



CITY OF CORCORAN  
Corcoran City Council Agenda  
August 26, 2021 - 7:00pm

**HYBRID MEETING OPTION AVAILABLE**

*The public is invited to attend the regular Council meetings at City Hall.*

**Meeting Via Telephone/Other Electronic Means**

**Call-in Instructions:**

+1 312 626 6799 US

**Enter Meeting ID: 882 0052 2104**

Press \*9 to speak during the Public Comment Sections in the meeting.

**Video Link and Instructions:**

<https://us02web.zoom.us/j/88200522104>

visit <http://www.zoom.us> and enter

**Meeting ID: 882 0052 2104**

Participants can utilize the Raise Hand function to be recognized to speak during the Public Comment sections in the meeting. Participant video feeds will be muted. **In-person comments will be received first, with the hybrid electronic means option following.**

For more information on options to provide public comment visit:

[www.corcoranmn.gov](http://www.corcoranmn.gov)

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Commission Representatives\***
5. **Open Forum – Public Comment Opportunity**
6. **Presentations/Recognitions**
7. **Consent Agenda**
  - a. Draft Minutes of August 12, 2021 Work Session\*
  - b. Draft Minutes of August 12, 2021 Council Meeting\*
  - c. Financial Claims\*
  - d. Recreational Vehicle Ordinance\*
  - e. CSAH 101 & Future 105<sup>th</sup> Avenue Turn Lane Improvements - Award Bid\*
  - f. Final Plat for “Gordon’s Country Estates First Addition” at 19701 Jackie Lane and 19717 Jackie Lane\*
  - g. Amendment to Section 1030.020 of the Zoning Ordinance Regarding Accessory Structures\*
  - h. Conditional Use Permit for Dave Dornsbach at 6805 Rolling Hills Road\*
  - i. Temporary Liquor License NW Area Jaycees Octoberfest
8. **Planning Business – Public Comment Opportunity**
  - a. Rezoning, Site Plan, Conditional Use Permit, Preliminary Plat and Variance for Garages Too at 2240 State Hwy. 55 and 6315 Horseshoe Bend Drive\*
  - b. Sketch Plan at 23185 County Road 10\*
  - c. Sign Ordinance Update – Campaign Signs\*
9. **Unfinished Business – Public Comment Opportunity**
  - a. Corcoran Trail Street Improvements – Award Bid\*
10. **New Business – Public Comment Opportunity**
  - a. City Council Appointment\*
11. **Staff Reports**
  - a. Active Corcoran Planning Applications\*
12. **2021 City Council Schedule\***
13. **Adjournment**

*\*Includes Materials - Materials relating to these agenda items can be found in the Council Chambers Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at [www.corcoranmn.gov](http://www.corcoranmn.gov).*



# CITY OF CORCORAN

## MISSION

*THE CITY OF CORCORAN WILL PROVIDE HIGH-QUALITY PUBLIC SERVICES IN A COST-EFFECTIVE, RESPONSIBLE, AND PROFESSIONAL MANNER IN ORDER TO CREATE A PREFERRED ENVIRONMENT TO LIVE, WORK, PLAY, AND CONDUCT BUSINESS.*

## VISION

*THE CITY OF CORCORAN WILL BECOME A VIBRANT, CONNECTED COMMUNITY WHILE PRESERVING ITS NATURAL CHARACTER AND AGRICULTURAL ROOTS.*

## VALUES

*The following values are fundamental to the City of Corcoran's success and the fulfillment of our mission:*

***Honesty, Ethics, Integrity***

*We believe that honesty, ethics, and integrity are the foundation blocks of public trust and confidence.*

***Community Pride and Partnership***

*We believe in creating a strong sense of community through partnerships with civic organizations, school districts, and local businesses.*

***Efficient and Effective Service Delivery***

*We believe providing services to residents and businesses in an efficient and effective manner makes government easier to work with and creates a business friendly environment.*

***Community Safety***

*We will protect the community by maintaining or improving safety through police and fire protection and by investing and maintaining the infrastructure of the City.*

***Fiscal Responsibility***

*We believe that the prudent stewardship and opportunistic investment of public funds is essential for confidence in government and to position the City for future success.*

***Transparency***

*We believe that open, honest, and proactive communication is essential for an informed and involved citizenry. Processes and decision making should include opportunities to educate citizens and receive feedback.*

***Responsible Decision Making***

*We believe it is the responsibility of the City to address difficult issues now in order to avoid larger more difficult issues in the future.*

## CORE STRATEGIES

- *Enhance Corcoran's sense of place and identity.*
- *Provide diverse community amenities and recreational opportunities.*
- *Maintain excellence in safety and security for our community.*
- *Ensure high-quality, market-driven growth.*
- *Provide high-quality, innovative municipal services.*

ADOPTED MARCH 11, 2021



## STAFF REPORT

## Agenda Item 4.

<b>Council Meeting:</b> August 26, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> Commission Representatives	<b>Action Required:</b> None – Informational

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### Summary:

The advisory commission representatives for the August 26<sup>th</sup> Council meeting are as follows:

- Planning Commission: Dean Jacobs
- Parks and Trails Commission: John Dugan

### Financial/Budget:

N/A

### Council Action:

N/A

### Attachments:

N/A



# CITY OF CORCORAN

## PUBLIC COMMENT CARD

8200 County Road 116, Corcoran, MN 55340 763-420-2288 www.corcoranmn.gov

Date: \_\_\_/\_\_\_/\_\_\_ Open Forum: Yes or No

*If you are not speaking on an agenda item, you will speak at Open Forum*

Name of Speaker: GREG HOGLVND

*(PLEASE PRINT CLEARLY)*

Related to Agenda Item: Yes or No Agenda Item Number: \_\_\_\_\_

Representing: \_\_\_\_\_

Address: \_\_\_\_\_ Telephone (optional): \_\_\_\_\_

### Meeting Rules of Conduct:

- Fill out and turn in white comment card to a staff member.
- When called upon, approach podium and state name and address.
- Indicate if representing a group.
- Limit remarks to 5 minutes.

**Please note your public comment card will become part of the permanent record.**

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



CITY OF CORCORAN  
**City Council Work Session Minutes**  
**August 12, 2021 – 5:30 pm**

The Corcoran City Council met on August 12, 2021, in Corcoran, Minnesota. The City Council meeting was held in person and the public was present in person and remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee, Council Bottema, Councilor Nichols, and Councilor Schultz were present.

City Administrator Martens, Administrative Services Director Beise, Finance Manager Ung, and Director of Public Safety Gottschalk were present. Public Works Director Mattson was present through electronic means.

**1. Call to Order / Roll Call**

Mayor McKee called the work session to order at 5:30 pm.

**2. Draft 2022 Budget and Financial Management Plan**

City Administrator Martens outlined the 2022 Draft Budget and Financial Management Plan, levy and budget changes and noted Council direction to maintain current tax rate. City Administrator Martens reviewed the proposed water system expenditure, noting projected growth of 1,000 residential homes in existing developments. Council noted budget increase reflects inflation and general cost of services due to population growth. Council discussed city services and differences in property location for residents living on gravel roads versus paved roads and relief from higher taxes. Council reviewed tax rate reduction, staffing needs within departments, and maintaining the current tax rate or reducing. Council reviewed staffing needs and noted further review of the levy increase in relation to inflation and population growth to quantify increase in the levy. Council noted monetary advantage with growth in the City coinciding with a decrease in tax rate over time. Council and staff discussed the fee differences in sewer and water fees between SE Corcoran and NE Corcoran. Council and staff discussed long-term fleet equipment needs and phasing within the capital improvement plan, in-house staff transitioning from outsourced contractors, and water planning finance plan. Council and staff discussed commercial growth, projected residential growth, and debt and bond ratings.

**3. Unscheduled Items**

No unscheduled business was heard.

**4. Adjournment**

**MOTION:** made by Nichols, seconded by Schultz to adjourn.

Voting Aye: McKee, Bottema, Nichols, and Schultz

(Motion carried 4:0)

Meeting adjourned at 6:36 pm.

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Michelle Friedrich – Deputy Clerk



CITY OF CORCORAN

**City Council Meeting Minutes  
August 12, 2021 - 7:00 pm**

The Corcoran City Council met on August 12, 2021, in Corcoran, Minnesota. The City Council meeting was held in person and the public was present in person and remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee, Council Bottema, Councilor Nichols, and Councilor Schultz were present.

City Administrator Martens, Administrative Services Director Beise, Director of Public Safety Gottschalk, and City Planner Lindahl were present. Public Works Director Mattson was present through electronic means.

**1. Call to Order/Roll Call**

Mayor McKee called the meeting to order at 7:00 pm.

**2. Pledge of Allegiance**

Mayor McKee invited all in attendance to rise and join in the Pledge of Allegiance.

**3. Agenda Approval**

City Administrator Martens noted exhibits added to the Resolution in item 8b. City Administrator Martens reviewed the public comment process for persons present at the meeting, and persons attending through electronic means. City Administrator Martens noted the closed session is scheduled for 9:00 pm to accommodate City consultant schedule, with agenda amendment as necessary for closed session.

**MOTION:** made by Nichols, seconded by Schultz to approve the agenda as modified.

Voting Aye: McKee, Bottema, Nichols, and Schultz

(Motion carried 4:0)

**4. Commission Representatives**

Mayor McKee noted Planning Commissioner Wu was present via electronic means, and Parks and Trails Commissioner Strehler was present at the meeting. Mayor McKee invited Commissioners Wu and Strehler to speak on relevant agenda items.

**5. Open Forum (Public Comment Opportunity)**

Mayor McKee invited residents to communicate in-person or telephonically during the public comment opportunity. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the public comment opportunity.

**6. Presentations/Recognitions**

No presentations or recognitions were heard.

**7. Consent Agenda**

- a. Draft Minutes of July 22, 2021, Council Meeting
- b. Financial Claims
- c. Land Use Map Amendments and Amendments to the Southeast District Plan and Design Guidelines
- d. Southeast Corcoran 2020 Watermain Improvements – Pay Request 3 and Final

Council asked item 7c., be pulled for further discussion.

**MOTION:** made by Schultz, seconded by Nichols to approve consent agenda items 7a., 7b., and 7d., as presented.

Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

Council noted minor updates to land use maps and Southeast District Plan Design guidance, and suggested Planning Commission review and re-evaluation of low-density and high-density residential areas to a mixed residential category.

**MOTION:** made by Nichols, seconded by Schultz to approve consent agenda item 7c., as presented.  
Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

## **8. Planning Business (Public Comment Opportunity)**

Mayor McKee invited residents to communicate in-person or telephonically during the public comment opportunity. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer.

Michael Schommer, owner of the property of the Cook Lake Highlands project, supports the proposed development and noted property has been in his family since 1919. Mr. Schommer noted support of the development of Cook Lake Highlands, reviewed history of the sewer connection, and opined on Council in review of this type of development two years ago. Mr. Schommer opined on the benefits to Corcoran residents with the proposed development.

Mary Tucker, 7402 Fir Lane, was in favor of the revised development plan, noted Ms. Hustad's positive communication with residents, and supports the current plan and development as revised and presented.

Lynn Alberts, 7490 Fir Lane, noted concerns of the three acres located adjacent to development will be rezoned Commercial, lighting used within parking lot and Apple Pointe building and removal of trees to accommodate the villa units. Mr. Alberts opined on the differences from the original development previously proposed to the current revised development plan.

Steve Mueller, 7474 Fir Lane, noted loss of trees and concerns regarding villas, and does not support current proposal. Mr. Mueller opined on proposed development and restrictions within current zoning related to the proposed development. Mr. Mueller opined the memory care facility should be built in a commercial area of Corcoran not a mixed residential use area.

Lloyd Nelson, 19755 Schutte Farm Road, noted support of proposed development and opined the memory care facility is a more preferred development for an entrance into Corcoran rather than a row of townhomes.

### **a. Rezoning, Preliminary Plat, and Planned Unit Development Plan for "Cook Lake Highlands"**

City Planner Lindahl presented the report noting the new application presented includes changes to the original development based on neighborhood feedback and comments. City Planner Lindahl noted key changes include removal of apartment complex, additional landscape buffers, building restriction to single story villa homes, a 49-foot-high flat roof on Applewood Pointe with addition of kitchens to be considered individual housing units, and a dedication of Outlot C in the northwest corner of site as a public park per Parks and Trail Commission recommendation. City Planner Lindahl noted the vacant property to the west is zoned mixed residential and is not owned by the applicant. City Planner Lindahl reviewed changing the mixed residential zoning to commercial zoning would require a comprehensive plan amendment, and a 4/5 Council approval vote. City Planner Lindahl reviewed landscaping, park dedication items including proposed dedication of 8.36 acres on Outlot C, and options approving or denying the PUD. Council and staff discussed the trail connection with Maple Grove as another network of trails for residents to utilize. Council and staff reviewed the addition of kitchens in the memory care units and required density ranges. Council and staff discussed the Shoreland Overlay District and clarified the district is a state program and was established to protect streams and lakes in Minnesota, noting bodies of water that are regulated have changed over time. City Planner Lindahl noted Cook Highlands was not identified as shoreland in the 2030 Comprehensive Plan or City's ordinance defining shoreland; however, within the 2040 Comprehensive Plan, the parcel was identified as a protected waterway. Council and staff discussed the current PUD and aspects protecting the approved uses within the development and parcel. Council discussed park dedication,

watershed credits for upland area of parks, and dry wetland definitions. City Planner Lindahl clarified no trees are slated for removal in Outlot C. Council and staff reviewed high-quality natural resources, rare species, and traffic pattern studies and intersections located near or within the development.

Beth Hustad, Trek Development, thanked Council and stated appreciation for the community's input on the project. Ms. Hustad referenced a professional land planner was hired by the owner in 2009 and noted the history of the land planner's concept plan for the land referencing a consideration from Council at that time to guide the property mixed residential, with high-density and medium density recommendation. Ms. Hustad noted the current revisions to the development with exclusion of apartments, the intersection of Brockton Lane a costly expense, cooperation with the MET Council and City of Maple Grove in sharing in the intersection expense and noted potential density of the property with townhomes and apartments. Ms. Hustad discussed the shoreland district and noted the impervious issues existing on the site, the need for flexibility on building height, PUD comments are positive and, noted senior facilities have less traffic than an apartment complex would yield. Council and Ms. Hustad discussed appearance of buildings, and flexibility with details of architecture on commercial buildings. City Planner Lindahl noted the Resolution could include a condition specifying residential, architectural elements for the daycare building. Council reviewed trail access, creation of a secondary trail, snow storage options with elimination of one lot on cul-de-sac. City Planner Lindahl reviewed Resolution 2021-83 conditions regarding the loss of a single lot. Commissioner Wu reviewed Planning Commission's concerns of building height, impervious surfaces, and building type was not conducive to consistency with Corcoran's rural character. Council discussed original plan and revisions made in the current plan presented, referenced removal of 4-story apartment building, increase of tree preservation to 30 percent tree preservation, reviewed the current trail that was going to be eliminated remains off-road and extends into Maple Grove for an extended trail system for residents, and impervious surface decreased from 43 to 39 percent. Council noted with a townhouse-based model the impervious surface was estimated at 83 percent. Council discussed rezoning. Council discussed the uniqueness of the parcel and preservation of natural resources. Council noted the City has control over the PUD conditions in the case of future use of buildings. Council noted the current plan highlights a balanced development outcome for the parcel. Council and staff discussed building, parking lot lighting, and emergency low lighting on trail. City Planner Lindahl noted the Resolution could include a condition regarding direct-down lighting plan on trails. Council discussed monument signs and City Planner Lindahl noted monument sign location per City Code

**MOTION:** made by McKee, seconded by Nichols adopting Ordinance 2021-426 Amending Title X (Zoning Ordinance) of the City Code to Classify Certain Land Located at 19220 County Road 10 (PID 25-119-23-14-0003) (City File 21-028).

Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

**MOTION:** made by Bottema, seconded by Schultz approving Resolution 2021-83 Findings of Fact for Rezoning for 19220 County Road 10 (PID 25-119-23-14-0003) (City File 21-028).

Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

**MOTION:** made by Nichols, seconded by McKee approving Resolution 2021-84 Approving Preliminary Plat for "Cook Lake Highlands" at 19220 County Road 10 (PID 25-119-23-14-0003) (City File 21-028).

Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

**MOTION:** made by Bottema, seconded by Nichols approving Resolution 2021-85 Preliminary PUD Development Plan for "Cook Lake Highlands" for 19220 County Road 10 (PID 25-119-23-14-0003) (City File 21-028) with the following amendments:

- Addition of condition 15a. stating: The daycare building shall be revised to incorporate residential design elements consistent with these standards.



- Addition of condition 16a stating: Light fixture height shall be minimized where possible to reduce impacts on adjacent properties.
- Addition of condition 16b. stating: An updated lighting plan shall be submitted with the PUD final plan, including a footcandle map and final freestanding and building lighting plans.
- Addition of condition 16c. stating: The final lighting plan shall be subject to City approval with the PUD final plan.

Voting Aye: McKee, Bottema, and Nichols  
(Motion carried 3:1)

Nay: Schultz

## 11. Closed Session

a. Attorney-Client Privilege: Discuss Response to Action Filed by Housing First Minnesota  
Mayor McKee called a recess for closed session at 8:52 pm and stated,  
“Under the authority of Minn. Stat. § 13D.05 subd. 3(b) the City is permitted to close a meeting for attorney-client privilege to discuss pending litigation.

The city council is going into closed session for that purpose to discuss response to the action filed by Housing First Minnesota.”

Mayor McKee reconvened Council from closed session at 9:32 pm and stated,  
“In the closed session the city council discussed attorney client privilege items related to the action filed by Housing First Minnesota. Staff was provided direction.”  
Council requested item 10b. Night to United Resolution Accepting Donations be moved ahead of item 8b.

## 10. New Business (Public Comment Opportunity)

d. Night to Unite Resolution Accepting Donations

Recreation Coordinator Christensen Buck spoke on behalf of herself and Sergeant Ekenberg, and thanked Council for participating in the community event and noted 12 neighborhoods participated in the neighborhood parties. Recreation Coordinator Christensen Buck thanked contributors and businesses who donated to the event. Mayor McKee read a list of all sponsors and businesses who made donations to the event.

**MOTION:** made by Schultz, seconded by Bottema approving Resolution 2021-90 Recognizing the 2021 Night to Unite Event and Donations.

Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

## 8. Planning Business Continued

b. Public Hearing -- Cain Road Vacation

City Administrator Martens reviewed request to vacate the portion of the Cain Road right-of-way adjacent to 20700 70<sup>th</sup> Avenue North. City Administrator Martens reviewed the adjacent property and the existing access road crossing through the right-of-way on the southeast corner of the proposed vacation portion, that would become part of the Galbraith’s property if the vacation were approved. City Administrator Martens noted future encroachment for a future driveway to the adjacent property would be located directly east from cul-de-sac and realign access to the property.

Mayor McKee open the Public Hearing. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Hearing opportunity.

**MOTION:** made Nichols, seconded by Schultz to close the public hearing

Voting Aye: McKee, Bottema, Nichols, Schultz  
(Motion carried 4:0)

**MOTION:** made by Bottema, seconded by Schultz approving Resolution 2021-89 Vacation of the Northern Portion of the Cain Road Right-of-Way Adjacent to 20700 70<sup>th</sup> Avenue North and the Adjacent Drainage and Utility Easements Within the “Wagon Rest” Plat. (PID 27-119-23-44-0022) (City File 21-

022)

Council discussed allowing adjacent property opportunity to cover costs with re-platting the property to accommodate request by both property owners.

Michael Galbraith, 20700 70<sup>th</sup> Avenue North, spoke in support of Council approval of vacation as presented, and noted he and the adjacent neighbor could work out the access agreement, or adjacent neighbor has the option to construct a new driveway. Mr. Galbraith noted he would allow deeded access to adjacent neighbor with approval of vacation.

Council inquired if angled driveways are acceptable within current code. City Administrator Martens noted the access is moving at an angle through a City right-of-way, noting staff recommendation was to access the property east of cul-de-sac through the wooded area of property. Council asked what the benefit to the City is by requiring property owner to build driveway in this manner. Staff and Council discussed City driveway easements in place within City right-of-way. Council discussed tabling the item for landowners to review and come to an agreement regarding existing access. Council discussed if a carve out for an easement for the benefit of a private landowner is an acceptable action on a City-created easement, and if repealing part of the easement to accommodate a building is acceptable.

Voting Aye: McKee, Bottema, and Schultz

Nay: Nichols

(Motion carried 3:1)

c. Grading Request for Amberley/Bellwether

City Administrator Martens outlined the grading request for Amberley/Bellwether for site grading and trunk sewer installation in advance of final plat approval with contingencies of financial guarantees, watershed/wetland approvals, tree preservation plan, etc.

**MOTION:** made by Bottema, seconded by McKee approving stringent agreement contingent upon securing a financial guarantee, watershed and wetland approvals, trees preservation plan, any other applicable permits, approval of property owner, and pre-construction approval meeting.

Voting Aye: McKee, Bottema, and Schultz

Nay:

Abstain: Nichols

(Motion carried 3:0:1)

**9. Unfinished Business**

a. Improvement Hearing – City Center Drive and 79<sup>th</sup> Place Improvements Project

City Administrator Martens reviewed City Center Drive and 79<sup>th</sup> Place improvements, the feasibility study from the July 8 meeting, the proposed assessments for the four properties impacted, and the future application from St. Therese.

Mayor McKee opened the public hearing. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in public hearing.

**MOTION:** made by Schultz, seconded by Nichols to close the public hearing.

Voting Aye: McKee, Bottema, Nichols, and Schultz

(Motion carried 4:0)

Council discussed and agreed to defer assessment to sale of property on the two existing residential properties impacted and defer further action until an application is received from St. Therese.

b. Dust Control Billing

City Administrator Martens noted deferred Council discussion on dust control billing and public comment.

Dean Vehrenkamp, 9310 Bechtold Road, opined on benefits to residents of dust control, as well as the benefits to maintenance benefits by applying dust control to gravel road. Mr. Vehrenkamp does not benefit from and does not support dust control fees to residents, and opined maintenance of gravel roads are like maintenance of paved roads, and residents pay taxes for general road maintenance.

Council discussed dust control and the process of binding gravel to strengthen the road. Council and staff reviewed the current budget. Council discussed the maintenance aspect of all roads in Corcoran and including future dust control cost in road maintenance for the 2022 budget and invoicing the current dust control to residents in 2021.

**MOTION:** made by Schultz, seconded by McKee to invoice residents for dust control for 2021 costs and review dust control costs for the 2022 budget.

Voting Aye: McKee and Schultz  
(Motion carried 2:1:1)

Nay: Nichols

Abstain: Bottema

## 10. New Business (Public Comment Opportunity)

City Administrator Martens noted no in-person comments were received. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents to participated in the public comment opportunity.

### a. NTIA Broadband Partnership Grant Application

City Administrator Martens reviewed the opportunity to apply for a broadband partnership grant with Comcast, noting the \$6.7 million project will serve approximately 496 properties. City Administrator Martens outlined grant approval would allow the City \$5.7 million in Federal grants, with Comcast participation of \$1.5 million, with no cost contribution required by Corcoran. Council and staff discussed commitment with Comcast and resident options regarding cable availability. Council discussed partnering with a private entity for future services provided only through one private entity.

**MOTION:** made by Nichols, seconded by McKee to authorize city administrator to complete the NTIA Broadband Partnership Grant Application due August 17.

Council

Voting Aye: McKee, Nichols, and Schultz  
(Motion carried 3:1)

Nay: Bottema

### b. Request for Funds -- Cross

City Administrator Martens reviewed request for financial assistance by Cross Funds in the amount of \$84,000.

**MOTION:** made by Bottema to approve funds for financial assistance for Cross Funds.  
Motion fails for lack of second.

Council and staff discussed the specific rules regarding charitable giving by cities, noting specific funding like ARPA allows for charitable contributions.

### c. Open Book Meeting

Council noted Open Book Meetings and Council review of assessed values on properties, Council participation in review of assessed values of properties, and appeals process to Hennepin County. Council noted resident appealing to the assessor on property value and debated the conflict of interest with the assessor also setting the property valuation. Staff and Council reviewed the process of Local Board of Equalization, Open Book Meetings, Council review and participation with property owners disagreeing with property value. Item was removed from agenda until further Council action is requested.

### d. Work Session Schedule

City Administrator Martens reviewed the upcoming Council Work Session schedules and noted September 9 for budget review, and September 23 for fire service review. Mayor McKee called Work Session meetings on September 9 and September 23.

## 11. Staff Reports

a. Active Corcoran Planning Applications; Council received report.

## 12. 2021 City Council Schedule

Mayor McKee noted a busy upcoming Council schedule.

## 13. Adjournment

**MOTION:** made by Bottema, seconded by Schultz to adjourn.

Voting Aye: McKee, Bottema, Nichols, and Schultz  
(Motion carried 4:0)

Meeting adjourned at 10:40 pm.

**Agenda Item: 7c.**  
**Council Meeting Date: 8/26/2021**  
**Prepared By: Maggie Ung**

**FINANCIAL CLAIMS**

**CHECK RANGE**

Agenda Item: 7c.  
**Paid to**  
 SEE THE REGISTER FOR #500 CLAIMS

**FUND #500 ESCROW CLAIMS**

**Amount      Project name**

**Total**

\$0.00

**Total Fund #500 =**                    \$                    -  
 (See attached Payments Detail)

Agenda Item: 7c.

**ALL OTHER FINANCIAL CLAIMS**

\$ 449,824.64

(See attached Check Detail Register)

**Total Checks**                            \$    **449,824.64**

**Total of Auto Deductions**            \$    **104,883.91**

**TOTAL EXPENDITURES FOR APPROVAL**                    \$    **554,708.55**

**Auto Deductions / Electronic Fund Transfer / Other Disbursements**

Date	Paid to	Amount	
8/6/2021	RevTrak	\$ 1,035.51	Credit Card Fees
8/12/2021	ADP	\$ 58,705.94	Net Payroll
8/12/2021	ADP	\$ 23,868.48	Payroll taxes
8/16/2021	MN PERA	\$ 15,196.21	Pension Plan
7/27/2021	Affordable Display	\$ 151.88	Night to Unite Supplies
8/6/2021	Hennepin County	\$ 5,057.71	Night to Unite Event
8/10/2021	ZOOM	\$ 16.11	Zoom for Council Meetings
8/10/2021	ZOOM	\$ 69.88	Zoom for Council Meetings
8/10/2021	Assn of MN Emergency Mgrs	\$ 200.00	Police Dues and Membership Fee
8/11/2021	FLEETIO.COM	\$ 30.00	PD Software
8/11/2021	MNGFOA	\$ 70.00	Finance Membership Fee
8/13/2021	MNGFOA	\$ 230.00	MNGFOA Conference - Finance Training
8/16/2021	TARGET 00021931	\$ 79.47	Public Work Supplies
8/16/2021	CONSTRUCTION MIDWEST	\$ 114.30	Permit Training
8/18/2021	CONSTRUCTION MIDWEST	\$ 58.42	Permit Training
<b>Total</b>		<u>\$ 104,883.91</u>	

CITY OF CORCORAN

08/19/21 2:57 PM

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\*Check Detail Register©

August 2021

Check Amt Invoice Comment

10100 Farmers State Bank

Paid Chk# 031075	8/26/2021	<b>ACME TOOLS</b>			
E 100-43100-225	Landscape/Ditch Materials		\$31.90	9036260	STIHL SUMMER BAR OIL
	<b>Total ACME TOOLS</b>		\$31.90		

Paid Chk# 031076	8/26/2021	<b>AMAZON CAPITAL SERVICES</b>			
E 100-42100-210	Operating Supplies (GENERAL)		\$146.10	141W-WW4G-	PD SUPPLIES
E 100-42100-209	Police Reserves		\$43.12	141W-WW4G-	PD SUPPLIES
E 100-42100-210	Operating Supplies (GENERAL)		\$10.42	141W-WW4G-	PD SUPPLIES
E 202-42100-213	Police K9		\$72.28	166F-KWN4-1	PD TENNIS BALLS
E 100-42100-223	Building Repair Supplies		\$154.53	1DPK-4XCT-1	GARAGE DOOR REMOTE
E 100-42100-210	Operating Supplies (GENERAL)		\$59.36	1K3G-93TT-6G	PD HDMI CABLE
E 100-41941-210	Operating Supplies (GENERAL)		\$56.93	1WPG-G4YH-	BADGE HOLDERS
E 100-42100-210	Operating Supplies (GENERAL)		\$31.99	1XCK-4JCW-D	PD COMPUTER CABLES
E 100-42100-200	Office Supplies (GENERAL)		\$80.76	1Y7N-RJHT-J	PD SUPPLIES
E 100-42100-210	Operating Supplies (GENERAL)		\$80.76	1Y7N-RJHT-J	PD SUPPLIES
	<b>Total AMAZON CAPITAL SERVICES</b>		\$736.25		

Paid Chk# 031077	8/26/2021	<b>B&amp;B SHEET METAL &amp; ROOFING</b>			
E 100-41941-811	Storm Damage Insurance Refund		\$48,695.00	58651	Insurance Claim/Buildings
	<b>Total B&amp;B SHEET METAL &amp; ROOFING</b>		\$48,695.00		

Paid Chk# 031078	8/26/2021	<b>BEAUDRY OIL COMPANY</b>			
E 100-43100-212	Motor Fuels		\$934.40	1859452	GASOLINE
E 100-42100-212	Motor Fuels		\$1,880.63	1861193	SQUAD FUEL
	<b>Total BEAUDRY OIL COMPANY</b>		\$2,815.03		

Paid Chk# 031079	8/26/2021	<b>BENNETT, LEE</b>			
E 100-41910-431	Misc Expense		\$1,000.00		ESCROW REFUND GR19-008; 10208 HAGE DRIVE
	<b>Total BENNETT, LEE</b>		\$1,000.00		

Paid Chk# 031080	8/26/2021	<b>BERGAN KDV</b>			
E 100-41941-300	Professional Svcs (GENERAL)		\$1,875.00	1138077	ACCOUNTING OUTSOURCED SERVICES
	<b>Total BERGAN KDV</b>		\$1,875.00		

Paid Chk# 031081	8/26/2021	<b>BIFFS INC.</b>			
E 100-45200-210	Operating Supplies (GENERAL)		\$174.00	W826421	PORTER
E 100-45200-210	Operating Supplies (GENERAL)		\$76.50	W826422	PORTER
E 100-45200-210	Operating Supplies (GENERAL)		\$250.50	W826423	PORTER
E 100-45200-210	Operating Supplies (GENERAL)		\$76.50	W826424	PORTER
E 100-45200-210	Operating Supplies (GENERAL)		\$174.00	W826425	PORTER
	<b>Total BIFFS INC.</b>		\$751.50		

Paid Chk# 031082	8/26/2021	<b>BOBCAT OF BRAINERD</b>			
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$93.50	01-28632	DOOR GLASS M SERIES
	<b>Total BOBCAT OF BRAINERD</b>		\$93.50		

Paid Chk# 031083	8/26/2021	<b>BSN SPORTS</b>			
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E 100-45200-261	Recreation Programming		\$298.40	913258082	Little League
<b>Total BSN SPORTS</b>			\$298.40		
<hr/>					
Paid Chk# 031084	8/26/2021	<b>CENTERPOINT ENERGY HOUSTON</b>			
E 100-41941-380	Utility & Services (GENERAL)		\$21.03	5754177-3	NATURAL GAS
<b>Total CENTERPOINT ENERGY HOUSTON</b>			\$21.03		
<hr/>					
Paid Chk# 031085	8/26/2021	<b>COMCAST- 902943336</b>			
E 100-41941-321	Telephone		\$111.85		LAND LINE
E 100-42100-321	Telephone		\$111.86		LAND LINE
E 100-43100-321	Telephone		\$111.86		LAND LINE
<b>Total COMCAST- 902943336</b>			\$335.57		
<hr/>					
Paid Chk# 031086	8/26/2021	<b>COMCAST-INTERNET</b>			
E 100-41941-321	Telephone		\$144.17	08052021	INTERNET
E 100-42100-321	Telephone		\$144.18	08052021	PD INTERNET
<b>Total COMCAST-INTERNET</b>			\$288.35		
<hr/>					
Paid Chk# 031087	8/26/2021	<b>COMPUTER INTEGRATION TECH</b>			
E 100-41951-300	Professional Srvs (GENERAL)		\$1,453.50	313057	SERVICE SUPPORT
E 100-41951-300	Professional Srvs (GENERAL)		\$832.00	313549	OFFICE 365 GOVT FEE
E 100-41951-300	Professional Srvs (GENERAL)		\$595.00	313784	OFFICE 365 GOVT FEE
E 100-41951-300	Professional Srvs (GENERAL)		\$4,215.00	313995	OFFICE 365 GOVT FEE
<b>Total COMPUTER INTEGRATION TECH</b>			\$7,095.50		
<hr/>					
Paid Chk# 031088	8/26/2021	<b>CROW RIVER NEWS</b>			
E 100-41941-210	Operating Supplies (GENERAL)		\$55.95	CRW-110263	ANNUAL SUBSCRIPTION
<b>Total CROW RIVER NEWS</b>			\$55.95		
<hr/>					
Paid Chk# 031089	8/26/2021	<b>CULLIGAN BOTTLED WATER</b>			
E 100-41941-210	Operating Supplies (GENERAL)		\$106.05	10099705485-	OFFICE WATER
E 100-41941-210	Operating Supplies (GENERAL)		\$36.76	114X81575108	PD WATER COOLER
<b>Total CULLIGAN BOTTLED WATER</b>			\$142.81		
<hr/>					
Paid Chk# 031090	8/26/2021	<b>D.J.V. LABEL &amp; PACKAGING</b>			
E 201-42100-210	Operating Supplies (GENERAL)		\$666.00	66538	BADGE LABEL
<b>Total D.J.V. LABEL &amp; PACKAGING</b>			\$666.00		
<hr/>					
Paid Chk# 031091	8/26/2021	<b>DELTA DENTAL</b>			
E 100-41400-131	Employer Paid Health		\$101.35	CNS00007667	DENTAL INSURANCE
E 100-42100-131	Employer Paid Health		\$122.80	CNS00007667	DENTAL INSURANCE
E 100-42102-131	Employer Paid Health		\$101.35	CNS00007667	DENTAL INSURANCE
E 100-43100-131	Employer Paid Health		\$156.70	CNS00007667	DENTAL INSURANCE
G 100-20205	Reimbursements		\$63.00	CNS00007667	DENTAL INSURANCE - HAMILTON
E 100-45200-131	Employer Paid Health		\$30.70	CNS00007667	DENTAL INSURANCE
E 100-41300-131	Employer Paid Health		\$30.70	CNS00007667	DENTAL INSURANCE
<b>Total DELTA DENTAL</b>			\$606.60		
<hr/>					
Paid Chk# 031092	8/26/2021	<b>ELECTRIC PUMP</b>			



