide sidewalks on one side of all public streets and the plans should be revised to show the sidewalk on the northwest cul-de-sac.

The Parks and Trails plan does not show any parks in the area of this project. However, the concept plan shows a 0.25-acre tot lot in the center of the project. Park dedication for this project would be



reviewed by the Parks Commission with the preliminary plat application, but would likely be cash-in-lieu of land with credit given for dedication of public park land and public trail easements.

The City should accept park dedication in the form of land where shown on the maps, unless it is decided that a new park in this location is desired. The City may accept cash-in-lieu of land for park dedication requirements.

#### **4. RECOMMENDATION:**

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.

The City did receive some written comments on the proposal. All resident comments received before noon on November 17<sup>th</sup> were included as attachments.

#### **Attachments**

1. Site Location Map
2. City Engineer's Memo dated November 14, 2021
3. Public Safety Memo dated November 10, 2021
4. Applicant Narrative dated October 20, 2021
5. Sketch Plan dated October 20, 2021
6. Building Examples dated October 20, 2021
7. Official Zoning Map
8. 2040 Future Land Use
9. Parks and Trails Plan
10. Natural Resource Inventory
11. Resident Comments





# Hennepin County Property Map

Date: 11/17/2021



PARCEL ID: 3611923440008

OWNER NAME: Jtc Llc Et Al

PARCEL ADDRESS: 6301 Co Rd No 101, Corcoran MN 55340

PARCEL AREA: 5.2 acres, 226,305 sq ft

A-T-B: Abstract

SALE PRICE: \$663,000

SALE DATA: 09/2014

SALE CODE: Excluded From Ratio Studies

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Residential  
HOMESTEAD: Non-Homestead  
MARKET VALUE: \$469,000  
TAX TOTAL: \$6,447.52

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Residential  
HOMESTEAD: Non-Homestead  
MARKET VALUE: \$476,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, PE, Public Works  
Director

From: Kent Torve, PE, City Engineer

Project: Pulte Hackamore Concept

Date: November 14, 2021

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Exhibits:

This Memorandum is based on a review of the Pulte Hackamore Site concept plan, and the area was previously studied for Eagle Brook Church application.

1. Concept Plan 10/19/2021, Hackamore Site by Sathre Berquist, 10-19-2021.
  - a. Project shows 132 Units of townhomes and single family.

Comments:

General:

1. Comments provided are high level comments based on the concept plan schematic provided. Additional comments should be anticipated on future submittals on the details of the development.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran, NPDES, WMO, Hennepin County, etc.
3. A feasibility study would be conducted for traffic impacts. The feasibility for this concept is of limited scope since sewer, water and stormwater are manageable for the site.

Plat:

1. The applicant shall show all drainage and utility easements and all platting requirements are met per the City Code. Drainage and utility easements shall be provided per City requirements.
2. Easements should be provided over all infrastructure used for the conveyance and treatment of stormwater.
3. Easements should be provided over any/all public infrastructure as applicable.
4. All existing easements should be provided to the City for review. Vacation of existing easements currently in place requires a City process and should be identified in the project schedule.
5. Concept notes two single family lots are in Oultot C & E of Ravinia 11<sup>th</sup> Addition.
6. Townhome street are assumed private with public utilities and coordination with City is required.

### Transportation

1. Turn lanes will be required on Hackamore.
2. County is permitting agency for CSAH 101 if any emergency access from the northeast cul de sac is required by Public Safety.
3. A feasibility study would be conducted for traffic impacts, and Hackamore road is anticipated to be improved and this development would be coordinated with the project.

### Stormwater

1. Stormwater management is manageable for development.
2. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
3. The City's Stormwater Guidelines shall be used for stormwater systems and modeling.
4. If filtration is required by WMO for the site, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used with adequate maintenance access.
5. Incorporate any turn lane, trail and Hackamore drainage into the site's SWMP and WMO permitting.
6. A plastic weir exists on north edge of development and is required to be replaced as directed by City.

### Water

1. Looping of watermain on northwest and northeast cul de sacs would be required.

### Sewer

1. Sewer service is available through the Ravinia development.

### Trail

1. Trail (easement, ROW and potentially construction) adjacent to Hackamore Road shall be incorporated into the project.
2. Trail route along CSAH 101 shall also be incorporated.



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.corcoranmn.gov](http://www.corcoranmn.gov)

# Memo

**To:** Planning (Planners Lindahl and Davis)  
**From:** Director Gottschalk  
**Date:** November 16, 2021  
**Re:** City File 21-048 Pulte Hackamore Sketch Plan

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A Public Safety plan review meeting was held on 11/10/2021. In attendance were: Director of Public Safety Gottschalk, Lieutenant Ryan Burns, Planner Davis, Fire Chief Feist, Fire Chief Malewicki, and Construction Services Specialist Pritchard. The comments below are based on the concept plan submitted October 19, 2021 and are intended as initial feedback as further plan review will need to be completed as additional plans become available.

1. There are some concerns for fire access particularly on the southeast portion of the site where there is a row of townhomes placed in front of a pond. Detailed plans will be required.
2. The southern road stub cannot exceed 150' without a turnaround or hammerhead.
3. The applicant should keep in mind that the townhomes may be required to have a sprinkler system.



# ***Hackamore Properties***

**APPLICATION FOR:  
Site Plan Review**

**CORCORAN, MINNESOTA  
October 19, 2021**

## **Introduction**

Pulte Homes of Minnesota, LLC ("Pulte") is pleased to be submitting this application.

Our company mission statement is ***"Building Incredible Places Where People Can Live Their Dreams."*** We currently operate under three distinct brands of homebuilding throughout the country: Pulte Homes, Centex Homes, and Del Webb. The office for Pulte's Minnesota Division is in Eden Prairie. We will sell and build approximately 600 to 700 homes in the Twin Cities in 2021 under the Pulte Homes and Del Webb brands.

Pulte will act as both developer of the property and builder of the homes. The primary contact for Pulte is Paul Heuer, Director of Land Planning & Entitlement. Paul's contact information has been provided to City staff.

The owners of the properties are:

Robert and Beth Schnell  
11907 Wayzata Boulevard  
Suite 300  
Wayzata, MN 55391  
Phone: (612) 669-7159  
Email: [bschnell@centeragency.com](mailto:bschnell@centeragency.com)

JTC, LLC  
8401 Xene Lane North  
Maple Grove, Minnesota 55311  
Attn: James Casey  
Phone: 612-247-9888  
Email: [suecasey@comcast.net](mailto:suecasey@comcast.net)

Homeland Investments LLC  
19220 Hackamore Road  
Corcoran, Minnesota 55340  
Phone: 612-388-8753  
Email: [jackieh30@msn.com](mailto:jackieh30@msn.com)

Gregory and Jackie Hoglund  
19220 Hackamore Road  
Corcoran, MN 55340

Phone: 612-388-8753

Email: [jackieh30@msn.com](mailto:jackieh30@msn.com)

The civil engineer and surveyor are:

Sathre-Bergquist

Attn: Bob Molstad

150 South Broadway

Wayzata, MN 55391

(952) 476-6000

[molstad@sathre.com](mailto:molstad@sathre.com)

## The Property

### Addresses

19200, 19210, and 19220 Hackamore Road  
6235 and 6301 County Road 101 N

### Legal Descriptions

County of Hennepin, State of Minnesota, and is described as follows: The North 310.00 feet of the South 1010.00 feet of East 780.00 feet of Southeast Quarter of the Southeast Quarter of Section 36, Township 119, Range 23, Hennepin County, Minnesota.

Abstract Property

County of Hennepin, State of Minnesota, and is described as follows: The East 874.5 feet of the North 300 feet of the South 700 feet of Southeast 1/4 of the Southeast 1/4 of Section 36, Township 119, Range 23. Abstract Property

County of Hennepin, State of Minnesota, and is described as follows: The East 874.5 feet of the South 400 feet of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 36, Township 119, Range 23, West of the 5th Principal Meridian according to the U.S. Government Survey thereof, Hennepin County, Minnesota. Abstract Property

County of Hennepin, State of Minnesota, and is described as follows: That part of the Southeast 1/4 of the Southeast 1/4 of Section 36, Township 119 North, Range 23, West of the Fifth Principal Meridian, lying West of the East 780 feet thereof and which lies North of the South 700 feet thereof, according to the U.S. Government Survey thereof, Hennepin County Minnesota. Together with easements over the West 30 feet of the East 889.5 feet of the South 700 feet of the Southeast 1/4 of the Southeast 1/4 of Section 36, Township 119, Range 23 and the North 30 feet of the South 1025 feet of the East 780 feet of the Southeast 1/4 of the Southeast 1/4 of Section 36, Township 119, Range 23. Abstract Property

County of Hennepin, State of Minnesota, and is described as follows: The South 700 feet of that part of the Southeast 1/4 of the Southeast 1/4 of Section 36, Township 119 North, Range 23, West of the 5th Principal Meridian, lying Westerly of the East 874.5 feet thereof, Hennepin County, Minnesota.

## Property Identification Numbers

36-119-23-44-0013  
36-119-23-44-0009  
36-119-23-44-0008  
36-119-23-44-0010  
36-119-23-44-0014

## Neighborhood Design

Development applications must find a way to “thread the needle” by satisfying a market demand as well as City requirements. From the standpoint of market demand, the location of a property and it’s characteristics drive what each property “wants to be.”

Two primary property characteristics determine the market demand for this property:

1. Wayzata Public Schools – This is a highly sought-after school district. The reputation of this district has pushed land and home prices within the district to higher levels than found in other school districts. Even in the last few years, home prices have increased significantly and it has become increasingly difficult for young families to afford a new home in the school district.
2. 101/Hackamore intersection – CSAH 101 currently carries around 10,000 vehicles per day at this location. In 2040, it is estimated that this section of road will carry 16,200 vehicles per day. In 2040, it is estimated that Hackamore will carry 4,700 vehicles per day. High traffic intersections such as this one tends to guide adjacent used to be of higher intensity for many reasons. For instance, the buyers of large luxury single family homes are less tolerant of living next to noisy, high traffic intersections.

The above characteristics guided the preparation of the site plan that was submitted. Closest to the high traffic intersection, we have placed two-story townhomes. Between the townhomes and existing single-family homes to the north and west, we have placed single-family homes with two-car garages. These land uses provide for a gradual transition from higher intensive to lower intensive uses as we move away from the busy intersection. From our market research, we have determined that these two new housing types will be successful in this location.

It should be noted that the existing single-family homes in the NE corner (on 63rd Avenue N) have two-car garages as well. Values of the new homes will be comparable to the existing adjacent homes.

Along the west boundary of the subject property, existing single-family homes have three-car garages. We have closely studied this housing transition and have devised an extraordinary buffer between the existing homes and the new homes consisting of:

1. Additional buffer space - We have purposely left an unusually wide gap between existing homes and new homes.
2. Preservation of existing trees - An existing buffer of mature trees runs along a portion of the west property line. Many of these trees are conifers which provide a strong year-round visual buffer. We inventoried the trees on the property and determined that we can feasibly preserve most trees along this boundary.
3. Planting of additional trees - In some areas, the existing buffer of trees is not strong. In these areas, we plan to plant conifer trees to strengthen this visual buffer.

Combining, this approach will result in a very strong visual buffer between homes in the existing neighborhood and the new homes.

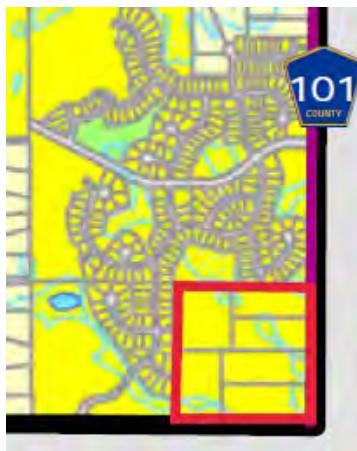
We have heard comments that perhaps the existing public park in the adjacent Ravinia neighborhood (Wildflower Park) may be undersized. This park is approximately ½ mile away from the subject property. If the City determines that a small additional public tot lot and/or park is desirable in the subject property, we have determined that it could be accommodated. Our site plan shows this option for your consideration. We are also showing a conceptual trail routing along the north side of Hackamore for when this road is reconstructed. We are willing to accommodate the trail drifting onto the neighborhood property to create a more varied and attractive route. The City may choose to either obtain an easement from us for a future trail improvement or have us construct this section of trail with credit for park dedication.


It should also be noted that this property represents an entry point into the City of Corcoran. It is our understanding that there has been some interest in keeping the public view of this corner attractive and/or rural looking. We have worked hard to keep strong visual buffers in place throughout the perimeter of the new neighborhood. For instance, there is a strong existing tree buffer all along CSAH 101 which will substantially be preserved. We have also set back the townhomes from 101 at a highly unusual 223 feet (requirement is 100 feet w/o buffer and 50 feet with buffer). Similarly, along Hackamore the single-family homes are set back over 235 feet (requirement is 25 feet). The townhomes are set back 45 feet from Hackamore (requirement is 25 feet). We intend to plant new conifer trees as a buffer between the townhomes and Hackamore. In total, these design strategies will result in the presentation of an unusually hidden neighborhood from the perimeter.

In summary, the primary goals of the site plan are to preserve perimeter buffer trees, preserve wetlands, present a hidden view from the perimeter, provide new and different types of housing that are needed, and to appropriately transition the intensity of the uses from the busy intersection to the existing homes nearby. A significant amount of thought and attention to detail were put into the preparation of this site plan. We believe we have created a site plan that logically responds to market demands and sensitively responds to the desires of the City and our neighbors.

## Comprehensive Plan

The below graphic shows the boundary of the subject properties in red. The Comprehensive Plan guides these properties as Low Density Residential.



 Low Density Residential



Low Density Residential is guided in the Comp Plan as having a density of 3 to 5 units per acre (see below). However, it does not allow townhomes or narrower single-family lots, which are needed to meet a density of 3 to 5 units per acre. With new Comprehensive Plans, it is not uncommon for cities' zoning ordinances to sometimes not perfectly correlate with their Comprehensive Plan.

If there is adequate City support for this application, your planning staff is more knowledgeable than us in determining the best option to proceed. It may involve updating your ordinance to allow townhomes and narrower single-family lots in the Low-Density Residential area so that applicants are able to comply with the required density range of 3 to 5 units per acre. It could include a Comprehensive Plan Amendment. We welcome a thorough discussion about these or perhaps other logical options. It should be noted that this application results in a net density of 4 units per acre, which is in the center of the range for Low Density Residential per the Comprehensive Plan.

## Key Facts

Current Zone	RSF-2
Proposed zoning	RSF-2 or PUD*
Proposed use	82 townhomes 45 to 47 single family homes**
Net area	32.38 acres
Net density	4 units/acre

\* Depending on which path is chosen, the proposed zoning will differ.

\*\* Ravinia left a couple of small outlots that could be combined with outlots within the proposed application to become lots. This will depend on an agreement to purchase these outlots.

## The Homes

Pulte Homes is known for the extraordinary steps that we take to ensure that we are designing and building homes that meet the needs and desires of home buyers. You can click on this link to learn more about Pulte's homebuilding process <https://www.pulte.com/design/life-tested>. We continually reach out to home buyers and Pulte homeowners to get feedback to improve our home designs. It is what we call Life Tested®. Through this intensive process, we have conceived of and incorporated innovative features such as the Pulte Planning Center, the Everyday Entry, Super Laundry, Oversized Pantry, and the Owner's Retreat. This exhaustive process has played a major part in Pulte's success in *"Building Incredible Places Where People Can Live Their Dreams."*

In striving to continually be in lock step with the home buying public, we update the design of our homes frequently. These changes are driven by the desires and tastes of the home buying public through the process described above.

## Single Family Homes

The single-family homes in this location are very attractive two-car garage homes. Below is a listing of the various floor plans and the associated base square footage. It is a fairly new design for the Twin Cities market area.

Fifth Avenue	2,426 sf excluding options and basements
Boardwalk	2,709 sf excluding options and basements
Park Place	2,756 sf excluding options and basements
Woodward	2,993 sf excluding options and basements

The homes are 35 feet wide, and we have designed the lots to accommodate 10/5 or 7.5/7.5 foot side setbacks. The selling prices of these homes are anticipated to be from \$500k to \$600k. We believe that this type of single-family home has not been sold in the City of Corcoran. In fact, we believe that the nearest similar homes are in Woodbury and Apple Valley. We have provided graphics illustrating the attractiveness of these homes.

## Townhomes

Previous generations of townhomes offered little variety in both floor plans and exterior variety. We find that this modern and versatile two-story townhome provides much more versatility for our buyers than the previous generation of townhomes. As a comparably affordable home, it appeals to young first-time homebuyers, young families, and singles of all ages. Because a professionally managed homeowner's association will maintain the yard, remove snow, and maintain the exterior of the buildings, these townhomes also attract empty nest buyers.

The below range of options for this townhome were not typically seen in previous generations of townhome floor plans:

- 3 bedrooms with options for a 4th
- Sunroom with additional upstairs bathroom expansion
- Loft

Attached you will find photos of the townhomes. Our overall approach in designing these two-story townhomes was to "individualize and stylize" each unit. The result is individual units which differ in architecture from all other units within the same building and which vary in color scheme. The result is that each unit will appear unique and distinct within each building and to a substantial degree within the new community regarding color palette.

We believe that this type of versatile townhome is not available to buyers of homes in Corcoran. The homes will range from 1,800 to 2,400 square feet depending on the chosen options. We anticipate these townhomes will sell in the range of the low \$400k to \$650k with most homes selling in the range of \$410k to \$470k.

## Energy Efficiency

The homes that Pulte will be constructing will have extremely high energy efficiency. Each home is tested using the Home Energy Rating System (HERS) index, which is the industry standard for measuring energy efficiency. Heating, cooling, and water heating constitute the largest cost of homeownership outside of the mortgage. The U.S. Department of Energy has determined that a typical resale home scores 130 on the HERS Index while a home built to the 2004 International Energy Conservation Code is awarded a rating of 100 (lower is more energy efficient). Pulte Homes measures the HERS score of every new home constructed. The average HERS score for our single-family homes runs in the range of 47 to 53. We are building extremely energy efficient homes that dramatically exceed the International Energy Conservation Code threshold.

# Decreasing Housing Affordability

## Historical Context

In recent decades, the Country has experienced a trend of narrower lot widths, deeper homes, and decreased side setbacks. The causes of this long-term trend are complex. A summary of the causes and implications of this trend may be of interest.

It was common in the 1950's to have zoning codes requiring 80-foot-wide lots. Land was cheap. Regulations were minimal. Even modest priced homes could efficiently be placed on such lots. This is no longer true.

The primary cause of reduced lot widths and side setbacks is a dramatic and steady increase in development costs and building costs which has made it increasingly difficult to provide homes that are affordable. Simply put, for multiple consecutive decades, housing costs have risen faster than family incomes. Many negative ramifications accompany this trend, such as less access to building wealth, increased societal inequity, decreased job mobility, and other social issues that lie outside the scope of this narrative.

There are a variety of complex causes of this trend. There has been a steady increase in society's expectation for their standard of living. We've seen the addition of more generous employment benefits in lieu of increased wages. The Metropolitan Council urban growth boundary has artificially constrained the supply of land available for development. State building code revisions have increases housing costs. And we have experience thousands of small additions to various governmental policies which all add costs to development and housing. We believe that some of the most expensive regulations would be commonly viewed by the public as very valuable and worth the high cost:

1. **Storm Water** - Since the early to mid-1980's, we have learned a great deal about how to minimize flooding and to protect the water quality of our lakes and rivers. Many cumulative regulations have arisen to better deal with storm water flooding, water treatment, and sediment control. These regulations continue to evolve and expand. One of the largest increases in housing costs corresponds to the large percentage of land in our new neighborhoods that is now allocated for ponds and storm water treatment (5% to 15%).
2. **Wetlands** - The 1991 Minnesota Wetland Conservation Act has resulted in the protection of a valuable natural resource. Although these regulations have been very effective, we must recognize that it has removed a great deal of developable land from our neighborhoods, thereby adding a significant amount of additional costs to homes.
3. **Energy Efficiency** - Another recent and expensive regulation was implemented state-wide in 2015. This legislation dramatically increased the energy efficiency of new homes.

Combined, it could be argued that the above regulations have had a very positive impact on the environment but have also significantly increased the cost of development and home building. There are also many regulations that do not deliver value to the home buyer. And there are many regulations for which it would be productive to have an open discussion about whether they could be altered to make homes affordable to more people yet continue to meet the goals of the various regulators. Every regulation has a cost. A thorough discussion is urgently needed about the relative cost and value of each regulation as we have reached the point of crisis.

In response to this steady decrease in housing affordability, our customers have told us that they would prefer to sacrifice some yard space instead of home space. Pulte Homes and other builders across the country have responded to the priorities expressed by the public by creating narrower lots, deeper homes, and oftentimes lesser side setbacks. Zoning codes are being revised to reflect these market realities. There is certainly still a place for 80-foot-wide lots in today's spectrum of homes, but today they only serve the luxury home sector.

We have all observed these corresponding trends over years: smaller lots and less housing affordability. It is not a trend that any of us like to see, and it is a complex issue to fully understand. Another tool to help us more fully understand this issue is the use of data.

## **Measuring Housing Affordability**

The most accurate measure of housing affordability would account for the different costs of living in various metropolitan areas. A ratio of home price/average household income does just that, and therefore is the most accurate measure of affordability. A ratio of 3.0 or less has historically been considered affordable (<http://demographia.com/db-dhi-index.htm>). In 1970, all states had a ratio less than 2.5 except Hawaii. As recently as the late 1980's, the national average was 2.75. In 2019, our national average is 3.9 and our state ratio was 3.4 and has been steadily climbing.

Unfortunately, the data also suggests that this trend will continue in the Twin Cities. This assumes that what has been occurring in U.S. coastal metropolitan areas will continue to be a bellwether for the rest of the Country. Housing affordability has steadily gotten worse in coastal areas. The response by the home buying public in coastal areas has been to demand very narrow homes and lots to partially offset the increasing price/income trend and to retain homeownership opportunities for as many people as possible.

It is within this broader context that we submit this application. The homes to be built on these lots are not small or inexpensive. The floor plans are tried and true and are popular among the buying public. The trends we are all experiencing related to housing affordability has reached a state of crisis and we are adapting to the changing environment.

## **PUD Zoning**

### **PUD Background**

We recognize that one of the tools used by the City in the past to address the issues described above is PUD zoning. We understand that some Planning Commissioners and some City Councilmembers are not excited about using PUD's as a zoning tool. We are not excited about PUD's either. Ideally, other ordinances would provide the flexibility needed to meet the demands of the market and PUD's could be eliminated. This would remove a great deal of uncertainty, ambiguity, and frustration from the process.

PUD's began to be commonly used in the Twin Cities in the 1980's and 1990's. The most common justification for using PUD zoning was to "cluster" the homes and infrastructure into a smaller area to preserve natural resources such as wetlands, woods/buffers, etc. The primary tool to accomplish this was the use of smaller lots. There were also peripheral benefits such as reduced public infrastructure for cities to perpetually maintain since the infrastructure wasn't spread out over a larger area. (Incidentally, the three most expensive regulations described in

an earlier section of this narrative were all enacted after PUD's were originated. The original purpose of PUD's has gradually been diluted.)

This discussion ties directly to the earlier discussion regarding decreasing housing affordability and the trend toward smaller lots.

## **PUD Benefits for this Application**

It can be difficult to balance the goals of a Comprehensive Plan with ordinances and other policies. We have worked hard to create a neighborhood which balances these factors with the market and the property characteristics. We believe the uniqueness of this property lends itself to a PUD approach. Consider the below list of community benefits:

1. Preservation of wetlands
2. Preservation of strategically located tree buffers along CSAH 101 and the west property line.
3. Creation of a wide buffer between homes to the west and the new homes.
4. Planting of conifer buffer trees along the west property line and along Hackamore to buffer views of the townhomes and preserve the "rural" entrance into the City from this intersection.
5. Extraordinarily large home setbacks from CSAH 101, Hackamore, and the west property line. We have set back the townhomes from 101 at a highly unusual 223 feet (requirement is 100 feet w/o buffer and 50 feet with buffer). Similarly, along Hackamore the single-family homes are set back over 235 feet (requirement is 25 feet). The townhomes are set back 45 feet from Hackamore (requirement is 25 feet).
6. Accommodation of a small public park, if desired and chosen by the City.
7. Strategic design of the entire neighborhood for the expressed purpose of "hiding" the neighborhood from the perimeter, particularly from CSAH 101 and Hackamore.
8. Providing two new types of housing for potential buyers.
9. Accommodation and potential concurrent construction of a trail along the north side of Hackamore.
10. Development of this property will result in a reasonable financial contribution toward the reconstruction of a regional transportation improvement project (Hackamore).