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E 602-49450-400	Repairs & Maint Cont (GENERAL)		\$150.00	0071533-IN	LIFT REPAIR
	<b>Total ELECTRIC PUMP</b>		\$150.00		
<hr/>					
Paid Chk# 031093	8/26/2021	<b>EXPRESS FIRE PROTECTION</b>			
E 411-43100-520	Buildings and Structures		\$8,230.00	10313	FIRE PUMP CONTROLLER REPLACEMENT
	<b>Total EXPRESS FIRE PROTECTION</b>		\$8,230.00		
<hr/>					
Paid Chk# 031094	8/26/2021	<b>FERGUSON WATERWORKS</b>			
E 601-49400-215	Water Meters		\$513.24	0479494	WATER METERS
	<b>Total FERGUSON WATERWORKS</b>		\$513.24		
<hr/>					
Paid Chk# 031095	8/26/2021	<b>GOPHER STATE ONE CALL</b>			
E 601-49400-380	Utility & Services (GENERAL)		\$218.70	1070310	SERVICE
E 602-49450-380	Utility & Services (GENERAL)		\$218.70	1070310	SERVICE
	<b>Total GOPHER STATE ONE CALL</b>		\$437.40		
<hr/>					
Paid Chk# 031096	8/26/2021	<b>GOTTSCHALK, MATT</b>			
G 100-21709	Dependent Care FSA Withhold		\$2,100.00	081321	FSA DEPENDENT CARE
	<b>Total GOTTSCHALK, MATT</b>		\$2,100.00		
<hr/>					
Paid Chk# 031097	8/26/2021	<b>GRAINGER</b>			
E 100-43100-210	Operating Supplies (GENERAL)		\$64.28	9013440665	EAR PLUGS
	<b>Total GRAINGER</b>		\$64.28		
<hr/>					
Paid Chk# 031098	8/26/2021	<b>GREGORY, ERIC</b>			
E 100-43100-417	Uniforms		\$220.99	080921	BOOT ALLOWANCE
	<b>Total GREGORY, ERIC</b>		\$220.99		
<hr/>					
Paid Chk# 031099	8/26/2021	<b>HENN CO SHERIFF-MC131</b>			
E 100-42100-301	Prisoner		\$75.00	1000169457	PD Booking
	<b>Total HENN CO SHERIFF-MC131</b>		\$75.00		
<hr/>					
Paid Chk# 031100	8/26/2021	<b>HENNEPIN COUNTY AR</b>			
E 100-41910-210	Operating Supplies (GENERAL)		\$5.00	1000170023	RECORDED DOCUMENTS
	<b>Total HENNEPIN COUNTY AR</b>		\$5.00		
<hr/>					
Paid Chk# 031101	8/26/2021	<b>HENNEPIN COUNTY ASSESSOR</b>			
E 100-41550-300	Professional Srvs (GENERAL)		\$94,000.00	1000169411	ASSESSMENT FEES
	<b>Total HENNEPIN COUNTY ASSESSOR</b>		\$94,000.00		
<hr/>					
Paid Chk# 031102	8/26/2021	<b>HENNEPIN COUNTY INFO TECH</b>			
E 100-42100-323	Radio Units		\$1,446.73	1000169479	PD RADIO FEE
E 100-43100-210	Operating Supplies (GENERAL)		\$220.95	1000169546	RADIO FEE
	<b>Total HENNEPIN COUNTY INFO TECH</b>		\$1,667.68		
<hr/>					
Paid Chk# 031103	8/26/2021	<b>HOLIDAY COMPANIES</b>			
E 100-42100-212	Motor Fuels		\$60.00		HOLIDAY CARD 1400-003-788-415
	<b>Total HOLIDAY COMPANIES</b>		\$60.00		

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<b>Paid Chk# 031104 8/26/2021 INTEGRATED PROTECTION SYSTEMS</b>				
E 100-41951-530	Improvements Other Than Bldgs	\$775.00	75821	PIPE WORK
<b>Total INTEGRATED PROTECTION SYSTEMS</b>		\$775.00		
<b>Paid Chk# 031105 8/26/2021 LANDFORM</b>				
G 500-20445	Ravinia 9th FP and PUD 17-042	\$35.50	31965	RAVINIA 9TH FP/FINAL PUD 17-042
G 500-20475	Lithgow Auto CUP/SP 19-013	\$71.00	31966	LITHGOW AUTO CUP 19-013
G 500-20458	Rush Creek Run FP 18-026	\$177.50	31967	RUSH CREEK RESERVE FP/ FPUD 20-030
G 500-20469	Rav 11-13 18-040, 19-002 & 012	\$26.25	31967	RAVINIA 15TH FP/PUD AMEND AND FINAL PUD 20-033
G 500-20332	Lennar Tavera Development	\$700.75	31967	TAVERA FP AND FPUD 20-042
G 500-20459	Refuge of Rush Creek FP 18-028	\$142.00	31988	REFUGE RUSH CREEK VACATION 21-005
E 100-41910-300	Professional Svcs (GENERAL)	\$1,037.50	31988	RESIDENTIAL ORDINANCE AMENDMENT 21-011
G 500-20227	D&D Service CUP SP VAR 21-012	\$316.50	31988	D&D SERVICE CUP SP AND VAR 21-012
G 500-20353	Westside Tire	\$71.00	31988	ZONING ORDINANCE AMENDMENT-WESTSIDE
G 500-20228	Garages RZ, VAR, SP/CUP 21-016	\$3,593.50	31988	GARAGES RZ, VAR, SP & CUP 21-016
G 500-20436	Pulte Encore - PUD Skch 17-029	\$1,420.00	31988	AMBERLEY AND BELLWETHER RZ PP PUD 21-017
E 100-41910-300	Professional Svcs (GENERAL)	\$213.00	31988	ZONING AND LAND USE MAP UPDATE 21-020
G 500-20221	Franzen Minor Subd #20-049	\$816.50	31988	FRANZEN FINAL PLAT 21-021
G 500-20362	Cain Road	\$35.50	31988	CAIN ROAD VACATION 21-022
G 500-20332	Lennar Tavera Development	\$1,239.50	31988	TAVERA PUD AMENDMENT 21-023
G 500-20356	Magnan Dev Rights	\$35.50	31988	MAGNAN DEV APPEAL 21-024
G 500-20357	Gordon Country Estates	\$1,035.00	31988	GORDONS COUNTRY ESTATES PP VAR VAC 21-025
G 500-20490	Cook Lake - Schommer	\$1,423.50	31988	COOK LAKE HIGHLANDS 21-028
E 100-41910-300	Professional Svcs (GENERAL)	\$52.50	31988	ACCESSORY BUILDING AMENDMENT
G 500-20361	Bechtold Farm	\$3,455.00	31988	BECHTOLD FARM PP 21-030
E 100-41910-300	Professional Svcs (GENERAL)	\$1,458.50	31988	NUISSANCE ORDINANCE UPDATES 20-032
G 500-20484	Kariniemi WCA	\$210.00	31988	KARINIEMI ROEHLKE SKETCH 20-033
E 100-41910-300	Professional Svcs (GENERAL)	\$35.50	31988	ZONING AMENDMENT FOR ASSEMBLY USES 21-034
E 100-42400-300	Professional Svcs (GENERAL)	\$517.25	31988	TMOBILE ANTENNA ADMIN PERMIT 21-035
G 500-20332	Lennar Tavera Development	\$71.00	31988	TAVERA 2ND ADD FP AND FPUD 21-036
G 500-20436	Pulte Encore - PUD Skch 17-029	\$142.00	31988	AMBERLEY & BELLWETHER 6TH FP AND FPUD
E 100-41910-300	Professional Svcs (GENERAL)	\$3,372.50	31988	CITY BUSINESS
E 100-41920-300	Professional Svcs (GENERAL)	\$1,848.00	31988	CODE ENFORCEMENT
E 100-41910-300	Professional Svcs (GENERAL)	\$200.00	31988	CITY MEETINGS
<b>Total LANDFORM</b>		\$23,752.25		
<b>Paid Chk# 031106 8/26/2021 LEAGUE OF MN CITIES INSUR.TRST</b>				
E 100-42100-364	Workers Comp Insurance	\$500.00	1001014	CLAIM 00101737
E 100-43100-364	Workers Comp Insurance	\$500.00	1001014	CLAIM 00460338
E 100-43100-364	Workers Comp Insurance	\$73.10	1001014	CLAIM 00459809
<b>Total LEAGUE OF MN CITIES INSUR.TRST</b>		\$1,073.10		
<b>Paid Chk# 031107 8/26/2021 LENNEMANN, COLE</b>				
E 100-43100-210	Operating Supplies (GENERAL)	\$211.52	081221	3M FULL FACE MASK
<b>Total LENNEMANN, COLE</b>		\$211.52		
<b>Paid Chk# 031108 8/26/2021 MAPLE GROVE, CITY OF</b>				
E 601-49400-310	Other Professional Services	\$62,098.72	21021	APRIL, MAY, JUNE WATER USAGE

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<b>Total MAPLE GROVE, CITY OF</b>		\$62,098.72		
Paid Chk#	031109	8/26/2021	<b>MARIE RIDGEWAY LICSW, LLC</b>	
E 100-41941-300	Professional Svcs (GENERAL)	\$220.00	1385	PD HEALTH CHECK-IN
<b>Total MARIE RIDGEWAY LICSW, LLC</b>		\$220.00		
Paid Chk#	031110	8/26/2021	<b>MCDONOUGH, MARK</b>	
E 202-42100-213	Police K9	\$5,000.00	21-019	PATROL & NARCOTIC TRAINING
<b>Total MCDONOUGH, MARK</b>		\$5,000.00		
Paid Chk#	031111	8/26/2021	<b>MENARDS MAPLE GROVE</b>	
E 100-43100-223	Building Repair Supplies	\$78.74	49	TOILET BOLTSET/WAX RING
<b>Total MENARDS MAPLE GROVE</b>		\$78.74		
Paid Chk#	031112	8/26/2021	<b>METRO SALES INC</b>	
E 100-41951-210	Operating Supplies (GENERAL)	\$2,290.00	INV1858734	COPIER CONTRACT
E 100-41130-351	Newsletter Expenses	\$950.70	INV1858734	COPIER CONTRACT
<b>Total METRO SALES INC</b>		\$3,240.70		
Paid Chk#	031113	8/26/2021	<b>MILLER CHEVROLET</b>	
E 100-43100-220	Repair/Maint Supply (GENERAL)	\$38.46	171286	FILTER
<b>Total MILLER CHEVROLET</b>		\$38.46		
Paid Chk#	031114	8/26/2021	<b>MINNESOTA DEPT OF HEALTH</b>	
E 601-49400-300	Professional Svcs (GENERAL)	\$1,630.53	1270075-Q3	WATER CONNECTION FEE
<b>Total MINNESOTA DEPT OF HEALTH</b>		\$1,630.53		
Paid Chk#	031115	8/26/2021	<b>MINNESOTA OCCUPATIONAL HEALTH</b>	
E 100-42100-300	Professional Svcs (GENERAL)	\$1,173.00	374045	SERVICE
<b>otal MINNESOTA OCCUPATIONAL HEALTH</b>		\$1,173.00		
Paid Chk#	031116	8/26/2021	<b>MN BCA</b>	
E 100-42100-300	Professional Svcs (GENERAL)	\$64.00		BACKGROUND CHECK
<b>Total MN BCA</b>		\$64.00		
Paid Chk#	031117	8/26/2021	<b>MN CHIEFS OF POLICE ASSOC</b>	
E 100-42100-210	Operating Supplies (GENERAL)	\$114.00	12080	PERMITS TO ACQUIRE HANDGUN
<b>Total MN CHIEFS OF POLICE ASSOC</b>		\$114.00		
Paid Chk#	031118	8/26/2021	<b>MN DEPARTMENT OF PUBLIC SAFETY</b>	
E 100-42100-212	Motor Fuels	\$295.25	00-030031774	2018 FORD XPL REGISTRATION
<b>otal MN DEPARTMENT OF PUBLIC SAFETY</b>		\$295.25		
Paid Chk#	031119	8/26/2021	<b>MN HIGHWAY SAFETY &amp; RESEARCH</b>	
E 100-42100-208	Training and Instruction	\$455.00	629430-8751	PD CLASS FEE
<b>Total MN HIGHWAY SAFETY &amp; RESEARCH</b>		\$455.00		
Paid Chk#	031120	8/26/2021	<b>MOTLEY AUTO SERVICE</b>	
E 100-42100-220	Repair/Maint Supply (GENERAL)	\$1,293.00	6065	PD VEHICLE MAINTENANCE

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<b>Total MOTLEY AUTO SERVICE</b>			\$1,293.00		
Paid Chk#	8/26/2021	<b>NAPA AUTO PARTS - CORCORAN</b>			
E 100-42100-220	Repair/Maint Supply (GENERAL)		\$31.18	366719	PD Trailer Ball
<b>Total NAPA AUTO PARTS - CORCORAN</b>			\$31.18		
Paid Chk#	8/26/2021	<b>NAPA AUTO PARTS - CORCORAN</b>			
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$50.09	363563	DISC PAD
E 100-43100-220	Repair/Maint Supply (GENERAL)		\$20.79	363563	BRG PROT
<b>Total NAPA AUTO PARTS - CORCORAN</b>			\$70.88		
Paid Chk#	8/26/2021	<b>NEXTERA</b>			
E 100-43100-321	Telephone		\$3,202.27	105247	12 MONTH INTERNET SERVICE
<b>Total NEXTERA</b>			\$3,202.27		
Paid Chk#	8/26/2021	<b>NORTHLAND SECURITIES INC</b>			
E 100-41900-300	Professional Svcs (GENERAL)		\$1,890.00	6735	FINANCIAL MGMT PLAN
<b>Total NORTHLAND SECURITIES INC</b>			\$1,890.00		
Paid Chk#	8/26/2021	<b>OFFICE DEPOT</b>			
E 100-41941-210	Operating Supplies (GENERAL)		\$50.91	184255839002	OFFICE SUPPLIES
<b>Total OFFICE DEPOT</b>			\$50.91		
Paid Chk#	8/26/2021	<b>PATNODE ELECTRIC</b>			
E 416-42100-210	Operating Supplies (GENERAL)		\$425.00	2573	RECEPTACLES
<b>Total PATNODE ELECTRIC</b>			\$425.00		
Paid Chk#	8/26/2021	<b>PEARSON BROS., INC.</b>			
E 100-43100-222	Seal Coating		\$34,402.50	5391	PARKING LOT SEAL COAT/BITUMINOUS MATERIAL
<b>Total PEARSON BROS., INC.</b>			\$34,402.50		
Paid Chk#	8/26/2021	<b>ROGERS FIRE DEPARTMENT</b>			
E 100-42200-300	Professional Svcs (GENERAL)		\$34,693.51	0034282	3RD Qtr 2021 Fire Protection
<b>Total ROGERS FIRE DEPARTMENT</b>			\$34,693.51		
Paid Chk#	8/26/2021	<b>SYMBOL ARTS</b>			
E 100-42100-417	Uniforms		\$497.50	0393858	STATE SEAL
<b>Total SYMBOL ARTS</b>			\$497.50		
Paid Chk#	8/26/2021	<b>TRANSUNION RISK &amp; ALTERNATIVE</b>			
E 100-42100-218	Investigations		\$75.00	202107-1	PD INVESTIGATIONS
<b>Total TRANSUNION RISK &amp; ALTERNATIVE</b>			\$75.00		
Paid Chk#	8/26/2021	<b>TRUAX PATIENT SERVICES</b>			
E 100-42100-210	Operating Supplies (GENERAL)		\$525.00	2339	Narcam Nasal Spray PD Supplies
<b>Total TRUAX PATIENT SERVICES</b>			\$525.00		
Paid Chk#	8/26/2021	<b>WENCK ASSOCIATES, INC.</b>			
G 500-20335	Lennar Eng Plan Review/Modific		\$8,160.39	1817799	LENNAR DEVELOPMENT

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E 419-43100-303	Engineering Fees	\$466.00	1817800	HACKAMORE ROAD IMPROVEMENT
E 427-43100-530	Improvements Other Than Bldgs	\$732.50	1817801	WETLANDS
E 427-43100-530	Improvements Other Than Bldgs	\$1,277.16	1817801	SURVEYING
E 427-43100-530	Improvements Other Than Bldgs	\$130.00	1817801	DESIGN
E 427-43100-530	Improvements Other Than Bldgs	\$2,739.40	1817801	CONSTRUCTION
G 500-20438	Bass Lk CR M/I HomeEngineering	\$784.16	1817803	BASS LAKE CROSSING
G 500-20423	Bass Lake Est Skch PUD 17-015	\$466.82	1817803	BASS LAKE ESTATES
G 500-20423	Bass Lake Est Skch PUD 17-015	\$47.12	1817803	COLD STORAGE CROSSINGS
G 500-20459	Refuge of Rush Creek FP 18-028	\$162.00	1817803	REFUGE AT RUSH CREEK WETLAND BANK
G 500-20477	Scherber CR30 WCA LGU	\$93.00	1817803	SCHERBER HWY 55
G 500-20221	Franzen Minor Subd #20-049	\$486.00	1817803	FRANZEN PRELIMINARY PLAT
G 500-20227	D&D Service CUP SP VAR 21-012	\$2,891.50	1817803	D&D
G 500-20497	Kariniemi PP 20-016	\$1,165.18	1817803	KARINEIMI ROLLING HILLS
G 500-20361	Bechtold Farm	\$2,072.75	1817803	BECHTOLD FARM DEVELOPMENT
G 500-20353	Westside Tire	\$422.50	1817803	WESTSIDE ESCROW
G 500-20357	Gordon Country Estates	\$108.00	1817803	GORDON ESTATE ESCROW
G 500-20436	Pulte Encore - PUD Skch 17-029	\$9,286.27	1817804	PULTE DEVELOPMENT INFRASTRUCTURE
E 601-49400-303	Engineering Fees	\$165.50	1817805	2020 SE CORCORAN TRUNK WATERMAIN
E 100-43170-300	Professional Svcs (GENERAL)	\$1,714.00	1817806	DOWNTOWN RETROFIT
E 100-43170-299	Watershed LGU	\$1,462.50	1817807	RESIDENT ITEMS
E 100-43170-299	Watershed LGU	\$742.50	1817807	ERNIE MAYER VIOLATION
G 500-20200	Accounts Payable	\$420.00	1817807	19701 JACKIE LANE
G 500-20200	Accounts Payable	\$270.00	1817807	20240 HACKAMORE ROAD
G 500-20200	Accounts Payable	\$171.50	1817807	EBERT BECHTOLD ROAD
G 500-20200	Accounts Payable	\$630.00	1817807	6330 SNYDER ROAD
G 500-20200	Accounts Payable	\$817.50	1817807	WAWRA
G 500-20200	Accounts Payable	\$135.00	1817807	66TH/GLEASON
G 500-20200	Accounts Payable	\$630.00	1817807	BECHTOLD ROAD (SKIES LIMIT)
G 500-20200	Accounts Payable	\$403.00	1817807	SCHERBER PROPERTY
G 500-20436	Pulte Encore - PUD Skch 17-029	\$60.00	1817807	VAN BLAIRICOM
G 500-20214	M/I Homes WCA	\$20.16	1817807	M/I HOMES
G 500-20488	Rush Creek Reserve	\$622.50	1817807	RUSH CREEK WETLAND BANK
G 500-20232	Franzen Wetland Delineation	\$210.00	1817807	FRANZEN WETLAND DELINEATION
E 602-49450-303	Engineering Fees	\$325.00	1817808	MASTER PLAN ENGINEERING
G 500-20471	St. Therese Sketch Plan 19-006	\$394.50	1817809	ST THERESE
G 500-20490	Cook Lake - Schommer	\$1,581.25	1817810	COOK LAKE
G 500-20332	Lennar Tavera Development	\$4,700.25	1817811	TAVERA_LENNAR
G 500-20482	Nelson Sketch Plan 19-023	\$556.75	1817812	NELSON TRUCKING
E 100-42400-303	Engineering Fees	\$24.50	1817813	BASS LAKE CROSSING BUILDING PERMIT SURV REVIEW
E 601-49400-234	Inspections	\$175.50	1817813	PULTE UTILITY CONNNECTION
E 602-49450-234	Inspections	\$175.50	1817813	PULTE UTILITY CONNECTION
E 100-42400-303	Engineering Fees	\$612.50	1817813	PULTE BUILDING PERMIT SURVEY REVIEW
E 601-49400-234	Inspections	\$249.00	1817813	RAVINIA UTILITY CONNECTION
E 602-49450-234	Inspections	\$249.00	1817813	RAVINIA UTILITY CONNECTION
E 100-42400-303	Engineering Fees	\$245.00	1817813	RAVINIA BUILDING PERMIT SURVEY REVIEW
E 601-49400-234	Inspections	\$34.50	1817813	BASS LAKE CROSSING UTILITY CONNECTION
E 602-49450-234	Inspections	\$34.50	1817813	BASS LAKE CROSSING UTILITY CONNECTION

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E 100-42400-303	Engineering Fees	\$224.00	1817813	BUILDING PERMIT UTILITY CONNECTION
E 601-49400-234	Inspections	\$12.25	1817813	BUILDING PERMIT GRADING INSPECTION
E 602-49450-234	Inspections	\$12.25	1817813	BUILDING PERMIT GRADING INSPECTION
G 500-20488	Rush Creek Reserve	\$3,571.68	1817814	RUSH CREEK RESERVES
G 500-20482	Nelson Sketch Plan 19-023	\$10,631.50	1817815	NELSON TRUCKING CSAH 101 TURN LANES
E 100-43170-300	Professional Srvs (GENERAL)	\$840.50	1817817	GENERAL ENGINEERING SERVICES
G 500-20204	Appaloosa Woods Feasibility	\$1,576.50	1817817	APPALOOSA WOODS ENGINEER'S REPORT
E 100-43170-300	Professional Srvs (GENERAL)	\$3,227.00	1817819	CITY CENTER DRIVE FEASIBILITY STUDY
G 500-20488	Rush Creek Reserve	\$3,239.00	1817820	RUSH CREEK TURN LANES
E 100-43170-300	Professional Srvs (GENERAL)	\$580.50	1817822	BRIDGE REPLACEMENT DESIGN
E 429-43170-300	Professional Srvs (GENERAL)	\$20,121.75	1817823	CORCORAN TRAIL IMPROVEMENTS
G 500-20471	St. Therese Sketch Plan 19-006	\$973.00	1817824	ST THERESE ENGINEERING ASSISTANCE
<b>Total WENCK ASSOCIATES, INC.</b>		<b>\$94,332.59</b>		

Paid Chk# 031133 8/26/2021 WESTSIDE WHOLESAL TIRE

E 100-43100-220	Repair/Maint Supply (GENERAL)	\$39.24	887895	TIRES
<b>Total WESTSIDE WHOLESAL TIRE</b>		<b>\$39.24</b>		

Paid Chk# 031134 8/26/2021 WRIGHT HENNEPIN COOP ELECT

G 500-20390	Ravinia Street Lights	\$15.10	081121	Bridle/Gleason: 150-1690-5131
G 500-20390	Ravinia Street Lights	\$15.72	081121	Bridle/Paddock: 150-1690-5135
G 500-20390	Ravinia Street Lights	\$15.10	081121	Paddock Ln 150-1690-5137
G 500-20390	Ravinia Street Lights	\$15.72	081121	Bridle Path: 150-1690-5146
G 500-20390	Ravinia Street Lights	\$15.72	081121	Paddock/Bridle: 150-1690-5158
G 500-20390	Ravinia Street Lights	\$15.72	081121	6471 Carriage: 150-1691-0155
G 500-20390	Ravinia Street Lights	\$15.72	081121	Bridle/Steeple: 150-1691-0158
G 500-20390	Ravinia Street Lights	\$15.72	081121	Bridle/Bluestem: 150-1691-0168
G 500-20390	Ravinia Street Lights	\$15.72	081121	Prairie/Bridle: 150-1691-0174
G 500-20390	Ravinia Street Lights	\$15.72	081121	Bridle Path: 150-1691-0177
G 500-20390	Ravinia Street Lights	\$15.72	081121	Elderberry Ct: 150-1691-0178
G 500-20390	Ravinia Street Lights	\$15.10	081121	19301 Annabelle: 150-1691-8063
G 500-20390	Ravinia Street Lights	\$15.10	081121	6675 Carriage: 150-1691-8064
G 500-20390	Ravinia Street Lights	\$15.10	081121	6681 Bridle: 150-1691-8066
G 500-20390	Ravinia Street Lights	\$15.10	081121	6657 Bridle: 150-1691-8079
G 500-20390	Ravinia Street Lights	\$15.10	081121	19130 Galloway: 150-1691-8080
G 500-20390	Ravinia Street Lights	\$15.10	081121	19065 Galloway: 150-1691-8082
G 500-20390	Ravinia Street Lights	\$30.82	081121	6485 Larkspur: 150-1692-0907
G 500-20390	Ravinia Street Lights	\$15.10	081121	6398 Larkspur: 150-1692-0908
G 500-20390	Ravinia Street Lights	\$15.10	081121	66TH/CEDAR: 150-1692-8373
G 500-20390	Ravinia Street Lights	\$15.10	081121	Bridle/66th Ave: 150-1692-8374
G 500-20390	Ravinia Street Lights	\$15.10	081121	19437 Lupine LN: 150-1693-0197
G 500-20390	Ravinia Street Lights	\$15.10	081121	19389 Lupine LN: 150-1693-0199
G 500-20390	Ravinia Street Lights	\$15.10	081121	19345 Golden TR: 150-1693-0200
G 500-20390	Ravinia Street Lights	\$15.10	081121	6310 Steeple LN: 150-1693-0201
G 500-20390	Ravinia Street Lights	\$15.10	081121	6370 Steeple LN: 150-1693-0202
G 500-20390	Ravinia Street Lights	\$15.10	081121	19367 Annabelle: 150-1693-5724
G 500-20390	Ravinia Street Lights	\$15.10	081121	19343 Annabelle: 150-1693-5726
G 500-20390	Ravinia Street Lights	\$15.10	081121	19315 Primrose: 150-1693-5731



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G 500-20390 Ravinia Street Lights	\$15.10	081121	19399 Primrose: 150-1693-5732
G 500-20390 Ravinia Street Lights	\$15.10	081121	Primrose/Wildfl: 150-1693-5733
G 500-20390 Ravinia Street Lights	\$15.10	081121	Wildflo/Gleason: 150-1693-5734
G 500-20390 Ravinia Street Lights	\$15.10	081121	Gleason/Wildflo: 150-1693-5986
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN/75TH AVE: 150-1693-7072
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN N: 150-1693-7074
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN/74TH AVE: 150-1693-7075
G 500-20420 Bass Lake Cross MI Home 17-012	\$23.98	081121	FIR LN N/CR 10: 150-1693-7076
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	74TH AVE N: 150-1693-7077
G 500-20420 Bass Lake Cross MI Home 17-012	\$23.98	081121	FIR LN N/CR 10: 150-1694-0076
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN N: 150-1694-0078
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN N/LOT #8: 150-1694-0079
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN N/72ND N: 150-1694-0080
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	72ND AVE N: 150-1694-0081
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	FIR LN N/LOT #5: 150-1694-0082
G 500-20390 Ravinia Street Lights	\$15.10	081121	ANNABELLE LOT 5 150-1694-0821
G 500-20390 Ravinia Street Lights	\$15.10	081121	PRIMROSE COURT 150-1694-4502
G 500-20390 Ravinia Street Lights	\$15.10	081121	SUNFLOWER COURT 150-1694-4503
G 500-20390 Ravinia Street Lights	\$15.10	081121	WILDFLOWER TRL 150-1694-4505
G 500-20390 Ravinia Street Lights	\$15.10	081121	WILDFLOWER TRL 150-1694-4506
G 500-20420 Bass Lake Cross MI Home 17-012	\$18.58	081121	74TH PL & MAPLE 150-1694-6889
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	JACK PINE LN N 150-1694-6891
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	74TH AVE N 150-1694-6892
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	75TH AVE N 150-1694-6893
G 500-20420 Bass Lake Cross MI Home 17-012	\$15.10	081121	HICKORY LN N 150-1694-6894
G 500-20390 Ravinia Street Lights	\$15.10	081121	MEADOW RUE CT 150-1694-7911
G 500-20390 Ravinia Street Lights	\$15.10	081121	STEEPLE CHASE LN 150-1694-7917
G 500-20390 Ravinia Street Lights	\$15.10	081121	SNOWBERRY CT 150-1694-7918
G 500-20390 Ravinia Street Lights	\$15.10	081121	MEADOW RUE CT 150-1694-7919
G 500-20390 Ravinia Street Lights	\$15.10	081121	STEEPLE CHASE LN 150-1694-7920
G 500-20390 Ravinia Street Lights	\$0.00	081121	LARKSPUR LN/63RD 150-1694-9986
G 500-20390 Ravinia Street Lights	\$15.10	081121	63RD AVE N 150-1694-9987
E 100-43100-381 Street/Signal Lights	\$57.34	081121	CTY RD10/116 000-0100-1469
E 100-45200-380 Utility & Services (GENERAL)	\$69.39	081121	Ballpark: 120-1246-7200
E 100-42100-380 Utility & Services (GENERAL)	\$20.03	081121	CIVIL DEFENSE: 120-1246-8000
E 100-42100-380 Utility & Services (GENERAL)	\$20.14	081121	Maple Hill Est: 120-1246-8100
E 100-41941-380 Utility & Services (GENERAL)	\$31.11	081121	School Property: 120-1247-9600
E 100-41941-380 Utility & Services (GENERAL)	\$2,228.23	081121	8200 Cty Rd 116: 120-1255-6300
E 601-49400-380 Utility & Services (GENERAL)	\$41.38	081121	19090 Bass Lk Rd:150-1687-7510
E 100-43100-380 Utility & Services (GENERAL)	\$62.70	081121	9525 Cain Rd: 150-1689-5230
E 602-49450-380 Utility & Services (GENERAL)	\$314.79	081121	Brockton Ln: 150-1689-6871
E 602-49450-380 Utility & Services (GENERAL)	\$112.48	081121	20120 CTY 10 LIF:150-1691-6661
E 100-41941-380 Utility & Services (GENERAL)	\$155.42	081121	8200 CR116/SIGN: 150-1693-6612
E 100-45200-380 Utility & Services (GENERAL)	\$82.24	081121	BASEBALL FIELD: 150-1693-6855
G 500-20390 Ravinia Street Lights	\$42.26	081121	WILDFLOWER: 150-1694-4774
E 100-43100-381 Street/Signal Lights	\$9.83	081121	Cty 10/Maple Hi: 120-1246-7300
E 100-43100-381 Street/Signal Lights	\$18.58	081121	CTY 10/Treptaus: 120-1246-7400
E 100-43100-381 Street/Signal Lights	\$18.58	081121	CTY 10/St Thomas:120-1246-7500