## **Phasing & Schedule**

Preliminary plat approval	Spring 2022
Site development	Summer 2022
Model home opens	Late 2022 or early 2023
Full build out of homes	Late 2025 or early 2026

*This submittal includes:*

- *Application*
- *This narrative*
- *Engineering site plan*
- *Rendered site plan*
- *Home elevations*
- *Check for \$2450*

HACKAMORE ROAD SITE  
Corcoran, Minnesota



40' from proposed porch to property line

45' from proposed foundation to property line

60' from proposed foundation to property line

230'+ from proposed foundation to property line

50' from proposed foundation to property line

220'+ from proposed foundation to property line

50' from proposed foundation to property line

LUPINE LANE

GOLDENROD TRAIL

LARKSPUR LANE

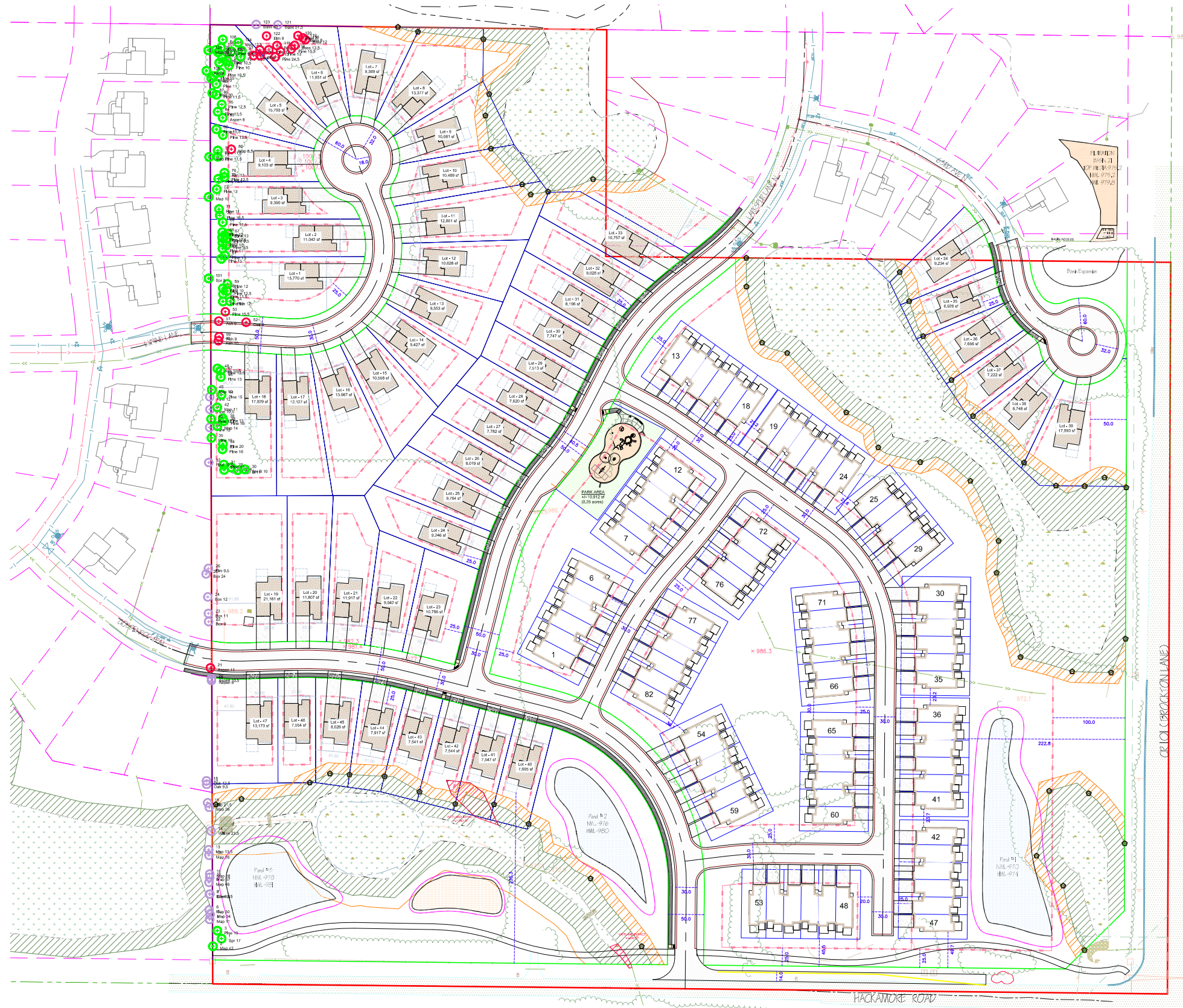
63RD AVENUE

BROCKTON LANE (CSAH 101)



Total Units: 127-129  
Single Family: 45-47  
Townhome: 82

- Proposed Trees
- Saved Trees
- Removed Tree



**SCHNELL PARCEL**  
 19210 HACKMORE RD  
 PID 3611923440013  
 AREA: 7.81 AC

**JTC LLC PARCEL**  
 6301 CR 101  
 PID 3611923440008  
 AREA: 5.20 AC

**HOGLUND PARCEL**  
 19220 HACKAMORE RD  
 PID 3611923440009  
 AREA: 6.84 AC

**JAMES PARCEL**  
 6235 CR 101  
 PID 3611923440010  
 AREA: 5.68 AC

**ANDERSON PARCEL**  
 19200 HACKAMORE RD  
 PID 3611923440014  
 AREA: 6.85 AC

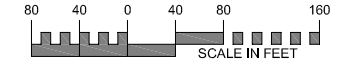
**CONCEPT PLAN: 132 UNITS**  
 SINGLE FAMILY LOTS- 45-47  
 50' LOTS  
 FYSB - 25' (20' Porch)  
 RYSB - 25'  
 SYSB - 5'Min/ 15'(total)  
 CORNER - 25'  
 ROW - 60'  
 STREET - 30' B-B

TOWNHOME UNITS - 82  
 30' B-B PRIVATE STREETS  
 FYSB-25 FT  
 20' BETWEEN UNITS  
 25' REAR TO SIDE  
 40' REAR TO REAR

DENSITY: 129/32.38 = 3.98 U/AC

\*NOTE - 2 SINGLE FAMILY LOTS ARE LOCATED IN OUTLOT C & E OF RAVINIA 11TH ADDITION

- DENOTES PROPOSED SAVED TREE (ONSITE)
- DENOTES PROPOSED REMOVED TREE (ONSITE)
- DENOTES OFFSITE TREE



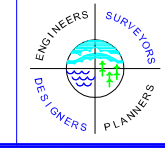
EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
xxx				
DRAWN BY				
xxx				
CHECKED BY				
xxx				
DATE				
xx/xx/xx				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Name, P.E. \_\_\_\_\_  
 Date: \_\_\_\_\_ Lic. No. \_\_\_\_\_



**SATHRE-BERGQUIST, INC.**  
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. ---  
**CORCORAN, MINNESOTA**

**CONCEPT PLAN 10/19/21**  
**HACKAMORE SITE**  
**PULTE**

FILE NO. 72905-639  
 X  
 X

# Ashton & Bowman





# Ashton & Bowman



# Ashton & Bowman



# Ashton & Bowman



# Example Photos of Interiors



# Example Photos of Interiors



# Example Photos of Interiors





## Fifth Avenue





## Fifth Avenue







## Fifth Avenue





# Boardwalk





## Boardwalk





# Boardwalk





## Park Place





## Park Place





## Park Place





# Woodward







# Woodward





# Woodward

































# CITY OF CORCORAN

## Official Zoning Map

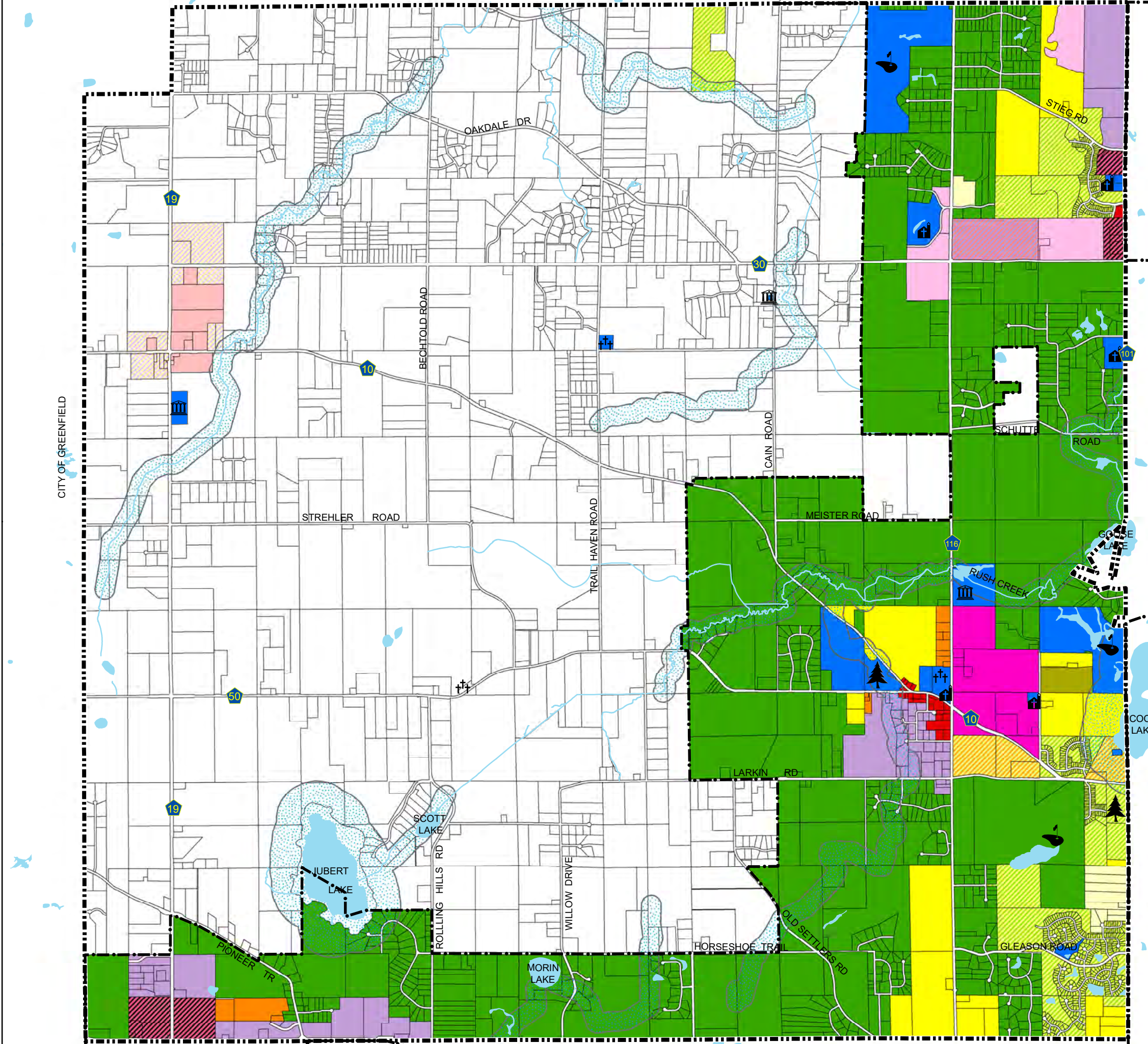
### Zoning Districts:

-  UR Urban Reserve
-  RR Rural Residential
-  RSF-1 Single Family Residential 1
-  RSF-2 Single Family Residential 2
-  RSF-3 Single and Two Family Residential 3
-  RMF-1 Medium Density Residential
-  RMF-2 Mixed Residential
-  RMF-3 High Density Residential
-  MP Manufactured Home Park
-  P-1 Public / Institutional
-  TCR Transitional Rural Commercial
-  CR Rural Commercial
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  DMU Downtown Mixed Use
-  GMU General Mixed Use
-  BP Business District
-  I-1 Light Industrial
-  PUD Planned Unit Development
-  Cemetery
-  Church
-  Golf Course
-  Government Building
-  Public Park
-  2040 Metropolitan Urban Service Area
-  City Limit
-  Open Water
-  Shoreland Overlay District

3,000 1,500 0 3,000 Feet




Updated September 2020  
Adopted June 2011





# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 2-1 2040 Future Land Use

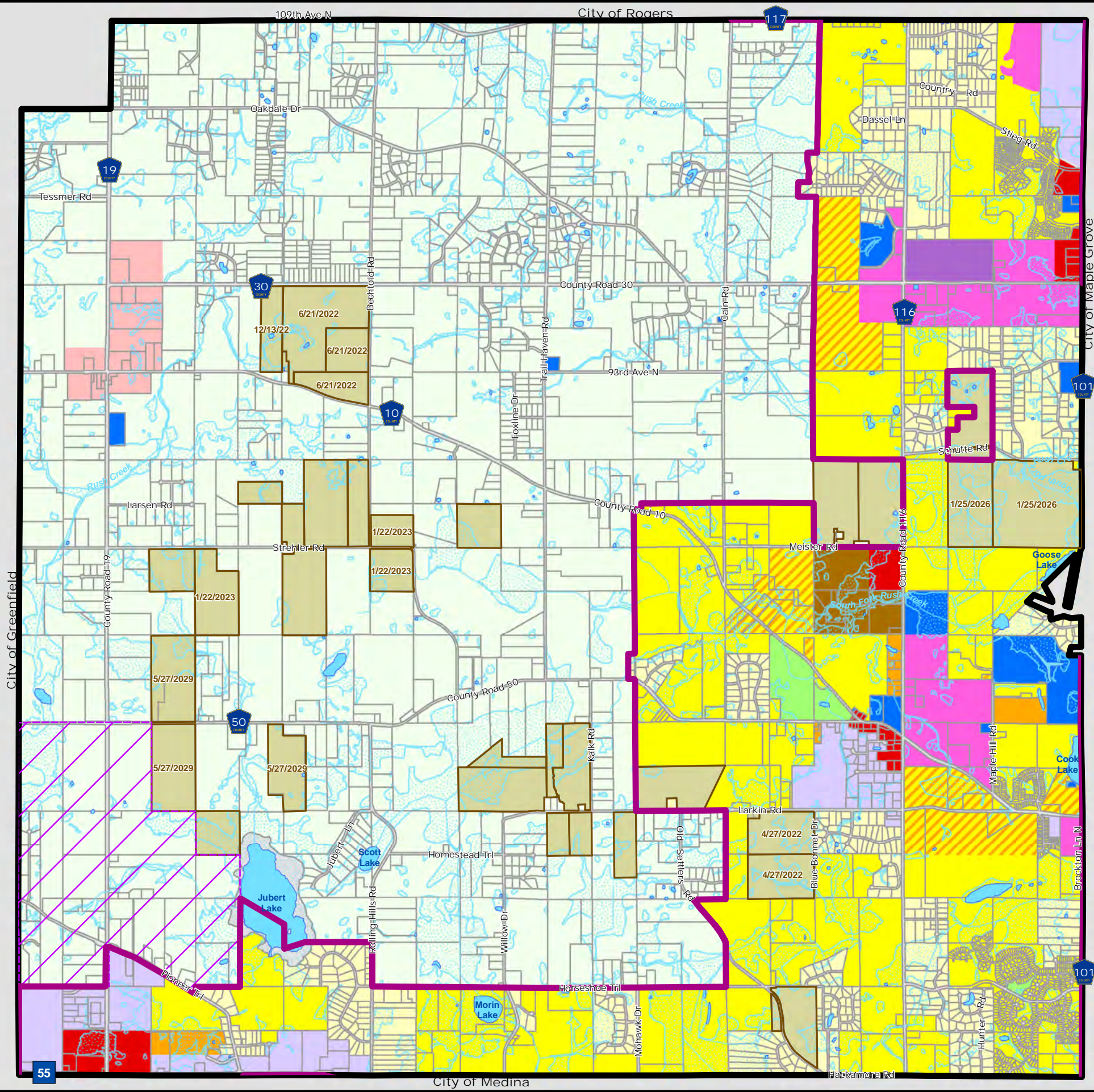
- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:  
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



Feet

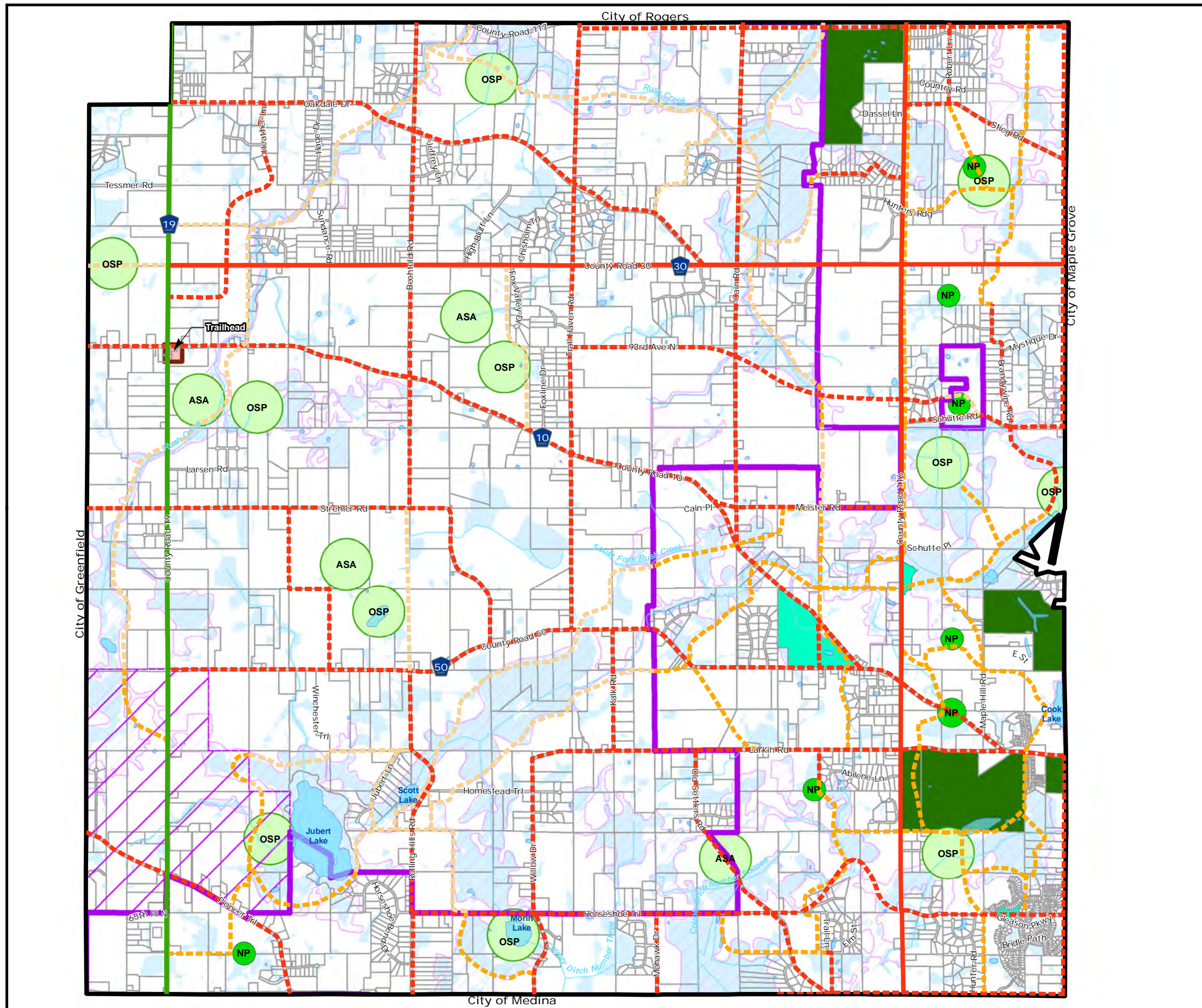




# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 5-1 Parks and Trails Plan

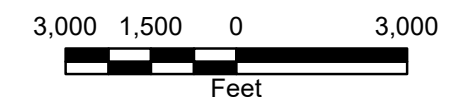


#### Existing Parks and Trails

- Regional Trail
- Existing On Road Trail
- City Park
- Trailhead
- Private Park/Open Space

#### Proposed Parks and Trails

- Proposed On Road Trail
- Proposed Off Road Trail
- Proposed Off Road Trail outside 2040 Development Area
- Neighborhood Park
- Community Park
- Greenway Corridor
- Municipal Boundaries
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands



Path: L:\2294\100\2040CompPlan\Parks and Trails Map.mxd  
Date: 1/15/2019 Time: 1:22:31 PM User: Shu.JC0243



# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

#### Natural Plant Communities

##### Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

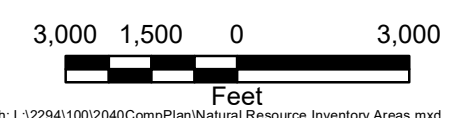
##### Uplands

- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field

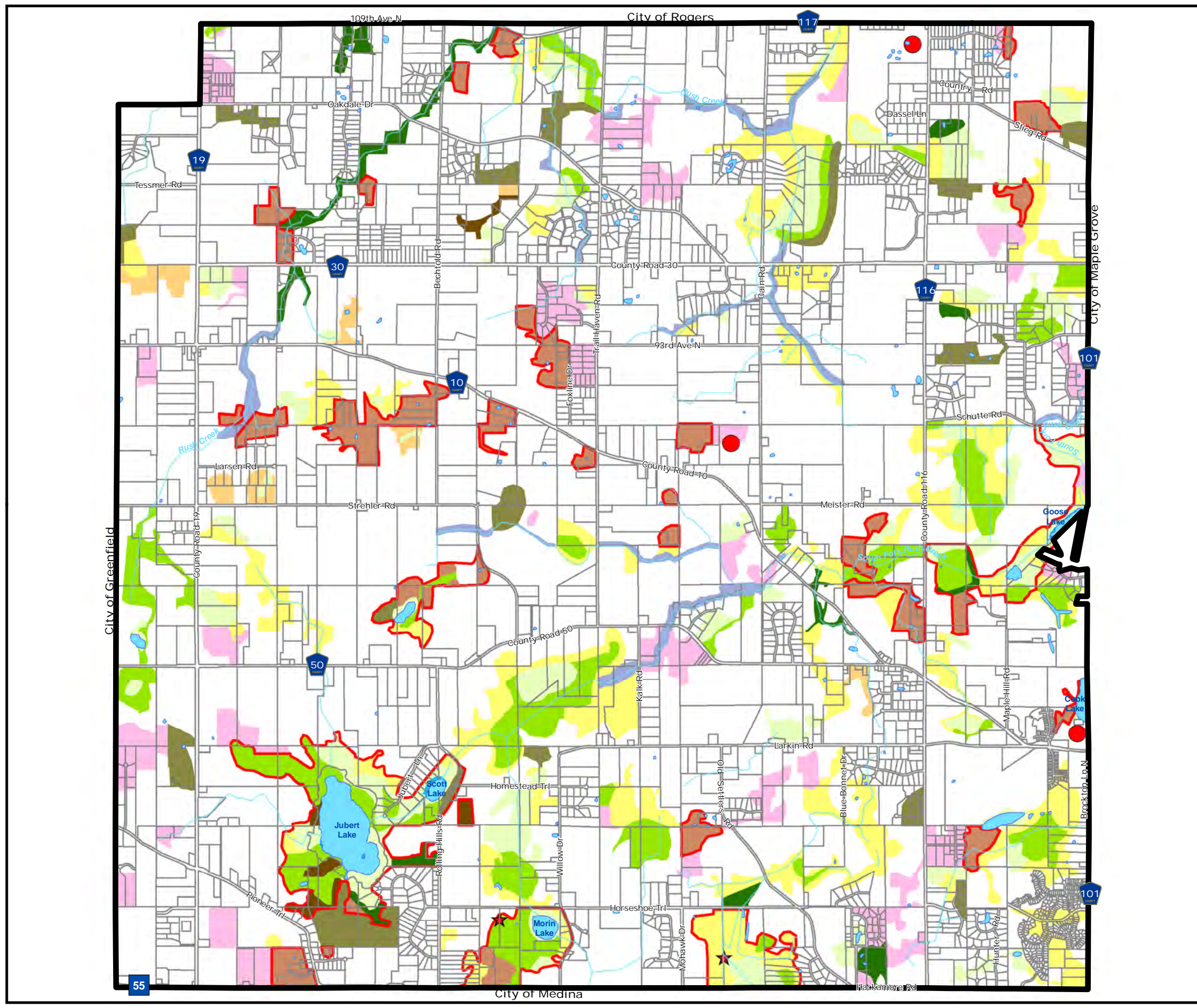
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source: Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



Path: L:\22941\100\2040CompPlan\Natural Resource Inventory Areas.mxd  
Date: 1/7/2019 Time: 1:10:39 PM User: ShuJC0243



**From:** [Kevin Shay](#)  
**To:** [Kevin Shay](#)  
**Subject:** FW: Opposed to proposed zoning change for Pulte at Hackamore & 101  
**Date:** Wednesday, November 17, 2021 12:44:05 PM

---

**From:** Daron Meyer <[DARON\\_ME@msn.com](mailto:DARON_ME@msn.com)>  
**Sent:** Monday, November 15, 2021 5:59 PM  
**To:** Jeremy Nichols <[jnichols@corcoranmn.gov](mailto:jnichols@corcoranmn.gov)>; Tom McKee <[tmckee@corcoranmn.gov](mailto:tmckee@corcoranmn.gov)>  
**Subject:** Opposed to proposed zoning change for Pulte at Hackamore & 101

Hello,

I am a homeowner in the Ravinia neighborhood. We recently learned about a proposed new development by Pulte that is requesting smaller lots and higher density that will be connected to the neighborhood. We are very much opposed to this change.

It is entirely acceptable and understandable that this parcel eventually be developed for single family homes and we fully support doing this. However, we are strongly opposed to changing the zoning from RSF-2. Any development should remain with the current zoning in place.

The argument by the developer that this is necessary to make the homes more affordable is not sufficient reason for the change. There are many other options for higher density nearby, including townhomes and apartments on the east side of 101 and just north on 101 near HyVee.

Allowing higher density housing closer to the Ravinia neighborhood will negatively impact property values, will increase traffic and goes against the zoning we were led to believe would continue for that parcel when we chose to move here recently.

Thank you for considering our opinions in this matter. Please let me know if any questions or concerns to discuss further.