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E 100-43100-381 Street/Signal Lights	\$21.17	081121	Cty 10/Stanchion:120-1246-7600
E 100-43100-381 Street/Signal Lights	\$21.17	081121	Co Rd 10 & 50: 120-1246-7700
E 100-45200-380 Utility & Services (GENERAL)	\$10.72	081121	8200 Cty Rd 116: 120-1246-7800
E 100-45200-380 Utility & Services (GENERAL)	\$9.83	081121	75th Ave/Hwy 116:120-1246-7900
E 100-41941-380 Utility & Services (GENERAL)	\$0.00	081121	8200 Cty Rd 116: 150-1684-2033
E 100-43100-380 Utility & Services (GENERAL)	\$27.95	081121	9100 Cty Rd 19: 150-1688-8463
E 100-42100-380 Utility & Services (GENERAL)	\$0.00	081121	6510 Cty Rd 116: 150-1680-4662
G 500-20390 Ravinia Street Lights	\$0.00	081121	6629 CTY 101: 150-1691-8062
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	102ND PL/103RD AVE 150-1694-7926
G 500-20200 Accounts Payable	\$15.10	081121	STIEG ROAD 150-1694-8543
G 500-20200 Accounts Payable	\$15.10	081121	STIEG ROAD 150-1694-8544
G 500-20200 Accounts Payable	\$15.10	081121	LARKSPUR LN/63RD 150-1694-9986
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	IRONWOOD LN 150-1695-5954
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	IRONWOOD LN/10ND PLACE 150-1695-5955
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	JACKPINE LN/IRONWOOD CT 150-1695-5957
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	102ND AVE 150-1695-5961
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	102ND AVE/JACKPIN LN: 150-1695-5963
G 500-20436 Pulte Encore - PUD Skch 17-029	\$15.10	081121	102ND AVE/JACKPIN LN: 1501695-5964
G 500-20390 Ravinia Street Lights	\$15.10	081121	COACH HOUSE LN 150-1695-6350
G 500-20390 Ravinia Street Lights	\$15.10	081121	COACH HOUSE LN/ANNABELLE 150-1695-6351
G 500-20390 Ravinia Street Lights	\$15.10	081121	ANNABELLE LN/BLACK OAK LN 150-1695-6352
G 500-20390 Ravinia Street Lights	\$15.10	081121	ANNABELLE CT 150-1695-6359
G 500-20390 Ravinia Street Lights	\$15.10	081121	COACH HOUSE LN LOT #1 150-1695-6365
G 500-20390 Ravinia Street Lights	\$15.10	081121	BLACK OAK CT 150-1695-6367
G 500-20390 Ravinia Street Lights	\$15.10	081121	BLACK OAK LN/BLACK OAK CT 150-1695-6371
G 500-20390 Ravinia Street Lights	\$15.10	081121	BLACK OAK LN 150-1695-7149
G 500-20390 Ravinia Street Lights	\$15.10	081121	GLEASON PARKWAY/BRIDLE 150-1695-8428
G 500-20390 Ravinia Street Lights	\$15.10	081121	BRIDLE PATH 150-1695-8431
G 500-20390 Ravinia Street Lights	\$15.10	081121	Prairie Sage LN 105-1695-8432
G 500-20390 Ravinia Street Lights	\$15.10	081121	Prairie Sage LN 150-1695-8435
G 500-20390 Ravinia Street Lights	\$15.10	081121	PAIRIRIE SAGE LN: 150-1695-8436
G 500-20390 Ravinia Street Lights	\$15.10	081121	PRAIRIE SAGE LN/BRIDLE PATH 150-1695-8438
G 500-20390 Ravinia Street Lights	\$15.10	081121	Gleason Pkwy 150-1695-9395
G 500-20390 Ravinia Street Lights	\$15.10	081121	GLEASON PKWY 150-1695-9396
G 500-20390 Ravinia Street Lights	\$15.10	081121	GLEASON PKWY 150-1695-9398
G 500-20436 Pulte Encore - PUD Skch 17-029	\$4.07	081121	10257 IRONWOOD LN 150-1696-6794
G 500-20436 Pulte Encore - PUD Skch 17-029	\$4.07	081121	IRONWOOD LN/103RD AVE 150-1696-6797
G 500-20436 Pulte Encore - PUD Skch 17-029	\$4.07	081121	19403 103RD AVE 150-1696-6799
G 500-20436 Pulte Encore - PUD Skch 17-029	\$4.07	081121	19367 103RD AVE 150-1696-6800
<b>Total WRIGHT HENNEPIN COOP ELECT</b>	<b>\$4,747.86</b>		

Paid Chk# 031135	8/26/2021	<b>XCEL ENERGY</b>		
E 100-43100-380	Utility & Services (GENERAL)	\$22.66	742684759	STREET LIGHTING
	<b>Total XCEL ENERGY</b>	\$22.66		

Paid Chk# 031136	8/26/2021	<b>XCEL ENERGY</b>		
E 601-49400-380	Utility & Services (GENERAL)	\$17.30	742100788	UTILITIES
E 100-43100-381	Street/Signal Lights	\$135.99	742416166	STREET LIGHTING

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<b>Total XCEL ENERGY</b>	\$153.29		
<b>Paid Chk# 031137 8/26/2021 ZEP SALES &amp; SERVICE</b>			
E 100-41941-210 Operating Supplies (GENERAL)	\$120.00	9006535576	SUPPLIES
<b>Total ZEP SALES &amp; SERVICE</b>	\$120.00		
<b>10100 Farmers State Bank</b>	\$449,824.64		

Fund Summary

<b>10100 Farmers State Bank</b>	
100 GENERAL FUND	\$269,023.65
201 RESERVES DONATION FUND	\$666.00
202 POLICE DONATION FUND	\$5,072.28
411 PUBLIC WORKS FACILITY	\$8,230.00
416 CAPITAL-EQUIPMENT CERTS	\$425.00
419 HACKAMORE UPGRADE (LENNAR)	\$466.00
427 GLEASON/66TH PARKWAY EXTENSION	\$4,879.06
429 CORCORAN TRAIL EAST/WEST	\$20,121.75
500 ESCROW HOLDING FUND	\$74,192.06
601 WATER	\$65,156.62
602 SEWER	\$1,592.22
	\$449,824.64

## STAFF REPORT

## Agenda Item 7d.

<b>Council Meeting:</b> August 26, 2021	<b>Prepared By:</b> Jessica Beise
<b>Topic:</b> Recreational Vehicle Ordinance	<b>Action Required:</b> Approval

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### **Summary:**

The City Council directed staff to review and update the City's recreational vehicle ordinance in 2020. Staff drafted an ordinance and presented a draft in May of 2021 to Council. Council provided minor changes and directed staff to proceed with preparing the ordinance adoption. Attached to this report is an amended ordinance and summary ordinance for approval.

### **Financial/Budget:**

Minimal costs exist with updating the ordinances.

### **Council Action:**

Adopt Ordinance 2021-429 and Summary Ordinance 2021-430.

### **Attachments:**

1. Ordinance 2021-429
2. Summary Ordinance 2021-430

## ORDINANCE NO. 2021-429

### AN ORDINANCE REGULATING RECREATIONAL VEHICLES

The Corcoran City Council ordains as follows:

#### 72.10: PURPOSE AND AUTHORITY.

- 1) The purpose of this article is to provide reasonable regulations for the use of recreational vehicles on public and private property in the city. This article is not intended to allow what the Minnesota state statutes expressly prohibit. It is intended to prevent public nuisance.
- 2) Section 84.87, Subdivision 3 of the Minnesota State Statutes states that a city, acting through its City Council, may regulate the operation of snowmobiles on public lands, waters, and property under the city's jurisdiction and on streets and highways within its boundaries by resolution or ordinance of the governing body and by giving appropriate notice, provided such regulations are not inconsistent with the provisions of sections 84.81 to 84.88 of the Minnesota State Statutes.
- 3) Section 84.928, Subdivision 6 of the Minnesota State Statutes states that a city, acting through its City Council, may regulate the operation of all-terrain vehicles on public lands, waters, and property under the city's jurisdiction and on streets and highways within its boundaries by resolution or ordinance of the governing body and by giving appropriate notice, provided such regulations are not inconsistent with the provisions of sections 84.92 to 84.928 and the rules adopted under section 84.924 of the Minnesota State Statutes.

#### 72.11: DEFINITIONS.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

**ALL-TERRAIN VEHICLE (ATV)** means a motorized flotation-tired vehicle of not less than three but not more than six low-pressure tires with a total dry weight of less than 2,000 pounds and a total width from outside of tire rim to outside of tire rim that is 65 inches or less. It includes Class 1 (width 50 inches or less) and Class 2 (width greater than 50 inches but not more than 65 inches) ATVs as per Minnesota State Statute.

**BOULEVARD** means that portion of the street or highway between the roadway and private property.

**DESIGNATED TRAIL** means a clearly marked route for recreational vehicles to follow.

**ESTABLISHED RIDING AREA** shall mean a trail, course, track, or area on a lot the surface of which has been altered due to or in contemplation of repetitive operation of recreational vehicles over the same.

## ORDINANCE NO. 2021-429

**GO-CART** means a low, four-wheeled motorized device with an open or closed frame designed and used for off-street operation only.

**GOLF-CART** means a passenger conveyance, electric or gasoline motor powered vehicle, with four low pressure tires and an engine displacement not exceeding 800 cubic centimeters and a total dry weight not exceeding 800 pounds.

**MINI-BIKE** means a small, two-wheeled motorized device designed for off-street operation. Mini-bikes may include miniature motorcycles and do not qualify as a moped, motorcycle or an ATV.

**OFF-HIGHWAY MOTORCYCLE (OHM)** means vehicles traveling on two wheels with a seat to be straddled by the operator with handlebars for steering control. OHMs may include some mini-bikes.

**OPERATE** means to ride in or on and control the operation of a recreational vehicle.

**OPERATOR** means every person who operates or is in actual physical control of a recreational vehicle.

**PUBLIC PROPERTY** means property that may be used by the public, subject to reasonable regulation by a governmental body. Such property includes city parks, city parking lots and public school parking lots and grounds.

**PUBLIC ROAD RIGHT-OF-WAY** means the entire right of way of a roadway that is controlled by a public entity, including the traveled portions, banks, ditches, shoulders, medians, and other adjacent areas dedicated for public use.

**RECREATIONAL VEHICLE** means all-terrain vehicles, utility task vehicles, golf carts, snowmobiles, off-highway motorcycles, mini-bikes, go-carts, and other motorized vehicles, that by their use fit this definition.

**ROADWAY** means that portion of a street or highway improved, designed or ordinarily used for vehicular travel but not including the boulevard. For the purposes of this article, roadways not dedicated for public use and not maintained by the city are not included within this definition.

**SEMI-PUBLIC PROPERTY** means private property generally open for use by the public but not owned or maintained by a governmental body. Such property includes without limitation: church property, shopping center property and other property generally used by patrons of a commercial or private business establishment.

**SNOWMOBILE** means a self-propelled vehicle designed for travel on snow or ice steered by skis or runners.

**STREET OR HIGHWAY** means the entire width between boundary lines of any way or place when any part thereof is open to the use of the public, as a matter of right, for the purpose of vehicular traffic (includes the right-of-way or boulevard). For the purposes of this article, streets or highways not dedicated for public use and not maintained by the city are not included within this definition.



## ORDINANCE NO. 2021-429

**UTILITY TASK VEHICLE** means a side-by-side, four wheeled vehicle propelled by an internal combustion engine with a piston displacement capacity of 1,200 cubic centimeters or less and has a total dry weight of 1,800 but less than 2,600 pounds.

### 72.12: RECREATIONAL VEHICLES GENERAL OPERATION REGULATIONS.

RECREATIONAL VEHICLES MAY NOT BE OPERATED IN THE FOLLOWING AREAS OF THE CITY:

- 1) On or adjacent to sidewalks, bike trails, or pedestrian trails.
- 2) On private property by persons other than the owner, or by anyone on semi-public or public property, unless permission is clearly visible and posted by the owner or person(s) in lawful control of the property, indicating the types of recreational vehicles allowed, subject to the provisions of this ordinance.
- 3) Within a city parking ramp.
- 4) Within the boulevard of a city roadway.
- 5) On county or state highways.
- 6) Within a county or state highway right-of-way except as allowed in the specific limitations listed in this ordinance.
- 7) Within a county or state highway right-of-way from April 1 to August 1 as part of Minnesota's Agricultural Zone.
- 8) On any area posted that recreation vehicles are not allowed. These may be general or specific to the type of recreational vehicle regulated. It is unlawful to remove signs or fences installed by the property owner or person in lawful control of the property.

### 72.13: RECREATIONAL VEHICLES SPECIFIC LIMITATIONS.

- 1) Recreational vehicles may not operate with a greater number of passengers than the vehicle is designed to carry.
- 2) No person shall operate a recreational vehicle in any place in a careless, reckless, or negligent manner so as to endanger the person or property of another or cause injury or damage thereto.
- 3) No person shall operate a recreational vehicle so as to create a loud, unnecessary or unusual noise that would disturb, annoy or interfere with the peace, safety and general welfare of others.

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- 4) All recreational vehicles must have a factory approved exhaust. Mufflers may not be altered to increase motor noise, or have a cut-out bypass, or similar device. No exhaust system shall emit a loud, sharp popping or crackling sound.
- 5) Use of recreational vehicles on any single property shall not exceed four hours in any 24-hour period. ATVs and Utility Task Vehicles engaged in property maintenance or agricultural purposes are exempt from this restriction.
- 6) The operation of recreational vehicles on an Established Riding Area on a lot or parcel of land of less than two (2) acres in size requires written consent from the property owners and all occupied residences within a 250' radius of all property lines.
- 7) Off-road hours of operation of ATVs, Utility Task Vehicles, off-highway motorcycles, go-carts, and mini-bikes shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. on Monday through Friday, and 10:00 p.m. and 9:00 a.m. on weekends and federal holidays. ATVs and Utility Task Vehicles engaged in property maintenance or agricultural purposes are exempt from this restriction.
- 8) Snowmobiles may not be operated off the operator's property or the property of another on which the operator has been given specific, written permission to operate a snowmobile from April 2 to November 30. Hours of operation of snowmobiles throughout the year shall be prohibited between the hours of 1:00 a.m. and 7:00 a.m., except on a recognized trail or county road right-of-way. Snowmobile operation within the Metropolitan Urban Service Area (MUSA), as defined by the most recently adopted City of Corcoran Comprehensive plan, or amended plan, is prohibited from 10:00 p.m. to 7:00 a.m. on Monday through Friday, and 10:00 p.m. and 9:00 a.m. on weekends and federal holidays. Snowmobiles traveling to or from home using the most direct route to or from a recognized trail or county road right-of-way are exempt from these time restrictions.
- 9) It is unlawful to intentionally chase, run over, or to kill any animal, wild or domestic, with a recreation vehicle.
- 10) It is unlawful to intentionally operate a recreational vehicle on either primary or secondary septic sites.
- 11) A direct crossing of a street, roadway, county or state highway is prohibited when operating a recreational vehicle unless the operator complies with all of the following:
  - a) The driver yields the right-of-way to all oncoming traffic that constitutes an immediate hazard.
  - b) In the case of a divided highway, the crossing shall be made only at an intersection of the highway with another street or road.
  - c) The crossing is made at an angle of approximately 90 degrees to the roadway at a place where no obstruction prevents a quick and safe crossing or blocks the view of oncoming traffic for 300 feet.

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- d) The vehicle is brought to a complete stop before crossing the shoulder or entering upon the traveled portion of the street, road or highway.
  - e) If the crossing is made during the period of one-half hour after sunset to one-half hour before sunrise or in conditions of reduced visibility, the front and rear lights of the vehicle are operational and illuminated.
- 12) Operation of off-highway motorcycles, mini-bikes, and go-carts on public property or in the public right of way is prohibited.
- 13) Recreational vehicles may be operated in the following areas of the City under these conditions, and subject to the limitations of section 72.16 of this ordinance:
- a) On the owner's property or the property of another with written permission, subject to the provisions of this ordinance.
  - b) On privately owned property if the property owner has posted a clearly visible notice indicating "ATVs allowed," "utility task vehicles allowed," "snowmobiles allowed," "golf carts allowed," or words substantially similar. Only those types of recreational vehicles which are specifically authorized by such notice shall be permitted on the applicable privately owned property. Such postings shall only permit use on the property on which the notice is posted.
  - c) On public or semi-public property only where there is clearly visible notice indicating "ATVs allowed," "utility task vehicles allowed," "snowmobiles allowed," "golf carts allowed," or words substantially similar. Only those types of recreational vehicles which are specifically authorized by such notice shall be permitted on the applicable public or semi-public property. Such postings shall only permit use on the property on which the notice is posted.
  - d) Golf Carts, ATVs, and utility task vehicles which have been issued and maintain a valid on-road permit may be operated on all city roadways pursuant to state law, this ordinance, and the terms of the valid permit.
- 14) Golf Cart, ATV, or utility task vehicle on-road permits.
- a) A permit application containing the following information must be submitted to the city's police department, prior to receiving an on-road permit.
    - 1. Applicant name, address, and telephone number.
    - 2. Registered owner name, address, and telephone number.
    - 3. Make, model, vehicle identification number of the golf cart, ATV, or utility task vehicle.
    - 4. Proof of ownership of the vehicle to be registered or written consent from the registered owner to register the vehicle.

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5. Proof of liability insurance for the vehicle.
  6. DNR registration number and class description (ATV and utility task vehicles only).
  7. Payment in accordance with the city fee schedule. Payments shall be non-refundable.
- b) On-road permit applicants must be residents of Corcoran and applicants may only register vehicles owned by the applicant or by a member of the applicant's household.
  - c) An on-road permit application may be denied for failure to completely and accurately provide the permitting requirements set forth within this ordinance, prior violations of this ordinance, or other substantial traffic violations by the applicant or registered owner. Any denial may be appealed to the city council by providing a request for appeal in writing to the Corcoran City Administrator within 14 days of the final decision on the permit. Failure to provide timely notice of a request for appeal shall be deemed a waiver of an appeal of the permitting decision. Any applicant who is denied an on-road permit pursuant to this paragraph shall be ineligible for an on-road permit from the City for a period of six (6) months from the date of a final decision on the permit.
  - d) A granted on-road permit will be valid for the term set forth in the permit, subject to any revocation thereof, and shall not exceed a maximum term of three years.
  - e) On-road permits must be affixed to the front center handlebar, lower center windshield area, or other location visible from the front center of the recreational vehicle.
  - f) Scooters, mopeds, off-highway motorcycles, go-carts, and mini-bikes are not eligible for on-road permits.
  - g) An on-road permit may be revoked for a violation of any provision of this ordinance after due investigation by the city's police department and final determination by the police chief or the chief's designee. Any revocation may be appealed to the city council by providing a request for appeal in writing to the Corcoran City Administrator within 14 days of the final decision to revoke the permit. Failure to provide timely notice of a request for appeal shall be deemed a waiver of an appeal of the decision to revoke. The revocation will remain in force until the appeal process has been completed. No permit fees will be refunded in the event of a permit revocation. A permit holder who has an on-road permit revoked shall be ineligible to apply for a new on-road permit for a period of six (6) months from the date of the revocation.
- 15) Golf carts, ATVs, and utility task vehicles may be operated on all city roadways with a valid city on-road permit as allowed by Minnesota State Statute, this ordinance, and the terms of the permit, however, such permit does not validate use on county or state highways. Permitted golf cart, ATV, and utility task vehicle operation shall be subject to the terms of the permit and the following:
- a) Every person operating a golf cart, ATV, or utility task vehicle on a roadway must be 18 years of age or older.

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- b) Every person operating a golf cart, ATV, or utility task vehicle on a roadway must have a valid Minnesota driver's license or a driver's license with appropriate reciprocity to operate a motor vehicle on Minnesota roadways.
- c) Every person operating a golf cart, ATV, or utility task vehicle on a roadway must abide by all speed limits and follow all applicable posted traffic signs.
- d) Every person operating a golf cart, ATV, or utility task vehicle on a roadway has the rights and duties applicable to the driver of any other vehicle under the provisions of Minn. Stats. Chapters 169 and 84, as they may be amended from time to time, except those provisions that cannot be reasonably applied.
- e) Every operator/owner of a golf cart, ATV, or utility task vehicle must possess and provide, upon lawful demand, proof of insurance complying with Minn. Stats. § 65B.48, subd 5.
- f) All golf cart, ATV, or utility task vehicles operated on a roadway after sunset, before sunrise, or in inclement weather, must display an illuminated headlight, an illuminated taillight, and a working brake light.
- g) Golf carts operated on the roadway shall be required to have an operable horn and a prominently displayed slow moving vehicle emblem.

**72.14: SNOWMOBILE SPECIFIC LIMITATIONS.**

**1) General Limitations.**

- a) As regulated by and subject to state law, snowmobiles may operate in a city, county, or state roadway right-of-way.
- b) No person shall operate a snowmobile on any public or semi-public land including, but not limited to, the school grounds, park property, playgrounds, recreational areas, golf courses, church properties, and cemeteries.
- c) Snowmobiles may not be operated in the designated non-use areas except as follows:
  - 1. Loading and unloading of snowmobiles in parking lots.
  - 2. On any clearly marked and designated trail.
- d) No person shall operate a snowmobile on any public trail system unless said trail system is clearly identified by proper signage and maintained by a recognized snowmobile club or other organization registered with the City.
- e) From April 2 to November 30, snowmobiles may not be operated off the operator's property or the property of another on which the operator has been given specific, written permission to operate a snowmobile. From December 1 to April 1, snowmobiles

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may not be operated off the operator's property or the property of another on which the operator has been given specific, written permission to operate a snowmobile, unless there is a minimum of six inches of snow cover on the ground. In the event an operator is operating a snowmobile on private property pursuant to written authorization, the operator shall keep such authorization in the operator's immediate possession at all times during operation and provide it to City representatives upon lawful demand.

- f) No person shall operate a snowmobile at a rate of speed greater than is reasonable or proper under all of the surrounding circumstances, not to exceed 30 miles per hour in any road right-of way or greater than 50 miles per hour on any designated trail system. No person shall operate a snowmobile so as to tow any person or thing in an unsafe manner or at a speed greater than 10 mph.
- g) A snowmobile may operate on the inside slope of the ditch or the shoulder of a city road only to circumvent an obstruction in the road ditch. The snowmobile must return to the outside slope of the ditch immediately after passing the obstruction.
- h) A snowmobile may be operated upon a public street or highway only in an emergency during the period of time when and at locations where snow upon the roadway renders travel by automobile impossible.
- i) No person shall operate a snowmobile within 100 feet of any designated sliding area, or where the operation would conflict with the lawful use of the property or would endanger other persons or property.

### 2) Equipment.

- a) It is unlawful for any person to operate a snowmobile within the City of Corcoran unless it is equipped with the following:
  - 1. Brakes adequate to control the movement of and to stop and hold the snowmobile under any condition of operation.
  - 2. A safety, or so-called "dead man" throttle in operating condition, so that when pressure is removed from the accelerator or throttle, the motor is disengaged from the drive track.
  - 3. Headlights, taillights, and brake lights consistent with the regulations used by the Minnesota Department of Natural Resources.
  - 4. Reflective material of at least 16 square inches on each side forward of the handlebar, so as to reflect a beam of light at a ninety-degree angle.
  - 5. Any sled, trailer, or other device being towed by a snowmobile must be equipped with reflective materials as required by the commissioner.

### 72.15: SNOWMOBILE CLUBS AND ORGANIZATIONS.

## **ORDINANCE NO. 2021-429**

Any club or organization wishing to construct or develop a trail system within the City of Corcoran for snowmobile use, must register the name of the club or organization with the City Administrative Services Director, and list the names, addresses and phone numbers of the club's contact persons, along with a map of the trail system.

### **72.16: ESTABLISHED RIDING AREA SPECIFIC LIMITATIONS.**

#### **1) General Limitations.**

- a) An Established Riding Area for recreational vehicles shall not be located within a two hundred fifty feet (250') radius of any building occupied by humans or livestock, unless written permission is granted by all landowners within the 250' radius.
- b) Any unvegetated Established Riding Area the dust from which adversely affects any neighboring property must be watered down, before, during, and after usage as needed to limit dust.
- c) Dust and noise control measures are to be maintained by the property owner or occupant. These dust and noise control measures may be enforced by the City if other properties are adversely affected by dust and noise due to recreational vehicle use. The adversely affected property owners must file a written complaint with the City with enough information to permit a meaningful investigation by the City.
  1. After its investigation, the City may require mitigation measures be taken by a property owner prior to permitting further recreational vehicle operation on Established Riding Areas on the property. These mitigation measures may include, but are not limited to, the planting of twelve foot (12') high coniferous trees planted ten feet (10') on center, or the construction of a six foot (6) minimum board on board style fence, as approved by the City. A mandate of mitigation measures does not eliminate a property owner's permitting obligations pursuant to City Code.
- d) At any one time, no more than four (4) recreational vehicle operators who are not the owner or a household member of the owner, may operate a recreational vehicle on the property. All operators who are not the owner or a member of the owner's household must possess, and immediately produce upon lawful demand, written permission to use the established riding area.
- e) Operation of a recreational vehicle on an Established Riding Area must cease for a minimum of one (1) hour after every two hours of operation.

### **72.17: OPERATOR QUALIFICATIONS.**

#### **1) Snowmobile operator qualifications.**

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- a) No person under 14 years of age shall operate a snowmobile alone within the City of Corcoran except on property owned or occupied by a relative or legal guardian.
- b) A person 14 years of age or older but less than 18 years of age may operate a snowmobile within the City of Corcoran only if they have in their immediate possession proof of a valid snowmobile safety certificate issued by the Commissioner of Conservation as provided by Minnesota Statute 1969, Section 84.96.
- c) It is unlawful for the owner of a snowmobile to permit the snowmobile to be operated contrary to the provisions of this section.

### **2) ATV and utility task vehicle operator qualifications.**

- a) No person under the age of sixteen (16) years of age shall operate on streets or the roadway surface of highways or make a direct crossing of a trunk, county state-aid, county highway, or city street as the operator of an ATV or utility task vehicle. A person sixteen (16) years of age or older, but less than eighteen (18) years of age, may operate an ATV or utility task vehicle as permitted under this section, only if he/she has in possession proof of a safety certificate issued by the commissioner as provided by Minn. Stat. 84.872 and is obeying all applicable ordinances and state laws.
- b) A person born after July 1, 1987 operating an ATV or utility task vehicle must possess a MN DNR ATV safety certificate.
- c) It is unlawful for the owner of an ATV or utility task vehicle to permit the vehicle to be operated contrary to the provisions of this section.

### **72.18: EXEMPTIONS.**

The following uses are exempt from this Ordinance:

- 1) Any agent or employee of any governmental body, public safety agency, or road authority in conducting official business.
- 2) Any organized track-racing event that is required to be registered with the DNR, and which receives the applicable DNR approval.

### **72.19: PERMIT FEE.**

The permit fee for a Recreational Vehicle required by this section shall be set by council in the city fee schedule, as may be amended from time to time.

### **72.20: PENALTY.**

Any operator of a recreational vehicle, and/or any owner or person in lawful control of a recreational vehicle or real property within the City of Corcoran who violates or allows any violation of this ordinance shall be subject the penalties below.



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- 1) The first violation of this chapter shall constitute a petty misdemeanor. Every person convicted of a petty misdemeanor violation of the provisions of this Ordinance shall be punished by a fine of not more than \$300 plus any applicable surcharges.
- 2) Any 2<sup>nd</sup> violation within 2 years of a violation of this ordinance, and each subsequent violation within a 2-year period, shall constitute a misdemeanor. Every person convicted of a misdemeanor violation of the provisions of this Ordinance shall be punished by a fine of not more than \$1000 plus any applicable surcharges or by imprisonment of not more than 90 days or both, but in either case the cost of prosecution may be added.

**72.21: SEVERABILITY.**

Should any section, subdivision, clause or other provision of this Ordinance be held to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the Ordinance as a whole or any part thereof, other than the part held to be invalid.

**Section 3. Effective Date**

This Ordinance shall be in full force and effect upon its publication and passage.

**ADOPTED** by the City Council on the 26<sup>th</sup> day of August, 2021.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**ORDINANCE NO. 2021-430**

**Motion By:**  
**Seconded By:**

**CITY OF CORCORAN**

**SUMMARY OF ORDINANCE NO. 2021-429**

**AN ORDINANCE REGULATING RECREATIONAL VEHICLES**

Ordinance 2021-429 replaces Chapters 72 and Chapter 73 of the Corcoran City Code which regulates recreational vehicles within the City of Corcoran.

A printed copy of the entire amendment is available for inspection by any person at City Hall during the City Clerk's regular office hours.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

*City Seal*



To: Kevin Mattson, PE, PW Director      From: Kent Torve, PE City Engineer  
 Nick Wyers, PE

File: #-01855- Nelson Turn Lanes      Date: August 19, 2021

Subject: Bid Results – CSAH 101 & 105<sup>th</sup> Place Turn Lane Improvements (for Nelson International)

### **Council Action Requested**

Staff is recommending Council authorize a contingent Notice of Award for the construction of the CSAH 101 & 105<sup>th</sup> Place Turn Lane Improvements. The contingency award is necessary to secure the escrow from the developer.

The CSAH 101 & 105<sup>th</sup> Place Turn Lane Improvements are directly associated with Nelson International development site and were required by County to provide a safer intersection for traffic on County Road 101.

### **Bid Results**

Five bids were received on Tuesday, August 17<sup>th</sup> for the CSAH 101 & 105<sup>th</sup> Place Turn Lane Improvements. Bid results are summarized below and details are in the attached table.

<b>Contractor</b>	<b>Bid Amount</b>
• Park Construction Company.	\$ 337,059.76
• Bituminous Roadways, Inc.	\$ 366,002.50
• New Look Contracting	\$ 372,776.00
• Valley Paving, Inc.	\$ 389,936.00
• G Urban Companies	\$ 403,200.80

The low bidder was Park Construction Company. with a bid of \$ 337,059.76. The Engineer's estimate was \$348,990.00. The authorization of work includes construction, field compliance testing, and engineering management costs estimated at an additional \$35,000. The design, permitting, and surveying costs to date for design components are approximately \$32,500

Prior to the August 26<sup>th</sup> Council meeting, Stantec Consulting Services will reach out to Park Construction Company and confirm their commitment to the bid.

### **Funding**

Funding is through escrow provided by the developer.

### **Engineer's Recommendation**

The bids were competitive, therefore, Stantec recommends that the project be awarded to Park Construction Company for \$337,059.76 contingent upon the City securing funds and associated permit requirements.