THANKS,  
Daron Meyer  
6224 Snowberry Ct  
Corcoran, MN 55340  
[952-451-1565](tel:952-451-1565)

**From:** [Kevin Shay](#)  
**To:** [Kevin Shay](#)  
**Subject:** RE: New development proposal by Pulte  
**Date:** Wednesday, November 17, 2021 12:02:57 PM

---

**From:** Kumar Kurra <[kvdrkumar@gmail.com](mailto:kvdrkumar@gmail.com)>

**Sent:** Tuesday, November 16, 2021 4:47 PM

**To:** Jeremy Nichols <[jnichols@corcoranmn.gov](mailto:jnichols@corcoranmn.gov)>; Tom McKee <[tmckee@corcoranmn.gov](mailto:tmckee@corcoranmn.gov)>; Jonathan Bottema <[jbottema@corcoranmn.gov](mailto:jbottema@corcoranmn.gov)>; Alan Schultz <[ASchultz@corcoranmn.gov](mailto:ASchultz@corcoranmn.gov)>; Dean Vehrenkamp <[dvehrenkamp@corcoranmn.gov](mailto:dvehrenkamp@corcoranmn.gov)>; Jessica Beise <[jbeise@corcoranmn.gov](mailto:jbeise@corcoranmn.gov)>

**Subject:** New development proposal by Pulte

Good Afternoon team,

I am a Corcoran resident from 2016 and I am happy to know about a new development proposal (SE to Ravinia) by Pulte. I am happy because this development provides additional access to Hackamore Rd and we will have more neighbors in the neighborhood.

However, I am concerned about a higher density proposal by Pulte. My understanding is that this land is currently zoned as a low density (i.e single family home district), but Pulte seems to be requesting you guys to change it to high density. I would request you all not to rezone it as a high density and limit the land to Single Family homes.

High density neighborhoods may bring down the property value of existing homes, the feel of existing neighborhoods will be impacted, increased traffic and the city will need to provide additional infrastructure to meet high density demand (if any)..etc. City should not be re-zoning this land to high density just because one builder will financially benefit from it (and many current residents around the development area will see a negative impact).

Appreciate your review and consideration.

--

Thanks and Regards,

Kumar Kurra

19213 Paddock Ln, Corcoran



**From:** [Jeremy Nichols](#)  
**To:** [Brad Martens](#)  
**Subject:** Fwd: Proposed Pulte Neighborhood  
**Date:** Tuesday, November 16, 2021 1:32:04 PM

---

Sent from my iPad

Begin forwarded message:

**From:** Marisa <marisa.fraley@gmail.com>  
**Date:** November 15, 2021 at 8:05:59 PM CST  
**To:** Jeremy Nichols <jnichols@corcoranmn.gov>, Tom McKee <tmckee@corcoranmn.gov>  
**Subject: Proposed Pulte Neighborhood**

Hi Jeremy and Tom,

Thank you for keeping neighbors informed about the proposed use of the 5 lots on the SE corner of Ravinia. We live on Bridle Path and back up to the large pond and tree line that currently separate Ravinia from the existing properties on those 5 lots. From the map shared on Facebook, it looks like there is an effort to keep a lot of the trees. You specifically named the preservation of the trees on the west side, but do you happen to know anything about the tree line on the north side? It is difficult to tell from the map. There are red dots indicating the removal of some trees in the NW corner. Why would they remove trees from that area?

We are hoping to advocate for the preservation of the beautiful tree line along our neighborhood. With the proposal of this project we are also wondering if it's possible to add more trees to create a bigger buffer between our neighborhood and the new one. Lennar owns the out lot behind our house and they also own part of the tree line. Is it possible to raise funds, use neighborhood funds, or buy trees ourselves to plant in the back part of the out lot?

Marisa Fraley

**From:** [Jeremy Nichols](#)  
**To:** [Brad Martens](#)  
**Subject:** Fwd: Pulte - Initial Feedback  
**Date:** Tuesday, November 16, 2021 1:32:35 PM

---

Sent from my iPad

Begin forwarded message:

**From:** Joseph Varghese <[varghesejoseph@gmail.com](mailto:varghesejoseph@gmail.com)>  
**Date:** November 16, 2021 at 9:39:11 AM CST  
**To:** Jeremy Nichols <[jnichols@corcoranmn.gov](mailto:jnichols@corcoranmn.gov)>  
**Subject: Pulte - Initial Feedback**

Hi Jeremy

Thank you for sharing update regarding new Pulte development

Firstly we welcome new community in vicinity of Ravinia , at same time my feedback is not to have townhomes but city counsel to recommend only single family homes at this SE corner lots .

Regards  
Joseph



**TO:** Corcoran City Council  
**FROM:** Kevin Shay through Kendra Lindahl, Landform  
**DATE:** November 17, 2021 for the November 22, 2021 City Council Meeting  
**RE:** Concept Plan for 23185 County Road 10 (city file 21-033)

### 1. Description of Request

The applicant, Nate Kariniemi, is requesting an opportunity to appear before the City Council to solicit informal comments on a sketch plan for a proposed subdivision of 23185 County Road 10. The proposal includes subdividing the property into three commercial lots on the west side of the site and 15 rural residential lots on the east and south side of the site, with a large outlot dividing the east and west sides of the site. The residential portion of the property would require an Open Space and Preservation (OS&P) plat.

### 2. Background

This is the third concept plan submitted by Mr. Kariniemi for this site.

- a) At the August 26<sup>th</sup> Council meeting the Council reviewed a concept for residential on the eastern portion of the site and three commercial parcels on the western portion. The Council feedback was supportive of the layout of uses.
- b) At the September 23<sup>rd</sup> Council meeting, the Council reviewed a concept for an OS&P plat that included 15 residential lots and 3 commercial lots and did not propose to dedicate Outlot A. The Council feedback was the desire to have Outlot A dedicated over to the City, to preserve the maple basswood area and to buffer from the south lot line.
- c) This concept proposes to dedicate Outlot A to the City as park area and attempts to provide a buffer for the south lot line by providing a larger 100-foot right of way, presumably to move the road north and preserve the existing trees along the south lot line.

### 3. Context

The site is an existing 124.5-acre lot with a single-family residential structure on the northeast corner of the site. There are 13 development rights on the property.

#### *Zoning and Land Use*

The site is guided Rural/Ag Residential in the Comprehensive Plan and is zoned RR (Rural Residential). A shoreland overlay district runs through the center of the property for Rush Creek.





### *Surrounding Properties*

The properties to the east, south and west are guided Rural/Ag Residential and zoned RR (Rural Residential). The properties to the north are guided Rural Service/Commercial and zoned CR (Rural Commercial). The site abuts the north, west and south lot lines of the public works facility.

### *Natural Characteristics of the Site*

Rush Creek runs through the center of the site. There are natural plant communities on the site identified as a high-quality maple/basswood area on the Natural Resource Inventory Areas Map in the Comprehensive Plan. Further, multiple wetlands are shown on Hennepin County's Natural Resources mapping software as shown on the Site Location map.

## **4. ANALYSIS:**

### *Sketch Plan*

The sketch plan process provides an opportunity for the applicant to get information from the City that can be incorporated into a formal development application. The next steps would be:

1. Application for Comprehensive Plan Amendment, Rezoning and OS&P Plat
2. Application for Final Plat (and development contract)

The residential lots are in the south and northeast portions of the site and are proposed to be served by new public streets. The southern 6 residential lots would access off a new public street along the south property lines. The lots in the northeast would access from a street running parallel to the east lot line. The formal plan application must include a ghost plat or concept plan for the site to the east and a ghost plat for how the open space outlots could develop in the future if sewer and water became available.

The three commercial lots are accessed via a public street that is proposed to run through the northern portion of the public works lot.

### *Comprehensive Plan Amendment and Rezoning*

The proposed land use and zoning for the site will require a change on the western portion of the site from Rural/Ag Residential to Rural Service/Commercial for the land use and Rural Residential to Rural Commercial for the zoning. This is a policy change and the Council has a higher level of discretion when reviewing these types of applications. The proposed commercial land would abut commercial land on the north and the public works garage on the south. The change would allow additional commercial opportunities in the City.

- City Council should provide feedback on this request.



### *Development Rights*

The site has 13 development rights. The applicant's proposal shows three assigned to the commercial lots (Lots C-1, C-2 and C-3) and 10 residential lots. The plan shows a 50.2-acre Outlot A with no development rights.

### *Open Space and Preservation Plat (OS&P)*

The sketch plan would require an OS&P plat with a formal application to increase the development rights to allow the 15 single family lots shown on the sketch plan. The applicant is not including the 3 commercial lots in the OS&P plat. This reduces the gross acreage of the OS&P plat to 100.4 acres.

As part of the OS&P plat 50% of the gross land area is required to be dedicated as preserved open space in no more than 2 parcels. Of the 50% open space 50% must be upland area. The sketch plan shows compliance with the 50% open space requirement but without a wetland delineation we are unable to determine if the upland area can be provided. It appears that the sketch plan could comply with the upland requirement. Connections to the open space are shown at the end of the cul-de-sacs on the western portion of the property. A connection to the north or into the proposed cul-de-sac on the east should be looked at.

The open space is being provided in Outlot A. The Code requires "Open space shall be in a contiguous, connected configuration including or adjacent to existing natural areas or parks. Open space that is divided by a local street shall be considered contiguous."

The applicant is proposing to dedicate the entire 50.2 acres of Outlot A to the city as a park property. This is a change from the last concept.

The applicant is proposing to increase the existing 10 development rights into 15 development rights by utilizing the 150% bonus available for OS&P plats that develop with a rural street section. The development would be required to comply with the standard rural street section.

Lots 4-6 on the southwest corner of the site heavily impact the high-quality maple/basswood forest. The OS&P ordinance states that the objective of the ordinance is to preserve natural resource areas identified by the Comprehensive Plan. The arrangement of residential lots should be designed to achieve as many of the objectives in the OS&P ordinance. One of which is to locate lots to preserve natural resources to the maximum extent possible in a contiguous, connected configuration. This was a significant discussion item when the Council reviewed the previous sketch plan.

### *Lot Standards*

The sketch plan appears to show compliance with the RR and CR standards, which require the following minimum standards:



	<b>OS&amp;P</b>	<b>CR (Rural Commercial)</b>
Lot Area	4 acres (maximum)	2.5 acres (minimum)
Minimum Lot Width		100 feet
Minimum Lot Depth		200 feet
Minimum Principal Structure Setbacks:		
Front, From Major Roadways*	100 feet	100 feet
Front, From all other streets	25 feet	50 feet
Front Porch (≤ 120 square feet)	25 feet	n/a
Side	10 feet	20 feet
Rear	25 feet	20 feet
Adjacent to Residential	n/a	50 feet
Maximum Principal Building Height	35 feet	35 feet
Maximum Impervious Surface Coverage	n/a	50%

\*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2030 Roadway Functional Classification map in the 2030 Comprehensive Plan.

\*\*Minimum separation between structures on adjacent parcels shall be 15 feet.

The shoreland overlay district standards for setbacks, structure height and impervious surface apply to the area within 300 feet of the ordinary high-water level of Rush Creek. This appears to affect the rear of Lots 3-8 of the residential parcels on the northeast and Lot 6 on the southwest. The applicant must comply with the shoreland requirements in Section 1050.020 of the Zoning Ordinance, which requires a buffer adjacent to the creek and additional limitations on building height within the overlay district.

*Sidewalks and Trails*

The 2040 Comprehensive Plan has a proposed on-road trail shown along northern boundary of this property on County Road 10 and an existing trail on County Road 19. Hennepin County may require right of way to be dedicated for the County Road 19 trail. A proposed off-road trail is shown along Rush Creek. Staff recommends the trail be located on the west side of the creek from north to south property lines.

City Council should discuss whether the trail should access directly from the County Road 10 on-road trail, whether it should provide an access to the residential properties through the ends of the cul-de-sacs, whether it should connect to the commercial area and whether a connection to the CR 19 trail should be planned.

If the City accepts the entire outlot as park land, a trail easement would not be required over Outlot A and could be field located in the future. It may be necessary to acquire a trail easement to make connections into the cul-de-sac on the east or to connect to County Road 10 and 19.



### *Transportation/Access*

The applicant is proposing three public street accesses with one serving the residential lots on the northeast, one serving the residential lots on the southwest and one serving the proposed commercial lots. The commercial lots will be accessed from the new proposed roadway extending from County Road 19, which will also provide the public works facility with access. The proposed access is shown along the northern edge of the public works property and the applicant is seeking to do a cost sharing agreement with the City to build this road. Staff is not in favor of the access for the new commercial lots to utilize the existing access for the public works facility and is not in favor of any cost sharing for the improvements. All access locations and required improvements (including potential turn lanes) are subject to Hennepin County review and approval.

Each of these new streets will require approval from Hennepin County for the new access to County roads.

### *Utilities*

The entire site is located outside the MUSA and will be served with well and septic.

### *Ponding*

Stormwater ponding can be provided on site in compliance with local and state requirements.

### *Floodplain*

The site has 100-year floodplain generally surrounding Rush Creek. The applicant will need to comply with the requirements of Section 1050.030 of the Zoning Ordinance

### *Wetlands*

There are a number of wetlands on site. The applicant must submit a wetland delineation for review and approval by the City as the LGU for the WCA. If wetland impacts are proposed additional applications for mitigation would be required.

The applicant must comply with the wetland buffer and setback requirements in Section 1050.010 of the Zoning Ordinance.

## **5. RECOMMENDATION:**

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.



### **Attachments**

1. Site Location Map
2. City Engineer's Memo dated November 17, 2021
3. Sketch Plan dated October 22, 2021
4. Official Zoning Map
5. 2040 Future Land Use
6. Parks and Trails Plan
7. Natural Resource Inventory
8. Wetland Locations and Classifications








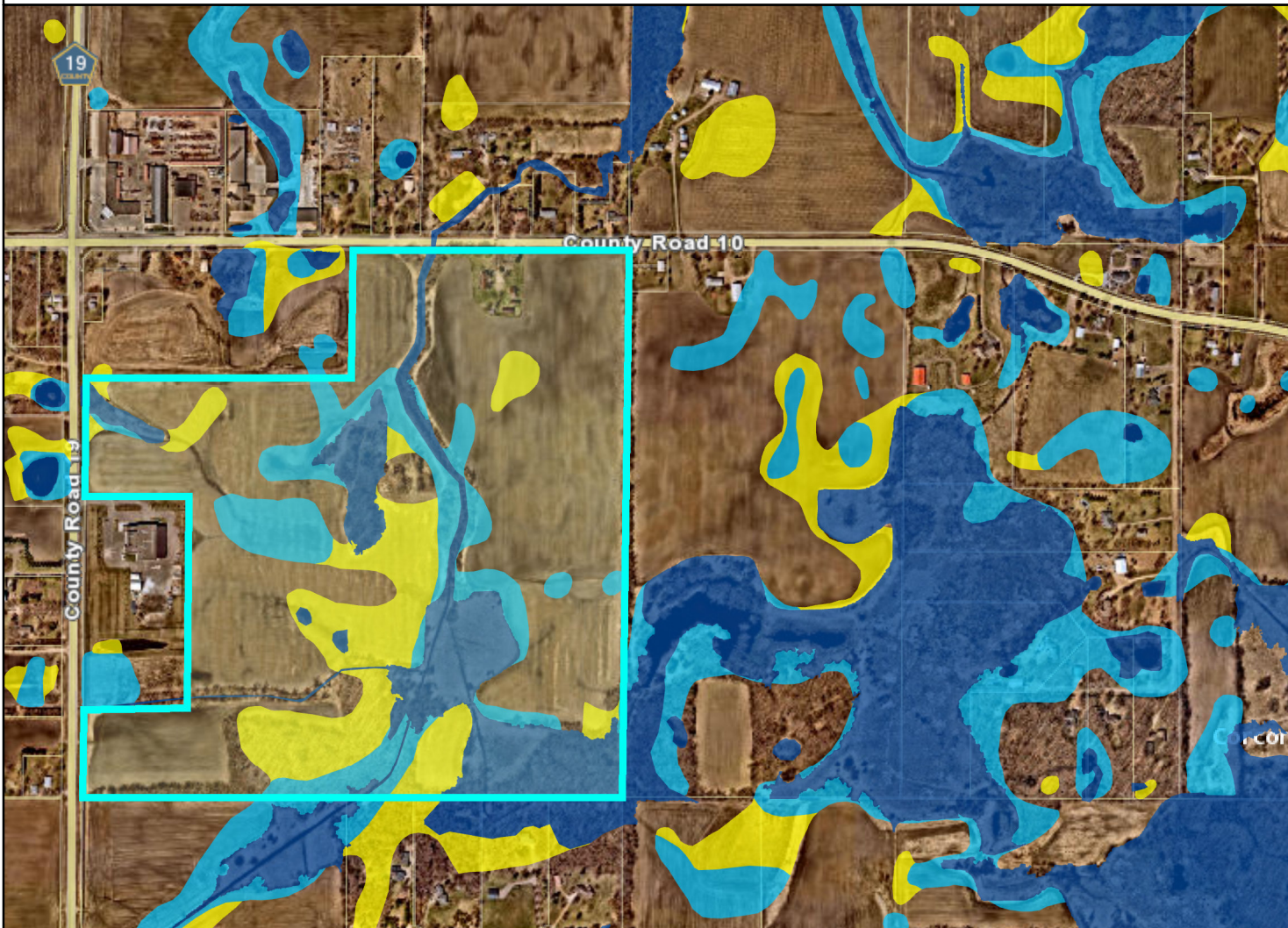
# Hennepin County Natural Resources Map

Date: 9/14/2021

## Legend

### Wetlands

-  Potential Wetland - HCWI
-  Probable Wetland - HCWI
-  Probable Wetland - NWI



PID: 1811923110002  
Address: 23185 Co Rd No 10,  
Corcoran 55374  
Owner: Willow 1 Llc  
Acres: 124.54

Comments:

1 inch = 800 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, PE, Public Works Director

From: Kent Torve, PE, City Engineer

Project: Kariniemi\_Roehlke Concept 3

Date: November 17, 2021

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**Exhibits:**

This Memorandum is based on a review of a new concept plan, however the majority of site issues similar to previous concepts.

1. Concept Plan on Outlot A, Roehlke Addition by Otto and Associates, 10-22-21.
  - a. Project shows nine residential lots (access from CR 10), six residential lots (CR 19), three commercial lots (CR 19) and Outlot A.

**Comments:**General:

1. Comments provided are high level comments based on the concept plan schematic provided. Additional comments should be anticipated on future submittals on the details of the development.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran, NPDES, WMO, Hennepin County, etc.
3. Adjacent site to northeast is historical site (Burschville School) and may receive additional attention and protection during construction.

Plat:

1. The applicant shall show all drainage and utility easements and all platting requirements are met per the City Code. Drainage and utility easements shall be provided per City requirements.
2. Easements should be provided over all infrastructure used for the conveyance and treatment of stormwater.
3. Easements should be provided over any/all public infrastructure as applicable.
4. All existing easements, if any, should be provided to the City for review. Vacation of existing easements requires a City process.
5. Ghost plat parcel to east to ensure ROW is in proper location.
6. Access to Outlot A is provided.
7. Individual lot grading plans shall be provided showing all easements, septic locations, potential well locations, setbacks, grading and drainage.

### Transportation

1. County is permitting agency for CR 10 and CR 19. Turn lanes may be required and would be constructed under a City project with the developer providing escrow.
2. County is permitting agency for access to commercial lots along CR 19. Current concept shows separate access adjacent to Public Works.
3. The need for fire access around any commercial buildings shall be determined by Public Safety.
4. Concept plan shows development using Public Works property for new street, this approach or also any cost sharing with City is not supported by staff.

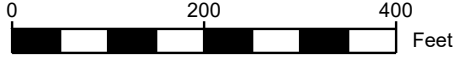
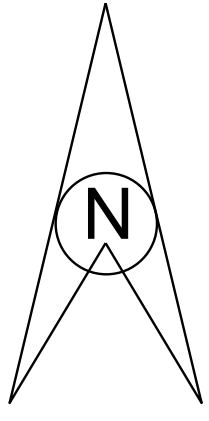
### Stormwater

1. Stormwater management appears manageable for the residential lots.
2. FEMA floodplain exists and may affect the initial layout.
3. Stormwater management for commercial lot C-1 appears challenging due to wetland, required buffer, etc.
4. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
5. The City's Stormwater Guidelines shall be used for stormwater systems and modeling.
  - o Provide a hydraulic stormwater model to ensure that the proposed development meets all required rate control standards and does not adversely impact surrounding properties.
6. WMO typically requires that the model P8 or a similar calculation to demonstrate that the site meets the total phosphorous and total suspended solids reduction standards for all treatment practices.
7. Adjacent D&D site to the northwest will direct some drainage to its southeast corner and should be managed within the Roehlke development. Flows are minimal and will be reviewed for potential of erosion. The previous ComLink site directed significant drainage to this location, so the D&D ownership has lessened the impact to Roehlke parcel.
8. If filtration is required by WMO for the site, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used with adequate maintenance access.
9. Incorporate any turn lane drainage (CR 10 and CR 19) into the site's SWMP and WMO permitting.

### Fire Protection, Private Wells and Septics

1. Public Safety should review the need for any future fire protection within the property.
2. If not used with the current development, any wells which service the existing property should be abandoned by a licensed contractor.
3. Any existing septic system should be abandoned by a licensed contractor.

# Concept Plan OS+P



Total Plat Area = 126.66 ACRES

Existing Development Rights = 13 Lots

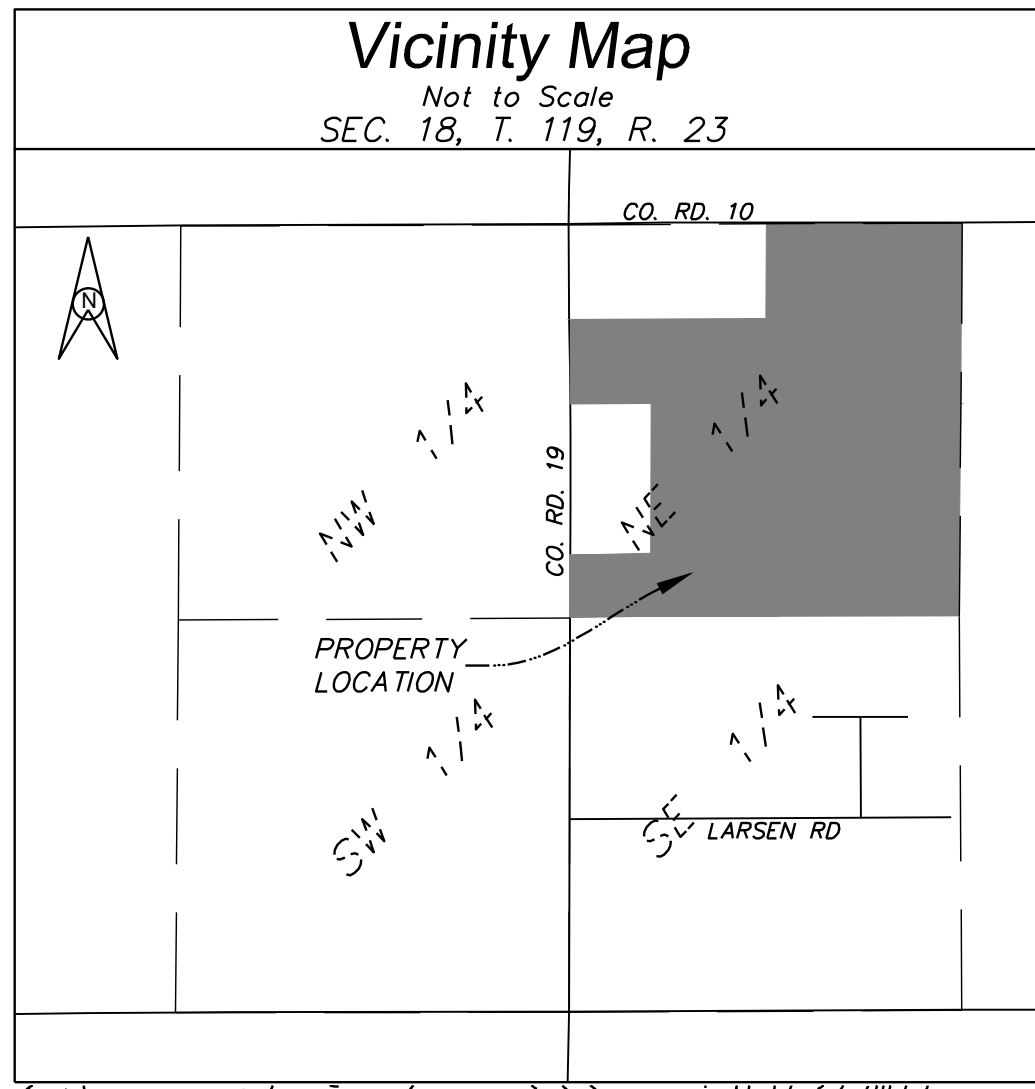
Total Lots Proposed = 10 Development Rights x 1.5 (OSP Plat) = 15 RR Lots, 3 Commercial

Commercial Area = 17.5 Acres

RR Area = 100.4 Acres

OSP Open Space Required = 100.4 x 0.5 = 50.2 Acres

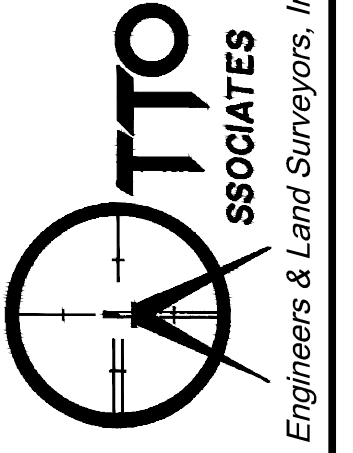
Open Space Provided = 50.2 Acres



- denotes iron monument found
- denotes 1/2 inch by 1/4 inch iron pipe set and marked by License #40062

Project No. 21-0188

www.ottoassociates.com  
9 West Division Street  
Buffalo, MN 55313  
(763)682-4727  
Fax: (763)682-3522



Requested By:

**Nathan Kariniemi**

Date: 9-28-21  
 Drawn By: T.R.K.  
 Scale: 1"=200'  
 Checked By: P.E.O.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Paul E. Otto*  
 Paul E. Otto  
 License #40062 Date: 10-22-21

Concept Plan on Outlot A, ROEHLKE ADDITION, Hennepin County, Minnesota.





