Bid Item	Description	Units	Quantity	Engineer's Estimate		Bid No. 1 Park Construction Company		Bid No. 2 Bituminous Roadways, Inc.	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
<b>BASE BID:</b>									
1	MOBILIZATION & DEMOBILIZATION	LUMP SUM	1	\$ 19,000.00	\$ 19,000.00	\$ 33,400.00	\$ 33,400.00	\$ 20,000.00	\$ 20,000.00
2	TRAFFIC CONTROL	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00	\$ 3,030.00	\$ 3,030.00	\$ 3,500.00	\$ 3,500.00
3	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$ 2,500.00	\$ 2,500.00	\$ 0.01	\$ 0.01	\$ 3,000.00	\$ 3,000.00
4	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	1930	\$ 3.50	\$ 6,755.00	\$ 1.90	\$ 3,667.00	\$ 2.15	\$ 4,149.50
5	REMOVE BITUMINOUS PAVEMENT	SQ YD	675	\$ 6.50	\$ 4,387.50	\$ 5.45	\$ 3,678.75	\$ 5.25	\$ 3,543.75
6	REMOVE SIGN & POST	EACH	1	\$ 75.00	\$ 75.00	\$ 101.00	\$ 101.00	\$ 55.00	\$ 55.00
7	SALVAGE & REINSTALL SIGN & POST	EACH	1	\$ 50.00	\$ 50.00	\$ 354.00	\$ 354.00	\$ 280.00	\$ 280.00
8	PAVEMENT MARKING REMOVAL	LUMP SUM	1	\$ 4,000.00	\$ 4,000.00	\$ 3,840.00	\$ 3,840.00	\$ 2,700.00	\$ 2,700.00
9	SALVAGE & RESPREAD EXISTING TOPSOIL	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00	\$ 9,610.00	\$ 9,610.00	\$ 22,000.00	\$ 22,000.00
10	COMMON EXCAVATION - ONSITE (EV) (P)	CU YD	1050	\$ 15.00	\$ 15,750.00	\$ 12.00	\$ 12,600.00	\$ 24.00	\$ 25,200.00
11	COMMON EXCAVATION - OFFSITE (LV)	CU YD	650	\$ 20.00	\$ 13,000.00	\$ 19.00	\$ 12,350.00	\$ 28.50	\$ 18,525.00
12	COMMON BORROW (MOD) (LV)	CU YD	100	\$ 20.00	\$ 2,000.00	\$ 19.40	\$ 1,940.00	\$ 29.00	\$ 2,900.00
13	SUBGRADE CORRECTION EXCAVATION - OFFSITE (LV)	CU YD	100	\$ 25.00	\$ 2,500.00	\$ 19.00	\$ 1,900.00	\$ 43.00	\$ 4,300.00
14	GEOTEXTILE FABRIC, TYPE V WOVEN	SQ YD	3670	\$ 2.50	\$ 9,175.00	\$ 1.00	\$ 3,670.00	\$ 1.00	\$ 3,670.00
15	GRANULAR BORROW (MOD) (SUBGRADE CORRECTION OVER UTILITIES)	TON	50	\$ 20.00	\$ 1,000.00	\$ 27.30	\$ 1,365.00	\$ 20.00	\$ 1,000.00
16	AGGREGATE BASE CLASS 5, 100% CRUSHED	TON	2020	\$ 22.00	\$ 44,440.00	\$ 24.10	\$ 48,682.00	\$ 21.50	\$ 43,430.00
17	AGGREGATE SURFACING CLASS 2, 100 % CRUSHED LIMESTONE	TON	190	\$ 40.00	\$ 7,600.00	\$ 35.10	\$ 6,669.00	\$ 36.00	\$ 6,840.00
18	STABILIZING AGGREGATE, 3" MINUS	TON	200	\$ 35.00	\$ 7,000.00	\$ 35.10	\$ 7,020.00	\$ 32.00	\$ 6,400.00
19	BITUMINOUS MATERIAL FOR TACK COAT	GAL	190	\$ 5.00	\$ 950.00	\$ 10.00	\$ 1,900.00	\$ 4.00	\$ 760.00
20	TYPE SP 12.5 WEARING COURSE MIXTURE (3,C)	TON	910	\$ 90.00	\$ 81,900.00	\$ 73.80	\$ 67,158.00	\$ 80.00	\$ 72,800.00
21	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	910	\$ 80.00	\$ 72,800.00	\$ 75.30	\$ 68,523.00	\$ 76.50	\$ 69,615.00
22	SIGN PANELS TYPE C	SQ FT	15	\$ 75.00	\$ 1,125.00	\$ 60.60	\$ 909.00	\$ 85.00	\$ 1,275.00
23	INSTALL SIGN TYPE C AND POST	EACH	2	\$ 250.00	\$ 500.00	\$ 303.00	\$ 606.00	\$ 225.00	\$ 450.00
24	HYDROSEED - SEED MIXTURE 22-111	SQ YD	3365	\$ 0.50	\$ 1,682.50	\$ 0.35	\$ 1,177.75	\$ 1.00	\$ 3,365.00
25	SEED MIXTURE 25-141	SQ YD	3365	\$ 1.00	\$ 3,365.00	\$ 0.25	\$ 841.25	\$ 0.25	\$ 841.25
26	SILT FENCE, TYPE MS - MAINTAINED	LIN FT	1760	\$ 3.00	\$ 5,280.00	\$ 2.55	\$ 4,488.00	\$ 1.75	\$ 3,080.00
27	BALE BARRIERS - MAINTAINED	LIN FT	520	\$ 7.00	\$ 3,640.00	\$ 8.10	\$ 4,212.00	\$ 4.80	\$ 2,496.00
28	CULVERT PROTECTION - MAINTAINED	EACH	1	\$ 225.00	\$ 225.00	\$ 152.00	\$ 152.00	\$ 400.00	\$ 400.00
29	STREET SWEEPER (WITH PICKUP BROOM)	hour	30	\$ 150.00	\$ 4,500.00	\$ 152.00	\$ 4,560.00	\$ 185.00	\$ 5,550.00
30	WATER FOR DUST CONTROL	MGAL	50	\$ 50.00	\$ 2,500.00	\$ 28.00	\$ 1,400.00	\$ 55.00	\$ 2,750.00
31	EROSION CONTROL BLANKET CATEGORY 3N STRAW 2S	SQ YD	3365	\$ 2.00	\$ 6,730.00	\$ 1.20	\$ 4,038.00	\$ 1.50	\$ 5,047.50
32	PAVEMENT MESSAGE (RT ARROW) THERMOPLASTIC (GROUND-IN)	EACH	2	\$ 450.00	\$ 900.00	\$ 500.00	\$ 1,000.00	\$ 560.00	\$ 1,120.00
33	PAVEMENT MESSAGE (LT ARROW) THERMOPLASTIC (GROUND-IN)	EACH	2	\$ 450.00	\$ 900.00	\$ 500.00	\$ 1,000.00	\$ 560.00	\$ 1,120.00
34	4" DOUBLE SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	3300	\$ 1.75	\$ 5,775.00	\$ 3.05	\$ 10,065.00	\$ 3.40	\$ 11,220.00
35	6" SOLID LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	1750	\$ 1.00	\$ 1,750.00	\$ 2.00	\$ 3,500.00	\$ 2.25	\$ 3,937.50
36	4" DOTTED LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	560	\$ 1.00	\$ 560.00	\$ 1.50	\$ 840.00	\$ 1.70	\$ 952.00
37	4" SOLID LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	500	\$ 0.75	\$ 375.00	\$ 1.50	\$ 750.00	\$ 1.70	\$ 850.00
38	24" SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	430	\$ 10.00	\$ 4,300.00	\$ 14.10	\$ 6,063.00	\$ 16.00	\$ 6,880.00
				<b>Total Bid: \$</b>	<b>348,990.00</b>	<b>Total Bid: \$</b>	<b>337,059.76</b>	<b>Total Bid: \$</b>	<b>366,002.50</b>

Bid No. 1  
 Park Construction Company  
 1481 81st Avenue NE  
 Minneapolis, MN 55432

Bid No. 2  
 Bituminous Roadways, Inc.  
 1520 Commerce Drive  
 Mendota Heights, MN 55120



Bid Item	Description	Units	Quantity	Bid No. 3		Bid No. 4		Bid No. 5	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
<b>BASE BID:</b>									
1	MOBILIZATION & DEMOBILIZATION	LUMP SUM	1	\$ 22,500.00	\$ 22,500.00	\$ 18,500.00	\$ 18,500.00	\$ 19,500.00	\$ 19,500.00
2	TRAFFIC CONTROL	LUMP SUM	1	\$ 18,500.00	\$ 18,500.00	\$ 6,500.00	\$ 6,500.00	\$ 8,000.00	\$ 8,000.00
3	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$ 1.00	\$ 1.00	\$ 1,200.00	\$ 1,200.00	\$ 2,000.00	\$ 2,000.00
4	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	1930	\$ 2.00	\$ 3,860.00	\$ 2.00	\$ 3,860.00	\$ 5.00	\$ 9,650.00
5	REMOVE BITUMINOUS PAVEMENT	SQ YD	675	\$ 7.00	\$ 4,725.00	\$ 15.00	\$ 10,125.00	\$ 9.00	\$ 6,075.00
6	REMOVE SIGN & POST	EACH	1	\$ 75.00	\$ 75.00	\$ 53.00	\$ 53.00	\$ 50.00	\$ 50.00
7	SALVAGE & REINSTALL SIGN & POST	EACH	1	\$ 575.00	\$ 575.00	\$ 525.00	\$ 525.00	\$ 220.00	\$ 220.00
8	PAVEMENT MARKING REMOVAL	LUMP SUM	1	\$ 2,700.00	\$ 2,700.00	\$ 2,520.00	\$ 2,520.00	\$ 7,500.00	\$ 7,500.00
9	SALVAGE & RESPREAD EXISTING TOPSOIL	LUMP SUM	1	\$ 15,000.00	\$ 15,000.00	\$ 9,900.00	\$ 9,900.00	\$ 5,000.00	\$ 5,000.00
10	COMMON EXCAVATION - ONSITE (EV) (P)	CU YD	1050	\$ 8.00	\$ 8,400.00	\$ 13.50	\$ 14,175.00	\$ 20.00	\$ 21,000.00
11	COMMON EXCAVATION - OFFSITE (LV)	CU YD	650	\$ 20.00	\$ 13,000.00	\$ 27.00	\$ 17,550.00	\$ 27.00	\$ 17,550.00
12	COMMON BORROW (MOD) (LV)	CU YD	100	\$ 30.00	\$ 3,000.00	\$ 33.00	\$ 3,300.00	\$ 20.00	\$ 2,000.00
13	SUBGRADE CORRECTION EXCAVATION - OFFSITE (LV)	CU YD	100	\$ 26.00	\$ 2,600.00	\$ 44.00	\$ 4,400.00	\$ 40.00	\$ 4,000.00
14	GEOTEXTILE FABRIC, TYPE V WOVEN	SQ YD	3670	\$ 2.00	\$ 7,340.00	\$ 2.00	\$ 7,340.00	\$ 4.50	\$ 16,515.00
15	GRANULAR BORROW (MOD) (SUBGRADE CORRECTION OVER UTILITIES)	TON	50	\$ 75.00	\$ 3,750.00	\$ 45.00	\$ 2,250.00	\$ 20.00	\$ 1,000.00
16	AGGREGATE BASE CLASS 5, 100% CRUSHED	TON	2020	\$ 23.50	\$ 47,470.00	\$ 27.50	\$ 55,550.00	\$ 22.00	\$ 44,440.00
17	AGGREGATE SURFACING CLASS 2, 100 % CRUSHED LIMESTONE	TON	190	\$ 50.00	\$ 9,500.00	\$ 55.00	\$ 10,450.00	\$ 25.00	\$ 4,750.00
18	STABILIZING AGGREGATE, 3" MINUS	TON	200	\$ 34.00	\$ 6,800.00	\$ 44.00	\$ 8,800.00	\$ 26.00	\$ 5,200.00
19	BITUMINOUS MATERIAL FOR TACK COAT	GAL	190	\$ 13.00	\$ 2,470.00	\$ 3.00	\$ 570.00	\$ 4.50	\$ 855.00
20	TYPE SP 12.5 WEARING COURSE MIXTURE (3,C)	TON	910	\$ 88.00	\$ 80,080.00	\$ 90.00	\$ 81,900.00	\$ 90.00	\$ 81,900.00
21	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	910	\$ 85.00	\$ 77,350.00	\$ 90.00	\$ 81,900.00	\$ 86.00	\$ 78,260.00
22	SIGN PANELS TYPE C	SQ FT	15	\$ 50.00	\$ 750.00	\$ 30.00	\$ 450.00	\$ 70.00	\$ 1,050.00
23	INSTALL SIGN TYPE C AND POST	EACH	2	\$ 575.00	\$ 1,150.00	\$ 525.00	\$ 1,050.00	\$ 170.00	\$ 340.00
24	HYDROSEED - SEED MIXTURE 22-111	SQ YD	3365	\$ 1.00	\$ 3,365.00	\$ 1.00	\$ 3,365.00	\$ 1.50	\$ 5,047.50
25	SEED MIXTURE 25-141	SQ YD	3365	\$ 0.50	\$ 1,682.50	\$ 0.25	\$ 841.25	\$ 2.50	\$ 8,412.50
26	SILT FENCE, TYPE MS - MAINTAINED	LIN FT	1760	\$ 3.00	\$ 5,280.00	\$ 1.65	\$ 2,904.00	\$ 5.00	\$ 8,800.00
27	BALE BARRIERS - MAINTAINED	LIN FT	520	\$ 11.00	\$ 5,720.00	\$ 4.50	\$ 2,340.00	\$ 8.00	\$ 4,160.00
28	CULVERT PROTECTION - MAINTAINED	EACH	1	\$ 400.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 140.00	\$ 140.00
29	STREET SWEEPER (WITH PICKUP BROOM)	hour	30	\$ 1.00	\$ 30.00	\$ 175.00	\$ 5,250.00	\$ 0.01	\$ 0.30
30	WATER FOR DUST CONTROL	MGAL	50	\$ 1.00	\$ 50.00	\$ 50.00	\$ 2,500.00	\$ 0.01	\$ 0.50
31	EROSION CONTROL BLANKET CATEGORY 3N STRAW 2S	SQ YD	3365	\$ 1.50	\$ 5,047.50	\$ 1.45	\$ 4,879.25	\$ 2.50	\$ 8,412.50
32	PAVEMENT MESSAGE (RT ARROW) THERMOPLASTIC (GROUND-IN)	EACH	2	\$ 565.00	\$ 1,130.00	\$ 530.00	\$ 1,060.00	\$ 550.00	\$ 1,100.00
33	PAVEMENT MESSAGE (LT ARROW) THERMOPLASTIC (GROUND-IN)	EACH	2	\$ 565.00	\$ 1,130.00	\$ 530.00	\$ 1,060.00	\$ 550.00	\$ 1,100.00
34	4" DOUBLE SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	3300	\$ 2.50	\$ 8,250.00	\$ 3.20	\$ 10,560.00	\$ 5.00	\$ 16,500.00
35	6" SOLID LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	1750	\$ 1.50	\$ 2,625.00	\$ 2.15	\$ 3,762.50	\$ 2.25	\$ 3,937.50
36	4" DOTTED LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	560	\$ 1.00	\$ 560.00	\$ 1.60	\$ 896.00	\$ 1.75	\$ 980.00
37	4" SOLID LINE WHITE - MULTI-COMPONENT (GROUND-IN)	LIN FT	500	\$ 1.50	\$ 750.00	\$ 1.60	\$ 800.00	\$ 1.75	\$ 875.00
38	24" SOLID LINE YELLOW - MULTI-COMPONENT (GROUND-IN)	LIN FT	430	\$ 12.00	\$ 5,160.00	\$ 15.00	\$ 6,450.00	\$ 16.00	\$ 6,880.00
				<b>Total Bid: \$</b>	<b>372,776.00</b>	<b>Total Bid: \$</b>	<b>389,936.00</b>	<b>Total Bid: \$</b>	<b>403,200.80</b>

Bid No. 3  
 New Look Contracting  
 14045 Northdale Blvd  
 Rogers, MN 55374

Bid No. 4  
 Valley Paving, Inc.  
 8800 13th Avenue East  
 Shakopee, MN 55379

Bid No. 4  
 G Urban Companies  
 3781 Labore Road  
 St. Paul, MN 55110



**TO:** Corcoran City Council

**FROM:** Nicholas Ouellette through Kendra Lindahl, Landform

**DATE:** August 18, 2021 for the August 26, 2021 City Council Meeting

**RE:** Final Plat for “Gordon’s Country Estates First Addition” at 19701 Jackie Lane and 19717 Jackie Lane (PID 01-119-23-22-0024 and 01-119-23-22-0021) (city file no. 21-038)

**60-Day Review Ends:** October 9, 2021

## 1. Description of Request

Jake Overcott has submitted a request for a final plat to adjust the lot line between the two properties. The proposal is to plat the existing 19701 Jackie Lane and 19717 Jackie Lane properties.

## 2. Background

The City Council approved a Preliminary Plat, Variance and Easement Vacation for 19701 Jackie Lane and 19717 Jackie Lane on July 22, 2021.

## 3. Context

### *Level of City Discretion in Decision-Making*

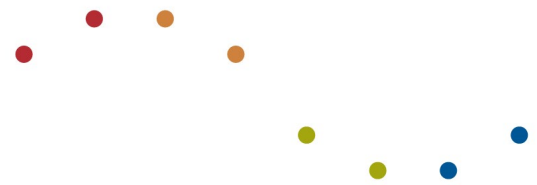
The City’s discretion in approving a final plat is limited to whether the proposed plat meets the standards outlined in the City’s Subdivision and Zoning Ordinance. If it meets these standards, the City must approve the final plat.

### *Zoning and Land Use*

The subject properties are zoned Urban Reserve (UR) district and the Comprehensive Plan designates the site as Existing Residential. The properties are located within the Metropolitan Urban Service Area (MUSA). The properties surrounding the site are also zoned UR and guided Existing Residential. Present land use on the site and surrounding properties is single family residential.

### *Natural Characteristics of the Site*

The Comprehensive Plan Natural Resources Inventory (NRI) map identifies open water on the property located at 19717 Jackie Lane. Hennepin County Natural Resources Map identifies probable and potential wetlands on both parcels within the site. There is a wetland near the center of proposed Lot 1 and a wetland along the south property lines of proposed Lot 1 and Lot 2. Trees exist throughout the site.



#### **4. Analysis of Request**

##### Final Plat

Staff has reviewed the application for consistency with the approved preliminary plans, as well as City policies. The Engineer's comments are incorporated into this staff report and the detailed comments are included in the attached engineering memo dated June 22, 2021. Staff has included a condition that these items be addressed before the final plat is released for recording.

##### *Easements*

The final plat needs to be revised to include the drainage and utility easements over the wetlands and wetland buffers.

##### *Wetlands*

The preliminary plat needs to be revised to delineate wetlands, wetland buffers and wetland buffer monuments. A wetland delineation report shall be provided for the property at 19701 Jackie Lane. The applicant is allowed to let the wetland buffer strip grow naturally rather than require new wetland plantings if approved by the City as the Wetland Conservation Act (WCA) Local Government Unit (LGU). The applicant shall contact the City WCA staff to schedule an inspection.

##### *Variation*

The final plat varies slightly from the preliminary plat approved by City Council on July 22, 2021. The shared proposed lot line between proposed Lots 1 and 2 was shifted 4.93 ft. to the east to ensure that the shed on proposed Lot 1 complies with the 20 ft. side yard setback required for accessory structures from the side lot line.

##### Conclusion

Staff has reviewed the plan for consistency with the applicable standards outlined in the preliminary approvals, Subdivision Ordinance and Zoning Ordinance. The staff report noted outstanding issues that must be address and we have included conditions in the attached resolution to address these issues.

#### **5. Recommendation**

Move to adopt Resolution 2021-93 approving the Final Plat.

##### **Attachments**

1. Resolution 2021-93 approving the Final Plat
2. Location Map
3. Engineer's Memo dated June 22, 2021
4. Preliminary Plat received August 3, 2021
5. Final Plat received August 4, 2021

**RESOLUTION NO. 2021-93**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A FINAL PLAT FOR “GORDON’S COUNTRY ESTATES FIRST ADDITION” ON THE PROPERTIES LOCATED AT 19701 JACKIE LANE AND 19717 JACKIE LANE  
(PID 01-119-23-22-0024 AND 01-119-23-22-0021) (CITY FILE NO. 21-038)**

**WHEREAS** Jake Overcott (“the applicant”) has requested approval of a final plat to allow for a lot line adjustment between the two properties described as follows;

*SEE ATTACHMENT A*

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for a final plat, subject to the following conditions:

1. A final plat is approved, in accordance with the application and plans received by the City on August 3, 2021 and additional items received on August 4 and August 10, 2021, except as amended by this resolution.
2. The applicant must comply with all conditions of approval in Resolution 2021-79 approving the Preliminary Plat and Variance and Resolution 2021-78 approving the vacation.
3. No new lots are being created for development; therefore, no park dedication is required.
4. Prior to release of the Final Plat for recording:
  - a. The applicant shall comply with all conditions in the City Engineer’s memo dated June 22, 2021.
  - b. A wetland delineation report shall be provided for the property at 19701 Jackie Lane and approved by the City as the Wetland Conservation Act (WCA) Local Government Unit (LGU).
  - c. The Preliminary and Final Plat must be revised to show the drainage and utility easements over the wetlands and wetland buffers.
  - d. The Preliminary Plat shall be revised to delineate wetlands and wetland buffers.



**RESOLUTION NO. 2021-93**

- e. The Preliminary Plat shall be revised to show wetland buffer monument locations at each change in wetland contour direction or where it crosses a lot line.
5. Prior to issuance of building permits:
- a. Wetland buffer monument signs must be installed as required by Section 1050.010 of the Zoning Ordinance.
  - b. A wetland buffer planting plan in compliance with Section 1050.010, Subd. 8C shall be submitted for review and approval.
    - i. Where it is believed existing vegetation meets the requirements for the buffer, the developer should schedule an inspection from City wetland LGU staff to verify where existing vegetation is acceptable.
    - ii. A final buffer plan must be submitted by the developer and approved by the City.
  - c. The wetland buffer plantings must be installed.
  - d. Lot monuments shall be installed as required by the Subdivision Ordinance.
  - e. Septic permits must be obtained from Hennepin County.
  - f. Record the approving resolutions, mylar and all related documents at Hennepin County and provide proof of recording to the City.
6. The applicant must file the final plat at Hennepin County within 2 years of the date of approval or the approval shall expire.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**RESOLUTION NO. 2021-93**

Whereupon, said Resolution is hereby declared adopted on this 26th day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2021-93**

**ATTACHMENT A**

*LOTS 9, 10, AND 11, BLOCK 3, GORDON'S COUNTRY ESTATES, HENNEPIN COUNTY,  
MINNESOTA.*



# Hennepin County Natural Resources Map

Date: 6/7/2021

## Legend

### Wetlands

- Potential Wetland - HCWI
- Probable Wetland - HCWI
- Probable Wetland - NWI



PID: 0111923220021  
Address: 19717 JACKIE LA,  
CORCORAN  
Owner Name: JAKE OVERCOTT  
Acres: 1.3

Comments:

1 inch = 100 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran      From: Kent Torve, PE, City Engineer

Project: 229701081      Date: June 22, 2021

Subject: Overcott \_Jackie Lane\_Gordon  
Country Estates Lot Line Adjustment

**Overview**

- A lot line in Gordon Country Estates (First Addition) is proposed to be adjusted.
- New Drainage and Utility Easements (D&U) will be established.
- The proposal to vacate the existing side yard D&U easements between Lots 9/10 and Lots 10/11 is acceptable.
- The proposed side yard D&U easement between Proposed Lot 1 and Proposed Lot 2 is acceptable.

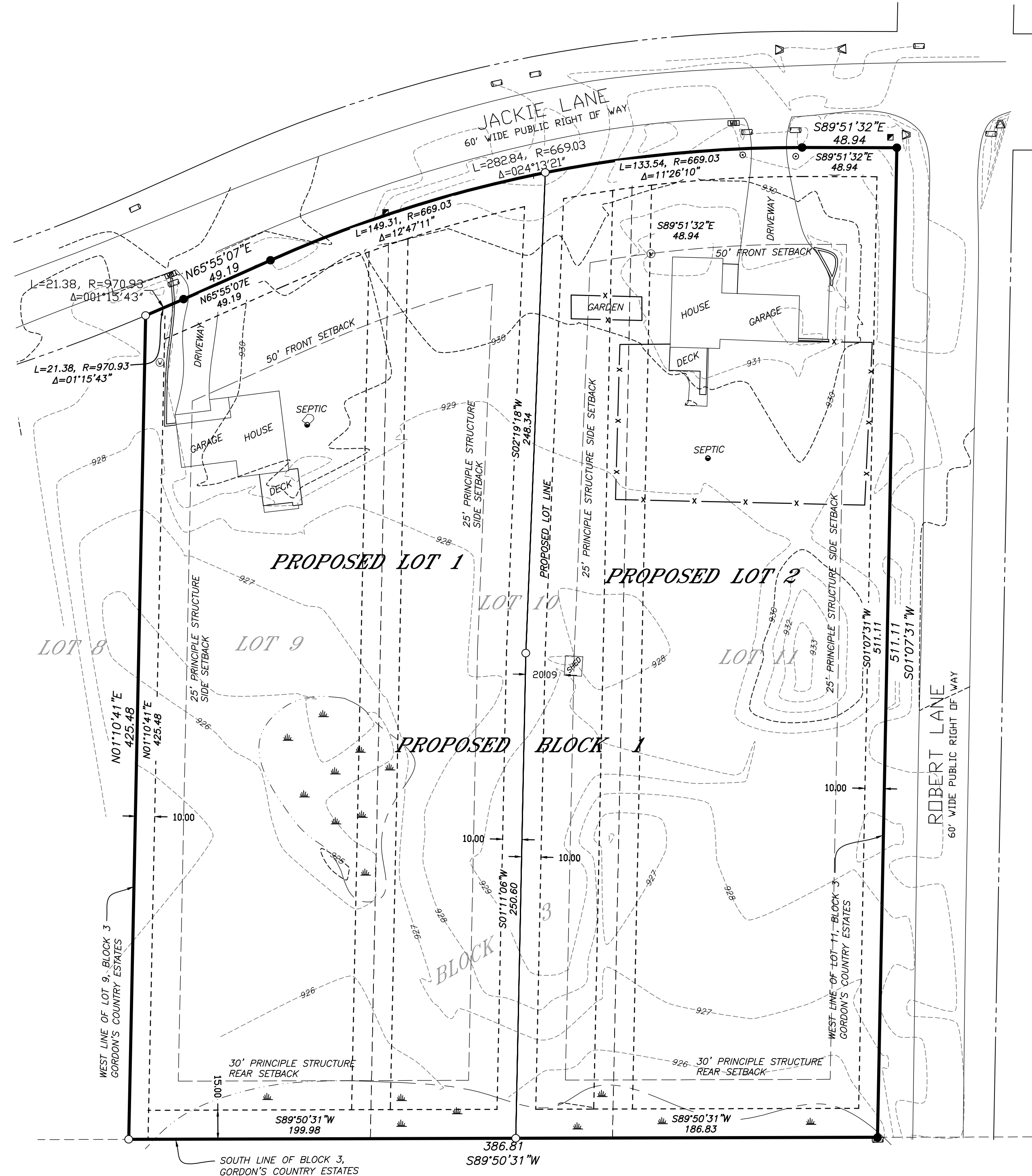
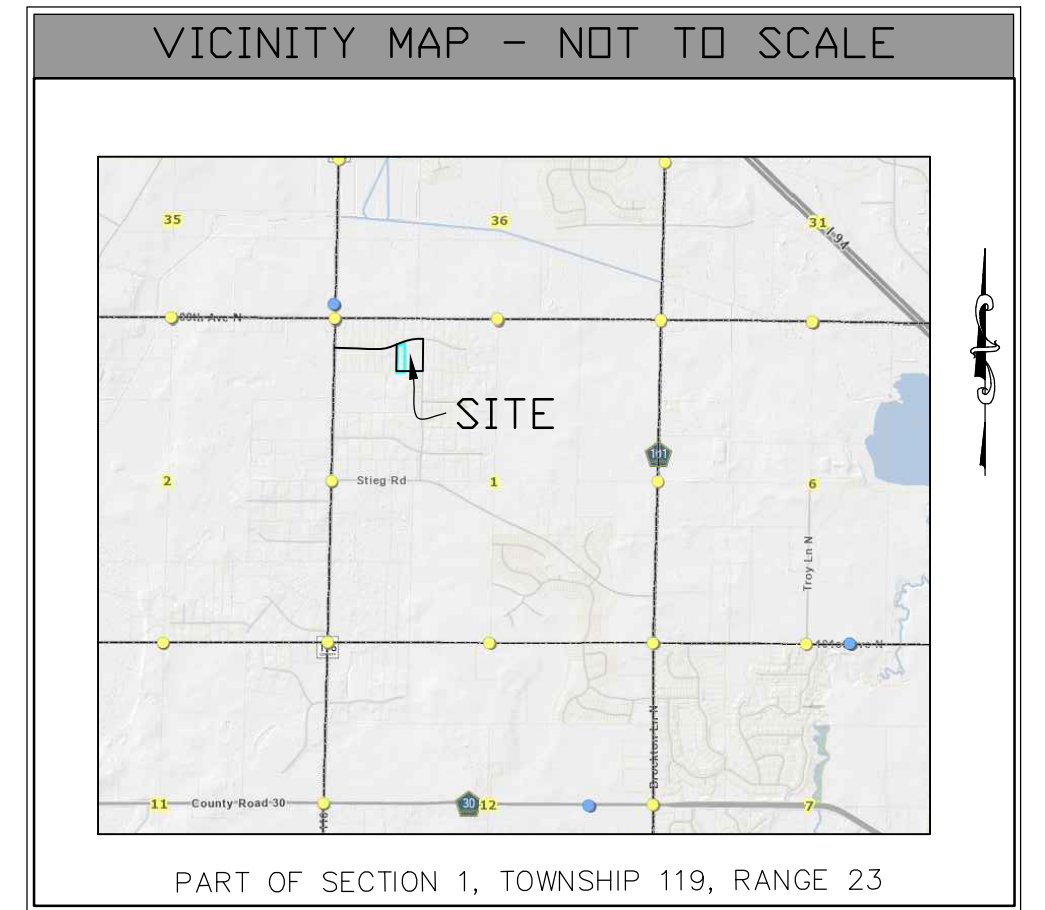
**Recommendation**

- The approved wetland delineation shall be shown on plans prior to recording the final plat.
  - Drainage and utility easement is required over the formally approved wetlands.
- An existing shed encroaches into proposed easement between Proposed Lots 1 & 2
  - This structure should be removed or the lot line adjusted as needed.

**End of Memo**



PRELIMINARY PLAT OF  
**GORDON'S COUNTRY ESTATES**  
**FIRST ADDITION**



SURVEY FOR: **Jacob Overcott**  
 BOUNDARY SURVEYED: 5/12/2021

PRELIMINARY PLAT DRAFTED: 5/14/2021

LEGAL DESCRIPTION:

LOTS 9, 10, AND 11, BLOCK 3, GORDON'S COUNTRY ESTATES, HENNEPIN COUNTY, MINNESOTA.

CERTIFICATION: I hereby certify that this survey was prepared by me or under my direct supervision and that I am a Professional Licensed Surveyor under the Laws of the State of Minnesota.

Kaleb Kadelbach PLS 57070

**EXISTING CONDITIONS:**

LOT 9, BLOCK 3  
 56,471.01 SQ. FT.  
 1.30 ACRES

LOT 10, BLOCK 3  
 61,808.47 SQ. FT.  
 1.42 ACRES

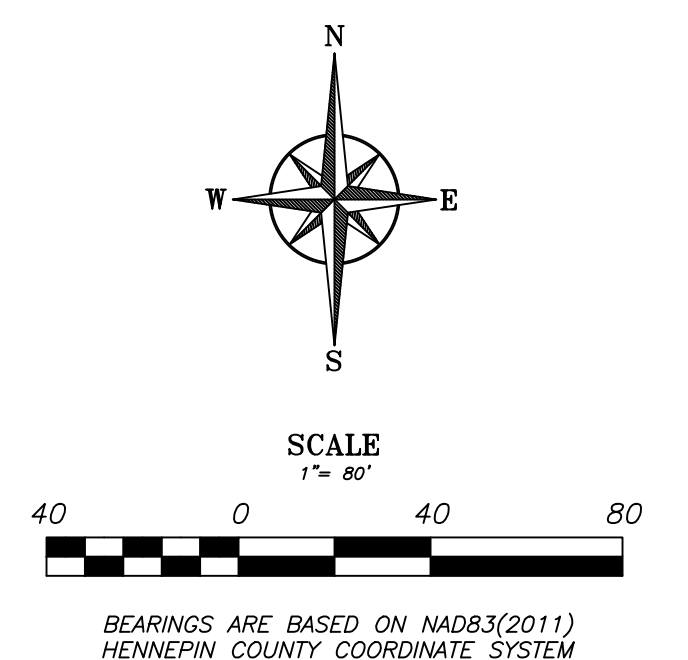
LOT 11, BLOCK 3  
 69,692.83 SQ. FT.  
 1.60 ACRES

**PROPOSED:**  
 LOT 1, BLOCK 1  
 93,811.97 SQ. FT.  
 2.15 ACRES

LOT 2, BLOCK 1  
 94,160.34 SQ. FT.  
 2.16 ACRES

**LEGEND**

- DRAINAGE AND UTILITY EASEMENTS PER GORDON'S COUNTRY ESTATES
- EXISTING LOT LINES
- PROPOSED LOT LINES
- PROPOSED DRAINAGE AND UTILITY EASEMENTS
- EXISTING FENCE
- DELINEATED WETLAND
- LOW AREA (NOT DELINEATED)
- SETBACK LINES
- IRON MONUMENT FOUND (AS NOTED)
- SET 3/8" REBAR (PLS #57070)
- ☼ WETLAND



BEARINGS ARE BASED ON NAD83(2011) HENNEPIN COUNTY COORDINATE SYSTEM

Northwestern Surveying and Engineering, Inc. prepared this survey without the benefit of current title work. The property shown is based on a legal description provided by you the client or a general request of the appropriate County Recorder's office. Easements, site restrictions or adjoining deed conflicts may exist which affect subject property and are not shown by this survey. We reserve the right to revise the survey upon receipt of a current title commitment or title opinion.

# GORDON'S COUNTRY ESTATES FIRST ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That Jake Overcott and Anne Nicole Overcott, a married couple; owner and proprietor of the following described property situated in the County of Hennepin, State of Minnesota to-wit:

Lot 9, Block 3, GORDONS COUNTRY ESTATES

KNOW ALL PERSONS BY THESE PRESENTS: That Scott Schneweis and Rebecca Schneweis, a married couple; owners and proprietors of the following described property situated in the County of Hennepin, State of Minnesota to-wit:

LOTS 10 AND 11, BLOCK 3, GORDON'S COUNTRY ESTATES, HENNEPIN COUNTY, MINNESOTA

Have caused the same to be surveyed and platted as GORDON'S COUNTRY ESTATES FIRST ADDITION and do hereby dedicate to the public for public use drainage and utility easement as created on this plat.

In witness whereof Jake Overcott and Anne Nicole Overcott, a married couple, has caused these presents to be signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Jake Overcott    Anne Nicole Overcott

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by Jake Overcott, a single person.

Notary Public Signature \_\_\_\_\_

Notary Printed Name \_\_\_\_\_

\_\_\_\_\_  
County, Minnesota

My Commission Expires \_\_\_\_\_

In witness whereof Scott Schneweis and Rebecca Schneweis, a married couple, has caused these presents to be signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Scott Schneweis    Rebecca Schneweis

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by Scott Schneweis and Rebecca Schneweis a married couple.

Notary Public Signature \_\_\_\_\_

Notary Printed Name \_\_\_\_\_

\_\_\_\_\_  
County, Minnesota

My Commission Expires \_\_\_\_\_

I, Kaleb J. Kadelbach, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on the plat have been, or will be correctly set within one year; that all water boundaries and wetlands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Kaleb J. Kadelbach, Land Surveyor  
Minnesota License No. 57070

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by Kaleb Kadelbach, Land Surveyor, Minnesota License No 57070.

Notary Public Signature \_\_\_\_\_

Notary Printed Name \_\_\_\_\_

\_\_\_\_\_  
County, Minnesota

My Commission Expires \_\_\_\_\_

CITY OF CORCORAN, Hennepin County, Minnesota  
This plat of GORDON'S COUNTRY ESTATES FIRST ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota, at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes Section 505.03, Subd. 2.

by \_\_\_\_\_, Mayor

by \_\_\_\_\_, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota  
I hereby certify that taxes payable in 20\_\_ and prior years have been paid for land described on the Plat, dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

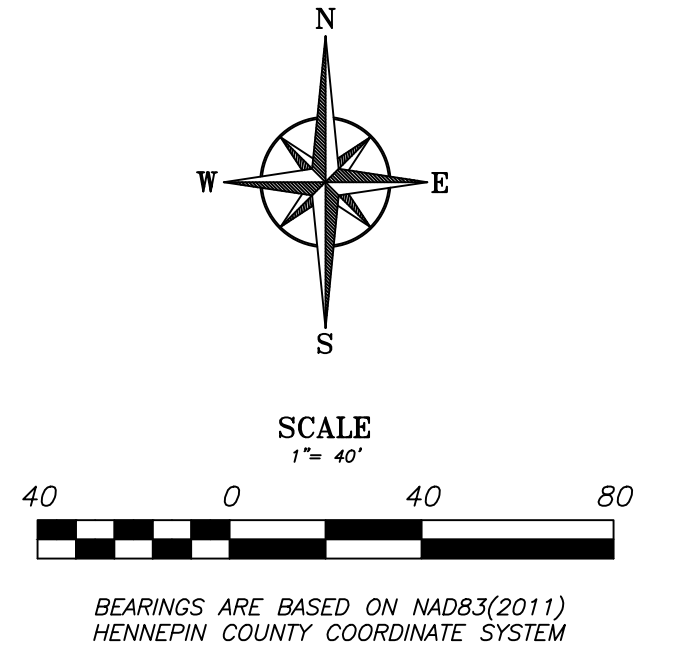
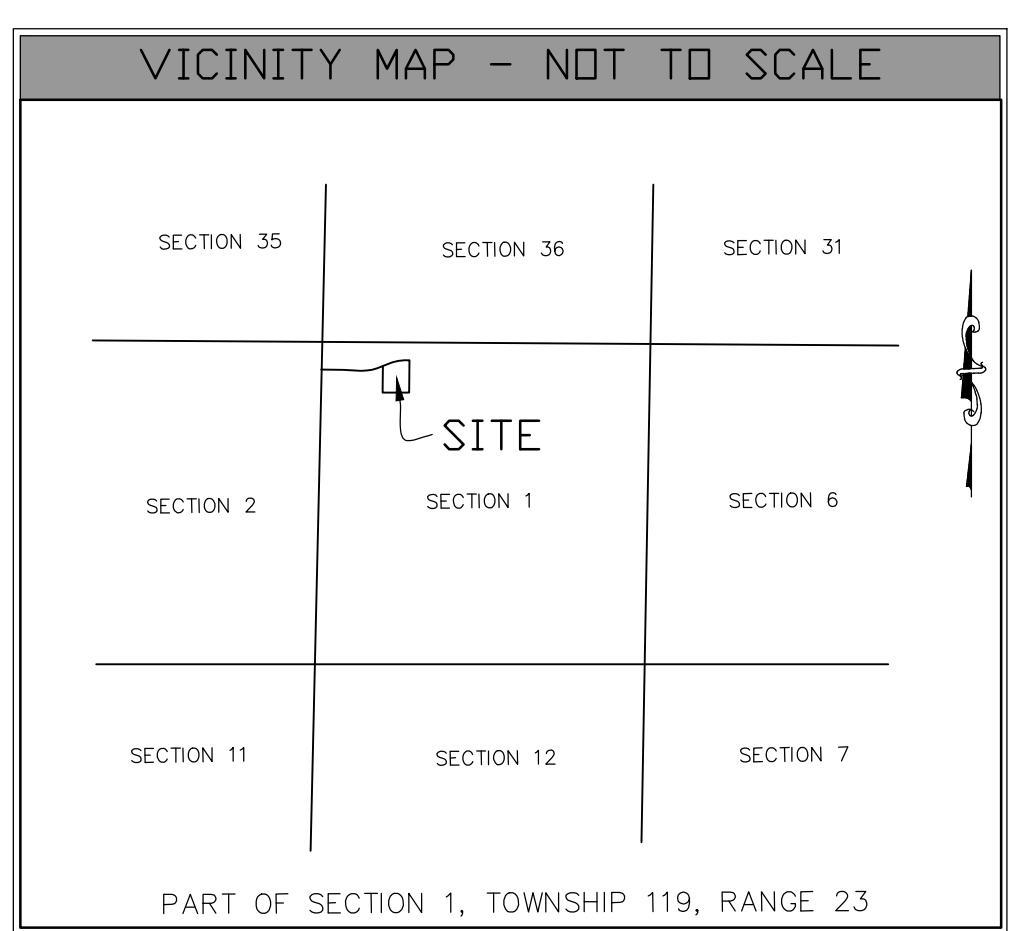
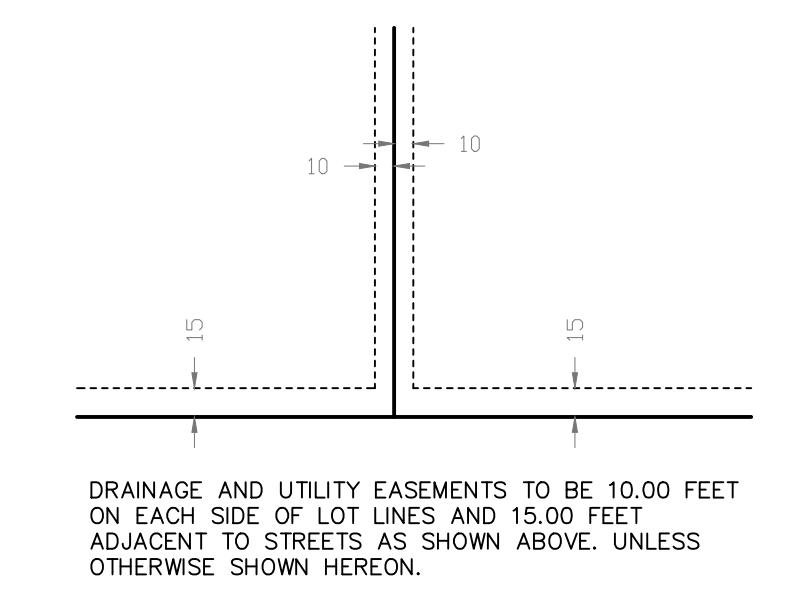
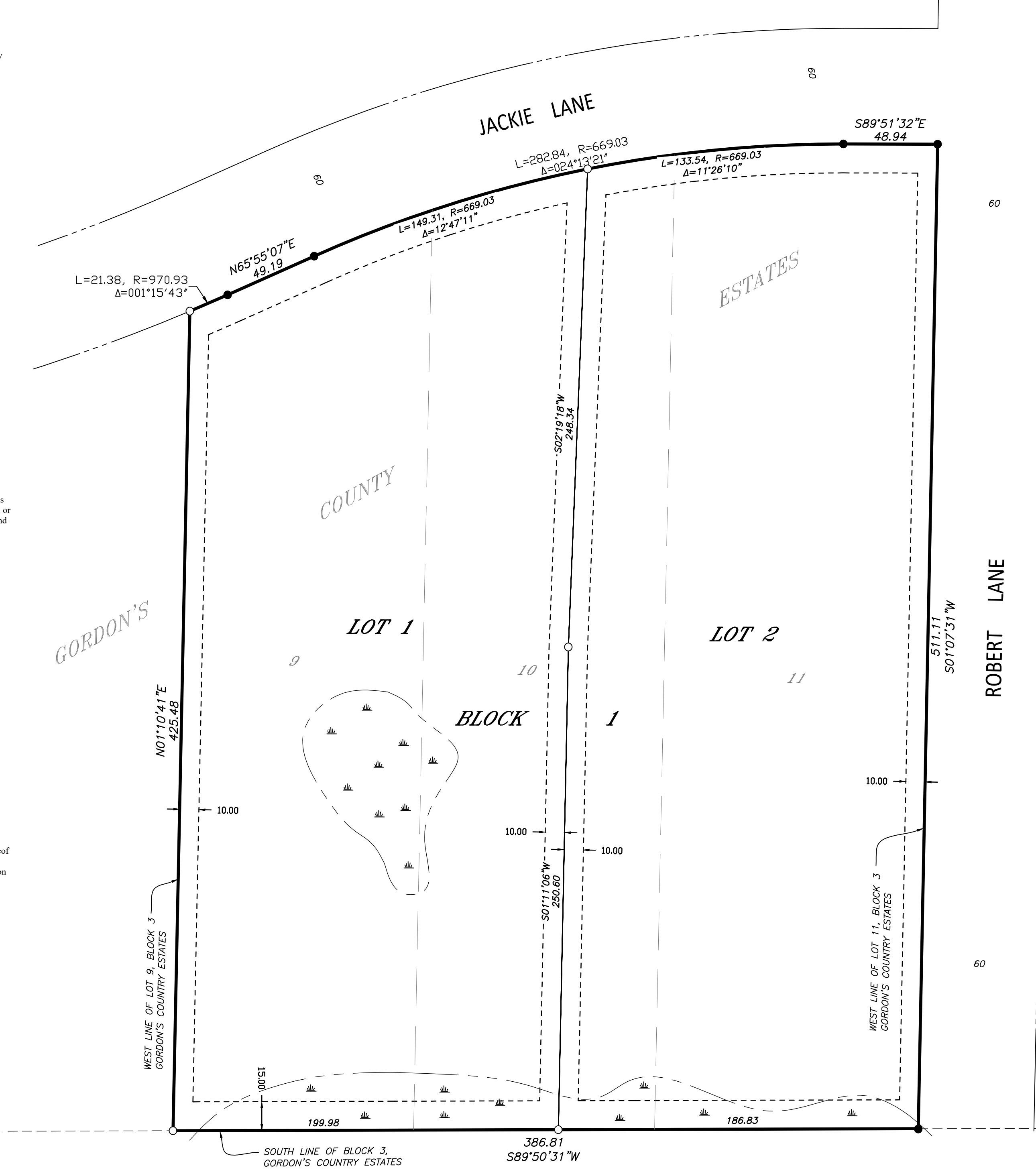
Mark V. Chapin, County Auditor                          by \_\_\_\_\_ Deputy

SURVEY DIVISION, Hennepin County, Minnesota  
Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

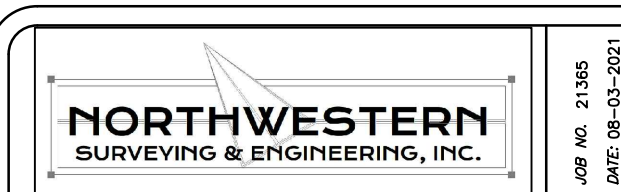
Chris F. Mavis, County Surveyor                          by \_\_\_\_\_

COUNTY RECORDER, Hennepin County, Minnesota  
I hereby certify that the within plat of GORDON'S COUNTRY ESTATES FIRST ADDITION was recorded in this office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_\_\_ o'clock \_\_\_\_ M.

Martin McCormick, County Recorder                          by \_\_\_\_\_ Deputy



- INDICATES FOUND IRON MONUMENTS
- INDICATES SET CAPPED IRON MONUMENT BEARING P.L.S. No. 57070 UNLESS OTHERWISE NOTED
- ▲ INDICATES WETLAND AS DELINEATED BY OTHERS







**TO:** Corcoran City Council

**FROM:** Kendra Lindahl, Landform

**DATE:** August 17, 2021 for the August 26, 2021 City Council Meeting

**RE:** Amendment to Section 1030.020 of the Zoning Ordinance regarding Accessory Structures (city file no. 21-029)

**60 DAY REVIEW DEADLINE:** N/A

### 1. Description of Request

City staff recommends approval of a Zoning Ordinance amendment to Section 1030.020 of the Zoning Ordinance regarding accessory building sidewall height.

The Planning Commission held a hearing on June 3<sup>rd</sup> to review a request from Dave Dornsbach for a conditional use permit to allow a new accessory structure with 16 ft. sidewalls where 13.5 ft. sidewalls are permitted on the property located at 6805 Rolling Hills Rd. The Planning Commission voted 3-2 to recommend approval of the request.

At that meeting, Commissioner Lanterman stated that there were conflicts in the Zoning Ordinance that prohibits the City from approving a taller sidewall height for parcels less than 10 acres in size. Staff noted that when the ordinance was created the intent was to allow taller sidewalls on lots less than 10 acres in size by CUP, but offered to review the adopted language with the City Attorney prior to Council review of the request.

The issue was reviewed at the June 24<sup>th</sup> City Council meeting and Council directed staff to schedule a public hearing.

### 2. Analysis

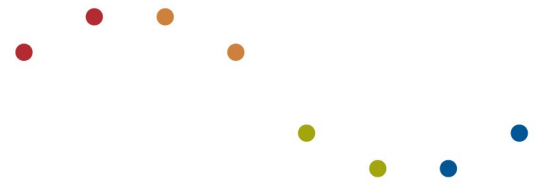
The Planning Commission held a public hearing at the August 5<sup>th</sup> Planning Commission meeting. There was no one present to speak on this item. The Commission voted 5-0 to recommend approval of the change.

The Commission also reiterated their desire to consider other amendments to this section at a future date.

### 3. Analysis

The existing language was adopted by the City Council as part of a 2011 Zoning Ordinance amendment following adoption of the 2030 Comprehensive Plan and the addition of the language to allow lots smaller than 10 acres in size to exceed the sidewall height was intended to be changed to





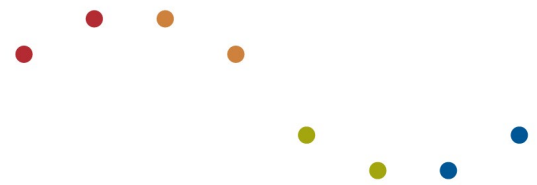
allow this request by CUP rather than by a variance as had been previously required. The Council made a number of changes to the accessory structure ordinance at that time and allowing the taller building height by CUP regardless of lot size was part of that update.

The City has approved numerous accessory buildings with taller sidewall heights through the CUP process outlined in Section 1030.020, Subd. 5 since adoption in 2011. However, the City Attorney has opined that the language should be revised to eliminate any conflicts. The City Attorney's memorandum is attached to this report.

Staff recommends the following changes to Section 1030.020, Subd. 4.G and H by deleting the ~~stricken~~ material and adding the underlined material as follows, which will allow Subd. 5.D. to continue to allow the taller sidewall height as has been permitted since 2011:

Subd. 4.       Size

- A. Attached garages with a footprint of less than 1,000 square feet shall not be considered as part of the maximum footprint for purposes of the detached accessory structure calculations. However, attached accessory space in excess of the initial 1,000 square feet shall be counted towards the maximum allowable detached accessory building footprint.
- B. The footprint of above grade or below grade swimming pools and 1 accessory structure of less than 200 square feet shall not be included in the calculation of maximum allowable area of accessory structures.
- C. A maximum of one fish house shall be permitted to be stored on a property and shall meet all accessory structure setback requirements. Such structures 200 square feet in area or greater shall be counted toward the allowed detached accessory area.
- D. Except in the UR and RR districts, a conditional use permit is required for construction of more than one detached accessory building with a footprint in excess of 200 square feet.
- E. The maximum allowable total or accumulated footprint (total footprint of all accessory structures) for detached accessory buildings in the Urban Reserve and Rural Residential districts shall be as follows:

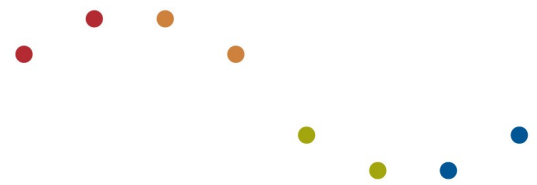


Acres	0	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9
<1	1,250 or 25 percent of the area of the rear yard, whichever is less.									
1	1,250	1,275	1,300	1,325	1,350	1,375	1,400	1,425	1,450	1,475
2	1,500	1,531	1,563	1,594	1,625	1,656	1,688	1,719	1,750	1,781
3	1,813	1,844	1,875	1,906	1,938	1,969	2,000	2,031	2,063	2,094
4	2,125	2,156	2,188	2,219	2,250	2,281	2,313	2,344	2,375	2,406
5	2,438	2,469	2,500	2,531	2,563	2,594	2,625	2,656	2,688	2,719
6	2,750	2,781	2,813	2,844	2,875	2,906	2,938	2,969	3,000	3,031
7	3,063	3,094	3,125	3,156	3,188	3,219	3,250	3,281	3,313	3,344
8	3,375	3,406	3,438	3,469	3,500	3,531	3,563	3,594	3,625	3,656
9	3,688	3,719	3,750	3,781	3,813	3,844	3,875	3,906	3,938	3,969
10+	3,969	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP

- F. In the non-residential and urban residential districts, the maximum size of accessory buildings shall not exceed 1,000 square feet or 25 percent of the area of the rear yard, whichever is less.
- G. Non-agriculture accessory buildings that would result in more than the 3,969 square feet allowed by this Section shall only be permitted on parcels located in the UR or RR district and 10 acres or more in size with a conditional use permit and subject to the following criteria:
  1. The proposed use shall be in conformance with all City regulations.
  2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
  3. Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
  4. The building materials standards required by this Section have been met.



- H. Agricultural buildings that would result in more than the 3,969 square allowed by this Section shall only be permitted on parcels 10 acres or more in size with a Certificate of Compliance from the City and subject to the following criteria:
  - 1. The proposed use shall be in conformance with all City regulations.
  - 2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
  - 3. The building materials standards required by this Section have been met.
  - 4. The agricultural building is used for agricultural purposes only.
  
- I. Agricultural buildings in excess of the size limitations allowed by Subd. 4 (E) of this Section shall be allowed by conditional use permit on parcels that are located in the UR or RR district and are less than 10 acres in size, but are adjacent to actively farmed land under the same ownership or ownership by the landowner in a recognized legal relationship, shall be allowed subject to the following criteria:
  - 1. The proposed use shall be in conformance with all City regulations.
  - 2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
  - 3. The building materials standards required by this Section have been met.
  - 4. The applicant provides proof of ownership as required above.
  - 5. The agricultural building is used for agricultural purposes only.
  
- J. Agricultural buildings shall be allowed as a principal use by conditional use permit on parcels that are actively farmed, are located in the UR or RR district and are located adjacent to the farmstead under the same ownership or ownership by the landowner in a recognized legal relationship, shall be allowed subject to the following criteria:



1. The proposed use shall be in conformance with all City regulations.
2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
3. The building materials standards required by this Section have been met.
4. The applicant provides proof of ownership as required above.
5. The agricultural building is used for agricultural purposes only.

Subd. 5. Building Height.

- A. Sidewall height shall be measured from the base of the structure to the bottom of the eave on the exterior sidewalls.
- B. The following sidewall heights, eaves, and overhang standards shall exist:

Sidewall Height	Eaves (minimum)	Overhang (minimum)
10' or less	12"	12"
10' - 12'	12"	18"
12' -13'6" to provide for a 12' door	12"	24"

- C. The maximum sidewall height of an accessory building constructed in the front or side yard is 10 feet and a maximum sidewall height of an accessory building constructed in the rear yard is 13 feet, 6 inches, except:
  1. Multi-story accessory building may be allowed by administrative permit to exceed these height limits, provided the structure does not exceed the height of the principal structure. All multi-story accessory buildings shall include a minimum of two different building materials and building articulation to add architectural interest to the building elevations.



2. Agricultural buildings may be allowed by Certificate of Compliance to exceed these height limits, provided the structure does not exceed the building height limitations of the zoning district in which it is located.
  3. Accessory buildings with accessory dwelling units may exceed these height limits when approved as part of the accessory dwelling unit interim use permit provided all other performance standards for accessory buildings are met.
- D. Any building that does not meet the standards above may only be permitted to exceed the allowable building height with a conditional use permit and subject to the following criteria:
1. The proposed use shall be in conformance with all City regulations.
  2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
  3. Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
  4. The building materials standards required by this Section have been met.
  5. The proposed building will be compatible with surrounding land uses.

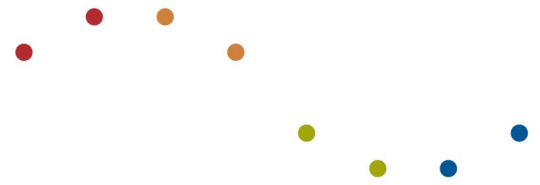
Staff recommends that the ordinance amendment be processed prior to Council action on the Dornsbach request. The Dornsbach application could be considered at the August 26<sup>th</sup> Council meeting after the ordinance adoption.

#### **4. Recommendation**

Move to adopt the following, as recommended by the Planning Commission:

- a. Ordinance 2021-427 Amending Section 1030.020
- b. Resolution 2021-91 approving Findings of Fact
- c. Summary Ordinance 2021-428

The first two items require a  $\frac{3}{4}$  vote of the Council. The summary ordinance requires a  $\frac{4}{4}$  vote of the Council.



**Attachments**

1. Ordinance 2021-427 Amending Section 1030.020
2. Resolution 2021-91 approving Findings of Fact
3. Summary Ordinance 2021-428
4. City Attorney's Memo dated June 8, 2021

**ORDINANCE NO. 2021-427**

**Motion By:**  
**Seconded By:**

**AN ORDINANCE AMENDING THE TEXT OF TITLE IX OF THE CORCORAN CITY CODE RELATED TO ACCESSORY BUILDING STANDARDS (CITY FILE 20-029)**

**THE CITY OF CORCORAN ORDAINS:**

**SECTION 1. Amendment of the City Code.** The text of Chapter 1030.020 of the Zoning Ordinance of the Corcoran City Code is hereby amended by deleting the ~~stricken~~ material and adding the underlined material as follows:

Subd. 4. Size

- A. Attached garages with a footprint of less than 1,000 square feet shall not be considered as part of the maximum footprint for purposes of the detached accessory structure calculations. However, attached accessory space in excess of the initial 1,000 square feet shall be counted towards the maximum allowable detached accessory building footprint.
- B. The footprint of above grade or below grade swimming pools and 1 accessory structure of less than 200 square feet shall not be included in the calculation of maximum allowable area of accessory structures.
- C. A maximum of one fish house shall be permitted to be stored on a property and shall meet all accessory structure setback requirements. Such structures 200 square feet in area or greater shall be counted toward the allowed detached accessory area.
- D. Except in the UR and RR districts, a conditional use permit is required for construction of more than one detached accessory building with a footprint in excess of 200 square feet.
- E. The maximum allowable total or accumulated footprint (total footprint of all accessory structures) for detached accessory buildings in the Urban Reserve and Rural Residential districts shall be as follows:

Acres	0	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9
<1	1,250 or 25 percent of the area of the rear yard, whichever is less.									
1	1,250	1,275	1,300	1,325	1,350	1,375	1,400	1,425	1,450	1,475
2	1,500	1,531	1,563	1,594	1,625	1,656	1,688	1,719	1,750	1,781
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8	3,375	3,406	3,438	3,469	3,500	3,531	3,563	3,594	3,625	3,656

**ORDINANCE NO. 2021-427**

9	3,688	3,719	3,750	3,781	3,813	3,844	3,875	3,906	3,938	3,969
10+	3,969	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP

F. In the non-residential and urban residential districts, the maximum size of accessory buildings shall not exceed 1,000 square feet or 25 percent of the area of the rear yard, whichever is less.

G. Non-agriculture accessory buildings that would result in more than the 3,969 square feet ~~or with greater sidewalls than~~ allowed ~~by~~ ~~Subd. 5 of~~ this Section shall only be permitted on parcels located in the UR or RR district and 10 acres or more in size with a conditional use permit and subject to the following criteria:

1. The proposed use shall be in conformance with all City regulations.
2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
3. Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
4. The building materials standards required by this Section have been met.

H. Agricultural buildings that would result in more than the 3,969 square ~~or with greater sidewalls than~~ allowed by this Section shall only be permitted on parcels 10 acres or more in size with a Certificate of Compliance from the City and subject to the following criteria:

1. The proposed use shall be in conformance with all City regulations.
2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
3. The building materials standards required by this Section have been met.
4. The agricultural building is used for agricultural purposes only.

I. Agricultural buildings in excess of the size limitations allowed by Subd. 4 (E) of this Section shall be allowed by conditional use permit on parcels that are located in the UR or RR district and are less than 10 acres in size, but are adjacent to actively farmed land under the same ownership or ownership by the landowner in a recognized legal relationship, shall be allowed subject to the following criteria:

1. The proposed use shall be in conformance with all City regulations.



**ORDINANCE NO. 2021-427**

2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
3. The building materials standards required by this Section have been met.
4. The applicant provides proof of ownership as required above.
5. The agricultural building is used for agricultural purposes only.

**Section 2. Effective Date**

This Ordinance shall be in full force and effect upon its adoption.

**ADOPTED** by the City Council on the 26<sup>th</sup> day of August 2021.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

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**Tom McKee - Mayor**

**ATTEST:**

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**Jessica Beise – Administrative Services Director**

**City Seal**

**RESOLUTION NO. 2021-91**

**Motion By:**  
**Seconded By:**

**A RESOLUTION APPROVING FINDINGS OF FACT FOR AN ORDINANCE AMENDING THE TEXT OF SECTION 1030.020 OF CORCORAN ZONING ORDINANCE (CITY FILE 21-029)**

WHEREAS, the City of Corcoran has proposed an amendment to the accessory building standards related to sidewall height on accessory buildings; and

WHEREAS, the Planning Commission has reviewed the request at a duly called Public Hearing and recommends approval, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it does approve an amendment to Title X (Zoning Ordinance) of the City Code to amend the accessory building standards, based on the following findings:

1. The proposed amendment would be consistent with State law and the City's Comprehensive Plan.
2. The amendment would allow all properties to request a conditional use permit for a taller sidewall regardless of lot size.
3. The amendment is consistent with the intent of the accessory building ordinance as amended in 2011.

**VOTING AYE**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan

**VOTING NAY**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**ORDINANCE NO. 2021-428**

**Motion By:**  
**Seconded By:**

**CITY OF CORCORAN**

**SUMMARY OF ORDINANCE NO. 2021-427**

**AN ORDINANCE AMENDING THE TEXT OF TITLE X OF THE CORCORAN CITY CODE  
RELATED TO ACCESSORY BUILDING STANDARDS (CITY FILE 20-015)**

Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended by changing the text of Chapter 1030.020 of the Zoning Ordinance of the Corcoran City Code regarding sidewall height on accessory buildings.

A printed copy of the entire amendment is available for inspection by any person at City Hall during the City Clerk's regular office hours.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**MEMORANDUM**

**TO:** Corcoran City Council  
**FROM:** John Thames, City Attorney  
**DATE:** 6/8/21  
**RE:** Building Height CUP and Interpretation of Corcoran City Code Section 1030.020 Subd. 4(G) and Subd. 5(D)

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At the request of the Planning Commission and City staff, I have prepared this memo to offer my opinion as to the interpretation and application of Corcoran City Code Section 1030.020, Subd. 4(G) and Subd. 5(D), as they affect the Dornsbach application for a conditional use permit (“CUP”). The requested CUP seeks to allow for the construction of a non-agricultural accessory building with 16 foot sidewalls, which exceed the permitted height of 13 ft, 6 in (pursuant to Subd. 5(B)), on the applicant’s property which is less than 10 acres in size.

The application was initially analyzed under 1030.020, Subd. 5(D), which sets forth evaluation criteria for proposed buildings which will exceed the permitted height standards, and which states:

“Any building that does not meet the standards above may only be permitted to exceed the allowable building height with a conditional use permit and subject to the following criteria:

1. The proposed use shall be in conformance with all City regulations.
2. A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.
3. Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
4. The building materials standards required by this Section have been met.
5. The proposed building will be compatible with surrounding land uses.”

Staff opined that the application met these standards and recommended approval of the CUP on the property. The Planning Commission agreed with this evaluation, noting the implementation of this analysis on past similar applications. However, Commissioner Lanterman expressed concerns with this interpretation and corresponding conclusion in light of the requirements of 1030.020, Subd. 4(G). The Planning Commission issued a qualified

recommendation of approval, but asked that I offer a memo to the Council with analysis of this issue.

It is my opinion that the plain language of 1030.020, Subd. 4(G) does prohibit the approval of the requested CUP, due to the size of the Dornsbach property. As Commissioner Lanterman correctly asserted, though subdivision 4 of this Section addresses “Size” of accessory structures, subdivision 4(G) contains a provision which specifically limits the placement of buildings which exceed the allowed accessory building height contemplated by subdivision 5:

“Non-agriculture accessory buildings that would result in more than 3,969 square feet or with greater sidewalls than allowed in Subd. 5 of this Section shall only be permitted on parcels located in the UR or RR district and 10 acres or more in size with a conditional use permit and subject to the following criteria:...” 1030.020, Subd. 4(G)

Subdivision 4(G) therefore mandates that a proposed building which seeks to exceed the permitted accessory building height standards will only be allowed on parcels at least 10 acres in size, with a CUP. Because the Dornsbach property is less than 10 acres in size, it is not eligible to receive a CUP to allow for a greater accessory building height. There is no language currently in subdivision 5 which permits an evaluation of the application under that subdivision, without regard to the provisions of 4(G). Therefore, the two subdivisions must be interpreted in conjunction with one another.

One could posit that the definition of “allowed in Subd. 5” (see 1030.020, Subd. 4(G) above) is to be interpreted broadly to include those accessory buildings which meet the height standards found in subdivision 5B *and those which meet the CUP standards of subdivision 5(D)*. However, this suggestion does not allow for a reasonable interpretation of all the provisions of subdivision 4(G), as it is presently written. Specifically, it renders the CUP process contained in subdivision 4 (as to a building height CUP) contradictory. Such a reading would provide that the 10 acre requirement would only apply to building height CUP applicants who do not qualify for a CUP (under subdivision 5) and suggest that they could become eligible for consideration of a CUP (under subdivision 4), under basically identical standards.

It is staff’s strong belief that it was the City’s intent to evaluate applications like the Dornsbach application under the standards set forth in subdivision 5, without regard to a minimum acreage standard. It is believed that this minimum acreage standard was intended to apply only to square footage requirements for non-agricultural accessory buildings. The fact that no mention is made of this acreage requirement in subdivision 5(D) supports this assertion. Nevertheless, the situation before the Council appears to be one in which the plain and black letter language of the code does not match the City’s desire or intended practice. Should this be the case, I would strongly suggest an immediate code amendment be proposed and implemented to align the City’s intent with the code language. Without such amendment, I do not believe the code, as presently written, allows for CUP approval of the Dornsbach application or those future applications which are similar to it.

Respectfully Submitted.



**TO:** Corcoran City Council

**FROM:** Nicholas Ouellette through Kendra Lindahl, Landform

**DATE:** August 17, 2021 for the August 26, 2021 City Council Meeting

**RE:** Conditional Use Permit for Dave Dornsbach on the Property located at 6805 Rolling Hills Rd. (PID 32-119-23-11-0002) (city file no. 21-018)

**120 DAY REVIEW DEADLINE:** August 31, 2021

## 1. Description of Request

The applicant has requested a conditional use permit (CUP) to allow a new accessory structure. The building will replace existing accessory structures and will be used for personal use and storage. A conditional use permit is required as the applicant is requesting approval to allow a new 2,241 sq. ft. accessory building with 16 ft. sidewalks where 13.5 ft. sidewalks are permitted.

## 2. Background

The Planning Commission held a public hearing on this item at the June 3, 2021 meeting. No residents spoke on the item during the public hearing. Letters from two neighbors were received and shared with the Planning Commission in advance of the meeting. All letters and emails were entered into the public hearing record.

The Planning Commission voted 3-2 to recommend approval of the request. At the meeting, Commissioner Lanterman stated that there were conflicts with the Zoning Ordinance that prohibits the City from approving a taller sidewall height for parcels less than 10 acres in size. Staff noted when the ordinance was created the intent was to allow taller sidewalks on lots less than 10 acres in size by CUP but offered to review the adopted language with the City Attorney prior to Council review of the request.

The issue was reviewed at the June 24<sup>th</sup> City Council meeting and Council directed staff to schedule a public hearing to review changes to the ordinance.

The Planning Commission held a public hearing on the amendment to Section 1030.020 of the Zoning Ordinance regarding Accessory Structures on August 5, 2021. There were no members of the public present to speak on this item. The Planning Commission voted 5-0 to recommend approval of the change.



### **3. Context**

#### *Zoning and Land Use*

The property is zoned Rural Residential (RR), and the Comprehensive Plan designates the property as Rural/Ag Residential. The property is located outside the Metropolitan Urban Service Area (MUSA). Present land use is single family residential with accessory structures present on the property.

#### *Surrounding Properties*

All surrounding properties are located outside the MUSA and are guided Rural/Ag Residential and zoned Rural Residential (RR).

#### *Natural Characteristics of the Site*

The Comprehensive Plan Natural Resource Inventory (NRI) map identifies a High Quality Natural Community Floodplain Forest on the southeast corner of the site and along the south, west and north property lines. The proposed location of the accessory structure is near the west property line and a small impact to the Floodplain Forest is expected.

### **4. Analysis**

Staff has reviewed the application for consistency with Comprehensive Plan, Zoning Ordinance, and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo.

#### **A. Level of City Discretion in Decision-Making**

The City's discretion in approving or denying a Conditional Use Permit (CUP) is limited to whether the proposed plan is in substantial conformance with the standards outlined in the City Code. If it meets these standards, the City must approve the CUP.

#### **B. Consistency with Ordinance Standards**

##### *Architecture/Building Standards*

The proposed building will be in the rear yard and meet the required building separation from the principal building on the property. The footprint of the proposed building is 2,241 sq. ft. and the ordinance allows a maximum of 2,313 sq. ft. on this 4.64-acre site. The new building is within the maximum allowable accumulated footprint for accessory buildings in the RR district.