Revised:



# CITY OF CORCORAN

## Official Zoning Map

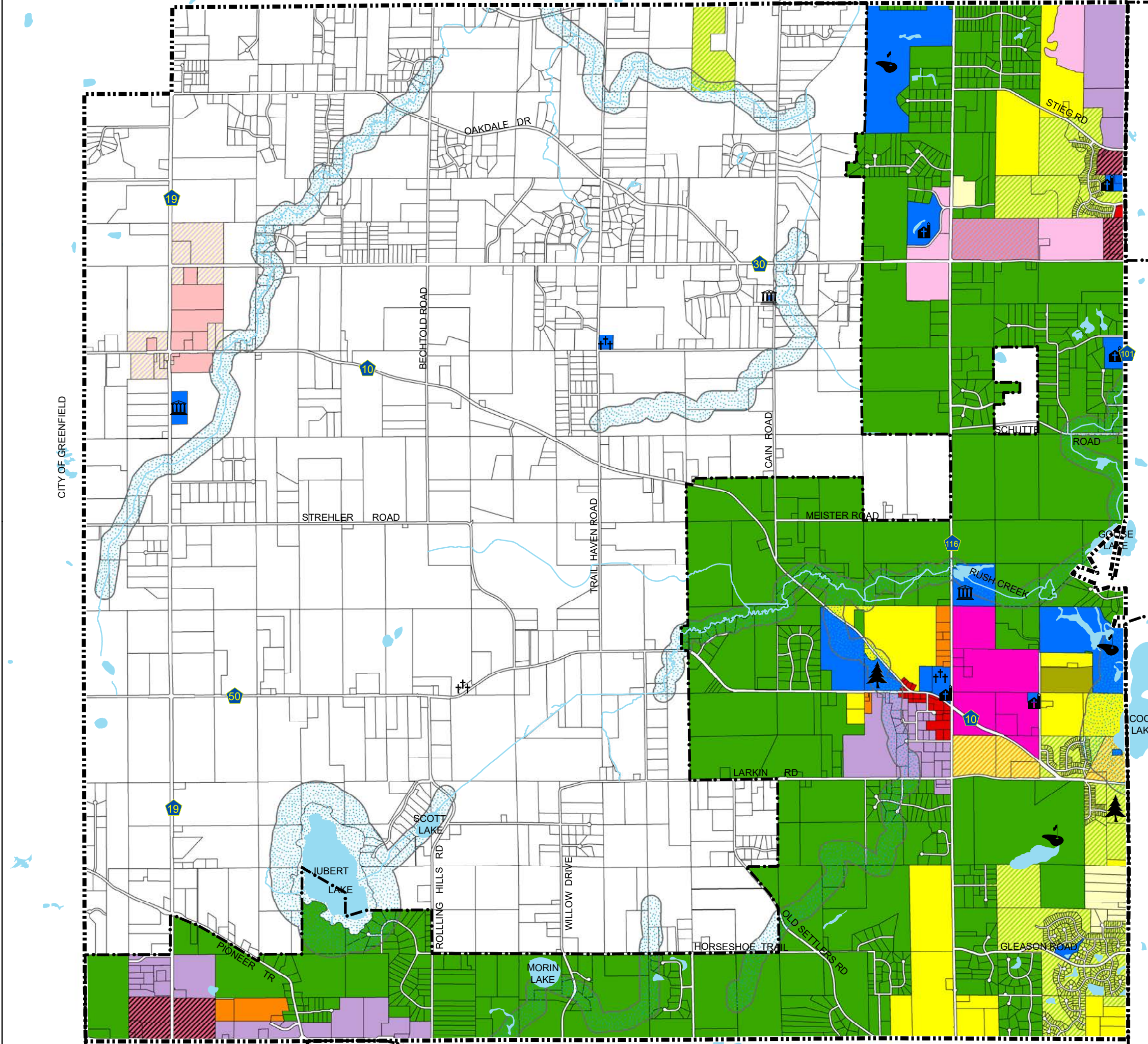
### Zoning Districts:

-  UR Urban Reserve
-  RR Rural Residential
-  RSF-1 Single Family Residential 1
-  RSF-2 Single Family Residential 2
-  RSF-3 Single and Two Family Residential 3
-  RMF-1 Medium Density Residential
-  RMF-2 Mixed Residential
-  RMF-3 High Density Residential
-  MP Manufactured Home Park
-  P-1 Public / Institutional
-  TCR Transitional Rural Commercial
-  CR Rural Commercial
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  DMU Downtown Mixed Use
-  GMU General Mixed Use
-  BP Business District
-  I-1 Light Industrial
-  PUD Planned Unit Development
-  Cemetery
-  Church
-  Golf Course
-  Government Building
-  Public Park
-  2040 Metropolitan Urban Service Area
-  City Limit
-  Open Water
-  Shoreland Overlay District

3,000 1,500 0 3,000 Feet



Updated September 2020  
Adopted June 2011





# CITY OF CORCORAN

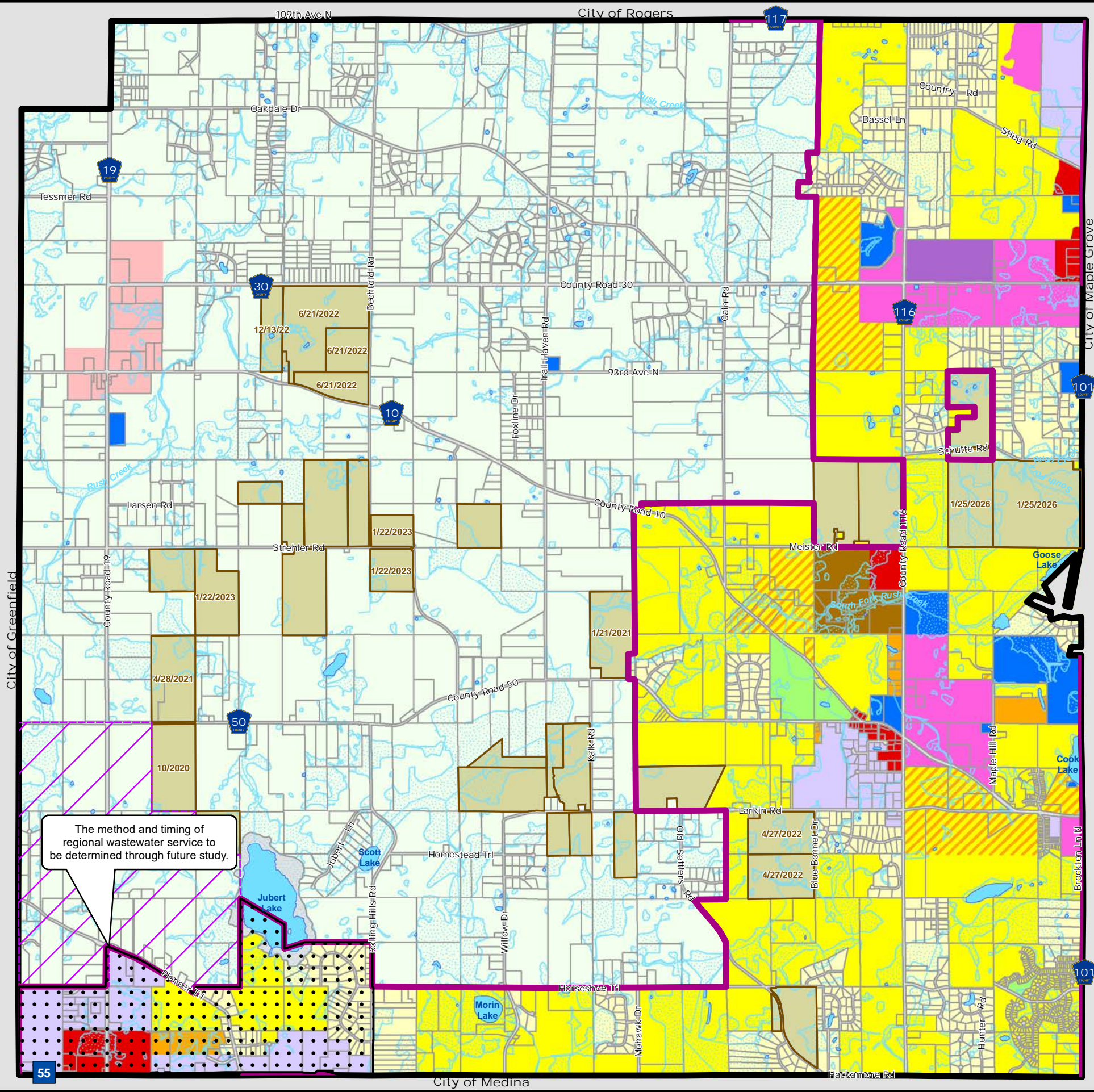
## 2040 COMPREHENSIVE PLAN

### Map 2-1 2040 Future Land Use

- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Future Study Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:  
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



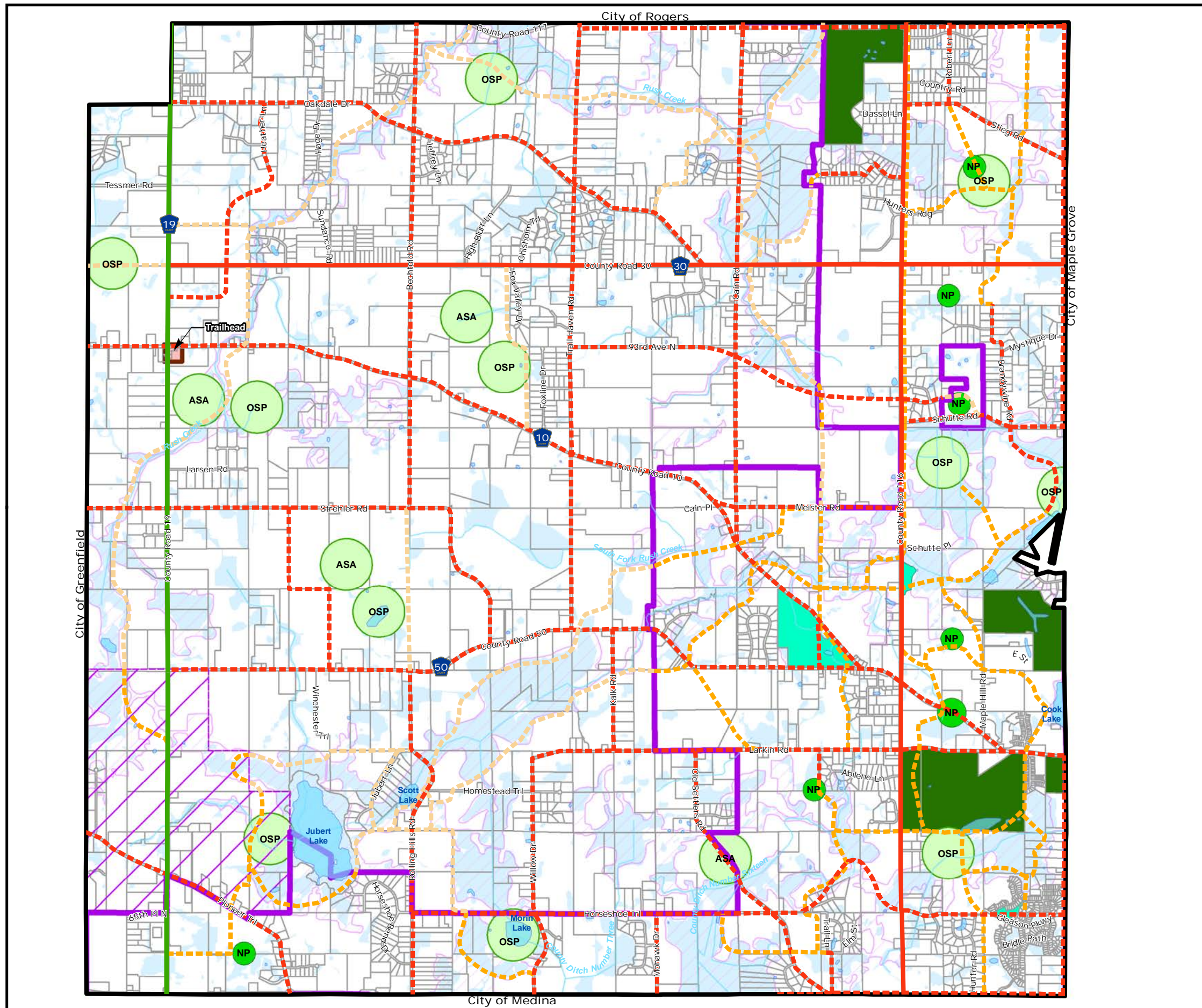
The method and timing of regional wastewater service to be determined through future study.



# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 5-1 Parks and Trails Plan



#### Existing Parks and Trails

- Regional Trail
- Existing On Road Trail
- City Park
- Trailhead
- Private Park/Open Space

#### Proposed Parks and Trails

- Proposed On Road Trail
- Proposed Off Road Trail
- Proposed Off Road Trail outside 2040 Development Area
- Neighborhood Park
- Community Park
- Greenway Corridor
- Municipal Boundaries
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands



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# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

#### Natural Plant Communities

##### Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

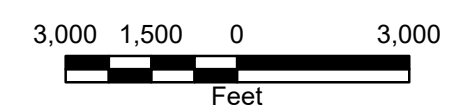
##### Uplands

- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field

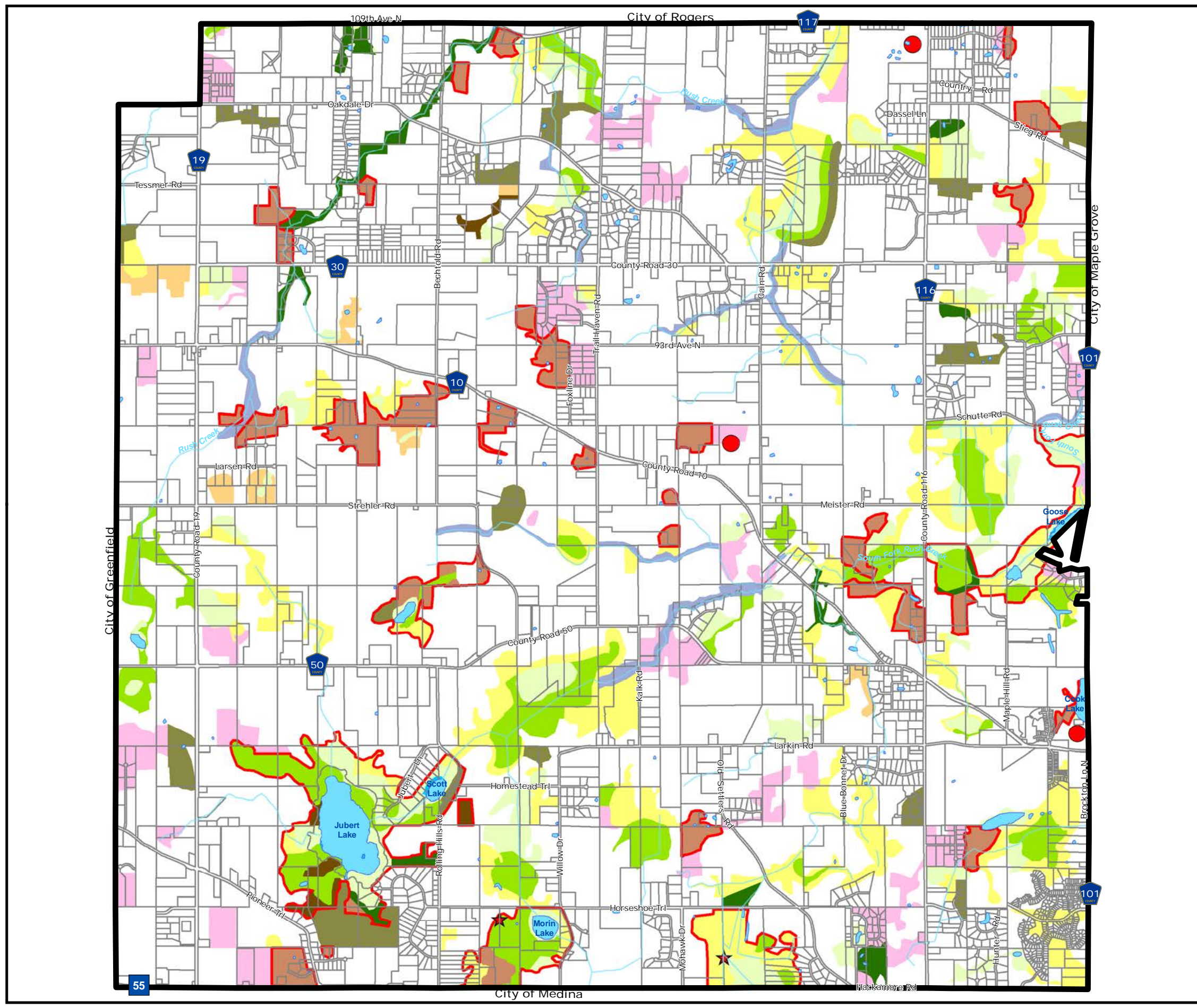
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source: Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



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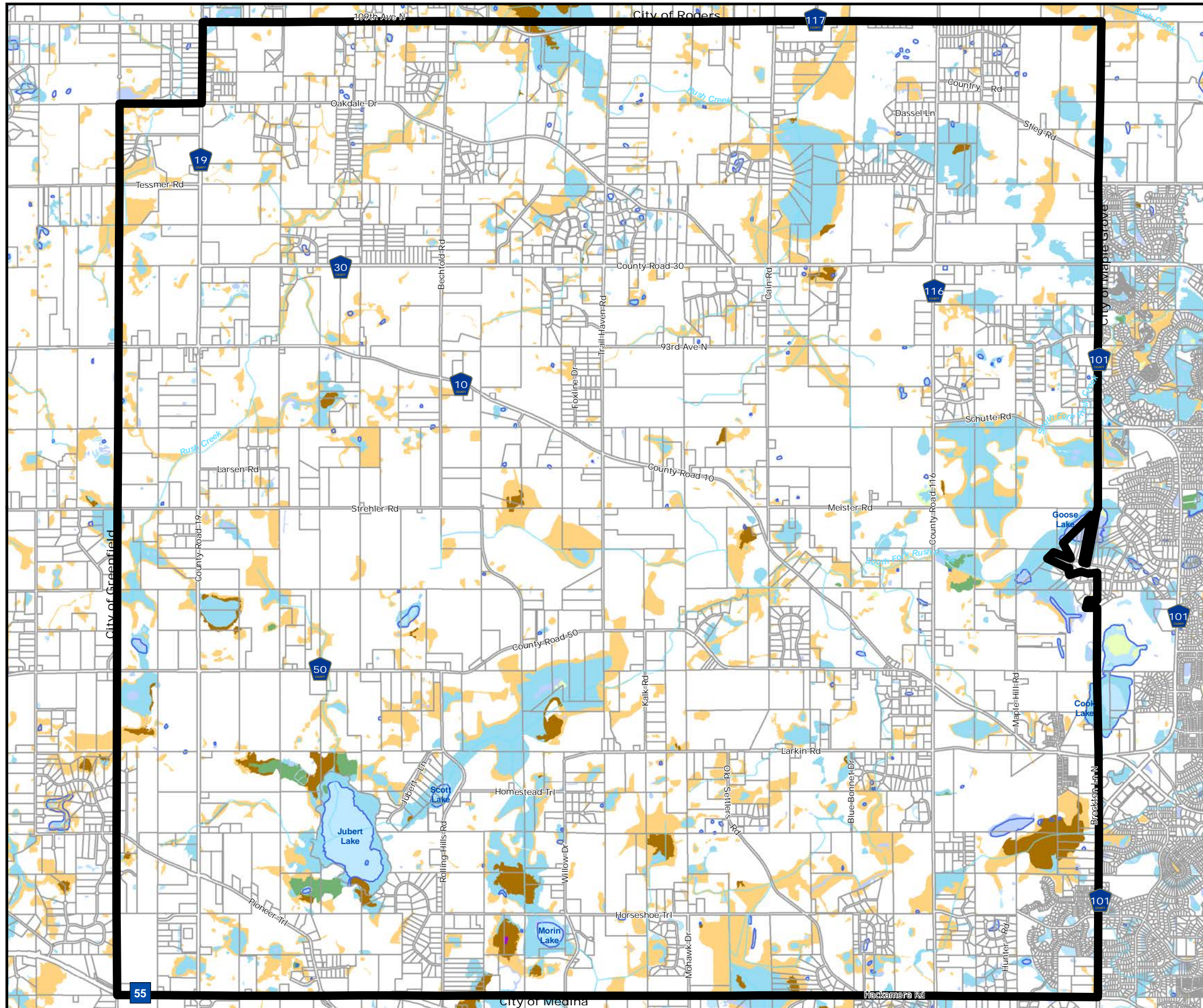
# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

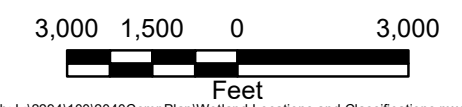
### Map 1-11

### Wetland Locations and Classifications

-  1 - Seasonally Flooded Basin or Flat
-  2 - Wet Meadow
-  3 - Shallow Marsh
-  4 - Deep Marsh
-  5 - Shallow Open Water
-  6 - Shrub Swamp
-  7 - Wooded Swamp
-  8 - Bogs
-  Municipal Boundary
-  Streams
-  Parcel Boundaries
-  Lake/Open Water



Source:  
Revised National Wetland Inventory (Minnesota Department  
of Natural Resources 2009-2014)



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## STAFF REPORT

## Agenda Item 9a.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Maggie Ung
<b>Topic:</b> 2022 Draft General Fund Budget	<b>Action Required:</b> Direction

---

### Summary:

The City Council provided initial budget direction in June and reviewed the first draft in August. The preliminary levy was approved at the September 23, 2021 council meeting in the amount of \$5,728,847 with an anticipated tax rate of 43.168%. The actual tax rate based upon that levy is 43.313%. For reference, the 2021 tax rate is 43.522%. Since that time staff has continued to refine the budget to meet the goals of the Council which include meeting the needs of a growing city while maintaining or reducing the tax rate.

On the October 28<sup>th</sup> council meeting, the compensation structure amendment was approved to increase budget by approximately \$66,000 in staff wages. The health insurance premiums came in lower decreasing the budget by around \$44,000 for employer paid health insurance cost. The net effect on wages is an increase in the budget of \$22,000.

With the transitioning of accounting software, staff has further refined budget and would like to propose an amended general ledger structure with the amended budget. The new structure will follow the Minnesota Uniform Chart of Account recommendations. Revenues would be classified by fund and source, further separated by program revenues rather than by department. This will assist staff when reporting the final budget and financials to the state. Expenditure will remain like the structure it is now in with inactive accounts dropped and active accounts refined and further separated into an appropriate account.

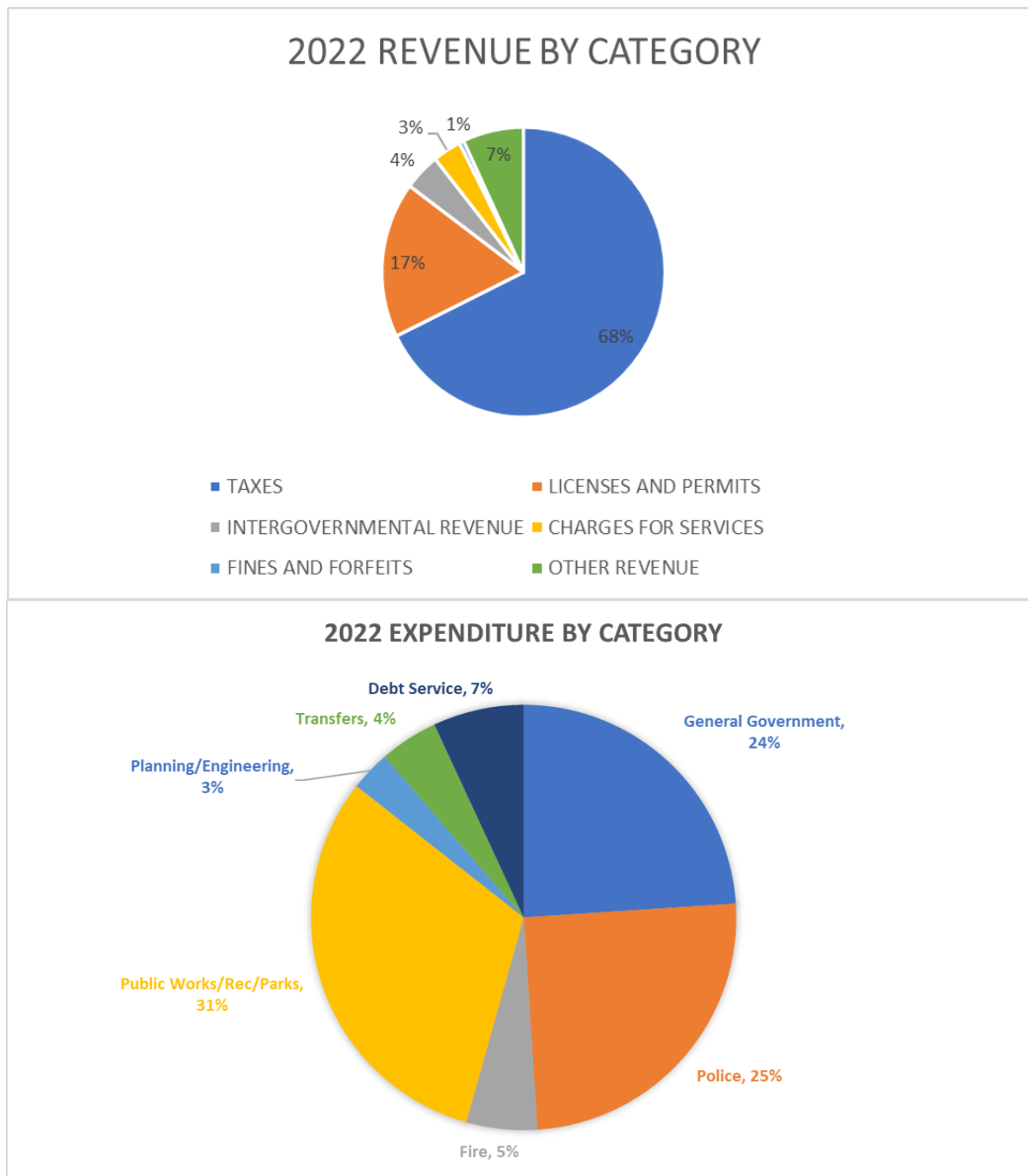
Some of the major changes of the budget since last presented includes the following:

- Surcharges were removed from the Building/Plan Review Fees in revenue and the Surcharges line item in expenditure, which lowered both the revenue and expenditure budget by \$39,000.
- Operating supplies (-210) is broken out by type of supplies and whether it was contracted work being done versus a supply being bought.
- Utilities (-380) is broken out by type of utility.
  - This line item in the Police department needed to be more transparent, leading to the creation of the Emergency Management department.
- Combined the Part-Time Police department with the general Police department
- Highway, Streets & Roadways department for Public Works was further distinguished by the type of road, creating the Paved Streets and Unpaved Streets department.
- Staff determined that 20% or \$41,240 of selected Public Works line items (\* items in the attached) should be recovered costs from the Water and Sewer Funds.