There are three existing accessory structures on site totaling 2,115 sq. ft. The existing accessory structures will be demolished to allow for the proposed building to comply with the maximum allowable accumulated footprint for accessory buildings.



The conceptual designs for the building show colored steel wall panels, colored steel wainscoting, colored steel roofing and aluminum soffit and fascia. The applicant has provided sample boards with colors (tan and brown) to be used for the building. An image of a similar building has been included to illustrate the color scheme; this image is for color reference only and does not indicate any designs for the building. The building has minimal aesthetic features to break up the mass of the structure, however, it is unlikely the building will be visible from the public view. Section 1060.050, Subd. 1(D) allows metal roofing and siding via a Certificate of Compliance if the materials meet the standards in the MN State Building Code and have been treated with a factory applied color coating system to protect against fading. The materials comply.

The conceptual designs indicate the roof overhangs will extend 2 ft. from the exterior wall of the structure. These materials and designs are consistent with ordinance standards, which require one foot overhangs. The conceptual design for the building indicates a sidewall height of 16 ft. which exceeds the 13 ft. 6 in. maximum sidewall height allowed for accessory structures in the rear yard per City Code. The Zoning Ordinance allows landowners to require a CUP to exceed the sidewall limits and the CUP is discussed later in this report.

### *Landscaping*

No landscape plan is required. The applicant does not indicate any additional trees or shrubs to be planted or removed in their application. The City does not have a tree preservation ordinance, but staff encourages the applicant to adjust the building location to protect the Floodplain Forest at the proposed building site if possible.

A Grading and Erosion Control Plan is required. The applicant shall submit a plan for review prior to building permit issuance. Erosion control should be placed on the downstream limit of construction to prevent offsite transport of sediment.

### *Setbacks*

The plan complies with the required setbacks for accessory buildings in the RR district. The proposed building will be located in the rear yard and has a 20 ft. setback from the west property line where 15 ft. is required. The proposed building also complies with all other setbacks for accessory buildings in the RR district.

### Conditional Use Permit

The applicant is requesting a conditional use permit (CUP) to allow for a sidewall height of 16 ft., where 13 ft. 6 in. is the maximum sidewall height allowed for accessory structures in the rear yard per City Code. Section 1030.020, Subd. 5(D) of the Zoning Ordinance allows the landowner to request a CUP to exceed the limitations for sidewall height on an accessory building if the following criteria is met:





1. *The proposed use shall be in conformance with all City Regulations.*

Accessory buildings are a permitted use in the RR district. There are limitations on the maximum allowable total or accumulated footprint (total footprint of all accessory structures) for detached accessory buildings in the RR district. The property currently has three accessory structures with an accumulated footprint of 2,115 sq. ft. in area where 2,313 sq. ft. is allowed. The applicant is proposing to remove all three existing accessory structures to maintain compliance with the maximum allowable accumulated footprint for detached accessory structures on the property. The proposed building is 2,241 sq. ft. in area and within the maximum allowable accumulated footprint for accessory buildings in the RR district. The property owner has requested permission to maintain the existing barn for storage through the development of the new building. While the new building is constructed the property will be in violation of City Code for exceeding the maximum allowable accumulated footprint of accessory buildings. Once the new building is complete, the property owner will demolish the barn which will bring the property into compliance with the City Code.

The sidewall height of the proposed building is 16 ft. and the permitted sidewall height for an accessory building in the rear yard is 13 ft. 6 in. in the RR district. The applicant has indicated the additional sidewall height is to allow for storage of trailers. The increased sidewall height will allow for increased indoor storage of items.

2. *A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.*

A certificate of survey has been provided to the City with necessary information dated April 19, 2021. Hennepin County GIS indicates potential and probable wetlands on the southeast corner of the property. The City Engineer has concluded a wetland delineation is not required as the proposed development is distant enough from probable wetlands to pose no risk.

3. *Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.*

A. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The proposed use is consistent with the residential and agricultural uses anticipated on this site by the Comprehensive Plan. It will also be consistent with the Rural/Ag Residential land use designation, as the property will continue to be defined by natural areas and areas that are utilized for planted fields, pastureland, hobby farms and large residential lots.



- B. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort.*

The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The use is allowed within the Rural Residential District. The establishment of the conditional use will be conditioned on the demolition of existing dilapidated buildings which will improve the general public welfare.

- C. *The conditional use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. Conditions have been proposed to ensure compliance with accessory structure ordinances.

- D. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property uses permitted in the district.*

The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

- E. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Municipal sewer and water are not available to the site and are not required to accommodate the proposed use. Well and septic systems are available on the property.

- F. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

Staff has proposed draft conditions to ensure compliance with the Zoning Ordinance regulations.

- G. *The conditional use and site conforms to the performance standards as specified by this Chapter.*

Staff has analyzed the performance standards of this Chapter and has included conditions to ensure compliance with the performance standards.



4. *The building materials standards required by this Section have been met.*

The building materials must comply with performance standards in Section 1060.050, Subd. 1(D), which allows metal roofing and siding via a Certificate of Compliance if the materials meet the standards in the MN State Building Code and have been treated with a factory applied color coating system to protect against fading. The materials comply.

5. *The proposed building will be compatible with surrounding land uses.*

The surrounding properties are zoned RR district with single family residential and agricultural uses. The proposed building is compatible with these surrounding land uses where large barns and buildings are common.

## 5. Conclusions

Staff has reviewed the plans with the applicable standards outlined in the Comprehensive Plan and Zoning Ordinance as proposed to be amended by Ordinance 2021-427 and finds that the standards for a conditional use permit have been met. If the ordinance amendment is approved on August 26<sup>th</sup> Council meeting, the proposed use is consistent with the type of use existing and projected for the Rural Residential district area of the City. Any outstanding issues that must be addressed have been included as conditions in the attached draft resolutions.

## 6. Recommendation

Move to adopt Resolution 2021-92 approving the conditional use permit for an accessory building exceeding sidewall height on the property.

## Attachments

1. Resolution 2021-92 Approving the CUP
2. Site Location Map
3. City Engineer's Memo dated May 25, 2021
4. Significant Natural Resources map dated 2019
5. Applicant Narrative dated April 20, 2021
6. Survey dated April 19, 2021
7. Building Plans dated April 6, 2021
8. Sample Board Exhibit dated May 4, 2021

**RESOLUTION NO. 2021-92**

**Motion By:**  
**Seconded By:**

**APPROVAL OF A CONDITIONAL USE PERMIT FOR THE PROPERTY LOCATED AT 6805 ROLLING HILLS RD. (PID 32-119-23-11-0002) (CITY FILE NO. 21-018)**

**WHEREAS**, David Dornsbach is requesting approval of a conditional use permit to allow for the construction of an accessory building on property legal described as follows:

*SEE ATTACHMENT A*

**WHEREAS**, the Planning Commission has reviewed the conditional use permit at a duly called public hearing; and

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request, subject to the following findings and conditions;

1. A conditional use permit are approved to allow for the construction of a building as shown on application and plans received by the City on April 20, 2021, and additional information received on May 3, 2021.
2. The applicant must comply with all conditions in the City Engineers Memo dated May 25, 2021.
3. A certificate of compliance to allow metal roof and siding on this accessory building is also approved as part of the CUP
  - a. The building materials must comply with Section 1060.050, Subd. 1,B.2 of the Zoning Ordinance.
4. A conditional use permit is approved to allow for an accessory building with sidewalls of 16 ft. where 13 ft. 6 in. is allowed, subject to the finding that applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance have been met. Specifically:
  - a. The proposed use complies with the Comprehensive Plan. The project is consistent with the Rural/Ag Residential land use designation and maintains the rural aspect of the City/
  - b. The establishment of the conditional use will promote and enhance the general public welfare. The conditional use for the new structure will allow for the demolition of existing dilapidated buildings.
  - c. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Conditions have been proposed to ensure compliance with accessory structure ordinances and building code.

**RESOLUTION NO. 2021-92**

- d. The establishment of the conditional use will not impede the normal and orderly development of surrounding property uses permitted in the district.
  - e. Municipal sewer and water are not available to the site and are not required to accommodate the proposed use. Well and septic systems are available on the property.
  - f. The conditional use conforms to the applicable regulations of the Rural Residential district. Staff has proposed draft conditions to ensure compliance with the Zoning Ordinance regulations.
  - g. The conditional use and site conforms to performance standards as specified by Chapter 1070.020 and staff has found that the building conforms to other standards specified in the Zoning Code.
5. The property cannot be used for commercial purposes unless a separate approval is requested and granted by the City.
  6. A building permit is required prior to beginning construction.
  7. FURTHER, that the following conditions must be met prior to issuance of building permits:
    - a. The silo and shed accessory structures must be demolished.
    - b. The old barn building may remain during construction but must be removed from the site within 30 days of completion of the new accessory building.
      - i. The applicant must submit a \$5,000 escrow as a financial guarantee to ensure removal of the accessory building. The escrow will be refunded upon removal of the building.
    - c. The applicant/landowner must record the approving resolution at Hennepin County and provide proof of recording to the City.
  8. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and the required improvements.

**RESOLUTION NO. 2021-92**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2021-92**

Attachment A

*That part of the East 445.00 feet of Government Lot 4 of Section 32, Township 119, Range 23, Hennepin County, Minnesota lying south of the North 583.17 feet of said Government lot 4 and lying north of the South 252.00 feet of said Government Lot 4*





# Hennepin County Natural Resources Map

Date: 5/17/2021






## Legend

### FEMA Floodplains - 100 Year

-  A
-  AE FLOODPLAIN
-  AH
-  AO
-  AE FLOODWAY

### Wetlands

-  Potential Wetland - HCWI
-  Probable Wetland - HCWI
-  Probable Wetland - NWI

PID: 3211923110002  
Address: 6805 ROLLING HILLS RD,  
CORCORAN  
Owner Name: D K DORNSBACH/J  
M DORNSBACH  
Acres: 4.64

Comments:

1 inch = 100 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran

From: Kent Torve, PE City Engineer

Project: B002294-20-502

Date: May 25, 2021

Subject: Dornsbach CUP

### **Summary**

- The construction of the outbuilding does not affect drainage patterns.
- The wetland delineation requirement is waived after a topographic/aerial review was completed of the proposed building site.
- Applicant to submit a Grading and Erosion control plan for review prior to building permit issuance.
  - Erosion control should be placed on the downstream limit of construction, to prevent offsite transport of sediment.
- An escrow will be required.

**End of Memo**



# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

#### Natural Plant Communities

##### Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

##### Uplands

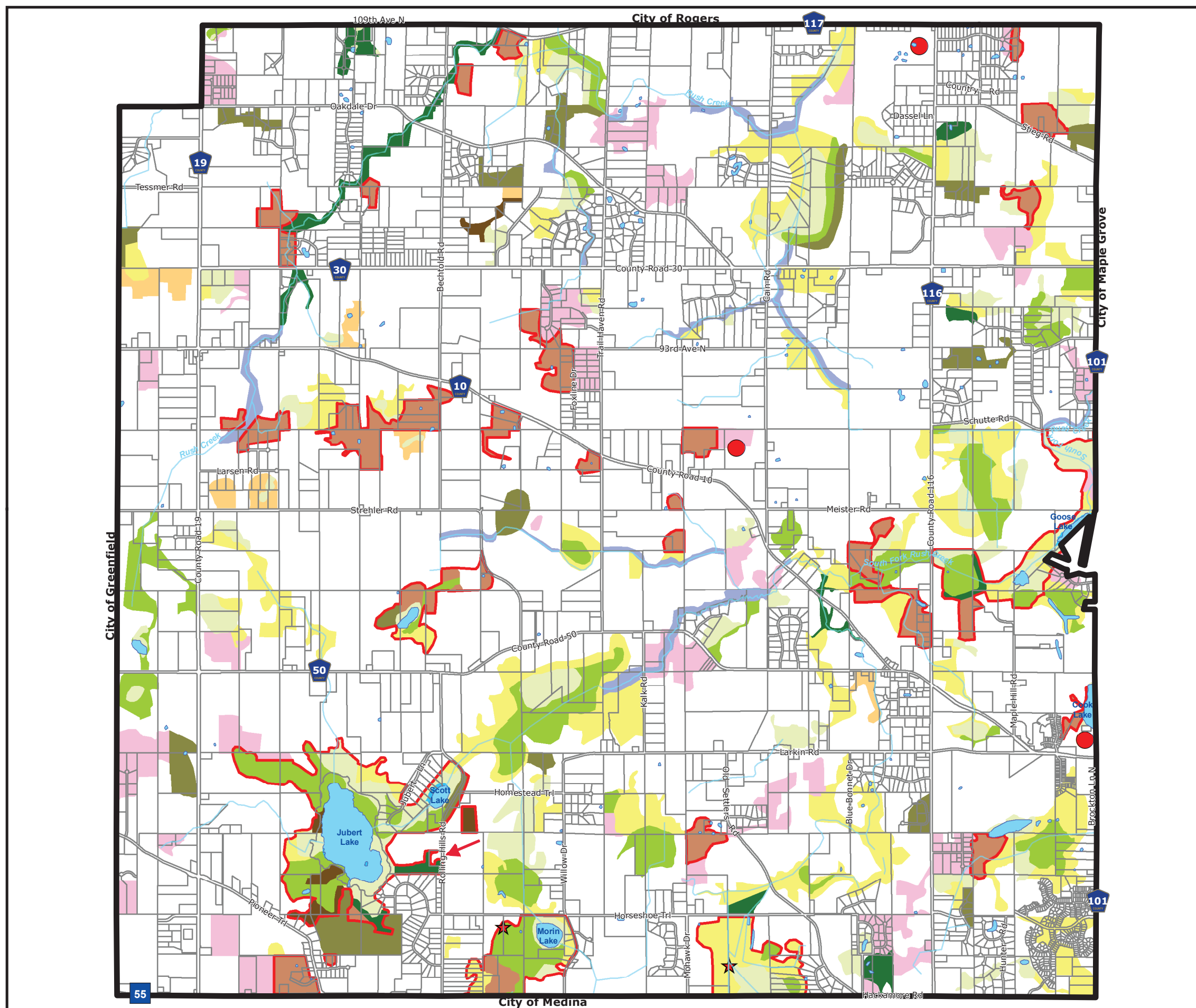
- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source:  
Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



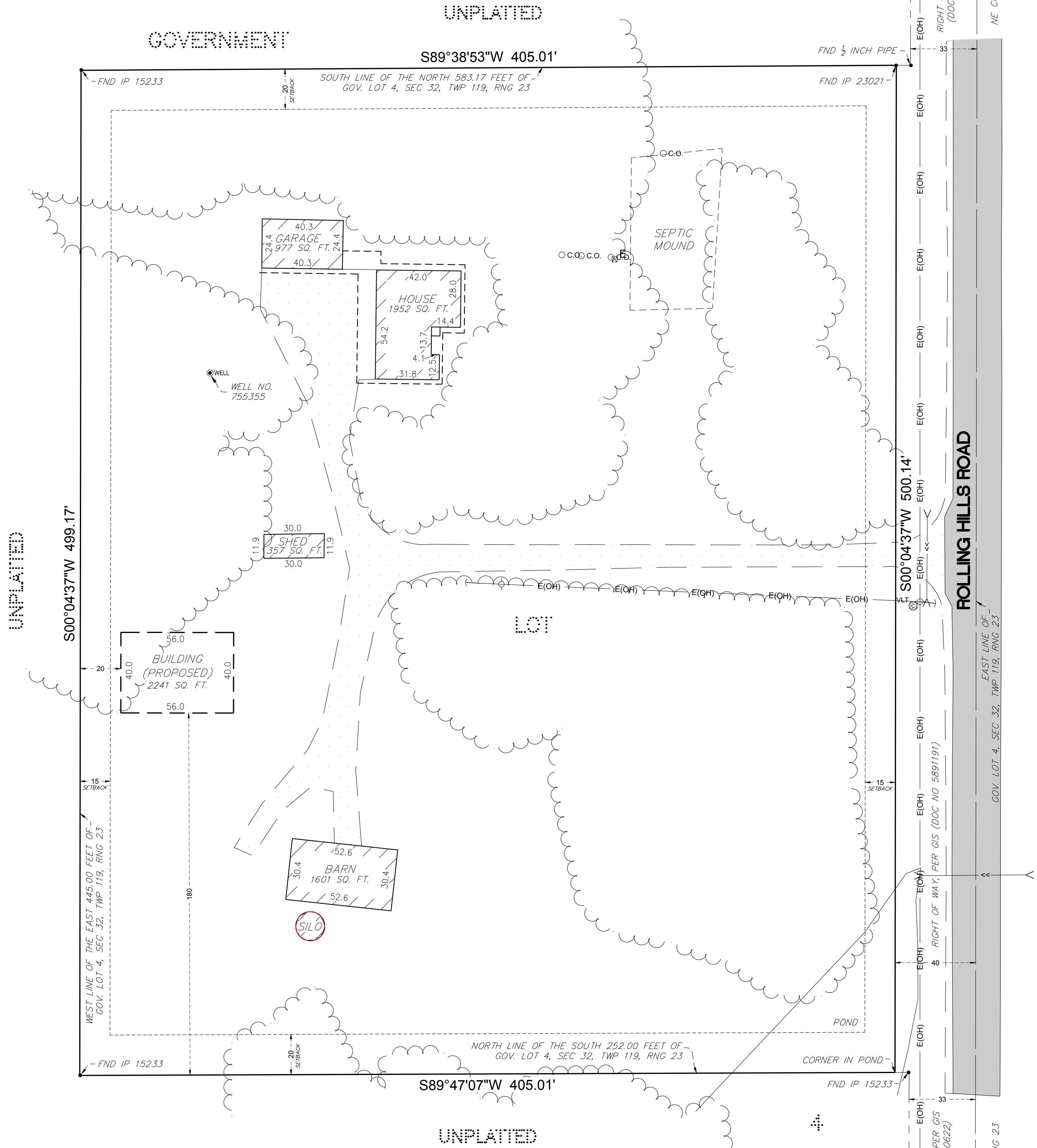
Path: L:\2294\100\2040CompPlan\Natural Resource Inventory Areas.mxd  
Date: 1/7/2019 Time: 1:10:39 PM User: ShuJC0243



Please attach a brief description of your project/reason for your request.

I Dave Dorasbach am looking to put up a 40x56 pole barn with 16' side walls. I have an existing barn on the property that has higher side walls, but the barn is not practical for regular use. The new barn will be used for my personal use and store my items. I wanted higher sidewalls in order to back my fishhouse in with A/c unit on the roof. I believe the new building will look better and fit the property better than the old rotten barn. I would like to keep the existing barn up until the new barn is done. My reason is I can keep my things in the barn and still use it for storage while the other barn is getting built. I don't want storage pods on the property. I will take down the existing barn right after the new one gets built.

Thank you,  
Dave Dorasbach

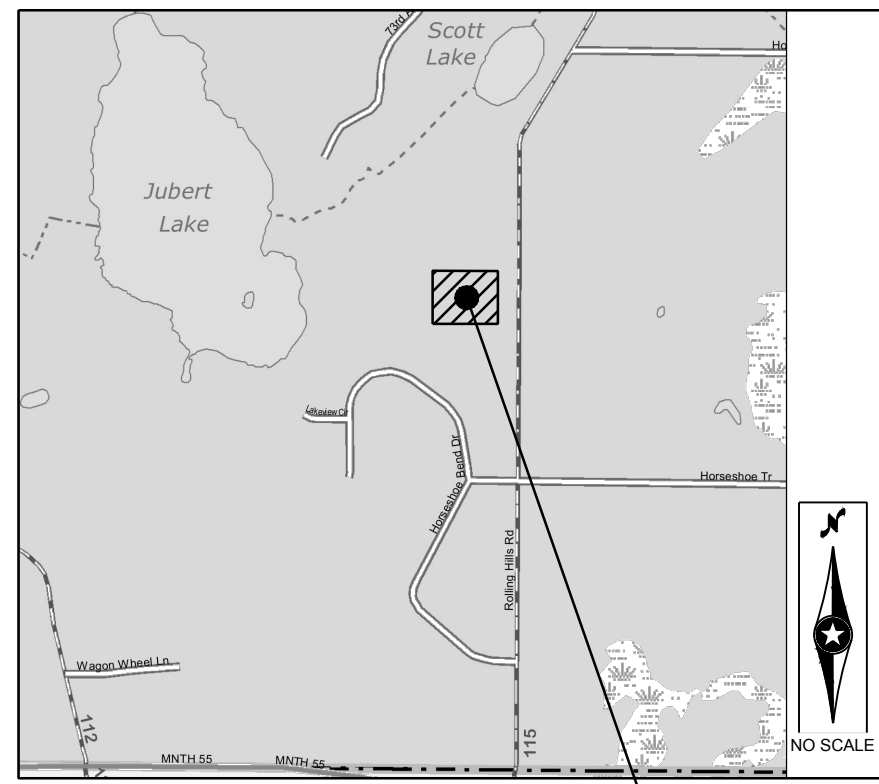


UNPLATTED

UNPLATTED

UNPLATTED

ROLLING HILLS ROAD



VICINITY MAP  
6805 ROLLING HILLS ROAD  
CORCORAN, MN 55340

**LEGEND**

—	PROPERTY LINE
- - -	SECTION LINE
- - - - -	RIGHT OF WAY LINE
▭	BUILDING
▭	BUILDING - OVERHANG
⊕	POWER POLE
⊕E	ELECTRIC PEDESTAL
⊕	GUY ANCHOR
VLT	COMMUNICATIONS VAULT
⊙	WELL
○	CLEAN OUT
—	CULVERT
~	TREE LINE
▭	BITUMINOUS SURFACE
▭	GRAVEL SURFACE
●	FOUND MONUMENT

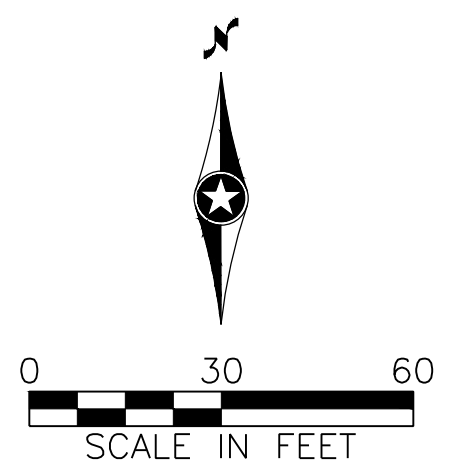
**LEGAL DESCRIPTION**

6805 ROLLING HILLS ROAD, CORCORAN, MN 55340:

That part of the East 445.00 feet of Government Lot 4 of Section 32, Township 119, Range 23, Hennepin County, Minnesota lying south of the North 583.17 feet of said Government lot 4 and lying north of the South 252.00 feet of said Government Lot 4.

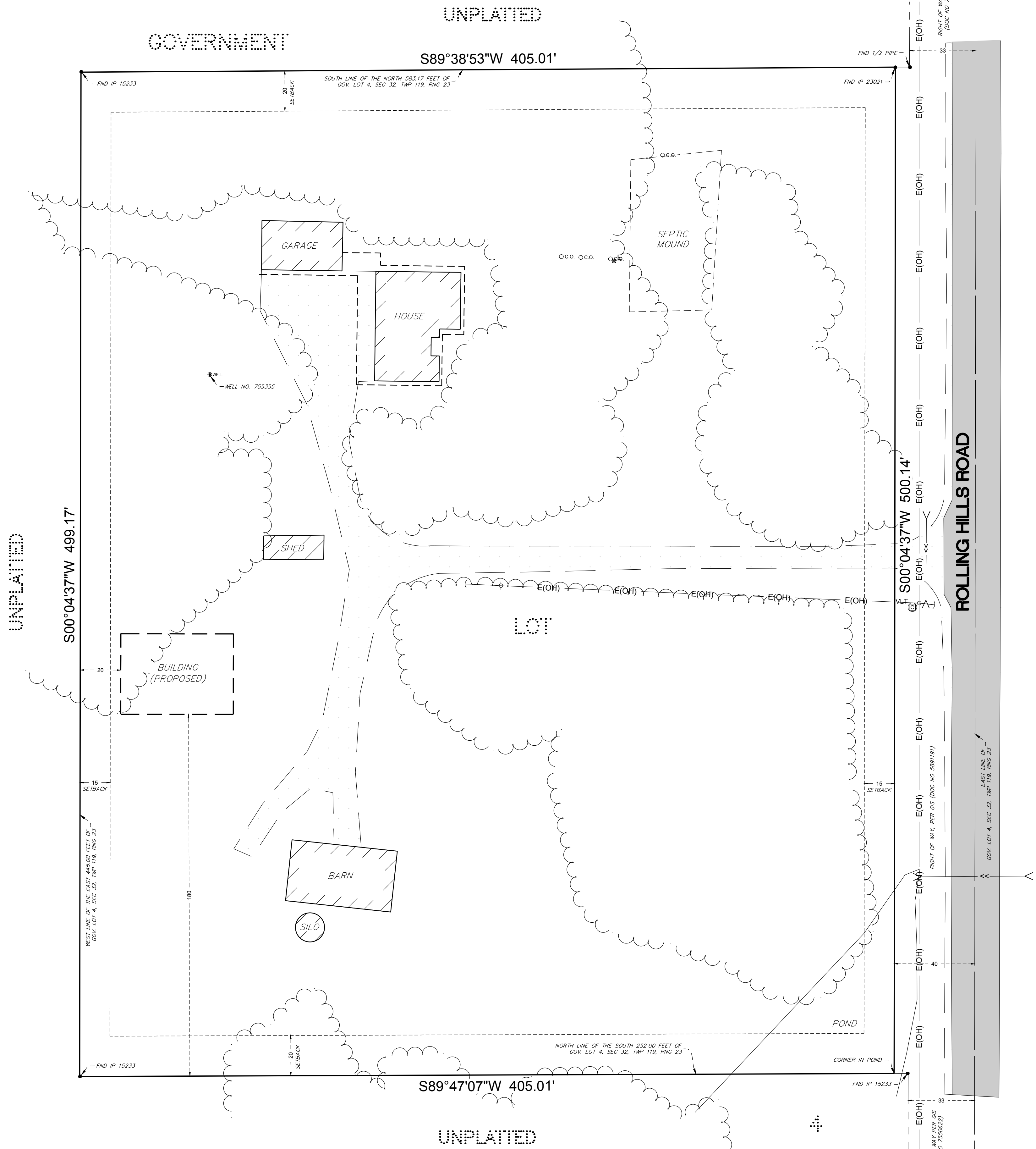
**SURVEYOR'S NOTES:**

- The east line of the Government Lot 4 of Section 32, Township 119, Range 23, Hennepin County, Minnesota is assumed to bear S00°04'37"W.
- Land area: 202361 sq. ft. (4.65 acres)
- Right of way drawn as shown in Hennepin County GIS. Any easements if present are not shown. Right of way nor easement documents were provided to the surveyor.
- Field work conducted on 4/10/2021
- All distances are in feet and tenths of feet.
- Horizontal Datum:  
Hennepin County Coordinate System,  
NAD 1983 (1996)  
Vertical Datum: N/A



<p>PREPARED BY: MICHAEL J. FISCHER, JR. 135 105TH AVE NW COON RAPIDS, MN 55448 763-300-7257</p>	<p>PREPARED FOR: DAVID DORNBACH 6805 ROLLING HILLS ROAD CORCORAN, MN 55340</p>	<p><b>CERTIFICATE OF SURVEY</b></p> <p>6805 ROLLING HILLS ROAD CORCORAN, MN 55340</p>	<p>REVISIONS: 0 Original Issue 4/19/21</p>	<p>I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.</p> <p>Signature: <i>Michael J. Fischer, Jr.</i> Michael J. Fischer, Jr.</p> <p>Date: 4/19/2021 License Number: 56505</p>
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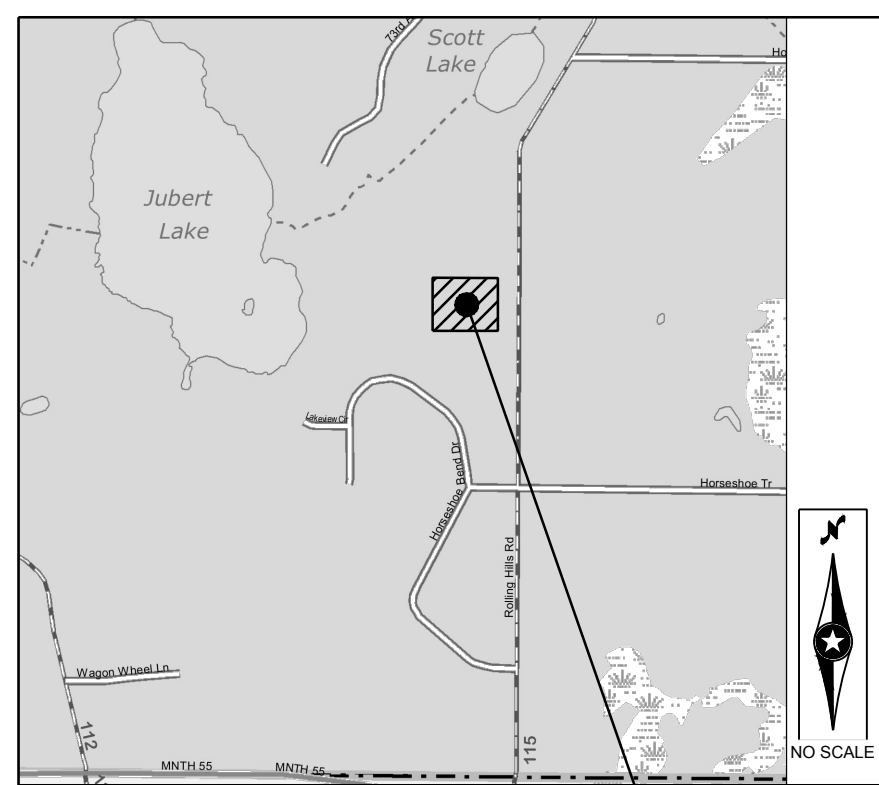
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That part of the East 445.00 feet of Government Lot 4 of Section 32, Township 119, Range 23, Hennepin County, Minnesota lying south of the North 583.17 feet of said Government lot 4 and lying north of the South 252.00 feet of said Government Lot 4.

**SURVEYOR'S NOTES:**

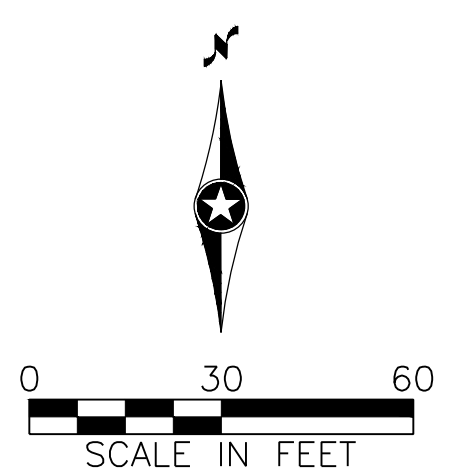
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- Horizontal Datum:  
Hennepin County Coordinate System,  
NAD 1983 (1996)  
Vertical Datum: N/A



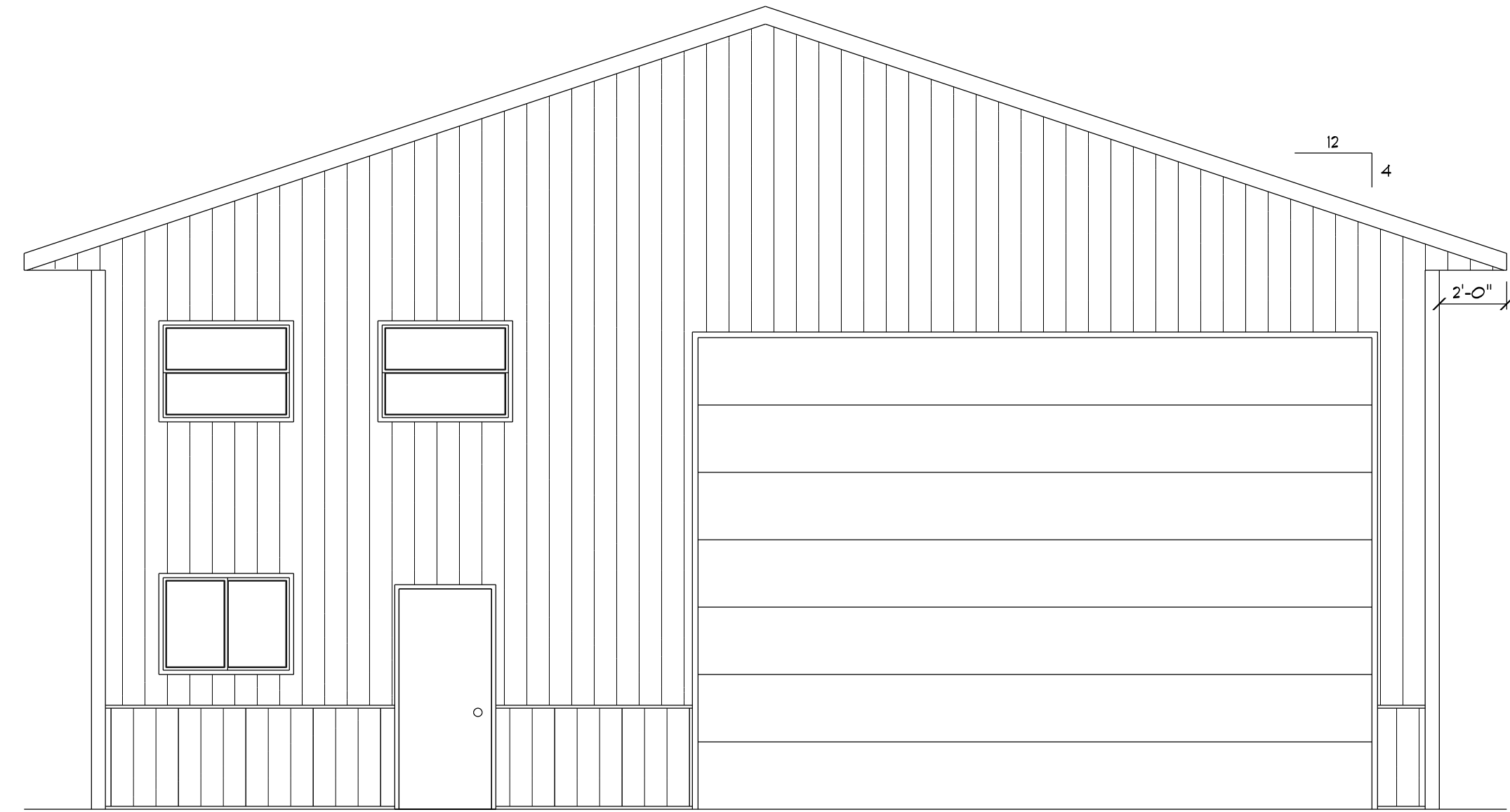
VICINITY MAP  
6805 ROLLING HILLS ROAD  
CORCORAN, MN 55340

**LEGEND**

	PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY LINE
	BUILDING
	BUILDING - OVERHANG
	POWER POLE
	ELECTRIC PEDESTAL
	GUY ANCHOR
	COMMUNICATIONS VAULT
	WELL
	CLEAN OUT
	CULVERT
	TREE LINE
	BITUMINOUS SURFACE
	GRAVEL SURFACE
	FOUND MONUMENT

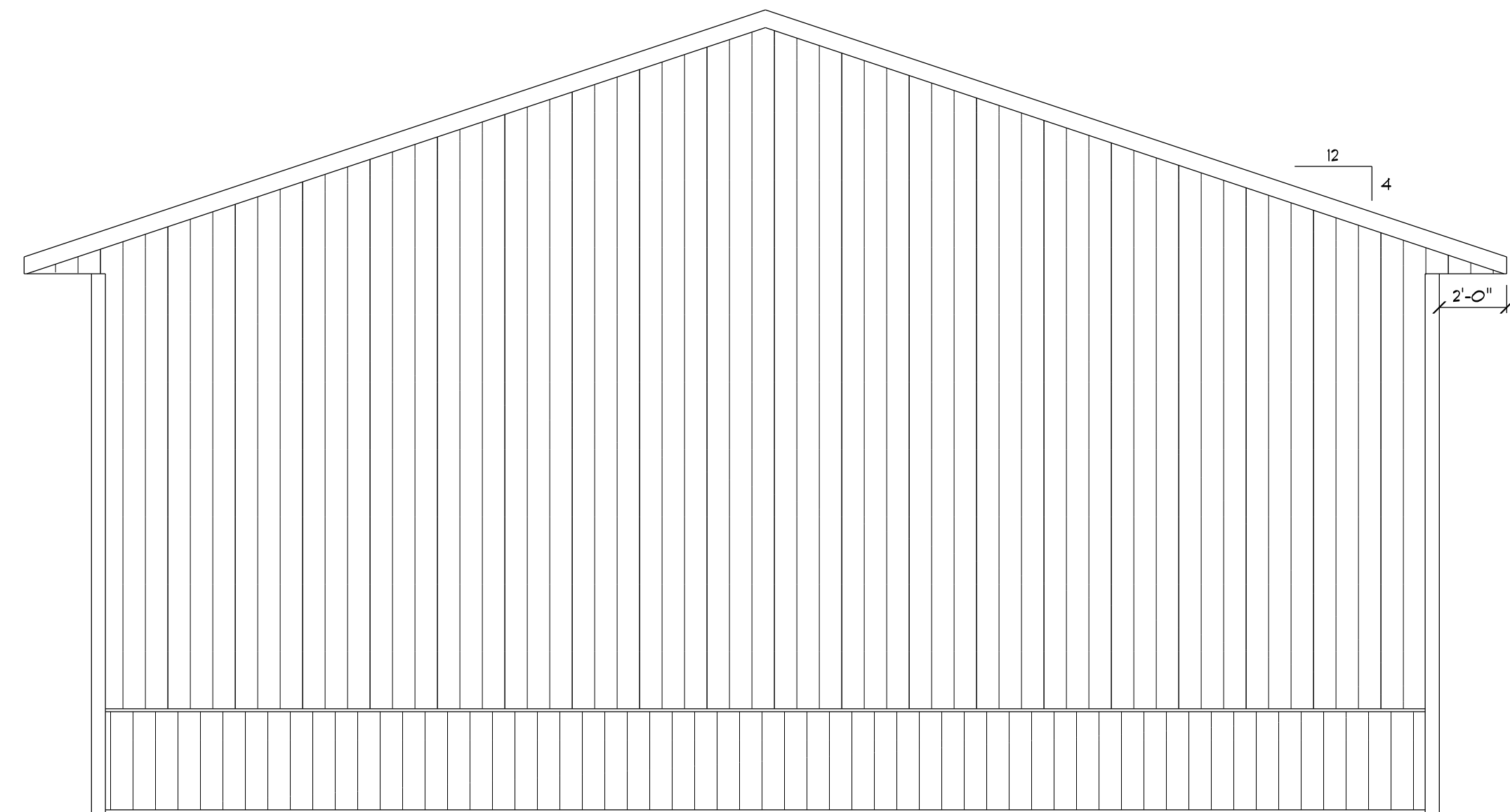


PREPARED BY: MICHAEL J. FISCHER, JR. 135 105TH AVE NW COON RAPIDS, MN 55448 763-300-7257	PREPARED FOR: DAVID DORNBACH 6805 ROLLING HILLS ROAD CORCORAN, MN 55340	<b>CERTIFICATE OF SURVEY</b>  6805 ROLLING HILLS ROAD CORCORAN, MN 55340	REVISIONS: 0 Original Issue 4/19/21	I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota. Signature: <i>Michael J. Fischer, Jr.</i> Michael J. Fischer, Jr. Date: 4/19/2021 License Number: 56505
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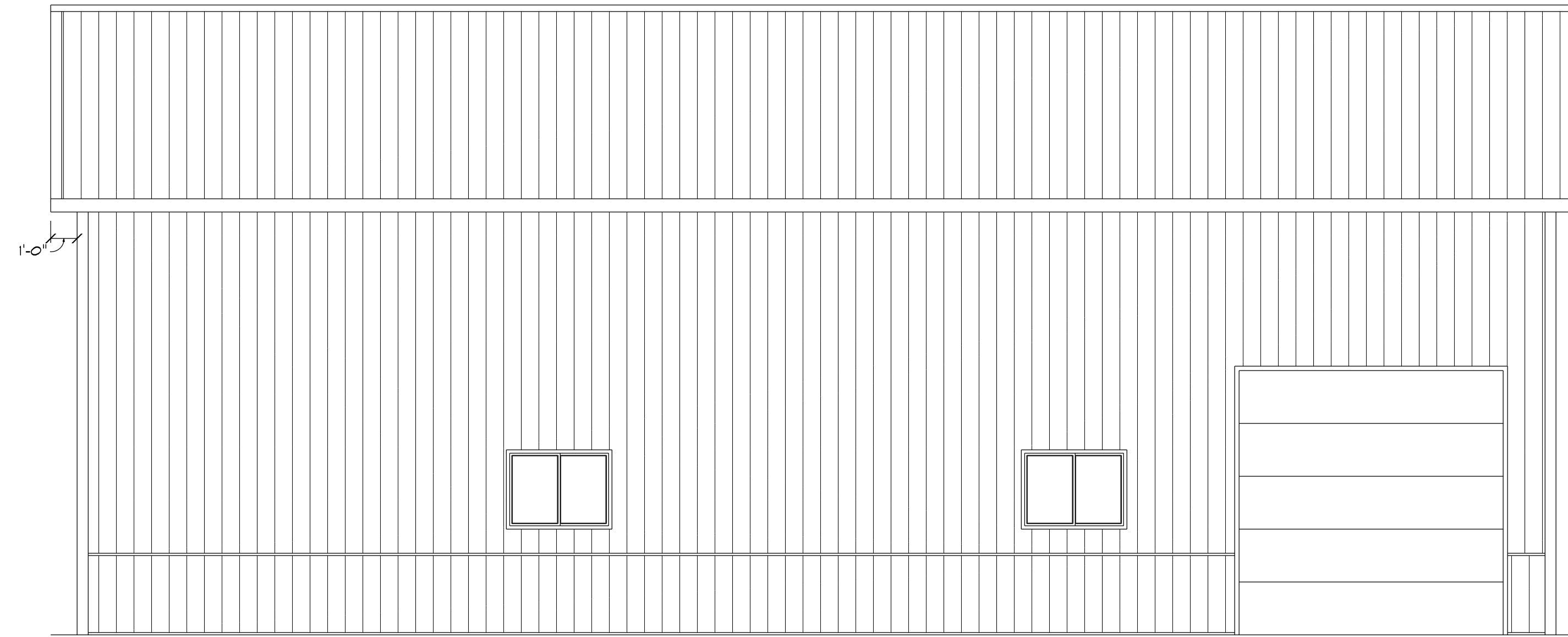
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



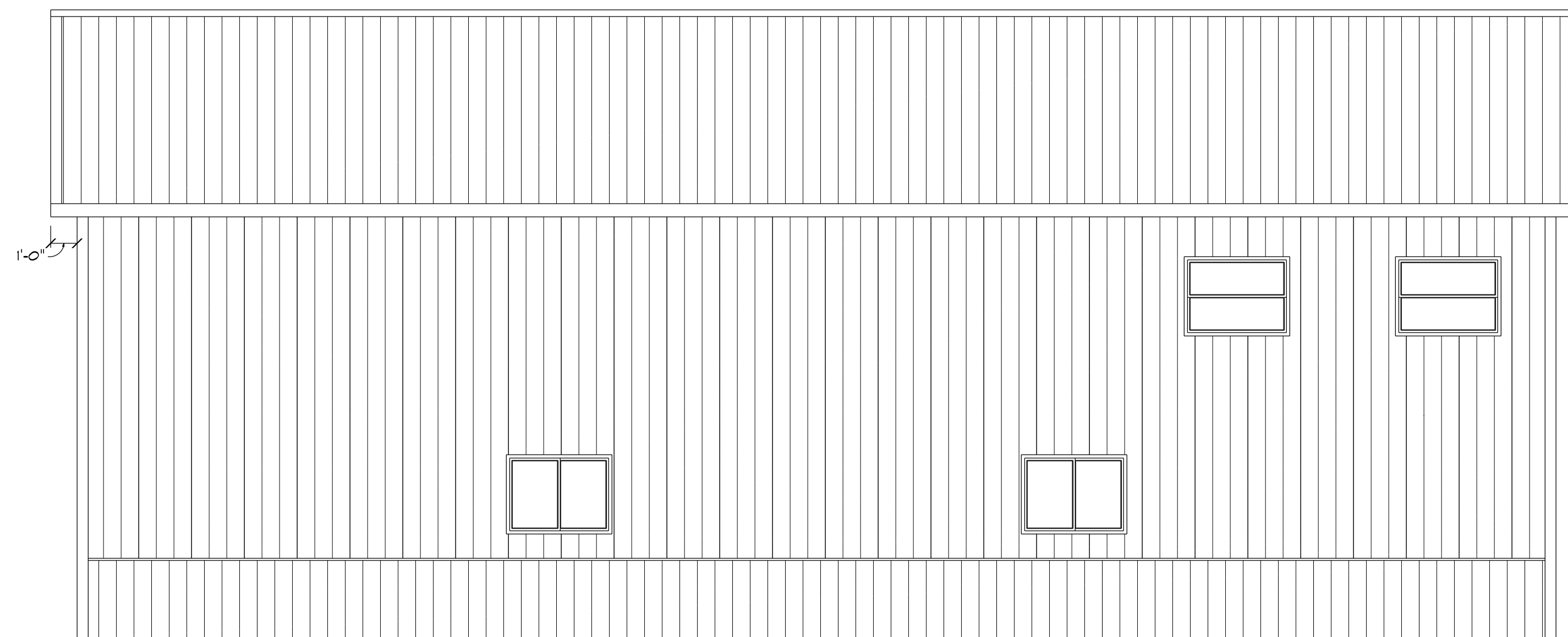
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

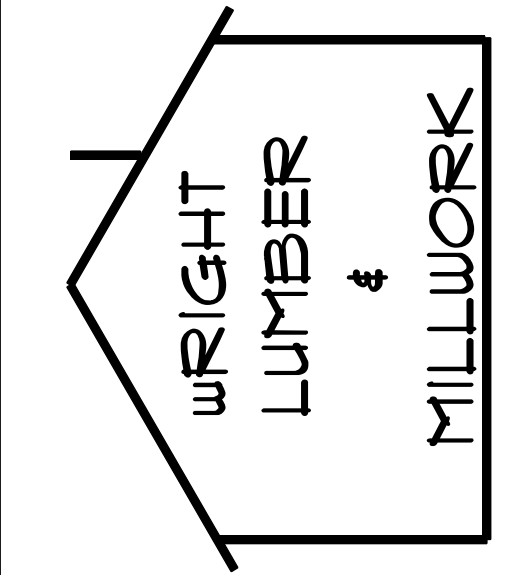


**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

REVISER BY

DATE



ALTHOUGH THESE PLANS HAVE BEEN PREPARED WITH  
UTMOST CONSIDERATION PREPARER OR WRIGHT LUMBER  
& MILLWORK INC WILL NOT BE LIABLE FOR ANY ERROR  
OMISSION OR DAMAGES RESULTING FROM SAID PLANS  
USER TO VERIFY ALL DIMENSIONS & CONDITIONS AND BE  
RESPONSIBLE FOR THE SAME.

PLANS FOR:  
DORNBEACH

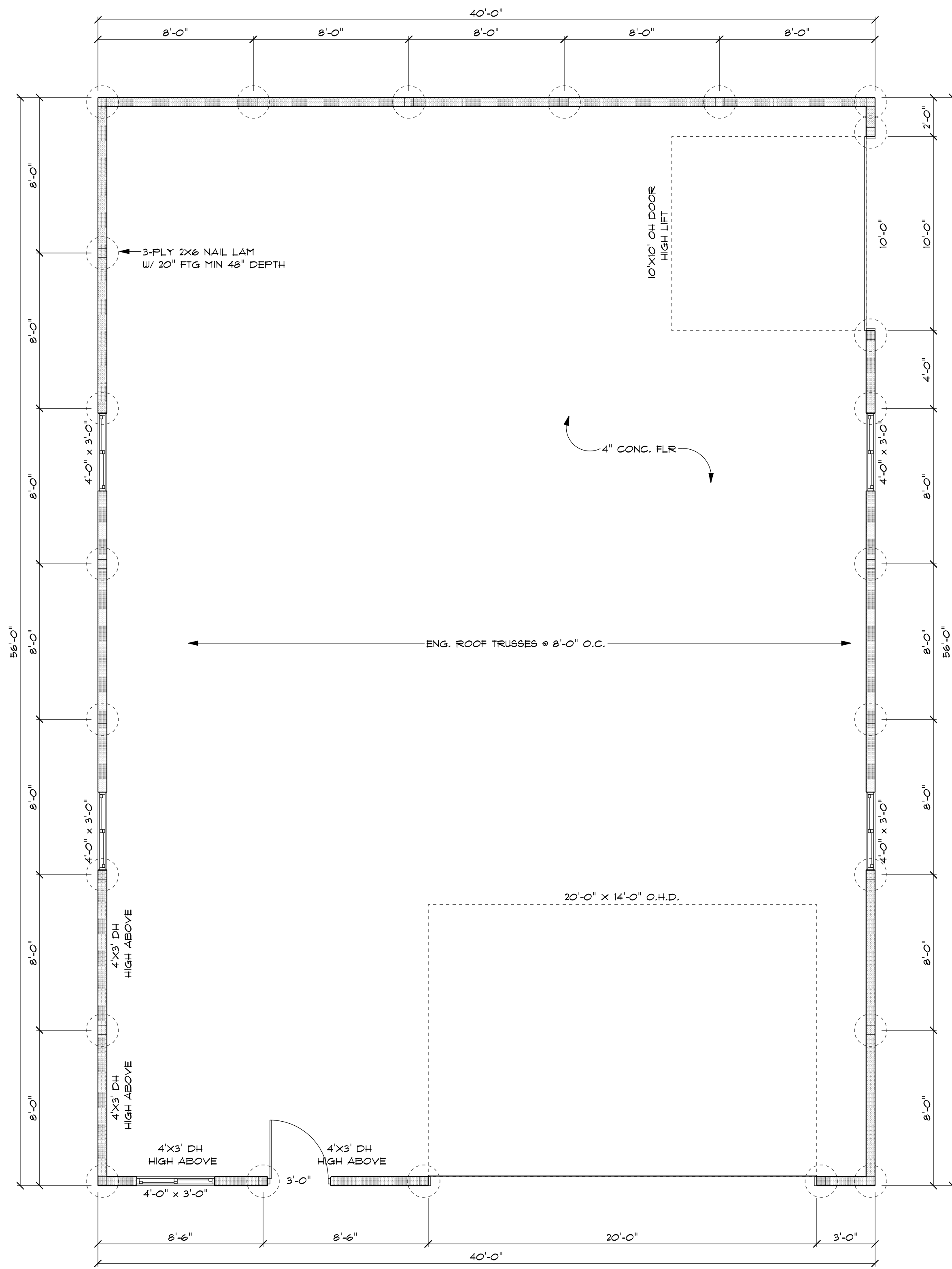
MODEL: POLE SHED

BUILDER: BECHTOLD CONSTRUCTION

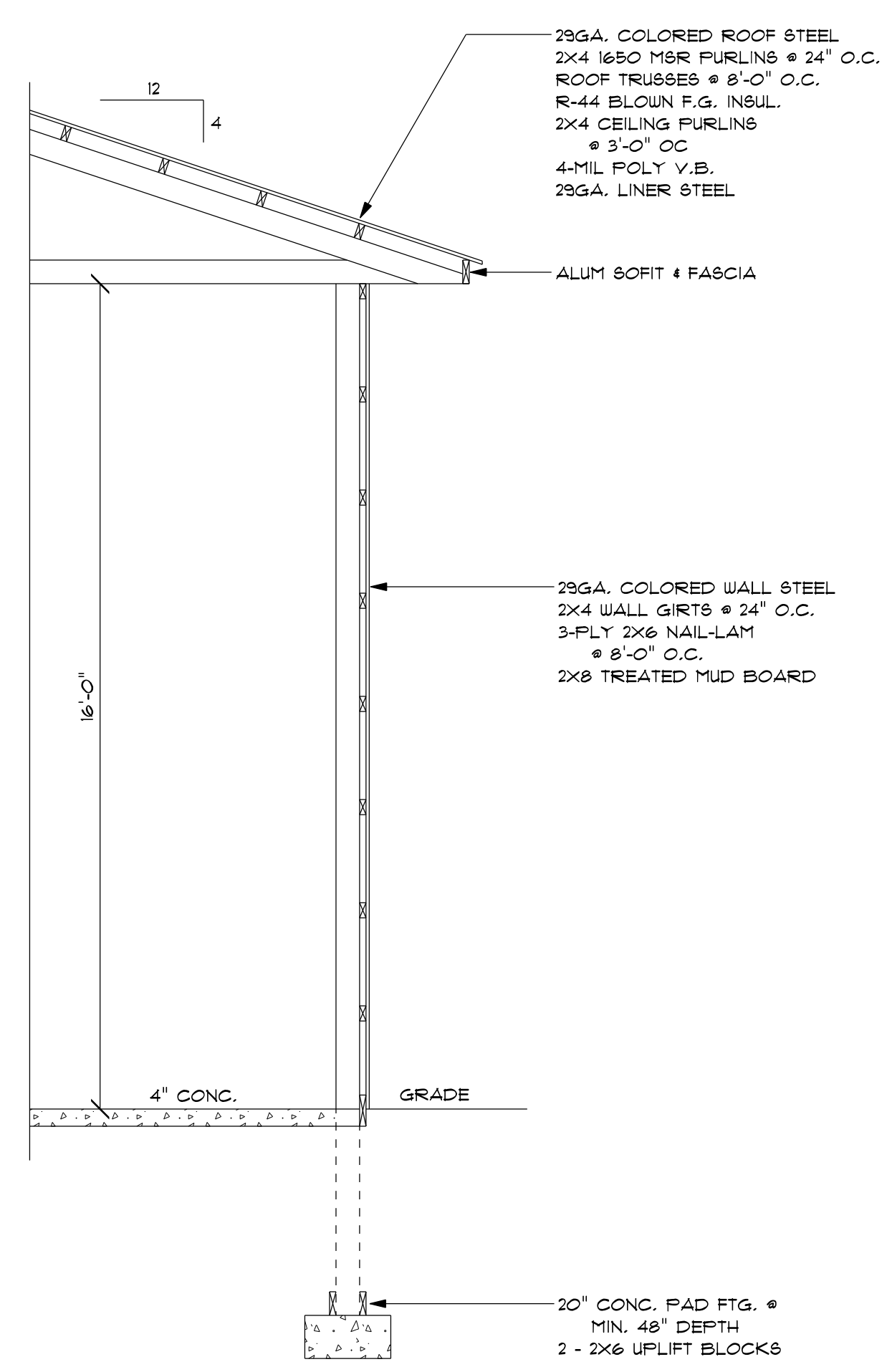
DATE PRINTED: 4/6/2021  
DRAWN BY: DJ

**ELEVATIONS**

**SHEET**  
1 OF 2

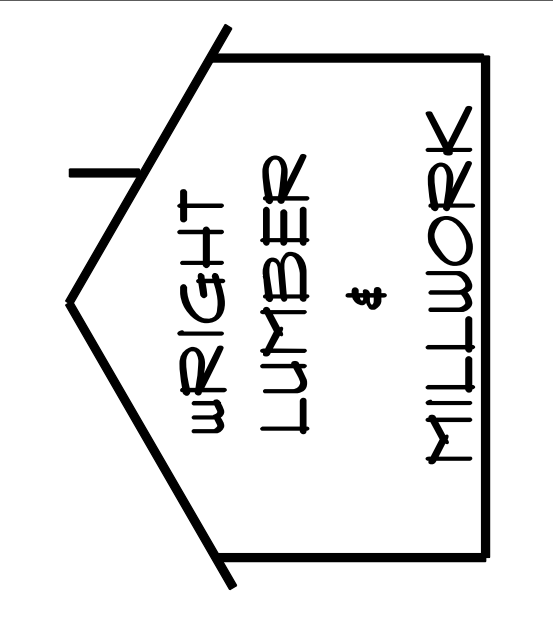


**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SECTION**  
SCALE: 1/8" = 1'-0"

REVISID BY	DATE



ALTHOUGH THESE PLANS HAVE BEEN PREPARED WITH  
UTMOST CONSIDERATION PREPARER OR WRIGHT LUMBER  
& MILLWORK INC WILL NOT BE LIABLE FOR ANY ERROR,  
OMISSION OR DAMAGES RESULTING FROM SAD PLANS.  
USER TO VERIFY ALL DIMENSIONS & CONDITIONS AND BE  
RESPONSIBLE FOR THE SAME.

PLANS FOR:  
DORN BACH

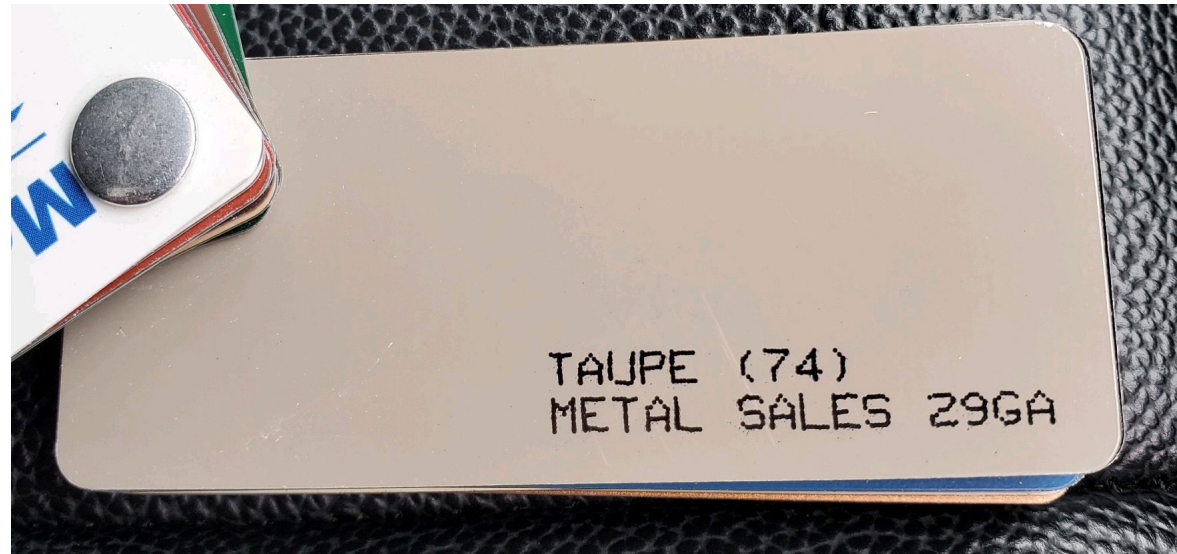
MODEL: POLE SHED

BUILDER: BECHTOLD CONSTRUCTION

DATE PRINTED: 4/6/2021  
DRAWN BY: DJ

PLAN

SHEET  
2 OF 2



Sample #1 for Wall Panels



Sample #2 for Wainscoting



Color Sample Visualization



City of Corcoran  
County of Hennepin  
State of Minnesota

**RESOLUTION NO. 2021-99**

**Motion By:**  
**Seconded By:**

**A RESOLUTION APPROVING 1 DAY TO 4 DAY TEMPORARY ON-SALE LIQUOR LICENSE  
IN THE CITY OF CORCORAN, MINNESOTA**

BE IT RESOLVED, by the City Council of the City of Corcoran that the following Liquor License is granted effective for the dates as indicated, to the following Licensee, provided appropriate application and insurance documents.

<u>LICENSEE</u>	<u>LICENSE</u>	<u>LICENSE EFFECTIVE DATE</u>
NW Area Jaycees* 13570 Grove Drive #287 Maple Grove, MN 55311	1 Day to 4 Day Temporary On-Sale Liquor License	September 25, 2021 <i>Event Location:</i> <i>Heidi's Growhaus</i> <i>7555 County Road 116</i> <i>Corcoran, MN 55340</i>

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Thomas, Manoj

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Thomas, Manoj

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August, 2021.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

To: Council  
re: rezoning for garage 2

from Jim Reader

3 items I would like to have the council consider

I have been a Corcoran resident for 52 years. I have lived next door to a storage facility since it was built. Medina Mini storage. The storage units are next door to me. I'm in Corcoran, the storage units in Medina.

- 1) Expect persons attempting to rob the place. I used to get 2-3 visits per month from the Medina Police asking me if I saw anything or persons, heard anything etc. They were investigating robberies at the storage units. Makes more work for the Corcoran cops. Brings into the city at night, persons we would rather not want in Corcoran.
- 2) This section of hwy 55 is the ONLY state hwy touching or in Corcoran. Precious property. This building is the first in this residential area and sets the "tone" for many to follow. Corcoran would be wise to get sewer FIRST, then rezone the area. That would bring more tax \$\$ for the city and more businesses for the citizens. Stores etc.
- 3) The council would be wise to follow the suggestion of the planning commission. DENY IT. Get the sewer first.

Regards, Jim Reader, 6200 Rolling Hills Rd. 55340, 763-350-3000.

Have a meeting at 6 tonight. Tried to send this via email but that is not working either.

*Reader*

*Please make this part of  
public record —*



# CITY OF CORCORAN

## PUBLIC COMMENT CARD

8200 County Road 116, Corcoran, MN 55340 763-420-2288 www.corcoranmn.gov

Date: 8/26/21 Open Forum: Yes or No  
*If you are not speaking on an agenda item, you will speak at Open Forum*

Name of Speaker: Joe Shallketter  
*(PLEASE PRINT CLEARLY)*

Related to Agenda Item: Yes or No Agenda Item Number: Rezoning

Representing: Self 6315 Horseshoe Bend

Address: 6780 Lakeview circle Telephone (optional): 612-940-6776

### Meeting Rules of Conduct:

- Fill out and turn in white comment card to a staff member.
- When called upon, approach podium and state name and address.
- Indicate if representing a group.
- Limit remarks to 5 minutes.

**Please note your public comment card will become part of the permanent record.  
Please approach the podium to speak when called upon.**

Comments: Appose rezoning property is in an urban residential community where would it stop if approved?



**TO:** Corcoran City Council

**FROM:** Nicholas Ouellette through Kendra Lindahl, Landform

**DATE:** August 17, 2021 for the August 26, 2021 City Council Meeting

**RE:** Rezoning, Site Plan, Conditional Use Permit, Variance and Preliminary Plat for Garages Too on the Property Located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive (PID 32-119-23-44-0001 and 32-119-23-44-0009) (city file no. 21-016)

**REVIEW DEADLINE:** September 7, 2021

## 1. Description of Request

The applicant is requesting approval of a rezoning, site plan, conditional use permit, variance and preliminary plat to allow for the development of four new buildings as part of a proposed mini storage/self storage facility. The four buildings will be subdivided into smaller storage spaces for rent. A lot line adjustment will result in the transfer of a portion of the property at 2240 State Highway to the property at 6315 Horseshoe Bend Drive.

The applicant is requesting to rezone 2240 State Highway 55 from Urban Reserve (UR) district to the Light Industrial (I-1) district. A conditional use permit is required as the proposed use, "Mini Storage/Self Storage Facilities", on proposed Lot 1 is a conditional use in the I-1 district. The applicant is also requesting a variance for:

- a. Lot size and width standards in the UR district at 6315 Horseshoe Bend Drive;
- b. Lot width and front setback standards in the I-1 district at 2240 State Highway 55;
- c. Required parking and drive aisle setbacks from the south property line of 2240 State Highway 55; and,
- d. Requirement to develop 2240 State Highway 55 with connection to municipal sewer and water in the Metropolitan Urban Service Area (MUSA).

## 2. Planning Commission Review

The Planning Commission held a public hearing on this item at their August 5, 2021 meeting. In addition to the applicant, there were five residents who spoke on the item. There were also a number of letters and emails that were received and shared with the Planning Commission in advance of the meeting. All letters and emails were entered into the public hearing record.

All residents who spoke were opposed to the request. Primary concerns were related to access, noise, drainage, lighting and security. The Planning Commission noted concerns about trash, restrooms, commercial activity on site, traffic and security.

The Commission voted 3-2 to recommend denial based on the finding that the variance standards were not met for the variance from municipal services and that the development was premature as defined



by Section 925 of the City Code. The other applications must then be denied if the application is deemed premature for development. Staff has prepared as resolution for denial based on the Planning Commission recommendation.

### **3. Context**

#### *Background*

The City Council reviewed a concept plan on March 14, 2021 and indicated support for the project with comments. Council discussed the impact to residential neighbors with respect to noise, screening, and lighting. Council also discussed how the storage facility would operate, fire safety concerns and trip counts for access from State Highway 55.

#### *Zoning and Land Use*

The proposed Lot 1 is guided Light Industrial, zoned UR and is part of the Future Study Area for sanitary sewer identified in the Comprehensive Plan. The property includes an existing home and two detached accessory structures, all of which will be removed as part of the development. The proposed Lot 2 (6315 Horseshoe Bend Drive) is guided Existing Residential in the Comprehensive Plan and has an existing home and detached accessory structure that will remain.

#### *Surrounding Properties*

Properties located to the north and east of the site are guided Existing Residential in the Comprehensive Plan and are zoned UR district. The properties directly west and south of the site are guided Light Industrial in the Comprehensive Plan and are zoned I-1 district.

#### *Natural Characteristics of the Site*

There are no natural resources identified in the Natural Resource Inventory. There are trees scattered around the homesite on both properties.

### **4. Analysis**

Staff has reviewed the application for consistency with Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

#### **A. Level of City Discretion in Decision-Making**

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan the City must deny the rezoning application. The



Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City's discretion in approving a site plan is limited to whether or not the plan meets the standards outlined in the Zoning Ordinance. The City must approve the site plan if it meets these standards.

The City's discretion in approving or denying a conditional use permit is limited to whether or not the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the conditional use permit.

The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show that the variance standards have been met.

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the preliminary plat.