- To increase transparency, recreation line item in the Parks department was moved to its own department and broken out. 50% of the Parks/Recreation coordinator's wage was moved to this department.

The overall affect of these changes allows a decrease in General Property Tax Levy of \$58,834. If decreased by this amount, the tax levy would decrease from \$5,728,847 as proposed in the preliminary tax levy to \$5,670,012. The tax rate would decrease from 43.313% to 42.864%

The levy (property taxes) is the primary source of funds to pay for City operations. The charts below show updated revenues and expenditures by category:



If revised, the tax levy would be increased by \$624,635 or 12.38% from 2021. The tax rate however is projected to decrease slightly from 43.522% to 42.864%.

	2021	2022 Preliminary Levy	Proposed 2022 Final Levy
Total Levy	\$5,045,377	\$5,728,847	\$5,670,012
Tax Rate	43.522%	43.313%	42.864%

The City will hold its Truth in Taxation Budget Meeting accepting public comment on December 9<sup>th</sup> and consider approving the Final Levy at that same meeting.

**Options:**

1. Reduce 2022 Tax Levy to \$5,670,012.
2. Leave the 2022 Tax Levy at \$5,728,847 and specify where to allocate additional \$58,834.
3. Split the additional \$58,834 between reduction of the tax levy and transferring to a specified fund.

**Recommendation**

Staff recommends splitting the additional fund between a reduction in the tax levy and transferring the other half towards the Asphalt fund.

**Council Action:**

Provide directions to staff on which option to take with the tax levy.

**Attachments:**

1. Draft 2022 General Fund Budget

**CITY OF CORCORAN**

G/L Account	Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>GENERAL FUND REVENUE</b>									
<b>TAXES</b>									
100-00000-31000	GENERAL PROPERTY TAXES	2,786,482	4,067,936	4,447,791	2,786,482	5,169,128	5,110,294	662,503	Decreased \$58,834 - Preliminary Levy was \$5,169,128
	<b>TOTAL TAXES</b>	<b>2,786,482</b>	<b>4,067,936</b>	<b>4,447,791</b>	<b>2,786,482</b>	<b>5,169,128</b>	<b>5,110,294</b>	<b>662,503</b>	
<b>LICENSES AND PERMITS</b>									
100-00000-32100	BUSINESS LICENSES & PERMITS	-	-	-	-	-	-	-	
100-00000-32110	LIQUOR LICENSE FEE	14,475	11,250	19,000	14,475	16,000	16,000	(3,000)	
100-00000-32210	BLDG/PLAN REVIEW FEES	1,289,094	1,232,582	815,000	1,289,094	1,335,000	1,296,000	481,000	Higher than anticipated new home construction, less surcharge
100-00000-32290	WETLAND PERMIT FEES	400	1,600	-	400	-	-	-	
	<b>TOTAL LICENSES AND PERMITS</b>	<b>1,303,969</b>	<b>1,245,432</b>	<b>834,000</b>	<b>1,303,969</b>	<b>1,351,000</b>	<b>1,312,000</b>	<b>478,000</b>	
<b>INTERGOVERNMENTAL REVENUE</b>									
100-00000-33400	STATE GRANTS AND AIDS	38,810	472,770	40,000	38,810	40,000	40,000	-	
100-00000-33416	POLICE TRAINING REIMBURSEMENT	776	10,350	11,900	776	12,500	12,500	600	
100-00000-33418	MUNICIPAL STATE AID FOR STREETS - MAINTENANCE	150,864	155,079	170,000	150,864	150,000	150,000	(20,000)	
100-00000-33423	POLICE STATE AID	-	119,168	71,000	-	71,000	74,600	3,600	YEF is actual amount received + added in Vest Reimbursement
100-00000-33426	AGRICULTURAL MARKET VALUE CREDIT	13,315	19,831	10,000	13,315	10,000	10,000	-	
100-00000-33429	STATE AID - PERA	-	-	1,845	-	1,845	1,845	-	
100-00000-33615	COUNTY RECYCLING GRANT	10,203	13,992	14,000	10,203	14,000	14,000	-	
100-00000-33620	OTHER COUNTY GRANTS AND AIDS	-	10,000	10,000	-	10,000	10,000	-	UASI Grant
100-00000-33640	TOWARD ZERO DEATH GRANT	59,689	(30,345)	-	59,689	-	-	-	Offsets with Expenditure - Orono is administering in 2022
	<b>TOTAL INTERGOVERNMENTAL REVENUE</b>	<b>273,657</b>	<b>770,845</b>	<b>328,745</b>	<b>273,657</b>	<b>309,345</b>	<b>312,945</b>	<b>(15,800)</b>	
<b>CHARGES FOR SERVICES</b>									
100-00000-34000	CHARGES FOR SERVICES	8	190	-	8	-	-	-	
100-00000-34101	FACILITY RENTAL	2,767	1,142	1,500	2,767	1,500	1,500	-	
100-00000-34103	ZONING/LAND USE APPL FEE	53,071	50,535	45,000	53,071	45,000	45,000	-	
100-00000-34105	COPIES/MAPS	3,281	6	100	3,281	100	100	-	
100-00000-34107	ASSESSMENT SEARCHES	25	25	50	25	50	50	-	
100-00000-34110	CITY PLANNER REVIEW FEE	1,024	80	16,250	1,024	32,500	32,500	16,250	City Planner's time
100-00000-34200	PUBLIC SAFETY PERMITS	3,260	4,190	4,000	3,260	4,000	4,000	-	
100-00000-34201	SPECIAL POLICE SERVICES	3,400	-	5,000	3,400	5,000	5,000	-	
100-00000-34203	POLICE REPORTS	210	286	400	210	400	400	-	
100-00000-34300	PUBLIC WORKS PERMITS AND FEES	16,707	16,131	5,500	16,707	5,000	5,000	(500)	
100-00000-34301	DUST CONTROL	30,372	48,350	37,500	30,372	-	-	(37,500)	
100-00000-34303	ICE & SNOW REMOVAL	7,077	-	6,000	7,077	6,000	6,000	-	
100-00000-34310	PUBLIC WORKS REVIEW FEE	1,100	42,585	42,000	1,100	88,200	88,200	46,200	Public Works Director's time
100-00000-34400	RECYCLING	298	3,166	5,000	298	5,000	5,000	-	
100-00000-34403	REFUSE COLLECTION CHARGES	5,346	-	3,000	5,346	3,250	3,250	250	
100-00000-34790	RECREATION PROGRAMMING	51,660	5	58,000	51,660	59,300	47,980	(10,020)	Revenue refunded same year as received is not an expenditure (\$11,320 was budgeted)
	<b>TOTAL CHARGES FOR SERVICES</b>	<b>179,606</b>	<b>166,691</b>	<b>229,300</b>	<b>179,606</b>	<b>255,300</b>	<b>243,980</b>	<b>14,680</b>	
<b>FINES AND FORFEITS</b>									
100-00000-35100	FINES	20,755	18,118	45,000	20,755	40,000	40,000	(5,000)	Reflects actual experience
	<b>TOTAL FINES AND FORFEITS</b>	<b>20,755</b>	<b>18,118</b>	<b>45,000</b>	<b>20,755</b>	<b>40,000</b>	<b>40,000</b>	<b>(5,000)</b>	
<b>OTHER REVENUE</b>									
100-00000-36200	MISCELLANEOUS REVENUES	28,378	11,668	4,000	35,452	4,000	4,000	-	Currently includes Wetland Buffer Sign and Worker's Comp Reimbursement
100-00000-36210	INTEREST EARNINGS	1	17,644	16,500	1	8,000	8,000	(8,500)	
100-00000-36220	RENTS AND ROYALTIES	4,113	6,909	7,000	-	7,000	5,000	(2,000)	Received \$7,074 with 30% going to County in 2021
100-00000-36230	DONATIONS	998	768	-	998	-	-	-	
100-00000-36290	SALE OF INVESTMENTS	-	(1,371)	-	-	-	-	-	
100-00000-36400	REFUNDS/REIMBURSEMENTS	4,167	5,170	-	4,167	-	-	-	Copier Lease Refund & Vest Reimbursement
100-00000-38050	CABLE FRANCHISE FEE	-	50,059	53,000	-	53,000	53,000	-	
100-00000-39203	TRANSFER FROM OTHER FUND	-	218,672	269,164	-	359,677	454,148	184,984	*Operating Transfer from Water/Sewer for selected PW items
	<b>TOTAL OTHER REVENUE</b>	<b>37,657</b>	<b>309,719</b>	<b>349,664</b>	<b>40,618</b>	<b>431,677</b>	<b>524,148</b>	<b>174,484</b>	
<b>TOTAL GENERAL FUND REVENUE</b>		<b>4,602,127</b>	<b>6,578,741</b>	<b>6,234,500</b>	<b>4,605,088</b>	<b>7,556,450</b>	<b>7,543,367</b>	<b>1,308,867</b>	

**CITY OF CORCORAN**

G/L Account	Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>GENERAL FUND EXPENDITURES</b>									
<b>GENERAL GOVERNMENT</b>									
<b>CITY COUNCIL</b>									
100-41110-50101	FULL-TIME EMPLOYEES - REGULAR	19,260	19,260	19,260	7,800	19,260	19,260	-	
100-41110-50122	FICA	1,194	1,194	1,195	484	1,195	1,195	-	
100-41110-50126	MEDICARE	279	279	280	113	280	280	-	
100-41110-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	580	3,089	6,500	3,500	6,500	6,500	-	
100-41110-50210	OPERATING SUPPLIES	1,352	1,727	3,000	917	3,000	3,000	-	
100-41110-50365	WORKER'S COMPENSATION INSURANCE	67	92	-	-	-	-	-	
	<b>TOTAL CITY COUNCIL</b>	<b>22,732</b>	<b>25,642</b>	<b>30,235</b>	<b>12,814</b>	<b>30,235</b>	<b>30,235</b>	<b>-</b>	
<b>COMMUNICATION</b>									
100-41130-50325	OTHER COMMUNICATION - WEBSITE	975	400	5,000	3,508	5,000	5,000	-	
100-41130-50350	PRINTING AND BINDING	7,148	10,007	9,500	7,640	10,000	10,000	500	
	<b>TOTAL COMMUNICATION</b>	<b>8,123</b>	<b>10,407</b>	<b>14,500</b>	<b>11,148</b>	<b>15,000</b>	<b>15,000</b>	<b>500</b>	
<b>CITY ADMINISTRATOR</b>									
100-41320-50101	FULL-TIME EMPLOYEES - REGULAR	126,131	132,279	134,888	106,873	138,944	139,360	4,472	
100-41320-50102	FULL-TIME EMPLOYEES - OVERTIME	-	-	-	-	-	-	-	
100-41320-50121	PERA	9,411	9,921	10,117	8,015	10,421	10,452	335	
100-41320-50122	FICA	7,413	7,344	8,363	5,936	8,615	8,640	277	
100-41320-50126	MEDICARE	1,734	1,718	1,956	1,388	2,015	2,021	65	
100-41320-50130	EMPLOYER PAID INSURANCE	12,985	10,236	20,407	8,935	22,448	20,414	7	
100-41320-50140	UNEMPLOYMENT COMPENSATION	-	-	-	-	-	-	-	
100-41320-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	3,720	1,156	5,500	630	5,500	5,500	-	MCMA Conference, ICMA Conference, LMC Conference, Leadership Growth Group, MAMA
100-41320-50210	OPERATING SUPPLIES	1,184	638	1,000	1,152	1,200	-	(1,000)	Moved to Telephone for cell reimbursement and travel expense for mileage reimbursement
100-41320-50321	TELEPHONE	-	-	-	-	-	600	600	
100-41320-50331	TRAVEL EXPENSE	-	-	-	-	-	600	600	
100-41320-50365	WORKER'S COMPENSATION INSURANCE	734	964	810	1,927	750	750	(60)	
100-41320-50433	DUES AND MEMBERSHIPS	1,075	1,203	1,400	1,257	1,400	1,400	-	MN City/County Managers, ICMA
	<b>TOTAL CITY ADMINISTRATOR</b>	<b>164,387</b>	<b>165,458</b>	<b>184,441</b>	<b>136,112</b>	<b>191,293</b>	<b>189,737</b>	<b>5,296</b>	
<b>ADMINISTRATION</b>									
100-41400-50101	FULL-TIME EMPLOYEES - REGULAR	227,746	263,711	273,442	229,975	401,643	263,880	(9,562)	
100-41400-50102	FULL-TIME EMPLOYEES - OVERTIME	-	2,792	5,000	4,888	-	-	(5,000)	
100-41400-50121	PERA	17,081	19,988	20,508	17,615	30,123	19,791	(717)	
100-41400-50122	FICA	14,394	16,163	16,953	14,250	24,902	16,360	(593)	
100-41400-50126	MEDICARE	3,366	3,780	3,965	3,333	5,824	3,826	(139)	
100-41400-50130	EMPLOYER PAID INSURANCE	55,725	68,270	75,479	58,307	115,007	66,911	(8,568)	
100-41400-50140	UNEMPLOYMENT COMPENSATION	-	-	-	-	-	-	-	
100-41400-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	3,599	7,458	12,000	4,739	11,000	7,000	(5,000)	
100-41400-50210	OPERATING SUPPLIES	1,799	620	1,750	612	2,250	-	(1,750)	Move to 100-41900-50210 (\$1,000) & 100-41400-331 (\$1,250)
100-41400-50300	PROFESSIONAL SERVICES	137	-	75,000	-	-	-	(75,000)	Hired staff instead of contracting out
100-41400-50331	TRAVEL EXPENSE	-	-	-	-	-	1,250	1,250	Mileage Reimbursement
100-41400-50365	WORKER'S COMPENSATION INSURANCE	1,972	2,590	2,205	3,803	2,205	2,205	-	
100-41400-50433	DUES AND MEMBERSHIPS	1,448	1,007	1,250	-	1,750	1,000	(250)	
	<b>TOTAL ADMINISTRATION</b>	<b>327,267</b>	<b>386,378</b>	<b>487,552</b>	<b>337,521</b>	<b>594,704</b>	<b>382,223</b>	<b>(105,329)</b>	
<b>ELECTION</b>									
100-41410-50114	TEMPORARY/SEASONAL EMPLOYEES	-	-	-	-	-	15,700	15,700	
100-41410-50210	OPERATING SUPPLIES	1,420	22,472	2,400	2,224	18,000	2,000	(400)	
100-41410-50331	TRAVEL EXPENSE	-	-	-	-	-	300	300	
100-41410-50430	MISCELLANEOUS EXPENSE	-	6,119	-	-	-	-	-	
	<b>TOTAL ELECTION</b>	<b>1,420</b>	<b>28,591</b>	<b>2,400</b>	<b>2,224</b>	<b>18,000</b>	<b>18,000</b>	<b>15,600</b>	
<b>FINANCE</b>									
100-41500-50101	FULL-TIME EMPLOYEES - REGULAR	-	-	-	-	-	165,723	165,723	Split finance personnel from rest of Admin department, added PT UB clerk
100-41500-50102	FULL-TIME EMPLOYEES - OVERTIME	-	-	-	-	-	-	-	
100-41500-50121	PERA	-	-	-	-	-	12,429	12,429	
100-41500-50122	FICA	-	-	-	-	-	10,275	10,275	
100-41500-50126	MEDICARE	-	-	-	-	-	2,403	2,403	
100-41500-50130	EMPLOYER PAID INSURANCE	-	-	-	-	-	37,803	37,803	
100-41500-50140	UNEMPLOYMENT COMPENSATION	-	-	-	-	-	-	-	
100-41500-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	-	-	-	-	-	4,000	4,000	
100-41500-50300	PROFESSIONAL SERVICES	37,000	41,075	37,000	36,610	43,000	43,000	6,000	Audit Service
100-41500-50331	TRAVEL EXPENSE	-	-	-	-	-	-	-	
100-41500-50365	WORKER'S COMPENSATION INSURANCE	-	-	-	-	-	-	-	
100-41500-50433	DUES AND MEMBERSHIPS	-	-	-	-	-	750	750	
	<b>TOTAL FINANCE</b>	<b>37,000</b>	<b>41,075</b>	<b>37,000</b>	<b>36,610</b>	<b>43,000</b>	<b>276,383</b>	<b>239,383</b>	

**CITY OF CORCORAN**

G/L Account	Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>ASSESSING</b>									
100-41550-50210	OPERATING SUPPLIES	876	1,764	1,000	-	1,000	1,000	-	
100-41550-50300	PROFESSIONAL SERVICES	72,995	57,204	94,000	94,000	101,000	101,000	7,000	
100-41550-50322	POSTAGE	-	4	-	-	-	-	-	
	<b>TOTAL ASSESSING</b>	<b>73,870</b>	<b>58,972</b>	<b>95,000</b>	<b>94,000</b>	<b>102,000</b>	<b>102,000</b>	<b>7,000</b>	
<b>LEGAL</b>									
100-41600-50300	PROFESSIONAL SERVICES	34,152	39,226	34,000	41,932	38,000	38,000	4,000	
	<b>TOTAL LEGAL</b>	<b>34,152</b>	<b>39,226</b>	<b>34,000</b>	<b>41,932</b>	<b>38,000</b>	<b>38,000</b>	<b>4,000</b>	
<b>CENTRAL SERVICES</b>									
100-41900-50200	OFFICE SUPPLIES	6,609	3,745	4,500	3,743	4,750	4,750	250	
100-41900-50210	OPERATING SUPPLIES	29,081	24,486	27,500	26,736	28,500	28,500	1,000	Combine with 100-41400-210 & 100-41910-210, then will \$9,500 for budget
100-41900-50300	PROFESSIONAL SERVICES	24,002	21,254	26,000	30,122	27,500	27,500	1,500	Mental health policy costs (\$5,500) and ADP Admin Fee
100-41900-50321	TELEPHONE	2,290	2,812	2,500	4,124	2,500	2,500	-	
100-41900-50322	POSTAGE	3,435	3,275	3,750	648	4,000	4,000	250	
100-41900-50350	PRINTING AND BINDING	-	-	-	-	-	1,000	1,000	ECM Invoices
100-41900-50360	INSURANCE	67,666	78,837	80,000	83,746	88,000	88,000	8,000	
100-41900-50380	UTILITY SERVICES	15,115	13,949	16,000	24,226	16,000	9,000	(7,000)	Randy's Garbage, Centerpoint Energy
100-41900-50381	ELECTRIC UTILITIES	-	-	-	-	-	19,000	19,000	Wright Hennepin
100-41900-50382	WATER & SEWER	-	-	-	-	-	-	-	Once City connects, this will be the GL account
100-41900-50400	REPAIR AND MAINTENANCE - CONTRACT	12,899	13,814	19,500	8,776	19,500	9,500	(10,000)	All other
100-41900-50401	REPAIR AND MAINT - BUILDINGS	-	-	-	-	-	8,000	8,000	Cleaning
100-41900-50404	REPAIR AND MAINT - MACHINERY/EQUIPMENT	-	-	-	-	-	2,000	2,000	Service on Generator
100-41900-50430	MISCELLANEOUS EXPENSE	-	202,520	-	-	-	-	-	
100-41900-50431	BANKING CHARGES	267	362	400	257	400	400	-	
100-41900-50432	CREDIT CARD FEES	6,539	7,765	7,000	8,908	8,000	8,000	1,000	Higher than anticipated credit card activity
100-41900-50433	DUES AND MEMBERSHIPS	25,950	25,166	25,000	24,069	25,000	25,000	-	
100-41900-50520	BUILDINGS AND STRUCTURES	-	5,967	6,000	4,759	6,000	6,000	-	
100-41900-50700	TRANSFERS	304,052	337,000	235,000	-	360,000	360,000	125,000	CIP, City hall remodel, transfer to stormwater fund, FEMA mapping and to facility fund
100-41900-50810	REFUNDS & REIMBURSEMENT	-	-	-	530	-	-	-	
100-41900-50811	INSURANCE REFUNDS	-	-	-	49,441	-	-	-	2021 had roof damage - offsets with the insurance claim revenue
	<b>TOTAL CENTRAL SERVICES</b>	<b>497,905</b>	<b>740,953</b>	<b>453,150</b>	<b>270,085</b>	<b>590,150</b>	<b>603,150</b>	<b>150,000</b>	
<b>PLANNING &amp; ZONING</b>									
100-41910-50101	FULL-TIME EMPLOYEES - REGULAR	-	13,382	71,240	45,633	98,859	99,005	27,765	Full year new Planner position, new PT admin assistant
100-41910-50102	FULL-TIME EMPLOYEES - OVERTIME	-	-	-	-	-	-	-	
100-41910-50121	PERA	-	909	5,343	3,423	7,414	7,425	2,082	
100-41910-50122	FICA	-	960	4,417	3,004	6,129	6,138	1,721	
100-41910-50126	MEDICARE	-	225	1,033	703	1,433	1,436	403	
100-41910-50130	EMPLOYER PAID INSURANCE	-	1,372	8,884	9,503	8,884	20,414	11,530	Family contribution planned for 2022
100-41910-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	-	-	1,500	408	1,500	1,500	-	
100-41910-50210	OPERATING SUPPLIES	36	448	1,000	2,097	1,000	-	(1,000)	moved to -350, recode to specific funds
100-41910-50300	PROFESSIONAL SERVICES	73,907	79,407	45,000	75,798	50,000	50,000	5,000	Landform
100-41910-50350	PRINTING AND BINDING	-	-	-	-	-	1,000	1,000	ECM Invoices
100-41910-50365	WORKER'S COMPENSATION INSURANCE	-	160	370	554	407	407	37	
100-41910-50430	MISCELLANEOUS EXPENSE	-	-	-	5,000	-	-	-	2021 - Grading escrow refunds from prior year revenue
	<b>TOTAL PLANNING &amp; ZONING</b>	<b>73,942</b>	<b>96,864</b>	<b>138,787</b>	<b>146,123</b>	<b>175,626</b>	<b>187,325</b>	<b>48,538</b>	
<b>INFORMATION TECHNOLOGY</b>									
100-41920-50210	OPERATING SUPPLIES	8,800	8,756	15,000	16,078	16,000	16,000	1,000	Additional copier lease
100-41920-50221	EQUIPMENT PARTS AND ACCESSORIES - IT	31,561	27,138	35,000	48,903	45,500	45,500	10,500	Annual License Renewals; Watchguard
100-41920-50300	PROFESSIONAL SERVICES	66,944	73,248	85,000	75,315	95,000	95,000	10,000	Managed Services; \$5,000 increase for Watchguard (body cameras)
100-41920-50322	POSTAGE	-	-	-	-	-	-	-	
100-41920-50520	BUILDINGS AND STRUCTURES	-	-	-	-	-	-	-	
100-41920-50530	IMPROVEMENTS OTHER THAN BLDGS	8,394	2,072	12,000	6,806	20,000	20,000	8,000	Additional computers for new staff
100-41920-50810	REFUNDS & REIMBURSEMENT	8,000	(8,000)	-	-	-	-	-	
	<b>TOTAL INFORMATION TECHNOLOGY</b>	<b>123,699</b>	<b>103,214</b>	<b>147,000</b>	<b>147,103</b>	<b>176,500</b>	<b>176,500</b>	<b>29,500</b>	
<b>OTHER FINANCING USES</b>									
100-49360-50720	INTERFUND TRANSFERS	-	525,787	-	-	-	-	-	
	<b>TOTAL OTHER FINANCING USES</b>	<b>-</b>	<b>525,787</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	
	<b>TOTAL GENERAL GOVERNMENT</b>	<b>1,364,498</b>	<b>2,222,565</b>	<b>1,624,065</b>	<b>1,235,672</b>	<b>1,974,508</b>	<b>2,018,553</b>	<b>394,488</b>	

**CITY OF CORCORAN**

G/L Account	Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>PUBLIC SAFETY</b>									
<b>POLICE</b>									
100-42100-50101	FULL-TIME EMPLOYEES - REGULAR	750,537	707,101	866,731	544,703	959,398	985,156	118,425	Staff out on leave, Sergeant Added & FT Admin Asst.
100-42100-50102	FULL-TIME EMPLOYEES - OVERTIME	20,038	24,893	26,286	49,202	29,572	29,572	3,286	
100-42100-50103	FULL-TIME EMPLOYEES - EVENT PAY	18,041	3,611	12,000	6,515	-	-	(12,000)	
100-42100-50111	PART-TIME EMPLOYEES - REGULAR	68,403	67,302	85,011	46,705	119,020	119,020	34,009	Increased PT officer wage, increased CSO hours
100-42100-50112	PART-TIME EMPLOYEES - OVERTIME	-	150	-	-	-	-	-	
100-42100-50113	PART-TIME EMPLOYEES - EVENT PAY	9,527	15,763	5,000	18,397	5,000	5,000	-	Pass Through Funds Only 100-42100-34201
100-42100-50121	PERA	131,266	133,616	167,766	105,328	193,824	198,165	30,399	
100-42100-50122	FICA	3,096	3,777	5,271	3,337	4,483	4,483	(788)	
100-42100-50126	MEDICARE	12,245	11,833	14,182	9,457	16,071	16,440	2,258	
100-42100-50130	EMPLOYER PAID INSURANCE	156,936	162,749	185,621	143,525	235,249	203,376	17,755	Additional staff, \$12,000 PERA Disability Requirement
100-42100-50140	UNEMPLOYMENT COMPENSATION	-	-	-	-	-	-	-	
100-42100-50150	WORKERS COMP INSURANCE	-	-	-	-	-	-	-	
100-42100-50160	LIABILITY INSURANCE - EMPLOYEES	-	-	-	-	-	-	-	
100-42100-50200	OFFICE SUPPLIES	2,348	2,015	3,600	7,184	3,600	3,600	-	business cards to -350
100-42100-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	22,717	25,808	26,400	14,633	28,900	28,900	2,500	Lexipol, Driving School, Training Mandates.
100-42100-50209	POLICE RESERVES	3,939	3,385	3,500	78	3,500	3,500	-	
100-42100-50210	OPERATING SUPPLIES	9,344	13,675	18,000	21,218	18,000	17,000	(1,000)	Business cards to -350
100-42100-50212	MOTOR FUELS	26,498	18,410	22,000	21,435	22,000	22,000	-	
100-42100-50220	REPAIR AND MAINTENANCE SUPPLIES	9,608	16,196	12,500	8,161	15,700	11,000	(1,500)	CSO Fleet Addition
100-42100-50223	BUILDING REPAIR SUPPLIES	5,756	5,110	6,500	6,841	7,500	6,500	-	Increased repairs needed
100-42100-50300	PROFESSIONAL SERVICES	2,585	4,651	7,200	20,812	21,400	21,400	14,200	Combine with -300
100-42100-50304	LEGAL FEES	24,939	23,313	27,500	23,614	25,500	25,500	(2,000)	
100-42100-50306	INSPECTIONS	4,541	1,671	8,000	999	6,000	6,000	(2,000)	
100-42100-50321	TELEPHONE	8,717	9,495	9,500	9,059	9,500	9,500	-	
100-42100-50322	POSTAGE	34	34	250	68	250	250	-	
100-42100-50323	RADIO UNITS	17,361	21,797	20,000	16,125	21,500	21,500	1,500	
100-42100-50350	PRINTING AND BINDING	-	-	-	-	-	800	800	ECM invoices & business cards
100-42100-50365	WORKERS COMPENSATION INSURANCE	44,252	62,769	47,600	71,812	48,000	48,000	400	Higher than anticipated costs due to experience
100-42100-50381	ELECTRIC UTILITIES	7,795	9,336	9,500	8,012	9,500	-	(9,500)	Moved to Emergency Management Department
100-42100-50400	REPAIR AND MAINTENANCE - CONTRACT	-	-	-	-	-	1,000	1,000	Cintas
100-42100-50403	REPAIR AND MAINT - VEHICLES	-	-	-	-	-	4,700	4,700	
100-42100-50417	UNIFORMS	8,414	12,440	14,000	12,355	19,000	22,600	8,600	Vest Reimbursement + additional officers
100-42100-50433	DUES AND MEMBERSHIPS	2,065	1,892	2,300	3,596	2,800	2,800	500	
100-42100-50435	GRANT DISBURSEMENT	-	-	-	50,802	-	-	-	No longer administering grant in 2022
100-42100-50490	DONATIONS	-	-	-	-	-	-	-	
100-42100-50550	MOTOR VEHICLES	-	-	-	-	-	-	-	
100-42100-50810	REFUNDS & REIMBURSEMENT	1,500	2,929	-	14,173	-	-	-	
100-42100-50811	INSURANCE REFUNDS	-	-	-	746	-	-	-	
<b>TOTAL POLICE</b>		<b>1,372,499</b>	<b>1,365,723</b>	<b>1,606,218</b>	<b>1,238,891</b>	<b>1,825,267</b>	<b>1,817,762</b>	<b>211,544</b>	
<b>POLICE ADMINISTRATION</b>									
100-42102-50101	FULL-TIME EMPLOYEES - REGULAR	78,617	66,500	93,854	70,443	125,212	125,379	31,525	Increase PT position to full-time
100-42102-50102	FULL-TIME EMPLOYEES - OVERTIME	83	407	500	703	500	500	-	
100-42102-50121	PERA	4,767	5,018	7,077	5,336	9,428	9,441	2,364	
100-42102-50122	FICA	5,120	4,300	5,850	4,553	7,794	7,804	1,954	
100-42102-50126	MEDICARE	1,197	1,006	1,368	1,065	1,823	1,825	457	
100-42102-50130	EMPLOYER PAID INSURANCE	17,534	18,387	18,613	15,754	38,131	34,777	16,164	
<b>TOTAL POLICE ADMINISTRATION</b>		<b>107,318</b>	<b>95,618</b>	<b>127,262</b>	<b>97,854</b>	<b>182,888</b>	<b>179,726</b>	<b>52,484</b>	
<b>EMERGENCY MANAGEMENT</b>									
100-42151-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	-	-	-	-	-	1,250	1,250	
100-42151-50210	OPERATING SUPPLIES	-	-	-	-	-	5,450	5,450	Code Red
100-42151-50381	ELECTRIC UTILITIES	-	-	-	-	-	600	600	Wright Hennepin
100-42151-50404	REPAIR AND MAINT - MACHINERY/EQUIPMENT	-	-	-	-	-	1,700	1,700	Siren Maintenance Fee
100-42151-50433	DUES AND MEMBERSHIPS	-	-	-	-	-	500	500	AMEM Membership
<b>TOTAL EMERGENCY MANAGEMENT</b>		<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>9,500</b>	<b>9,500</b>	
<b>FIRE</b>									
100-42200-50300	PROFESSIONAL SERVICES	348,658	366,103	383,100	333,791	427,000	427,000	43,900	Projected contract increases
100-42200-50550	MOTOR VEHICLES	-	-	-	-	-	-	-	
100-42200-50580	OTHER EQUIPMENT	-	-	10,000	-	10,000	10,000	-	Transfer to fund for future use, new education/inspection program
<b>TOTAL FIRE</b>		<b>348,658</b>	<b>366,103</b>	<b>393,100</b>	<b>333,791</b>	<b>437,000</b>	<b>437,000</b>	<b>43,900</b>	
<b>BUILDING INSPECTION</b>									
100-42400-50300	PROFESSIONAL SERVICES	335,863	392,953	402,000	292,754	470,000	470,000	68,000	230 new home permits - Metro West only
100-42400-50303	ENGINEERING FEES	-	665	-	5,651	-	-	-	
100-42400-50437	Surcharges	30,878	44,520	24,500	16,405	39,000	-	(24,500)	Will pass through Due to Other Gov't Liability account moving forward
<b>TOTAL BUILDING INSPECTION</b>		<b>366,741</b>	<b>438,137</b>	<b>426,500</b>	<b>314,810</b>	<b>509,000</b>	<b>470,000</b>	<b>43,500</b>	



## CITY OF CORCORAN

G/L Account	Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>CODE ENFORCEMENT</b>									
100-42401-50101	FULL-TIME EMPLOYEES - REGULAR	68,549	70,887	-	-	-	-	-	
100-42401-50102	FULL-TIME EMPLOYEES - OVERTIME	-	609	-	-	-	-	-	
100-42401-50121	PERA	5,141	5,362	-	-	-	-	-	
100-42401-50122	FICA	4,317	4,759	-	-	-	-	-	
100-42401-50126	MEDICARE	1,076	1,113	-	-	-	-	-	
100-42401-50130	EMPLOYER PAID INSURANCE	8,339	8,434	-	-	-	-	-	
100-42401-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	715	-	-	-	-	-	-	
100-42401-50210	OPERATING SUPPLIES	1,318	1,062	-	-	-	-	-	
100-42401-50300	PROFESSIONAL SERVICES	31,161	33,388	30,000	28,848	20,000	20,000	(10,000)	Contract Code Enforcement
100-42401-50365	WORKER'S COMPENSATION INSURANCE	488	481	-	-	-	-	-	
100-42401-50433	DUES AND MEMBERSHIPS	-	65	-	-	-	-	-	
	<b>TOTAL CODE ENFORCEMENT</b>	<b>121,103</b>	<b>126,159</b>	<b>30,000</b>	<b>28,848</b>	<b>20,000</b>	<b>20,000</b>	<b>(10,000)</b>	
<b>TOTAL PUBLIC SAFETY</b>		<b>2,316,319</b>	<b>2,391,739</b>	<b>2,583,080</b>	<b>2,014,194</b>	<b>2,974,155</b>	<b>2,933,988</b>	<b>350,908</b>	
<b>PUBLIC WORKS &amp; PARKS</b>									
<b>HIGHWAY, STREETS &amp; ROADWAYS</b>									
100-43100-50101	FULL-TIME EMPLOYEES - REGULAR	451,310	447,427	620,191	472,357	920,398	929,696	309,505	New Development & Operations Supt.; New Admin Asst.
100-43100-50102	FULL-TIME EMPLOYEES - OVERTIME	50,050	38,885	39,000	36,436	50,000	50,000	11,000	3 year average
100-43100-50121	PERA	37,146	36,499	49,439	37,208	72,780	73,477	24,038	
100-43100-50122	FICA	29,070	29,045	40,870	30,730	60,165	60,741	19,871	
100-43100-50126	MEDICARE	6,799	6,793	9,558	7,187	14,071	14,206	4,648	
100-43100-50130	EMPLOYER PAID INSURANCE	103,129	109,959	147,536	99,951	223,434	205,844	58,308	
100-43100-50140	UNEMPLOYMENT COMPENSATION	2,665	4,949	-	-	-	-	-	
100-43100-50200	OFFICE SUPPLIES	-	-	1,000	104	1,000	1,000	-	Permit Technician needs
100-43100-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	3,736	2,219	7,250	4,311	7,500	7,500	250	Grader training classes; addition of Permit Technician to PW
100-43100-50210	OPERATING SUPPLIES	35,373	40,847	30,000	23,534	37,500	31,000	1,000	-
100-43100-50212	MOTOR FUELS	42,060	23,578	35,000	29,867	40,000	40,000	5,000	-
100-43100-50220	REPAIR AND MAINTENANCE SUPPLIES	49,987	60,997	42,000	39,311	50,000	40,000	(2,000)	Supplies for repair
100-43100-50223	BUILDING REPAIR SUPPLIES	9,916	9,452	15,000	17,442	15,000	5,000	(10,000)	Building maintenance costs. Maintenance service contracts moved to -401
100-43100-50225	LANDSCAPE/DITCH MATERIALS	22,482	12,362	32,500	19,420	40,000	40,000	7,500	
100-43100-50226	SIGN REPAIR MATERIALS	5,671	6,382	7,000	-	7,500	7,500	500	
100-43100-50321	TELEPHONE	11,232	11,192	11,500	9,300	11,500	11,500	-	-
100-43100-50323	RADIO UNITS	-	-	-	-	-	2,000	2,000	Radio - Hennepin County
100-43100-50350	PRINTING AND BINDING	-	-	-	-	-	500	500	ECM
100-43100-50360	INSURANCE	-	-	-	-	-	-	-	
100-43100-50365	WORKER'S COMPENSATION INSURANCE	7,644	15,675	8,700	13,820	9,200	9,200	500	-
100-43100-50380	UTILITY SERVICES	16,410	22,497	20,000	12,319	21,000	21,000	1,000	-
100-43100-50381	ELECTRIC UTILITIES	4,070	4,221	10,000	7,146	10,000	10,000	-	
100-43100-50400	REPAIR AND MAINTENANCE - CONTRACT	137,132	3,400	185,000	142,145	185,000	4,000	(181,000)	Cintas & split remainder between 224 (15k) and 400 (170k) in paved streets department
100-43100-50401	REPAIR AND MAINT - BUILDINGS	-	-	-	-	-	10,000	10,000	Moved a portion from -223 - Maintenance service contracts.
100-43100-50403	REPAIR AND MAINT - VEHICLES	-	-	-	-	-	10,000	10,000	Contracted work
100-43100-50417	UNIFORMS	10,056	7,923	11,250	7,969	12,500	12,500	1,250	-
100-43100-50430	MISCELLANEOUS EXPENSE	-	-	-	-	-	-	-	
100-43100-50433	DUES AND MEMBERSHIPS	-	373	-	250	-	300	300	
100-43100-50810	REFUNDS & REIMBURSEMENT	961	-	-	5,720	-	-	-	
100-43100-50811	INSURANCE REFUNDS	-	-	-	50,746	-	-	-	Roof damage - will be offset with the insurance claim revenue
	<b>TOTAL HIGHWAY, STREETS &amp; ROADWAYS</b>	<b>1,036,897</b>	<b>894,674</b>	<b>1,322,794</b>	<b>1,067,271</b>	<b>1,788,548</b>	<b>1,596,964</b>	<b>274,170</b>	
<b>PAVED STREETS</b>									
100-43121-50224	STREET MAINTENANCE MATERIALS	42,398	101,297	69,000	76,565	72,500	15,000	(54,000)	Previously Asphalt Maint. In 43100 dept
100-43121-50400	REPAIR AND MAINTENANCE - CONTRACT	-	-	-	-	10,000	252,500	252,500	Previously Cracked Filling and Seal Coating in 43100 dept
	<b>TOTAL PAVED STREETS</b>	<b>42,398</b>	<b>101,297</b>	<b>69,000</b>	<b>76,565</b>	<b>82,500</b>	<b>267,500</b>	<b>198,500</b>	
<b>UNPAVED STREETS</b>									
100-43122-50224	STREET MAINTENANCE MATERIALS	146,367	156,484	152,500	123,798	172,500	115,000	(37,500)	Previously Gravel in 43100 dept
100-43122-50400	REPAIR AND MAINTENANCE - CONTRACT	96,953	111,075	110,000	109,565	125,000	182,500	72,500	Previously Gravel and Dust Control in 43100 dept
	<b>TOTAL UNPAVED STREETS</b>	<b>243,320</b>	<b>267,560</b>	<b>262,500</b>	<b>233,364</b>	<b>297,500</b>	<b>297,500</b>	<b>35,000</b>	
<b>ICE &amp; SNOW REMOVAL</b>									
100-43125-50210	OPERATING SUPPLIES	44,909	47,069	50,500	33,172	53,000	53,000	2,500	Salt and Sand - price increase in state contract and additional streets.
100-43125-50300	PROFESSIONAL SERVICES	1,228	504	2,100	142	2,100	2,100	-	Snow removal (Maple Grove) - previously in 43100 dept
	<b>TOTAL ICE &amp; SNOW REMOVAL</b>	<b>46,137</b>	<b>47,573</b>	<b>52,600</b>	<b>33,314</b>	<b>55,100</b>	<b>55,100</b>	<b>2,500</b>	
<b>ENGINEERING</b>									
100-43170-50300	PROFESSIONAL SERVICES	30,109	52,516	35,000	166,375	50,000	50,000	15,000	Most costs need to be allocated to project funds
100-43170-50303	ENGINEERING FEES	-	-	-	1,397	-	-	-	
100-43170-50309	WATERSHED LGU	4,678	17,605	10,000	14,807	10,000	10,000	-	LGU wetland services.
	<b>TOTAL ENGINEERING</b>	<b>34,787</b>	<b>70,121</b>	<b>45,000</b>	<b>182,579</b>	<b>60,000</b>	<b>60,000</b>	<b>15,000</b>	

## CITY OF CORCORAN

G/L Account	Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>RECYCLING</b>									
100-43201-50210	OPERATING SUPPLIES	3,238	-	3,500	2,980	3,500	3,500	-	
100-43201-50300	PROFESSIONAL SERVICES	9,430	11,778	9,000	6,080	10,000	10,000	1,000	Provider to Managing Billing/Balance City Subsidy.
	<b>TOTAL RECYCLING</b>	<b>12,668</b>	<b>11,778</b>	<b>12,500</b>	<b>9,060</b>	<b>13,500</b>	<b>13,500</b>	<b>1,000</b>	
<b>RECREATION</b>									
100-45100-50101	FULL-TIME EMPLOYEES - REGULAR	-	-	-	-	-	32,801	32,801	Park/Rec Coordinator split 50% with Parks
100-45100-50102	FULL-TIME EMPLOYEES - OVERTIME	-	-	-	-	-	-	-	
100-45100-50121	PERA	-	-	-	-	-	2,460	2,460	Park/Rec Coordinator split 50% with Parks
100-45100-50122	FICA	-	-	-	-	-	2,033	2,033	Park/Rec Coordinator split 50% with Parks
100-45100-50126	MEDICARE	-	-	-	-	-	475	475	Park/Rec Coordinator split 50% with Parks
100-45100-50130	EMPLOYER PAID INSURANCE	-	-	-	-	-	8,694	8,694	Park/Rec Coordinator split 50% with Parks
100-45100-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	-	-	-	-	-	900	900	Moved from Recreation Program (100-45200-261)
100-45100-50210	OPERATING SUPPLIES	-	-	-	-	-	28,180	28,180	Moved from Recreation Program (100-45200-261)
100-45100-50300	PROFESSIONAL SERVICES	-	-	-	-	-	2,130	2,130	moved from Parks (100-45200-300)
	<b>TOTAL RECREATION</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>77,673</b>	<b>77,673</b>	
<b>PARKS</b>									
100-45200-50101	FULL-TIME EMPLOYEES - REGULAR	60,656	83,573	103,052	80,114	119,426	86,729	(16,323)	New PT Program Coordinator, Park/Rec Coordinator split 50% with Rec
100-45200-50102	FULL-TIME EMPLOYEES - OVERTIME	1,416	1,433	-	1,066	-	-	-	
100-45200-50121	PERA	1,942	4,118	4,494	3,467	4,912	2,460	(2,034)	Park/Rec Coordinator split 50% with Rec
100-45200-50122	FICA	3,820	5,489	6,389	5,258	7,404	5,378	(1,011)	Park/Rec Coordinator split 50% with Rec
100-45200-50126	MEDICARE	893	1,284	1,494	1,230	1,732	1,258	(236)	Park/Rec Coordinator split 50% with Rec
100-45200-50130	EMPLOYER PAID INSURANCE	-	11,540	17,332	11,699	19,065	8,694	(8,638)	Park/Rec Coordinator split 50% with Rec
100-45200-50140	UNEMPLOYMENT COMPENSATION	100	17	-	-	-	-	-	
100-45200-50207	TRAINING AND INSTRUCTIONAL SUPPLIES	30	-	350	55	400	400	50	MRPA Conference, other trainings
100-45200-50210	OPERATING SUPPLIES	56,782	21,967	25,000	16,437	27,500	27,500	2,500	
100-45200-50221	EQUIPMENT PARTS AND ACCESSORIES - IT	19,475	37,015	20,000	29,282	30,000	30,000	10,000	
100-45200-50261	RECREATION PROGRAMMING	241	4,529	25,500	13,271	40,400	-	(25,500)	2022 created recreation department
100-45200-50300	PROFESSIONAL SERVICES	3,639	1,348	2,500	768	2,500	370	(2,130)	Moved portion to recreation department
100-45200-50321	TELEPHONE	765	842	750	470	800	800	50	
100-45200-50365	WORKER'S COMPENSATION INSURANCE	9,256	13,504	10,200	15,281	10,500	10,500	300	
100-45200-50380	UTILITY SERVICES	5,787	4,520	5,500	4,727	5,500	4,000	(1,500)	
100-45200-50381	ELECTRIC UTILITIES	-	-	-	-	-	1,500	1,500	Wright Hennepin
100-45200-50382	WATER & SEWER	-	-	-	-	-	2,500	2,500	City utility bills for water at parks
100-45200-50417	UNIFORMS	-	-	-	-	-	-	-	
100-45200-50433	DUES AND MEMBERSHIPS	410	-	400	800	500	500	100	
100-45200-50520	BUILDINGS AND STRUCTURES	-	-	-	-	-	-	-	
100-45200-50530	IMPROVEMENTS OTHER THAN BLDGS	41,749	39,312	40,000	38,810	40,000	40,000	-	
100-45200-50810	REFUNDS & REIMBURSEMENT	-	-	-	2,210	-	-	-	
	<b>TOTAL PARKS</b>	<b>206,962</b>	<b>230,491</b>	<b>262,961</b>	<b>224,946</b>	<b>310,639</b>	<b>222,589</b>	<b>(40,372)</b>	
<b>TOTAL PUBLIC WORKS &amp; PARKS</b>		<b>1,623,169</b>	<b>1,623,493</b>	<b>2,027,355</b>	<b>1,827,099</b>	<b>2,607,787</b>	<b>2,590,826</b>	<b>563,471</b>	
<b>ALL GENERAL FUND EXPENDITURE</b>		<b>5,303,987</b>	<b>6,237,798</b>	<b>6,234,500</b>	<b>5,076,965</b>	<b>7,556,450</b>	<b>7,543,367</b>	<b>1,308,867</b>	

**CITY OF CORCORAN**

G/L Account Description	2019 Actual	2020 Actual	2021 Budget	2021 10/31/21 Actual	2022 Preliminary Budget	Proposed Changes 2022 Budget	Proposed 2021/2022 Budget Difference	Comments
<b>DEBT SERVICE</b>								
<b>EQUIPMENT CERTIFICATE FUND</b>								
Disbursements								
Equipment Certificate								
Fiscal Agent Fees / Issuing Fees								
Principal								
Principal & Interest-2008	-	-	-					
Principal & Interest-2010								
Principal & Interest-2012	44,914	44,389	48,904		-	-	(48,904)	
Principal & Interest-2014	52,916	52,878						
Principal & Interest-2016 Equip	36,330	36,015	35,385		39,690	39,690	4,305	
Principal & Interest-2018 Equip	81,900	80,010	79,065		81,323	81,323	2,258	
Principal & Interest-2018 Debt Service	39,454	37,406	36,304		32,996	32,996	(3,308)	
Principal & Interest-2018 Abatement	68,250	73,500	73,500		78,750	78,750	5,250	
Principal & Interest-2020 Equip			100,905		104,475	104,475	3,570	
Total Principal & Interest	323,764	324,198	374,063		337,234	337,234	(36,829)	
Required 5% overage								
<b>Total</b>	323,764	324,198	374,063		337,234	337,234	(36,829)	
Facility Expansion (Public Works) 2012B								
Principal & Interest	229,044	231,617	223,523		222,485	222,485	(1,039)	
Required 5% Overage								
<b>Total</b>	229,044	231,617	223,523		222,485	222,485	(1,039)	
<b>COMBINED DEBT SERVICE EXPENDITURES</b>	<b>552,808</b>	<b>555,815</b>	<b>597,586</b>		<b>559,718</b>	<b>559,718</b>	<b>(37,867)</b>	
TOTAL PROPERTY TAX REVENUE	2,786,482	4,067,936	4,447,791	2,786,482	5,169,128	5,110,294	662,503	14.895%
TOTAL GENERAL FUND REVENUE	4,602,127	6,578,741	6,234,500	4,605,088	7,556,450	7,543,367	1,308,867	
TOTAL DEBT SERVICE TAX LEVY	552,808	555,815	597,586	-	559,718	559,718	(37,867)	
TOTAL ALL REVENUES	5,154,935	7,134,556	6,832,086	4,605,088	8,116,168	8,103,085	1,271,000	
TOTAL ALL EXPENSES	5,856,795	6,793,613	6,832,086	5,076,965	8,116,168	8,103,085	1,271,000	
REVENUE - EXPENSE	(701,859)	340,943	-	(471,877)	-	-		
TOTAL CERTIFIED LEVY (INCLUDES DEBT SERVICE)	4,262,937	4,660,559	5,045,377		5,728,846	5,670,012	624,636	Total Property Tax Levy + Debt Serv Tax Levy
TOTAL PROPERTY TAX LEVY	3,710,129	4,104,744	4,447,791		5,169,128	5,110,294	662,503	
TOTAL PROPERTY TAX COLLECTED	2,786,482	4,067,936	-	2,786,482	-	-	-	

## STAFF REPORT

## Agenda Item 9b.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Maggie Ung
<b>Topic:</b> Draft 2022 Water and Sewer Budgets	<b>Action Required:</b> Direction

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### Summary:

Attached to this report are draft 2022 budgets for the water and sanitary sewer funds. The budgets were created based upon the assumptions of the City's Financial Management Plan.

Changes to the water fund revenue budget for 2022 includes an increase in water trunk revenue, an increase of \$529,140 from 2021. In the sewer fund revenue budget, the major change is the removal of the SAC revenue, which offsets with the removal of the expenditure. SAC revenue and fees will be tracked separately in a liability account.

Depreciation of \$250,000 is included in the 2022 budget for each fund. Another addition affecting both the water and sewer funds is an operating transfer to the General Fund for related Public Works expenditure, capturing 10% of those expenditure in each fund for a total of 20%.

With the transition to BS&A accounting software, staff is also recommending some updates to the general ledger accounts and descriptions.

Staff requests the City Council provide any feedback prior to adopting the budget at the December 9, 2021 meeting. Due to the limited experience with the system, it is likely that budget variances will occur.

### Financial/Budget:

The Financial Management Plan showed both funds having net income for 2022. Staff is pleased to share that after reviewing revenues and expenditures in a more detailed manner, both funds are projected to be positive for 2022.

	Water Fund	Sanitary Sewer Fund
Revenue	\$ 2,292,530	\$ 1,175,360
Expenditures	\$ 1,961,375	\$ 851,295
Difference	\$ 331,155	\$ 324,066

### Options:

1. Direct staff to complete the draft budgets as presented.
2. Direct staff to make changes to the draft budgets.

### Recommendation

Direct staff to complete the draft budgets as presented.

**Council Action:**

Consider a motion to direct staff to complete the draft budgets as presented.

**Attachments:**

1. Water Fund – 2022 Draft Budget
2. Sanitary Sewer Fund – 2022 Draft Budget

**CITY OF CORCORAN  
2022 DRAFT BUDGET - WATER FUND**

**REVENUE**

Current GL Account	Description	2020 Actual	2021 Budget	YTD 10/31/2021	2022 Budget	Comment	BS&A Transition - Recommended G/L Account	Recommended Description
601-49400-36100	Special Assessments	7,362	-	-	-		601-00000-36100	SPECIAL ASSESSMENTS
601-49400-36202	Developer Contribution	-	500	-	-		601-00000-36232	DEVELOPER CONTRIBUTION
601-49400-36210	Interest Earnings	26,990	15,000	-	15,000		601-00000-36210	INTEREST EARNINGS
601-49400-36233	Refunds/Reimbursements	8,589	-	(376)	-		601-00000-36400	REFUNDS/REIMBURSEMENTS
601-49400-37100	Hydrant Sales	-	500	-	500		601-00000-37102	BULK WATER SALES
601-49400-37110	Water Residential Usage	183,880	328,020	217,577	465,050	2022 based on 730 homes first half of year and 849 second half of year	601-00000-37110	WATER RESIDENTIAL USAGE
NEW	Water Multi-Residential	-	-	-	-		601-00000-37120	WATER MULTI-RESIDENTIAL
601-49400-37120	Water Commercial/Industrial	10,133	11,301	10,134	21,194	2022 Budget based on 31 users	601-00000-37130	WATER COMMERCIAL/INDUSTRIAL
601-49400-37130	Water Trunk Charges	303,582	193,740	203,967	722,880	30 acres in SE Corcoran, 30 acres in NE Corcoran	601-00000-37180	WATER TRUNK CHARGES
601-49400-37150	Water Access Charges (Wac)	273,655	180,412	274,554	298,928	238 new homes at \$1,256	601-00000-37170	WATER ACCESS CHARGES (WAC)
601-49400-37160	Water Penalties	-	-	-	-		601-00000-37160	WATER PENALTIES
601-49400-37170	Water Meters	85,290	55,500	83,246	89,250	238 new homes with water meters at \$375	601-00000-37101	WATER METERS
601-49400-37180	Water Connection/Inspection Fee	-	-	-	-		601-00000-37150	WATER CONNECTION/INSPECTION FEE
601-49400-37190	Maple Grove Connection	637,259	402,560	601,776	679,728	238 new homes at \$2,856	601-00000-37155	MAPLE GROVE CONNECTION
601-49400-39200	Transfer From Other Fund	-	-	-	-		601-00000-39203	TRANSFER FROM OTHER FUND
601-49400-39700	Capital Contributions Gov Act	-	-	-	-		601-00000-39700	CAPITAL CONTRIBUTIONS GOV ACT
<b>Total Revenue</b>		<b>1,536,740</b>	<b>1,187,533</b>	<b>1,390,878</b>	<b>2,292,530</b>			

**EXPENDITURE**

Current GL Account	Description	2020 Actual	2021 Budget	YTD 10/31/2021	2022 Budget	Comment	BS&A Transition - Recommended G/L Account	Recommended Description
601-49360-720	Operating Transfers	109,436	134,582	-	203,926	Payment to general fund for staff time	601-49400-50720	INTERFUND TRANSFERS
601-49400-100	Wages and Salaries (General)	-	-	-	-		601-49400-50101	FULL-TIME EMPLOYEES - REGULAR
601-49400-110	Overtime	-	-	-	-		601-49400-50102	FULL-TIME EMPLOYEES - OVERTIME
601-49400-121	PERA	-	-	-	-		601-49400-50121	PERA
601-49400-122	FICA	-	-	-	-		601-49400-50122	FICA
601-49400-126	Medicare	-	-	-	-		601-49400-50126	MEDICARE
601-49400-130	Employer Paid FSA	-	-	-	-		601-49400-50130	EMPLOYER PAID INSURANCE
601-49400-131	Employer Paid Health	-	-	-	-		601-49400-50130	EMPLOYER PAID INSURANCE
601-49400-132	Medical Cafeteria Plan	-	-	-	-		601-49400-50130	EMPLOYER PAID INSURANCE
601-49400-133	Employer Paid H S A	-	-	-	-		601-49400-50130	EMPLOYER PAID INSURANCE
601-49400-134	Employer Paid HRA	-	-	-	-		601-49400-50130	EMPLOYER PAID INSURANCE
601-49400-200	Office Supplies (General)	-	100	-	-		601-49400-50200	OFFICE SUPPLIES
601-49400-208	Training and Instruction	625	1,500	1,750	1,500		601-49400-50207	TRAINING AND INSTRUCTIONAL SUPPLIES
601-49400-210	Operating Supplies (General)	3,500	6,700	4,125	6,700	\$5,000 towards storz retrofit plan	601-49400-50210	OPERATING SUPPLIES
601-49400-212	Motor Fuels	-	-	-	-		601-49400-50212	MOTOR FUELS
601-49400-215	Water Meters	102,788	50,320	95,366	80,920	238 meters at \$340 each	601-49400-50227	UTILITY SYSTEM MAINTENANCE SUPPLIES
601-49400-216	Chemicals	-	-	-	-		601-49400-50216	CHEMICALS
601-49400-220	Repair/Maint Supply (General)	-	25,000	-	25,000		601-49400-50220	REPAIR AND MAINTENANCE SUPPLIES
601-49400-234	Inspections	5,634	-	8,712	10,000	Utility Connections for the developments	601-49400-50306	INSPECTIONS
601-49400-300	Professional Svcs (GENERAL)	5,785	5,000	10,977	8,000	Banyon, Water Connection fee to MN Dept of Health, Ferguson	601-49400-50300	PROFESSIONAL SERVICES
601-49400-303	Engineering Fees	128,749	125,000	20,073	125,000	Water service planning	601-49400-50303	ENGINEERING FEES
601-49400-304	Legal Fees	570	3,000	-	3,000		601-49400-50304	LEGAL FEES
601-49400-310	Other Professional Services	1,192,154	453,742	710,003	730,910	\$39,403 Water service contract; \$11,779 payment for DT MG agreement ; \$679,728 pass through connection fee	601-49400-50310	OTHER PROFESSIONAL SERVICES
601-49400-311	Water Purchased	84,625	166,117	13,345	231,780	800 homes at 105,000 gallons, 31 non-residential at 143,000 gallons total + 15% unbilled/unmetered at \$2.2791/thousand gallons	601-49400-50311	WATER PURCHASED
601-49400-321	Telephone	-	-	-	-		601-49400-50321	TELEPHONE
NEW	Postage	-	-	-	2,000	UPS - water sample testing, utility bills	601-49400-50322	POSTAGE
601-49400-352	General Notices and Pub Info	-	-	-	100		601-49400-50350	PRINTING AND BINDING
601-49400-360	Insurance (GENERAL)	-	500	523	550		601-49400-50360	INSURANCE
601-49400-364	Workers Comp Insurance	-	-	-	-		601-49400-50365	WORKER'S COMPENSATION INSURANCE

**CITY OF CORCORAN  
2022 DRAFT BUDGET - WATER FUND**

601-49400-380	Utility & Services (GENERAL)	2,136	2,500	1,942	2,500	Utility locates	601-49400-50380	UTILITY SERVICES
601-49400-400	Repairs & Maint Cont (GENERAL)	-	1,500	-	1,500		601-49400-50400	REPAIR AND MAINTENANCE - CONTRACT
601-49400-420	Depreciation	106,461	-	-	250,000		601-49400-50420	DEPRECIATION
601-49400-432	Credit Card Fees	-	2,000	-	7,000	Based on Invoice Cloud cost analysis	601-49400-50432	CREDIT CARD FEES
601-49400-433	Dues and Memberships	343	1,000	518	1,000		601-49400-50433	DUES AND MEMBERSHIPS
601-49400-510	Land	-	100,000	131,022	-	2021 Well Site Purchase	601-49400-50510	LAND
601-49400-520	Buildings and Structures	-	-	-	-		601-49400-50520	BUILDINGS AND STRUCTURES
601-49400-530	Improvements Other Than Bldgs	71,823	-	31,055	-		601-49400-50530	IMPROVEMENTS OTHER THAN BLDGS
601-49400-550	Motor Vehicles	-	-	-	-		601-49400-50550	MOTOR VEHICLES
601-49400-570	Office Equip and Furnishings	-	-	-	-		601-49400-50570	OFFICE EQUIP AND FURNISHINGS
601-49400-580	Other Equipment	-	-	-	-		601-49400-50580	OTHER EQUIPMENT
NEW	Bond Principal	-	-	-	189,700	Per 2014B, 2016A and 2020A payment schedules	601-49400-50601	BOND PRINCIPAL
601-49400-610	Interest	38,450	89,556	59,251	59,670	Per 2014B, 2016A and 2020A payment schedules	601-49400-50610	DEBT SERVICE INTEREST
601-49400-611	Bond Issuance Costs	27,305	-	-	-		601-49400-50611	BOND ISSUANCE COSTS
601-49400-720	Operating Transfers	25,640	-	-	20,620	Transfer in 10% of selected PW expenditures	601-49400-50720	INTERFUND TRANSFERS
<b>Total Expenditure</b>		<b>1,906,024</b>	<b>1,168,117</b>	<b>1,088,661</b>	<b>1,961,375</b>			
<b>Revenue less Expense</b>		<b>(369,284)</b>	<b>19,416</b>	<b>302,217</b>	<b>331,155</b>			

**CITY OF CORCORAN  
2022 DRAFT BUDGET - SEWER FUND**

**REVENUE**

Current GL Account	Description	2020 Actual	2021 Budget	YTD 10/31/2021	2022 Budget	Comment	BS&A Transition - Recommended G/L Account	Recommended Description
602-49450-36100	Special Assessments	1,841	-	-	-		602-00000-36100	SPECIAL ASSESSMENTS
602-49450-36200	Miscellaneous Revenues	-	-	1,168	2,500	SAC discount for early submittal	602-00000-36200	MISCELLANEOUS REVENUES
602-49450-36210	Interest Earnings	8,053	7,000	-	7,000		602-00000-36210	INTEREST EARNINGS
602-49450-36233	Refunds/Reimbursements	24,608	-	-	-		602-00000-36400	REFUNDS/REIMBURSEMENTS
602-49450-37210	Sewer Residential	193,573	385,834	166,074	411,166	2022 based on 730 homes first half of year and 849 second half of year, added in Maple Hills Estate	602-00000-37210	SEWER RESIDENTIAL
NEW	Sewer Multi-Residential	-	-	-	-		602-00000-37220	SEWER MULTI-RESIDENTIAL
602-49450-37220	Sewer Commercial/Industrial	12,464	13,000	9,713	14,560	2022 Budget based on 26 users	602-00000-37230	SEWER COMMERCIAL/INDUSTRIAL
602-49450-37230	Sewer Trunk Charges	331,078	215,670	657,879	444,300	30 acres SE + 30 acres NE @ \$7,405 per acre	602-00000-37280	SEWER TRUNK CHARGES
602-49450-37260	Sewer Penalties	-	-	-	-		602-00000-37260	SEWER PENALTIES
602-49450-37270	Sewer Access Charges-Met Coun.	-	367,780	627,708	-	Will book in liability account going forward - pass through as Due to Other Government	602-00000-20800	DUE TO OTHER GOVERNMENTS
602-49450-37275	Sewer Access Charges-City	3,198	180,412	3,198	295,834	238 users at \$1,243	602-00000-37275	SEWER ACCESS CHARGES-CITY
602-49450-37280	Sewer Install/Inspect Fee	-	-	-	-		602-00000-37250	SEWER CONNECTION/INSPECTION FEE
602-49450-39200	Transfer From Other Fund	-	-	-	-		602-00000-39203	TRANSFER FROM OTHER FUND
602-49450-39700	Capital Contributions Gov Act	-	-	-	-		602-00000-39700	CAPITAL CONTRIBUTIONS GOV ACT
<b>Total Revenue</b>		<b>574,815</b>	<b>1,169,696</b>	<b>1,465,740</b>	<b>1,175,360</b>			

**EXPENDITURE**

Current GL Account	Description	2020 Actual	2021 Budget	YTD 10/31/2021	2022 Budget	Comment	BS&A Transition - Recommended G/L Account	Recommended Description
602-49360-720	Operating Transfers	109,436	134,582	-	203,926	Payment to general fund for staff time, switch to dept 49450	602-49450-50720	INTERFUND TRANSFERS
602-49450-100	Wages and Salaries (General)	-	-	-	-		602-49450-50101	FULL-TIME EMPLOYEES - REGULAR
602-49450-110	Overtime	-	-	-	-		602-49450-50102	FULL-TIME EMPLOYEES - OVERTIME
602-49450-121	PERA	-	-	-	-		602-49450-50121	PERA
602-49450-122	FICA	-	-	-	-		602-49450-50122	FICA
602-49450-126	Medicare	-	-	-	-		602-49450-50126	MEDICARE
602-49450-130	Employer Paid FSA	-	-	-	-		602-49450-50130	EMPLOYER PAID INSURANCE
602-49450-131	Employer Paid Health	-	-	-	-		602-49450-50130	EMPLOYER PAID INSURANCE
602-49450-132	Medical Cafeteria Plan	-	-	-	-		602-49450-50130	EMPLOYER PAID INSURANCE
602-49450-133	Employer Paid H S A	-	-	-	-		602-49450-50130	EMPLOYER PAID INSURANCE
602-49450-134	Employer Paid HRA	-	-	-	-		602-49450-50130	EMPLOYER PAID INSURANCE
602-49450-200	Office Supplies (GENERAL)	-	100	-	-		602-49450-50200	OFFICE SUPPLIES
602-49450-208	Training and Instruction	625	1,000	-	1,100		602-49450-50207	TRAINING AND INSTRUCTIONAL SUPPLIES
602-49450-210	Operating Supplies (GENERAL)	1,613	1,700	5,038	3,000	Postage was previously coded here	602-49450-50210	OPERATING SUPPLIES
602-49450-212	Motor Fuels	-	-	-	-		602-49450-50212	MOTOR FUELS
602-49450-216	Chemicals	-	-	-	-		602-49450-50216	CHEMICALS
602-49450-220	Repair/Maint. Supply (GENERAL)	-	25,000	325	20,000		602-49450-50220	REPAIR AND MAINTENANCE SUPPLIES
602-49450-234	Inspections	5,634	-	8,712	5,000		602-49450-50306	INSPECTIONS
602-49450-300	Professional Svcs (GENERAL)	693	12,000	1,342	12,000	Sewer cleaning	602-49450-50300	PROFESSIONAL SERVICES
602-49450-303	Engineering Fees	8,972	15,000	3,255	15,000		602-49450-50303	ENGINEERING FEES
602-49450-304	Legal Fees	-	1,000	-	1,000		602-49450-50304	LEGAL FEES
602-49450-310	Other Professional Services	1,341	367,780	575,851	-	This should be a liability account - pass through as Due to Other Government	602-00000-20800	DUE TO OTHER GOVERNMENTS
602-49450-312	MCES Sewage Treatment	48,924	74,556	55,917	139,713	per Met Council	602-49450-50312	MCES SEWAGE TREATMENT
602-49450-321	Telephone	-	-	-	-		602-49450-50321	TELEPHONE
NEW	Postage	-	-	-	2,500	Postage	602-49450-50322	POSTAGE
602-49450-352	General Notices and Pub Info	-	100	-	100		602-49450-50350	PRINTING AND BINDING
602-49450-360	Insurance (GENERAL)	-	500	523	500		602-49450-50360	INSURANCE
602-49450-364	Workers Comp Insurance	-	-	-	-		602-49450-50365	WORKER'S COMPENSATION INSURANCE
602-49450-380	Utility & Services (GENERAL)	5,692	5,500	5,447	6,000	Lift station electric; utility locates	602-49450-50380	UTILITY SERVICES



**CITY OF CORCORAN  
2022 DRAFT BUDGET - SEWER FUND**

602-49450-400	Repairs & Maint Cont (GENERAL)	1,957	3,000	3,183	3,000		602-49450-50400	REPAIR AND MAINTENANCE - CONTRACT
602-49450-420	Depreciation	208,951	-	-	250,000		602-49450-50420	DEPRECIATION
602-49450-431	Misc Expense	-	-	-	-		602-49450-50430	MISCELLANEOUS EXPENSE
602-49450-432	Credit Card Fees	-	2,000	-	7,000	Based on Invoice Cloud cost analysis	602-49450-50432	CREDIT CARD FEES
602-49450-433	Dues and Memberships	69	1,000	-	1,000		602-49450-50433	DUES AND MEMBERSHIPS
602-49450-510	Land	-	-	-	-		602-49450-50510	LAND
602-49450-520	Buildings and Structures	-	-	-	-		602-49450-50520	BUILDINGS AND STRUCTURES
602-49450-530	Improvements Other Than Bldgs	-	-	-	-		602-49450-50530	IMPROVEMENTS OTHER THAN BLDGS
602-49450-550	Motor Vehicles	-	-	-	-		602-49450-50550	MOTOR VEHICLES
602-49450-570	Office Equip and Furnishings	-	-	-	-		602-49450-50570	OFFICE EQUIP AND FURNISHINGS
602-49450-580	Other Equipment	-	-	-	-		602-49450-50580	OTHER EQUIPMENT
NEW	Bond Principal	-	-	-	110,300	Per 2014B and 2016A bond payment schedule	602-49450-50601	BOND PRINCIPAL
602-49450-610	Interest	44,373	64,913	43,663	49,536	Per 2014B and 2016A bond payment schedule	602-49450-50610	DEBT SERVICE INTEREST
602-49450-611	Bond Issuance Costs	-	-	-	-		602-49450-50611	BOND ISSUANCE COSTS
602-49450-720	Operating Transfers	39,440	-	-	20,620	Transfer in 10% of selected PW expenditures	602-49450-50720	INTERFUND TRANSFERS
602-49450-810	Refunds/Reimbursement	-	-	14	-		602-49450-50810	REFUNDS & REIMBURSEMENT
<b>Total Expenditure</b>		<b>477,719</b>	<b>709,731</b>	<b>703,270</b>	<b>851,295</b>			
<b>Revenue less Expense</b>		<b>97,097</b>	<b>459,965</b>	<b>762,470</b>	<b>324,066</b>			

## STAFF REPORT

## Agenda Item 10a.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Resolution Creating Amending Job Descriptions	<b>Action Required:</b> Approval

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### **Summary:**

As the City continues to grow at a significant pace, it is necessary at times to add positions and amend the organizational structure. Attached to this report is a resolution to create and amend job descriptions as planned and discussed by the City Council in previous meetings.

This resolution does not include the proposed additions and changes in the Public Works Department. Those items will be presented for approval at a future meeting.

### **Financial/Budget:**

Costs related to the positions are included in the 2022 budget which will be formally adopted in December.

### **Options:**

1. Approve the resolution creating and amending job descriptions as presented.
2. Approve the resolution creating and amending job descriptions with amendments.
3. Send back to staff for further review.

### **Recommendation:**

Approve the resolution creating and amending job descriptions as presented.

### **Council Action:**

Consider a motion to approve the resolution creating and amending job descriptions as presented.

### **Attachments:**

1. Resolution 2021-132 creating and amending job descriptions for the City of Corcoran.

**RESOLUTION NO. 2021-132**

**Motion By:**  
**Seconded By:**

**A RESOLUTION CREATING AND AMENDING JOB DESCRIPTIONS  
FOR THE CITY OF CORCORAN**

**WHEREAS**, the City of Corcoran has an existing organizational structure which must be adjusted as the City grows in order to meet the needs of the community; and

**WHEREAS**, the City desires to create and amend job descriptions as outlined in this resolution.

**NOW, THEREFORE BE IT RESOLVED**, by the City Council of the City of Corcoran:

1. The City establishes a new part-time position titled Program Coordinator and approves the job description;
2. The City establishes a new position titled Recreation Supervisor, approves the job description, and appoints Jessica Christensen Buck to that position, effective January 1, 2022 at Grade 10 in the 6-month Step; for the purpose of benefit accruals, all existing years of service continue to this new position;
3. The City establishes a new part-time position titled Administrative Assistant – Planning and approves the job description;
4. The amended job description of Planner is approved.
5. Amy Fadden is appointed to the full-time position of Administrative Assistant for the Police Department effective January 1, 2022 at Grade 6 in the Start Step.

**VOTING AYE**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22<sup>nd</sup> day of November, 2021.

\_\_\_\_\_  
Tom McKee – Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

## STAFF REPORT

## Agenda Item 10b.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Director Matt Gottschalk
<b>Topic:</b> Training Opportunity- FBI National Academy	<b>Action Required:</b> Approval

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### Summary:

The FBI National Academy is an immersive graduate level training recognized as one of the premier law enforcement leadership programs in the world. It is a 10-week residential training program held in Quantico, Virginia. The program is limited to law enforcement leaders with the rank of lieutenant or higher and attendees must be sponsored by their employing agency. This training is specifically designed for state and local law enforcement leaders as a service to their communities.

I have recently been notified of my invitation to attend an upcoming session of the FBI National academy from April 4, 2022, through June 9, 2022. The waiting list for this program is several years long. I was first added to the National Academy nomination list in 2014 but withdrew to accept my position with the City of Corcoran. I re-entered the nomination list with the City of Corcoran in September of 2019.

While attending the Academy, the FBI covers the cost of tuition, lodging, some transportation, and weekday meals. The sponsoring law enforcement agencies are responsible for the employee's wages, benefits, and other meals and travel costs.

If approved, I would be driving my city squad car to the academy. It is also customary for agencies to provide one round trip flight home during the academy, per diems to cover meal costs during the weekends, and a uniform allowance. In my absence, Lt. Burns would be able to handle the day-to-day administration of the Police Department with support from the sergeants. I would be available during off-time hours and checking in regularly with Lt. Burns.

Corcoran's previous Police Chief, Sean Gormley, attended the FBI National academy in 2010. There are still some program variables that could influence my attendance during these dates, but at this time I am seeking Council approval to confirm my availability and authorization to attend this opportunity with the FBI National Academy.

### Financial/Budget:

A majority of the costs associated with attendance at the FBI National Academy would be paid for out of the police department's training budget. Costs would include vehicle usage, fuel, approximately \$450 for roundtrip airfare, \$1,180 per diem for weekend meals (GSA Rate \$59/day x 20 days), and \$350 in uniform expenses.

Approximately \$1,000 of these expenses will be a training offset, as I would not be attending the annual Minnesota Chiefs of Police Association conference. The net cost is substantially less expensive than other police command schools like the Southern Police Institute or Northwestern University Law Enforcement Management programs.

**Options:**

1. Authorize the Director of Public Safety to attend the FBI National Academy in 2022.
2. Provide staff with other direction.

**Recommendation:**

Authorize the Director of Public Safety to attend the FBI National Academy in 2022.

**Council Action:**

Consider a motion to authorize the Director of Public Safety to attend the FBI National Academy in 2022.

**Attachments:**

None

# STAFF REPORT

# Agenda Item 10c.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Director Matt Gottschalk
<b>Topic:</b> 2022 Police Staffing	<b>Action Required:</b> Authorization

## Summary:

The police department has historically maintained a very thin margin of full-time staff to meet the 24-hour police patrol needs of the community. The department was successful in this approach by maintaining a robust cadre of part-time police officers, capitalizing on the flexibility of our police officers, and utilizing assistance from neighboring communities.

Over the past several years the profession and the city have seen a dramatic decline in the number of police officers willing to take on part-time work. The number of part-time officers has declined. Additionally, training demands and staff workload have reduced officer flexibility. Other agencies have experienced the same pressures and do not have the bandwidth to continue offering regular support outside of their community.

In addition to these factors, even as staffing authorizations have increased, the police department is frequently seeing long term leave scenarios from police officers having a serious impact on staffing levels. The following chart shows the number of vacant police positions per given month over the past three years due to leave or separation. Green shading indicates a fully staffed department.

	January	February	March	April	May	June	July	August	September	October	November	December
2018											-1	-1
2019	-1	-1	-1	-1			-1	-1	-1	-1		
2020	-1	-1	-1	-1	-1	-1	-2	-2	-1	-1	-1	-1
2021	-2	-2	-2	-3	-2	-3	-3	-3	-2	-2	-2	?

As you can see, the police department has only been fully staffed for four out of the past 36 months. When an officer is out on leave, the police department is unable to refill their position, as they may return to duty. The overall staffing/growth plan was designed from the lens of supporting community growth but did not account for the unanticipated reduction in part-time workforce, increased training requirements, decreased flexibility, and other societal factors. Existing staff planning has anticipated the addition of two full-time patrol officers in 2023.

The reduced number of patrol officers available to cover shifts has required the remaining patrol officers to have leave time denied and their shifts changed frequently to meet the patrol coverage needs.

A significant portion of the wages for officers on leave in 2021 has been covered by insurance policies. This has resulted in a fairly significant budget surplus. Staff does not know when or if the staff on leave will return to duty. Due to these absences and the consistently understaffed state of the department, staff is proposing a staffing modification for 2022.

Staff is proposing a one-time budget transfer of 2021 surplus funds to staff one additional full-time permanent police officer position in 2022 in advance of its planned 2023 addition. If the Council authorizes the position for 2022, staff will plan to proceed with the planned addition of only one more police officer in 2023.

**Financial/Budget:**

The starting compensation of the new hire will be dependent on lateral entry considerations and elected benefits. The anticipated budget impact will be between \$111,000 – \$125,000.

**Options:**

1. Authorize staff to add one full time permanent Police Officer position in 2022 and begin the Police Officer hiring process.
2. Provide staff with other direction.

**Recommendation:**

Authorize staff to add one full time permanent Police Officer position in 2022 and begin the Police Officer hiring process.

**Council Action:**

1. Consider a motion to authorize staff to add one full time permanent Police Officer position in 2022 and begin the Police Officer hiring process.

**Attachments:**

None

## STAFF REPORT

## Agenda Item 10d.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Schedule Work Session – Water Supply Planning	<b>Action Required:</b> Schedule Work Session

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### **Summary:**

It is recommended that the Council schedule a work session on December 9<sup>th</sup> to continue progress on water supply planning.

### **Financial/Budget:**

Costs for preparing and following up on work session items are included in the approved preliminary design proposal.

### **Options:**

1. Schedule a work session for 5:30 pm on December 9, 2021
2. Schedule a work session for a different day and time.

### **Recommendation:**

Schedule a work session for 5:30 pm on December 9, 2021

### **Council Action:**

Mayor to schedule a work session for 5:30 pm on December 9, 2021

### **Attachments:**

None



# STAFF REPORT

# Agenda Item 11a.

<b>Council Meeting:</b> November 22, 2021	<b>Prepared By:</b> Jessica Christensen Buck
<b>Topic:</b> City Park Master Plan Update	<b>Action Required:</b> Direction

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## Summary:

The City Park update plan has been proposed and worked on by staff for a few years. During this time, the project has gone to the Parks and Trails Commission and the City Council multiple times. Wenck (now Stantec), provided various preliminary budgets and designs for the park throughout the planning process. The most recent budget and design are provided as attachments to this report.

At this point, staff is recommending that due to the need for additional funds before continuing with the project, staff will proceed to secure additional funding through grants, sponsorships, etc. Additionally, staff would like to acquire supplementary feedback from the public to ensure the needs and desires of new residents are being planned for. Staff collected public input in 2018, but since then there have been many new residents that have moved into the City. Staff is requesting approval to acquire additional feedback through virtual and in-person means (i.e. public input at City Hall, going directly to developments, online survey, etc.).

The proposed timeline for the project would be as follows:

- December 2021: Choose dates and times for in-person feedback, coordinate with home owner associations for resident feedback, form online survey, etc.
- January 2022 – July 2022: Open online survey for feedback, email those subscribed to parks and recreation updates, visit developments, host in-person public input session, etc.
- August 2022: Provide Stantec with relevant information for updates to the budget and design. Receive plans and budget; get any necessary clarification before preparing the information for the Parks and Trails Commission and City Council meetings.
- September 2022: Plans, budget, and general update to go to the Parks and Trails Commission and City Council for approval.
- October 2022: Apply for the Hennepin County Youth Sports Facility Grant.

## Council Action:

Direct staff to proceed with collecting additional funding as well as feedback from the public regarding the proposed master plan.

## Attachments:

1. Preliminary Budget – Phase 1
2. Preliminary Design – Phase 1

**Corcoran Athletic Park Opinion of Probable Cost**

Wednesday, August 4, 2021

ITEM NO	ITEM	UNIT	2020 Costs			2021 Costs			QUANTITY DIFFERENCE	UNIT COST DIFFERENCE	TOTAL COST DIFFERENCE
			QUANTITY	UNIT PRICE	ESTIMATED COSTS	QUANTITY	UNIT PRICE	ESTIMATED COSTS			
<b>Warming House Removals</b>											
1	Remove existing warming house/storage	EACH	1	\$ 3,500.00	\$ 3,500.00	1	\$ 3,500.00	\$ 3,500.00	0	\$ -	\$ -
2	Remove existing septic	EACH	1	\$ 1,900.00	\$ 1,900.00	1	\$ 1,900.00	\$ 1,900.00	0	\$ -	\$ -
<b>Subtotal Warming House Removals</b>					\$ 5,400.00		\$ 5,400.00			\$ -	
<b>Removals/Restoration for Utilities Construction</b>											
3	Clear and Grub trees	EACH	28	\$ 500.00	\$ 14,000.00	28	\$ 500.00	\$ 14,000.00	0	\$ -	\$ -
4	Salvage and Reinstall Fence	LF	850	\$ 20.00	\$ 17,000.00	0	\$ 20.00	\$ -	-850	\$ -	\$ (17,000.00)
5	Protect watermain and drinking fountain service?	LS	1	\$ 5,000.00	\$ 5,000.00	0	\$ 5,000.00	\$ -	-1	\$ -	\$ (5,000.00)
6	Salvage and Reinstall Drintile	LS	1	\$ 15,000.00	\$ 15,000.00	0	\$ 15,000.00	\$ -	-1	\$ -	\$ (15,000.00)
7	Salvage and Respread infield Aggregate	SQ YD	335	\$ 5.00	\$ 1,675.00	0	\$ 5.00	\$ -	-335	\$ -	\$ (1,675.00)
8	Aglime for infleid	TON	150	\$ 45.00	\$ 6,750.00	0	\$ 45.00	\$ -	-150	\$ -	\$ (6,750.00)
9	CL 5 surface aggregate - frontage road - top dress 2"	TON	180	\$ 18.00	\$ 3,240.00	0	\$ 25.00	\$ -	-180	\$ 7.00	\$ (3,240.00)
10	Ballfield Sod	SQ FT	13030	\$ 6.00	\$ 78,180.00	0	\$ 6.00	\$ -	-13030	\$ -	\$ (78,180.00)
<b>Subtotal Removals/Restoration for Utilities Construction</b>					\$ 140,845.00		\$ 14,000.00			\$ (126,845.00)	
<b>Site Grading</b>											
11	Site Grading	CU YD	32114	\$ 6.00	\$ 192,684.00	32114	\$ 8.00	\$ 256,912.00	0	\$ 2.00	\$ 64,228.00
12	Common Excavation - Stockpile onsite (CV)	CU YD	2480	\$ 4.00	\$ 9,920.00	2480	\$ 5.00	\$ 12,400.00	0	\$ 1.00	\$ 2,480.00
<b>Subtotal Grading</b>					\$ 202,604.00		\$ 269,312.00			\$ 66,708.00	
<b>Sanitary Sewer</b>											
13	Connect to existing sanitary	EACH	1	\$ 4,000.00	\$ 4,000.00	1	\$ 4,000.00	\$ 4,000.00	0	\$ -	\$ -
14	8" PVC Sanitary Sewer	LF	1693	\$ 40.00	\$ 67,720.00	1407	\$ 65.00	\$ 91,455.00	-286	\$ 25.00	\$ 23,735.00
15	PVC Sanitary Sewer Service	LF	45	\$ 30.00	\$ 1,350.00	45	\$ 45.00	\$ 2,025.00	0	\$ 15.00	\$ 675.00
16	6" cleanout	EACH	1	\$ 500.00	\$ 500.00	1	\$ 500.00	\$ 500.00	0	\$ -	\$ -
17	PVC Service Wye	EACH	1	\$ 175.00	\$ 175.00	1	\$ 175.00	\$ 175.00	0	\$ -	\$ -
18	4' Dia. Sanitary Sewer Manhole	EACH	4	\$ 3,000.00	\$ 12,000.00	3	\$ 5,000.00	\$ 15,000.00	-1	\$ 2,000.00	\$ 3,000.00
19	4' Dia. Sanitary Sewer Manhole (drop MH)	EACH	1	\$ 4,500.00	\$ 4,500.00	1	\$ 6,500.00	\$ 6,500.00	0	\$ 2,000.00	\$ 2,000.00
20	Anti Seepage Collar	EACH	4	\$ 500.00	\$ 2,000.00	4	\$ 500.00	\$ 2,000.00	0	\$ -	\$ -
21	overdepth	LF	10	\$ 180.00	\$ 1,800.00	10	\$ 180.00	\$ 1,800.00	0	\$ -	\$ -
<b>Subtotal Sanitary Sewer</b>					\$ 94,045.00		\$ 123,455.00			\$ 29,410.00	

<b>Watermain</b>											
22	connect to existing watermain - wet tap	EACH	1	\$ 2,500.00	\$ 2,500.00	1	\$ 2,500.00	\$ 2,500.00	0	\$ -	\$ -
23	connect to existing watermain	EACH	1	\$ 2,500.00	\$ 2,500.00	1	\$ 2,500.00	\$ 2,500.00	0	\$ -	\$ -
24	8" Watermain	LF	2480	\$ 35.00	\$ 86,800.00	2175	\$ 55.00	\$ 119,625.00	-305	\$ 20.00	\$ 32,825.00
25	8" Valve	EACH	3	\$ 2,200.00	\$ 6,600.00	3	\$ 3,500.00	\$ 10,500.00	0	\$ 1,300.00	\$ 3,900.00
26	fire flow service	LF	35	\$ 14.00	\$ 490.00	35	\$ 45.00	\$ 1,575.00	0	\$ 31.00	\$ 1,085.00
27	fire flow valve	EACH	1	\$ 1,750.00	\$ 1,750.00	1	\$ 1,750.00	\$ 1,750.00	0	\$ -	\$ -
28	domestic service	EACH	35	\$ 1,100.00	\$ 38,500.00	2	\$ 1,100.00	\$ 2,200.00	-33	\$ -	\$ (36,300.00)
29	salvage and reinstall hydrant	EACH	1	\$ 1,500.00	\$ 1,500.00	1	\$ 2,500.00	\$ 2,500.00	0	\$ 1,000.00	\$ 1,000.00
30	install hydrant	EACH	3	\$ 3,000.00	\$ 9,000.00	3	\$ 6,000.00	\$ 18,000.00	0	\$ 3,000.00	\$ 9,000.00
<b>Subtotal Watermain</b>				\$	149,640.00			\$ 161,150.00			\$ 11,510.00
<b>Private Utilities</b>											
31	Joint Trench - Drilled County Road	LF	70	\$ 200.00	\$ 14,000.00	70	\$ 200.00	\$ 14,000.00	0	\$ -	\$ -
32	Joint Trench	LF	750	\$ 100.00	\$ 75,000.00	750	\$ 100.00	\$ 75,000.00	0	\$ -	\$ -
33	street lights	EACH	0	\$ 10,000.00	\$ -	0	\$ 10,000.00	\$ -	0	\$ -	\$ -
<b>Subtotal Private Utilities</b>				\$	89,000.00			\$ 89,000.00			\$ -
<b>Storm Sewer</b>											
34	Storm Sewer	LF	1120	\$ 65.00	\$ 72,800.00	1120	\$ 80.00	\$ 89,600.00	0	\$ 15.00	\$ 16,800.00
35	temporary storm sewer	LF		\$ 25.00	\$ -		\$ 5,000.00	\$ -	0	\$ 4,975.00	\$ -
36	Storm Sewer Manhole	EACH	5	\$ 2,000.00	\$ 10,000.00	5	\$ 3,500.00	\$ 17,500.00	0	\$ 1,500.00	\$ 7,500.00
37	2x3 catch basin	EACH	3	\$ 1,500.00	\$ 4,500.00	3	\$ 3,000.00	\$ 9,000.00	0	\$ 1,500.00	\$ 4,500.00
38	27" catchbasin	EACH		\$ 1,500.00	\$ -		\$ 1,500.00	\$ -	0	\$ -	\$ -
39	flared end section	EACH	2	\$ 850.00	\$ 1,700.00	2	\$ 850.00	\$ 1,700.00	0	\$ -	\$ -
40	outlet control structure	EACH	1	\$ 4,500.00	\$ 4,500.00	1	\$ 4,500.00	\$ 4,500.00	0	\$ -	\$ -
<b>Subtotal Storm Sewer</b>				\$	93,500.00			\$ 122,300.00			\$ 28,800.00
<b>Amenities</b>											
41	Pickleball Courts (3) (Concrete)	EA	1	\$ 40,000.00	\$ 40,000.00	1	\$ 120,000.00	\$ 120,000.00	0	\$ 80,000.00	\$ 80,000.00
42	Hockey Rink (200' x 85' )	EA	1	\$ 100,000.00	\$ 100,000.00	1	\$ 100,000.00	\$ 100,000.00	0	\$ -	\$ -
43	Splash Pad	LS	1	\$ 100,000.00	\$ 100,000.00	1	\$ 250,000.00	\$ 250,000.00	0	\$ 150,000.00	\$ 150,000.00
44	Volleyball	EA		\$ 5,000.00	\$ -		\$ 5,000.00	\$ -	0	\$ -	\$ -
45	Playgrounds	EA	1	\$ 90,000.00	\$ 90,000.00	1	\$ 90,000.00	\$ 90,000.00	0	\$ -	\$ -
46	Baseball Field	EA	0	\$ 120,000.00	\$ -	0	\$ 120,000.00	\$ -	0	\$ -	\$ -
<b>Subtotal Amenity</b>				\$	330,000.00			\$ 560,000.00			\$ 230,000.00

<b>Street Improvements</b>											
47	Bituminous - Street	TON	314	\$ 75.00	\$ 23,550.00	314	\$ 75.00	\$ 23,550.00	0	\$ -	\$ -
48	Bituminous - Parking Lot	TON	2466	\$ 80.00	\$ 197,280.00	2466	\$ 80.00	\$ 197,280.00	0	\$ -	\$ -
49	Bituminous - Trail	TON	177	\$ 85.00	\$ 15,045.00	177	\$ 85.00	\$ 15,045.00	0	\$ -	\$ -
50	Bituminous Material for Tack Coat	GAL	620	\$ 2.00	\$ 1,240.00	620	\$ 2.00	\$ 1,240.00	0	\$ -	\$ -
51	6" Concrete Walk	SF		\$ 4.00	\$ -		\$ 6.00	\$ -	0	\$ 2.00	\$ -
52	Class 5 aggregate	TON	4160	\$ 18.00	\$ 74,880.00	4160	\$ 20.00	\$ 83,200.00	0	\$ 2.00	\$ 8,320.00
53	Select Granular	TON	940	\$ 20.00	\$ 18,800.00	940	\$ 25.00	\$ 23,500.00	0	\$ 5.00	\$ 4,700.00
54	Concrete Curb & Gutter	LF	1000	\$ 12.00	\$ 12,000.00	1000	\$ 15.00	\$ 15,000.00	0	\$ 3.00	\$ 3,000.00
55	Drain tile	LF	1000	\$ 10.00	\$ 10,000.00	1000	\$ 10.00	\$ 10,000.00	0	\$ -	\$ -
<b>Subtotal Street Improvements</b>					\$ 352,795.00			\$ 368,815.00			\$ 16,020.00

<b>\$ 1,457,829.00</b>	<b>Subtotal \$ 1,713,432.00</b>	<b>\$ 255,603.00</b>
<b>\$ 437,348.70</b>	<b>30% Indirect Costs \$ 514,029.60</b>	<b>\$ 76,680.90</b>
<b>\$ 1,895,177.70</b>	<b>Total \$ 2,227,461.60</b>	<b>\$ 332,283.90</b>





From Site to Finish

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# MEMORANDUM

**DATE** November 15, 2021  
**TO** Brad Martens  
**CC** City Council, Planning Commission, Parks & Trails Commission  
**FROM** Kendra Lindahl, City Planner  
**RE** Active Corcoran Planning Applications

*Projects/Comments in blue italics are new*

The following is a summary of project status for current, active projects:

1. **Vacation of Cain Road ROW (city file 21-022).** The City Council voted to commence the vacation process as requested by Michael Galbraith to remove an easement containing an unimproved portion of Cain Road adjacent to his property at 20700 70<sup>th</sup> Avenue. *The item was reviewed at the August 12<sup>th</sup> meeting, but did not have a 4/5 vote and will be brought back to Council at a future date when a full City Council is available.*
2. **Preliminary Plat and Variance for “Bechtold Farm” at 10165 Bechtold Road (PID 05-119-23-44-0001 and 0811923110007) (city file no. 21-030).** Skies Limit LLC has requested approval of a preliminary plat and variance to create 12 lots on 115.61 acres. The variance is to allow a lot with frontage on an unimproved public right-of-way. *The item was reviewed by the Parks and Trails Commission on October 21<sup>st</sup>, by the Planning Commission at the November 4<sup>th</sup> public hearing and City Council action is expected on November 22<sup>nd</sup>.*
3. **Kariniemi Sketch Plan for 23185 County Road 10 (PID 18-119-23-11-0002) (city file no. 21-033).** The applicant has requested Council feedback on a concept to reguide/rezone part of the property from residential to commercial to create a mix of commercial and residential lots. This item was reviewed by the Council at the August 26<sup>th</sup> meeting. The applicant submitted a different plan that was reviewed at the September 23<sup>rd</sup> meeting. *A third concept will be reviewed by the City Council on November 22<sup>nd</sup>.*
4. **Zoning Ordinance Amendment for Assembly Uses (city file 21-034).** At the June 24<sup>th</sup> meeting, the City Council discussed removing assembly uses in low residential zoning districts within the MUSA. Staff was directed to proceed with a Public Hearing. *The Planning Commission and City Council reviewed options and provided direction to staff. A public hearing is scheduled for the December 2<sup>nd</sup> Planning Commission meeting and Council action is expected on December 23<sup>rd</sup>.*
5. **Zoning Ordinance Amendment to update the Non-Conformities Section (city file no. 21-041).** This is a City initiated effort to bring Section 1030.010 (Non-Conforming Buildings, Structures, Uses and Lots) of the Zoning Ordinance into compliance with State Statutes. *This item was reviewed at a public hearing at the Planning Commission and action is expected at the November 22<sup>nd</sup> City Council meeting.*
6. **Site Plan, Conditional Use Permit and Preliminary Plat for Saint Therese Communities on the property located at 8200 Co Rd No 116 (PID 24-119-23-23-0001) (City File No. 21-042).** St. Therese is requesting approval for a preliminary plat of the city-owned property to create a parcel for the new St. Therese campus with a mix of independent, assisted living, memory care and skilled

nursing units. The site plan and conditional use permit for the project will be reviewed with the plat. *The application was revised at a public hearing at the November 4<sup>th</sup> Planning Commission and action is expected at the November 22<sup>nd</sup> City Council meeting. Additionally, an extension to the purchase agreement is scheduled for the December 23<sup>rd</sup> City Council meeting.*

7. **Final Plat and PUD Final Plan for “Tavera 3<sup>rd</sup> Addition” (PID 35-119-23-44-0004) (city file no. 21-044).** The final plat for phase 3 includes 134 townhomes. *The application is scheduled for the January 6<sup>th</sup> Planning Commission and January 27<sup>th</sup> City Council meetings.*
8. **Preliminary and Final Plat for “Magnan Acres at 9257 Trail Haven Road (PID 09-119-23-44-0017, 16-119-23-11-0001 and 16-119-23-11-0002) (City file no. 21-046).** The applicant is requesting plat approval to plat two existing lots and one unbuildable outlot into two lots. The final plat application is incomplete. *The preliminary plat is scheduled for the January 6<sup>th</sup> Planning Commission and January 27<sup>th</sup> City Council meetings.*
9. **Sketch plan review for Corcoran Highway 55 Business Park at 6210 Pioneer Tr (PID 32-119-23-34-0013, 32-119-23-43-0005 and 32-119-23-43-0006 ) (City file 21-047).** John Rausch has requested concept plan review for approximately 500,000 sq. ft. of industrial on 55 acres. *The application is scheduled for Council review on November 22<sup>nd</sup>.*
10. **PUD Sketch plan review for Pulte Homes of Minnesota, LLC at the NW corner of CR 101/Hackamore (PID 36-119-23-44-0013 , 36-119-23-44-0009, 36-119-23-44-0008, 36-119-23-44-0010 and 36-119-23-44-0014) (City file 21-048).** Pulte has requested sketch plan review for a mixed residential development with townhomes and single family homes. *The application is scheduled for Council review on November 22<sup>nd</sup>.*
11. **Zewde Wetland Waiver (28-119-23-21-0001) (city file 21-049).** *The applicant has requested a wetland delineation waiver for a future preliminary plat. The request is scheduled for City Council action on December 23<sup>rd</sup>.*
12. **NE District Plan and Design Guidelines (City file 21-050).** *The City received a planning grant from Hennepin County. Staff is developing a work plan to update these standards and hopes to kick-off the work plan this month and create a plan for adoption in May prior to expiration of the moratorium on June 10, 2022.*
13. **MS4 Ordinance Amendments (city-initiated) (city file 21-051).** *Planning and Engineering staff have been working on ordinance updates required to comply with State MS4 standards. The ordinance amendments are tentatively scheduled for a public hearing at the Planning Commission on January 6<sup>th</sup> and City Council action on January 27<sup>th</sup>.*
14. **Lohn Solar Site Plan Amendment at 9735 Tamiami Trail (city file 21-053).** *A request was submitted for a freestanding solar array. Staff is reviewing for completeness. This item may be administratively approved.*
15. **Dish Wireless Site plan amendment at 20140 CR 30 (city file 21-054).** *A request for modification on an existing tower has been submitted and is being reviewed for completeness. This item may be administratively approved.*

The following projects were recently acted upon and will be closed out:

1. **Request for Rezoning, Site Plan, Conditional Use Permit and Variance for Garages Too, LLC at 224010 Highway 55 (PID 32-119-23-44-0001) (city file 21-016).** The applicant has requested approval to allow a mini storage/self-storage facility on the property. The City Council reviewed a concept plan earlier this year and indicated support. The application was reviewed at a Public Hearing at the August 5<sup>th</sup> Planning Commission and has been tabled at the Council to allow the applicant to address stormwater issues. *The item was approved by the City Council on November 10<sup>th</sup>.*
2. **Sign Ordinance Amendment (city file 21-027).** The City Council directed staff to prepare an update to the sign ordinance regarding construction signs and an update to the campaign sign policy. *The ordinance was reviewed at the August 26<sup>th</sup> and September 23<sup>rd</sup> City Council meetings and the City*

*Council approved the change to construction sign ordinance on November 10<sup>th</sup>. No change was made to the campaign sign policy.*

3. **Final Plat and PUD Final Plan for “Amberley 1st Addition” and “Bellwether 6th Addition” (PID 01-119-23-34-0002) (city file no. 21-037).** The application is for 62 lots in Bellwether 6<sup>th</sup> and 25 lots in Amberley 1st Addition. *The application was reviewed by the Planning Commission on October 14<sup>th</sup> and approved by the City Council on October 28<sup>th</sup>.*
4. **Planned Unit Development (PUD) Amendment for “Tavera” (PID 35-119-23-41-0002) (city file no. 21-043).** Lennar has requested approval of the PUD amendment for Tavera to allow additional stockpiles in the southwest portion of the former Wessel property. The Council reviewed the request at the October 14<sup>th</sup> meeting *and tabled it to November 10<sup>th</sup> to allow the applicant to prepare a plan moving the unauthorized stockpiles. The City Council approved the request with conditions.*
5. **Minor Site Plan Amendment for T-Mobile Central LLC at 23400 CR 10 (PID 07-119-23-43-0006) (City file no. 21-045).** The applicant is requesting approval to replace and add antennas and ground equipment on the existing Hennepin County tower. *The application was administratively approved.*
6. **Construction Hours Ordinance Amendment (city initiated) (city file 21-052).** *The City Council approved the amendment at the October 28<sup>th</sup> meeting.*



**City of Corcoran  
2021 City Council Schedule**

**Agenda Item 12.**

**December 9, 2021 Work Session – 5:30 pm (tentative)**

- Water Supply Planning

**December 9, 2021**

- Public Hearing – 2022 Proposed Budget and Property Tax Levy
- 2022 Full-time, Part-time, and Seasonal Wage Schedule
- 2022 General Fund Budget and Property Tax Levy
- 2022 Fee Schedule
- 2022 Water and Sanitary Sewer Budget
- Memorandum of Understanding – Union Wages
- Tort Liability Waiver
- Watershed Update – Ken Guenther, Kris Guentzel (presentation section)
- Job Description Update; Hiring process
- Phone System Proposal

**December 22, 2021 (Wednesday)**

- Active Corcoran Planning Applications
- Financial Performance Report
- Purchase Agreement Extension – St. Therese (expires 1/7/2022)
- Zoning Amendment for Assembly Uses
- Magnan Acres Preliminary Plat
- Zewde Wetland Waiver
- 2021 Year in Review
- Active Corcoran Planning Applications
- 2022 Goal Setting Date