## B. Consistency with Ordinance Standards

### Rezoning

The two properties that comprise the proposed development site are zoned UR district. The applicant is requesting that the property located at 2240 State Highway 55 be rezoned to I-1 district. The property located at 6315 Horseshoe Bend Drive will remain zoned as UR. The rezoning request shall be evaluated by the following factors from Section 1070.010, Subd. 2, of the Zoning Ordinance:

- A. *The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans.*

The proposed mini storage/self storage facility is consistent with the policies and provisions for the I-1 district in the Comprehensive Plan, which intends to provide areas for manufacturing, warehousing, automotive, trucking, office and other related uses through the I-1 district. The Future Land Use Map from the Comprehensive Plan designates the property at 2240 State Highway 55 as Light Industrial. The proposed action is consistent with plans for public facilities and capital improvements and will integrate with those facilities once they are available.

The change to the lot line will mean a portion of the property at 6315 Horseshoe Bend will be guided Light Industrial due to the change in the lot line. This is not inconsistent with the UR zoning. Because a portion of this area includes the pond created to serve the industrial lot, staff and the Planning Commission are comfortable with the existing land use remaining until the next Comprehensive Plan update when it should be corrected to follow the lot lines.



- However, if the City Council feels differently, they could include a condition a Comprehensive Plan Amendment be applied for prior to final plat submission.

*B. The proposed action meets the purpose and intent of this Ordinance or, in the case of a map amendment, it meets the purpose and intent of the individual district.*

The proposed use of the site, self storage facilities, meets the purpose and intent of the Light Industrial district which is to provide a full range of industrial, manufacturing, warehousing and similar uses.

*C. There is adequate infrastructure available to serve the proposed action.*

The applicant indicates that this storage facility does not require sewer and water to operate. There is no demand for municipal or private sewer and water, therefore, there is adequate infrastructure available to serve the proposed action.

*D. There is adequate buffer or transition provided between potentially incompatible districts.*

Adjacent properties to the south and west are zoned I-1 and properties to the north and east are zoned UR. Buffer space is provided on the north and east perimeter of proposed Lot 1. Existing trees along the east property line and proposed tree plantings along the north property line provide screening from the proposed development. The applicant has also proposed eight additional trees to be planted on residential properties to the north of the site.

### Site Plan

The request is for approval of a site plan to allow a “Mini Storage/Self Storage Facilities” use in the I-1 zoning district. The proposed development includes four new buildings to provide a total of 37 individual rental storage units. The existing buildings and utilities on 2240 State Highway 55 will be removed.

### *Design Guidelines/Architecture*

The proposed development is subject to the performance standards in Section 1060 of the Zoning Ordinance as well as the Southwest District Design Guidelines in Appendix A of the Zoning Ordinance.

Plans for proposed Lot 1 show four buildings ranging in height from 21 ft. 7 in. to 23 ft. 10 in. Buildings will have grey rock face concrete block walls, charcoal concrete brick wainscot, white trim and fascia with asphalt shingled roofs. Building “A” is located at the site entrance and features additional architectural features including grey lap siding, stone veneer wainscot and decorative posts. The building materials comply with ordinance standards for design and architecture.

The guidelines for commercial development in the Southwest District are minimal and call for high quality business parks with well-landscaped setbacks and buffers. The proposed mini storage/self storage facility meets the guidelines for commercial development in the Southwest District. The



orientation of the buildings and individual storage unit entrances generally face away from the residential properties located to the north and east of the site.

There is an existing house and accessory structure on proposed Lot 2 which will remain. No new structures will be developed on proposed Lot 2.

*Lot Analysis*

Lot standards for the I-1 district are as follows:

	<b>I-1 District Standards</b>	<b>Proposed Lot 1</b>
Minimum lot area	1 acre	4.59 acres
Minimum lot width	100 ft.	0 ft.
Minimum lot depth	200 ft.	340 ft.
<b>Setbacks</b>		
Front, from major roadways	100 ft.	0 ft.
	I-1 District Standards	Proposed Lot 1
<b>Setbacks</b>		
Front, from all other streets	50 ft.	70.15 ft.
Side	20 ft.	21.42 ft.
Rear	20 ft.	50.06 ft.
Adjacent to residential	50 ft.	50 ft.
Maximum Principal Building Height	45 ft.	23.66 ft.
Maximum impervious surface coverage	70%	65.60%

While the structures in proposed Lot 1 comply with the setback requirements, the parking area is within the required 50 ft. setback from the front property line. As such, the applicant is requesting a variance from parking setback requirements in the I-1 district.

Lot Standards for the UR district are as follows:

	<b>UR District Standards</b>	<b>Proposed Lot 2</b>
Minimum lot area	20 acres	2.12 acres
Minimum lot width	300 ft.	275.24 ft.
Minimum lot depth	300 ft.	434.31 ft.
<b>Setbacks</b>		
Front, from all other streets	50 ft.	167.78 ft.
Side	25 ft.	42.55 ft.
Rear	30 ft.	34.36 ft.





	<b>UR District Standards</b>	<b>Proposed Lot 2</b>
Maximum Principal Building Height	35 ft.	N/A

Proposed Lot 2 does not meet UR district standards for lot size and width but will increase from 1.67 acres to 2.12 acres. The variance request is discussed later in the staff report.

Plans show the existing accessory structure on proposed Lot 2 meets the standard for accessory structure footprints and setbacks from the rear and side property lines. Based on an aerial photo, three additional accessory structures may be located on proposed Lot 2 which are not delineated on site plans or certificate of survey. The applicant has indicated the three accessory structures not delineated on plans are chicken coops. Staff has included a provision all structures shall be delineated on plans submitted with the final plat.

#### *Parking*

Site plans show a graded bituminous paved parking surface with concrete curb and gutter. No designated parking spaces are provided on site.

The applicant has indicated that there will be no on-site staff and no allowed over-night parking. Parking areas will be used on a temporary basis by customers accessing their storage units during business hours. To that end, the developer has arranged for a towing service to remove vehicles in violation of the over-night parking rule. The plans show a minimum of 60 feet of separation between buildings, which would be adequate for parking in front of a unit and allow traffic to pass unobstructed.

As noted in the Lot Analysis, the drive aisle/parking area on proposed Lot 1 does not comply with the 50 ft. setback from the front (south) property line. The applicant is requesting a variance from parking setback requirements in the I-1 district.

#### *Signage*

No signage is proposed as part of the development.

#### *Landscaping*

The Southwest District Design Guidelines recommend landscaping should be designed to work with the existing topography of the area, preserving the rolling hills and natural view corridors. The proposed development preserves the slope on the north of the property and adds landscaping for screening.

While the properties to the west and south are vacant industrial properties, the properties to the north and east are single family homes and providing some transition/screening between this use and those homes was identified by the Council as a priority during the concept plan review. Staff notes the highest finished floor elevation of the proposed development is 1045 ft. and homes surrounding the site have



elevations between 1018 ft. and 1030 ft. Homes on the residential lots north of proposed Lot 1 are more than 200 ft. from the closest proposed mini storage/self storage facility structure. The homes on 6315 Horseshoe Bend Drive and 6311 Horseshoe Bend Drive are, respectively, 142 ft. and 160 ft. from the closest proposed mini storage/self storage facility structure.

The applicant's landscape plan meets ordinance requirements by providing landscaping around the buildings and parking surfaces. City Code requires the minimum number of trees on any given non-residential site to be one overstory tree per 1,000 sq. ft. of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater. City Code also requires one understory shrub for each 300 sq. ft. of building or one tree per 30 lineal feet of site perimeter, whichever is greater. Per these standards, the applicant is required to provide 62 trees and 207 shrubs on the site. Landscape plans show 15 existing trees, 47 new trees and 207 shrubs in accordance with this standard. The applicant is also providing eight additional trees on properties adjacent to the north boundary to provide additional screening between residential and light industrial uses. The code does not include a tool to give credit for existing trees or trees planted off site. While staff supports the applicants plan to preserve the existing vegetation on the east lot line and plant trees off-site, an additional 15 trees should be added to the site to meet code requirements. Staff has included this as a condition of approval.

- The Planning Commission supported giving credit towards the 62 new trees required for the eight trees to be planted offsite. If City Council agrees, they could modify Resolution xx, condition 6(d) to say "The applicant must preserve the existing 15 trees on the south-east property line, plant the eight trees on the adjacent properties to the north and install 54 new trees and 207 shrubs in compliance with Section 1060 of the Zoning Ordinance."

Shrub plantings are proposed along the walls of buildings that have visibility from residential properties to the north and east of the site. The applicant's narrative says that trees are not proposed along the west boundary due to topography and retaining wall issues, but the retaining wall is only one foot high and landscaping could break up the visual of a long wall.

Staff note that approximately 30 trees are located on a slope on the north side of proposed Lot 1. Staff has included a condition that the applicant provide a landscape detail to ensure for proper planting of trees on steep slopes. Trees planted on steep slopes like this can struggle to survive if improperly planted.

### *Public Safety*

Public Safety reviewed the plans and provided an email dated June 23, 2021 stating that the revised plans comply with fire code requirements. The buildings are not sprinkled but do have fire walls and required fire connections through the building.

Prior to final plat submittal, initiation of grading, or any other site work, the applicant must provide a turning radius exhibit for the site to ensure that emergency vehicles can safely move through the site.



### *Streets/Access*

Access to the mini storage/self storage facility on proposed Lot 1 is provided through a private driveway easement which connects to State Highway 55 to the south. Access to the private driveway from State Highway 55 is located within the municipal boundaries of the City of Medina. No access to the mini storage/self storage facility will be provided from Horseshoe Bend Drive. Staff has included a condition that the applicant obtain any required permits and comply with access requirements from the City of Medina or initiate annexation of the property from Medina to Corcoran prior to final plat.

MnDOT provided comments to the City with respect to access from State Highway 55. MnDOT recommends providing main access to proposed Lot 1 from Horseshoe Bend Drive rather than the current State Highway 55 access, which is on a horizontal curve on a high speed and high-volume road without turn lanes. However, MnDOT indicated the current access may remain because the proposed development does not meet traffic warrants for required improvements. The applicant is responsible for obtaining an Access Permit from MnDOT. The applicant is also responsible for obtaining approval and financing any requirements from MnDOT including for any work within or affecting the MnDOT right-of-way. The applicant is proposing improvements to the access drive and additional information, as outlined in the Engineer's Memo dated July 27, 2021, is required to ensure compliance with City and Elm Creek Watershed Management Commission rules.

The Southwest District Design Guidelines indicate that future driveways and other direct access from new developments to State Highway 55 shall not be permitted. As delineated on the Southwest District map in Figure 1 below, a frontage road is proposed within the district to collect traffic to ensure orderly and safe access to State Highway 55. Staff has included a condition that if the frontage road is built to the proposed development, access to State Highway 55 will be removed and redirected to the frontage road.

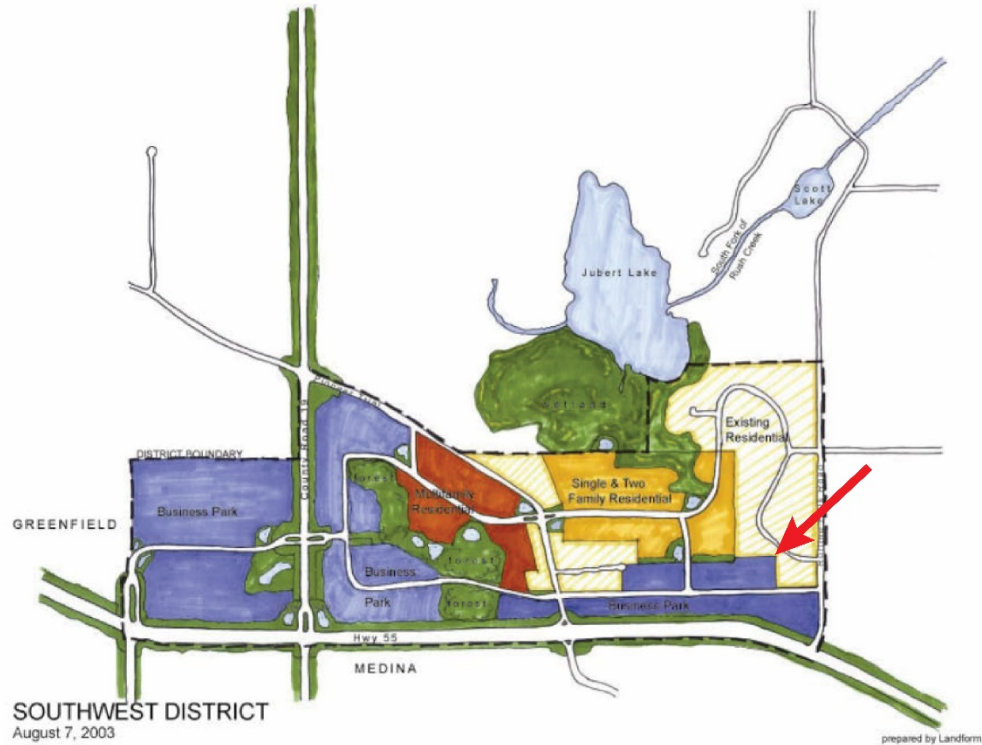


Figure 1: Southwest District Map from Appendix A of the Zoning Ordinance. The site location is marked by the arrow.

### Utilities

Proposed Lot 1 has existing well and septic and the applicant has indicated the septic system will be removed according to MPCA requirements and the well will be capped per MDH requirements. Development of proposed Lot 1 will not include any new well or septic utilities. The proposed mini storage/self storage facility use will not require an extended employee presence and does not necessitate installation of on-site well and septic facilities. However, the site is located within the MUSA and is required to connect to municipal services prior to any new development. The applicant is requesting a variance from the requirement that municipal services be available at the site prior to development. Staff has included a condition that once municipal services are available to the site, connections must be made.

As the lot line is shifting between proposed Lot 1 and Lot 2, vacation of the existing drainage and utility easements along the existing property line will be required with the final plat and shall include the dedication of new drainage and utility easements.



### *Lighting*

The only lighting for proposed Lot 1 is building lighting on the structures. The applicant has submitted a light fixture cut sheet that appears to meet the requirements of the Zoning Ordinance including the 90-degree cutoff requirement. While some residences may have sight lines to lit areas of the proposed mini storage/self storage facility, existing and proposed tree plantings shall provide screening to the residences.

### *Stormwater Management*

The proposed stormwater filtration basin is located on both proposed Lot 1 and proposed Lot 2. As noted in the Engineer's Memo, a stormwater maintenance agreement is required for all stormwater conveyance and treatment facilities. Stormwater ponds shall be designed to be attractive in both flooded and dry conditions and the use of native plants for filtration around the pond is encouraged. Staff has included a condition that the applicant shall own and maintain the stormwater infrastructure.

### *Wetlands*

A wetland report has been completed showing two small wetlands. The Technical Evaluation Panel (TEP) conducted a site inspection on July 19<sup>th</sup> and found them to be constructed wetlands which would not be subject to wetland buffer and setback requirements. The TEP indicated that the applicant could submit a no loss application for review and approval. That application has not been submitted at the time of this report.

### Conditional Use Permit

The applicant is requesting a conditional use permit to allow "Self Storage Facilities" for the new Garages Too business. Section 1040.125, Subd. 4, of the Zoning Ordinance allows the landowner to request a conditional use permit if they comply with the following standards:

*1. Units are to be used for dead storage only. Units are not to be used for retailing, auto repair, human habitation, or any commercial activity, except as allowed by this Section.*

The applicant has indicated units will be leased to companies and private individuals for storage of items ranging from company vehicles, supplies, automobiles, recreational vehicles and trailers. The applicant has specified that no commercial-type vehicles will be allowed within the units, however, City Code does not prohibit the storage of commercial-type vehicles. The applicant has also indicated repair of personal vehicles will be allowed within storage units but not in the parking or drive aisles. City Code does not allow for the repair of automobiles in mini storage/self storage facilities and staff has included a condition prohibiting this activity. In the project narrative, the applicant indicates "*no public traffic, extended employee presence, outdoor storage or over-night parking will be allowed on site*". Staff interprets the provision that no over-night parking will be allowed on site to mean no outside over-night parking. Staff has included a condition that no auto repair will be allowed within units and that no overnight parking is allowed outside of the units.



There was discussion at the Planning Commission about how to interpret the code language saying “units are not to be used for... any commercial activity...”. It is staff’s interpretation that the space can be used to store commercial supplies, but that it cannot be used for repairs, production, retail sales, office space or the like.

*2. Combining office and /or retail space with a self-service storage facility may be allowed by Conditional Use Permit.*

The only use proposed for the site is a mini storage/self storage facility. The mini storage/self storage facility will not allow for retail sales of goods or purchases on the site. No office or bathroom facilities will be provided on the site for tenants or staff.

*3. Storage of hazardous or flammable materials is prohibited.*

Staff has included a condition that the storage of hazardous or flammable materials is prohibited.

*4. No exterior storage is allowed.*

The applicant has indicated no exterior storage or overnight parking of any kind is allowed on the site. To that effect, the applicant has arranged ongoing towing services to remove vehicles in violation of these rules.

*5. The facility shall be secured by either the walls of the structure and/or fencing. All doors on the units shall face inward and away from the street and property lines.*

Each unit is secured by the walls of the structure. All doors on the units face inwards and away from residential property lines. The site does not abut any public street or private drive. Buildings A and B have units which face the south property line abuts a I-1 zoned property.

*6. An on-site manager is allowed only where adequate sanitary facilities are provided, either through use of a septic system or through connection to the public sanitary sewer system. Use of portable sanitary facilities does not fulfill this requirement.*

As indicated by the applicant, no extended employee presence is planned for the operation of the mini storage/self storage facility. As such, sanitary facilities are not required and not provided.



The use must also comply with the standards in Section 1070.020 of the Zoning Ordinance, specifically:

- A. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The proposed mini storage/self storage facility use is consistent with the commercial uses anticipated for areas guided Light Industrial in the Comprehensive Plan. The proposed use does not impact public facilities and capital improvement plans.

- B. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort.*

The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort of the community if the conditions of the approval are met. The use is allowed within the I-1 district.

- C. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The new business is a conditional use in the I-1 district and the applicant has worked with the adjacent landowner to provide landscaping on the subject property and neighboring properties to provide a transition between uses. Staff has proposed conditions to ensure compliance with the ordinance standards.

- D. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

- E. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Municipal sewer and water are not available to the site, but private utilities would be provided.

- F. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

Staff has proposed draft conditions to ensure compliance with the Zoning Ordinance regulations.





G. *The conditional use and site conforms to performance standards as specified by this Chapter.*

Staff has analyzed the performance standards of this Chapter and has included conditions to ensure compliance with the performance standards.

Variance for Lot Size and Width Standards in the UR District for Proposed Lot 2

A. *There are practical difficulties in complying with the zoning ordinance.*

The existing lot at 6315 Horseshoe Bend Drive is a legal, nonconforming lot, and the combined area with 2240 State Highway 55 lot is not changing. The nonconformity of Lot 2 is decreasing because Lot 2 will increase from 1.67 to 2.12 acres in size. There is practical difficulty in complying with the Zoning Ordinance because the lot is legal nonconforming and it is not possible to create a conforming lot from the combined area of the two lots. Adjusting the common lot line will not result in any real change to the existing conditions with the existing legal nonconforming lot.

B. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The situation is unique to the site as proposed Lot 2 is nonconforming today and that condition will not change if the preliminary plat and variance are approved. The conditions for which the variance is being sought were established after the property at 6315 Horseshoe Bend Drive had been developed. The constraints to conform with minimum lot size and lot width were established prior to, and not created by, the current landowners.

C. *That the granting of the variation will not alter the essential character of the locality.*

The combined area of the proposed lots is not changing and only the shared lot line is being adjusted. The essential character of the locality is being preserved as no new lots are being created and proposed Lot 2 has been developed.

D. *The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The intent of the UR district is to preserve areas where urban services are planned, as shown on the 2040 Comprehensive Plan, but not yet available. City Code describes that large minimum lot sizes will assist to retain these lands in their natural state until public infrastructure is available. Proposed Lot 2 has already been developed and will continue to preserve the urban service area as it exists today.

E. *The variance is consistent with the Comprehensive Plan.*

The variance to allow for smaller lot dimensions is consistent with the Comprehensive Plan for Existing Low Density Residential. The density of roughly 1 unit per 2 acres will remain the same, as no new development or lots are being created.





*F. The City may impose conditions on the variance to address the impact of the variance.*

None.

Variance for Lot Width and Setback Standards in the I-1 District for Proposed Lot 1

*A. There are practical difficulties in complying with the zoning ordinance.*

The property is unique in that the existing lot of record has no frontage on a public or private street. Lot width is measured at the front lot line, which is the property line abutting an existing or dedicated public street or private drive easement. This lot does not abut a public street and gets access over three separate parcels to the south with a new driveway easement. Without a front lot line, the lot width is zero and does not comply with the lot width requirements in the I-1 district. Because the site is being platted, a variance is required as the site will no longer be legal nonconforming and has practical difficulties in complying with the zoning ordinance.

The required setback from the front lot line cannot be met as there is not front lot line from which to require setbacks. The applicant has proposed a 50 ft. building setback from the south property line which serves as the de facto front property line. A variance from the parking/drive aisle setback is requested.

*B. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The situation is unique to the site as the property is nonconforming today and that condition will not change if the preliminary plat and variances are approved. The constraints to conform with lot width and front setback standards were established prior to, and not created by the current landowner.

*C. That the granting of the variation will not alter the essential character of the locality.*

The granting of the variation will not alter the essential character of the locality. Allowing redevelopment of the site to light industrial use from low density residential is consistent with the future land use projected for the site. The residential neighborhood to the north and west will remain essentially unchanged.

*D. The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The intent of the I-1 district is to provide for the establishment of warehousing and light industrial development. The proposed self-storage facility use is a low impact use and generally compatible with adjacent low density residential uses. Plans for the proposed facility comply with I-1 height, lot coverage, setbacks, landscaping, and loading regulations which facilitate compatibility between light industrial uses and residential development.



*E. The variance is consistent with the Comprehensive Plan.*

The variance would allow for the development of a mini storage/self storage facility consistent with the light industrial uses anticipated in the Comprehensive Plan.

*F. The City may impose conditions on the variance to address the impact of the variance.*

None

#### Variance for Parking and Drive Aisle Setbacks for Proposed Lot 1

*A. There are practical difficulties in complying with the zoning ordinance.*

The property is unique in that the existing lot of record has no frontage on a public street or private drive. Minimum parking and drive aisle setbacks are 10 ft. from the side and rear and in the front the setbacks are the same minimum front setback for principal structures in the zoning district. Without a front lot line, proposed Lot 1 cannot meet the required setbacks for parking and drive aisles. The front of proposed Lot 1 is determined to be the south lot line where access to the site is provided. The parking and drive aisle could meet a 50 ft. setback from the south property line, however meeting such setbacks would require an exceptionally large amount of landscaping and construction work to overcome topographical challenges of developing the steep slope on the north side of proposed Lot 1. This would also shift the development closer to the adjacent residential properties.

*B. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The property has no street frontage and the setback requirements for the front lot line do not abut a street. These conditions are unique to the parcel of land and were not created by the landowner.

*C. That the granting of the variation will not alter the essential character of the locality.*

The granting of the variation will not alter the essential character of the locality. Allowing redevelopment of the site to light industrial use from low density residential is consistent with the future land use projected for the site. The residential neighborhood to the north and west will remain essentially unchanged. The south property line abuts an existing light industrial use that will not be impacted by the proposed development.

*D. The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The intent of the I-1 district is to provide for the establishment of warehousing and light industrial development. The proposed self-storage facility use is a low impact use and generally compatible with adjacent low density residential uses. The applicant is proposing a 10 ft. setback from the south property line which is consistent with parking area and drive aisle setbacks for side and rear



property lines. The south property line abuts an existing light industrial use which would not require extensive buffers between compatible land uses.

*E. The variance is consistent with the Comprehensive Plan.*

The variance would allow for the development of a mini storage/self storage facility consistent with the light industrial uses anticipated in the Comprehensive Plan.

*F. The City may impose conditions on the variance to address the impact of the variance.*

None.

Variance for Municipal Services Requirement

*A. There are practical difficulties in complying with the zoning ordinance.*

New development within the I-1 district shall only be allowed when a full range of municipal services and facilities are available to serve the area. The site is located in the 2030-2035 stage of the Comprehensive Plan 2040 Staging Plan, but the area is subject to a Metropolitan Council study which is not expected to be completed until the next Comprehensive Plan update. It is not practical to delay the development of a site that will not require municipal sewer and water connection.

*B. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The property does not have access to municipal sewer and water services which restricts the ability to develop the site and this condition will not change if the proposed development is approved. This development does not require sewer or water services. The constraints to conform with a connection to municipal sewer and water services were not created by the current landowners.

*C. That the granting of the variation will not alter the essential character of the locality.*

The granting of the variation will not alter the essential character of the locality. Allowing redevelopment of the site to light industrial use from low density residential is consistent with the future land use projected for the site. The residential neighborhood to the north and west will remain essentially unchanged. The south property line abuts an existing light industrial use property which will also remain unchanged.

*D. The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The variance will be in harmony with the general purpose and intent of the I-1 district, which is to provide for the establishment of warehousing and light industrial development. While this development is proposed without municipal services available to the site, such services are not required to facilitate the proposed use.



*E. The variance is consistent with the Comprehensive Plan.*

The variance would allow for the development of a mini storage/self storage facility that is consistent with the industrial uses anticipated in the Comprehensive Plan.

*F. The City may impose conditions on the variance to address the impact of the variance.*

Staff has included a condition that when municipal sewer and water are available to the site the applicant will be required to connect the facility to those services.

### Preliminary Plat

The preliminary plat will create two new lots from two existing parcels. The plat will adjust the lot line between the self storage site and the adjacent residential property and will increase the residential property by 0.34 acres. As discussed earlier in the staff report, the plat does require variances from lot size and width standards in the UR district.

No new lots would be created.

### Summary

Staff has reviewed the plans with the applicable standards outlined in the Comprehensive Plan and Zoning Ordinance and finds that the standards for the proposed preliminary plat, rezoning, conditional use permit variance have been met. The proposed use for Lot 1 is consistent with the type of use projected for the Light Industrial district area of the City. The proposed use for Lot 2 is consistent with the existing and projected use for the Urban Reserve area of the City.

Any outstanding issues that must be addressed have been included as conditions in the attached draft resolutions. If the Commission finds that the standards have not been met for the variance, they could recommend denial of the variance and provide findings of fact for denial.



## 5. Recommendation

The City Council should choose one of the following two options:

- a. Move to adopt Resolution 2021-94 denying the request, as recommended by the Planning Commission.

Or

- b. Move to approve the request by adopting the following:
  - i. Ordinance 2021-461 amending the Zoning Map
  - ii. Resolution 2021-94 approving findings of fact for rezoning
  - iii. Resolutions 2021-95 approving site plan and conditional use permit
  - iv. Resolution 2021-96 approving the variance
  - v. Resolution 2021-97 approving the preliminary plat.

## Attachments

1. Resolution 2021-94 denying the request
2. Ordinance 2021-431 amending the Zoning Map
3. Resolution 2021-94 approving findings of fact for rezoning
4. Resolution 2021-95 approving site plan and conditional use permit
5. Resolution 2021-96 approving the variance
6. Resolution 2021-97 approving the preliminary plat.
7. Site Location Map dated July 29, 2021
8. City Engineer's Memo dated July 27, 2021
9. Public Safety Memo dated May 5, 2021
10. Public Safety Email dated June 23, 2021
11. MnDOT Letter dated May 25, 2021
12. Applicant Narrative dated July 8, 2021
13. Development Plans dated July 8, 2021
14. Certificate of Survey for 2240 State Highway 55 dated March 11, 2021
15. Certificate of Survey for 6315 Horseshoe Bend Drive dated May 26, 2021
16. Architectural Plans dated April 20, 2021
17. Color Sheets dated July 2, 2021
18. Cut Sheets for Lighting dated May 24, 2021
19. Public Comments

**RESOLUTION NO. 2021-94**

**Motion By:**  
**Seconded By:**

**DENYING A REZONING, SITE PLAN, CONDITIONAL USE PERMIT, VARIANCES AND PRELIMINARY PLAT FOR GARAGES TOO ON THE PROPERTY LOCATED AT 2240 STATE HIGHWAY 55 AND 6315 HORSESHOE BEND DRIVE (PID 32-119-23-44-0001 and 32-119-23-44-0009) (CITY FILE 21-016)**

**WHEREAS**, Craig Scherber of Garages Too, LLC (“the applicant”) has requested approval of a rezoning, site plan, conditional use permit, variances and preliminary plat for the properties located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive, legal described as follows:

*That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5<sup>th</sup> Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota.*

*and*

*Lot 4, Block 2, Schnell’s Highland Acres 2nd Addition, Hennepin County, Minnesota.*

**WHEREAS**, the Planning Commission has reviewed the rezoning, site plan, conditional use permit, variances and preliminary plat at a duly called Public Hearing and recommends denial;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does deny the request for a variance for the Municipal Services Requirement based on the finding that the Variance Standards in Section 1070.040 of the Zoning Ordinance have not been met. Specifically:

1. Adequate municipal services and facilities are not available to accommodate the rezoning and proposed use. As such, the request is not reasonable because there is no practical difficulty or hardship in complying with the Zoning Ordinance standard that new development within the Light Industrial (I-1) district shall only be allowed when a full range of municipal services and facilities are available to serve the area.
2. Section 925.010 of the City Code prohibits approval of any subdivision deemed premature. The site is premature for development due to lack municipal sanitary sewer and water service.

FUTHER, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does deny the request for a rezoning, site plan, conditional use permit, variance for lot size and width standards in the Urban Reserve (UR) district for proposed Lot 2, variance for lot width and setback standards in the Light Industrial (I-1) district for proposed Lot 1, variance for parking and drive aisle setbacks for proposed Lot 1 and preliminary plat based on the finding that it cannot proceed without the variance from the municipal services requirement.

**RESOLUTION NO. 2021-94**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**ORDINANCE NO. 2021-431**

**Motion By:**  
**Seconded By:**

**AN ORDINANCE AMENDING TITLE X (ZONING ORDINANCE) OF THE CITY CODE TO CLASSIFY CERTAIN LAND LOCATED AT 2240 STATE HIGHWAY 55 (PID 32-119-23-44-0001) (CITY FILE 21-016)**

THE CITY OF CORCORAN ORDAINS:

**Section 1. Amendment of the City Code.** Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended by changing the classification on the City of Corcoran Zoning Map from Urban Reserve (UR) to Light Industrial (I-1), described as follows:

*See Attachment A*

**Section 2. Effective Date.** This amendment shall take effect upon adoption of this resolution.

**ADOPTED by the City Council on the 26<sup>th</sup> day of August 2021.**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*



**ORDINANCE NO. 2021-431**

**ATTACHMENT A**

*That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5<sup>th</sup> Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota*

**RESOLUTION NO. 2021-94**

**Motion By:**  
**Seconded By:**

**APPROVING FINDINGS OF FACT FOR REZONING FOR 2240 STATE HIGHWAY 55 (PID  
32-119-23-44-0001) (CITY FILE NO 21-016)**

**WHEREAS**, Craig Scherber of Garages Too, LLC (“the applicant”) has requested approval to rezone the property legally described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission has reviewed the request at a duly called Public Hearing and recommends approval, and;

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does support the request of Garages Too, LLC for the reclassification of the property, based on the following findings and conditions:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans. The proposed development is consistent with the policies and provisions for the Light Industrial (I-1) district in the Comprehensive Plan and the Future Land Use Map designates the site as I-1.
2. The proposed action meets the purpose and intent of the individual district. The proposed mini storage/self storage facility use of the site meets the purpose and intent of the I-1 district which is to provide a full range of industrial, manufacturing, warehousing and similar uses.
3. There is adequate infrastructure available to serve the proposed action. The proposed mini storage/self storage facility does not require sewer and water to operate and no sewer and water infrastructure is proposed as part of the development. There is adequate infrastructure available to serve the proposed action.
4. There is adequate buffer or transition provided between potentially incompatible districts. Adjacent properties to the north and east are zoned Urban Reserve (UR) and buffer space is provided on the north and east perimeter of the site. Existing trees along the east property line and proposed tree plantings along the north property line will provide adequate buffer and screening from the proposed development.

**VOTING AYE**

- McKee, Tom**  
 **Bottema, Jon**  
 **Nichols, Jeremy**  
 **Schultz, Alan**

**VOTING NAY**

- McKee, Tom**  
 **Bottema, Jon**  
 **Nichols, Jeremy**  
 **Schultz, Alan**

**RESOLUTION NO. 2021-94**

**Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**

***City Seal***

**RESOLUTION NO. 2021-94**

**ATTACHMENT A**

*That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5<sup>th</sup> Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota.*

**RESOLUTION NO. 2021-95**

**Motion By:**  
**Seconded By:**

**APPROVING A SITE PLAN AND CONDITIONAL USE PERMIT FOR THE PROPERTIES  
LOCATED AT 2240 STATE HIGHWAY 55 AND 6315 HORSESHOE BEND DRIVE (PID 32-  
119-23-44-0001 and 32-119-23-44-0009) (CITY FILE 21-016)**

**WHEREAS**, Craig Scherber of Garages Too, LLC (“the applicant”) is requesting approval of a site plan and conditional use permit for the properties located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive, legally described as follows:

*That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5<sup>th</sup> Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota.*

*and*

*Lot 4, Block 2, Schnell’s Highland Acres 2nd Addition, Hennepin County, Minnesota.*

**WHEREAS**, the Planning Commission has reviewed the site plan and conditional use permit at a duly called public hearing and recommends approval.

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request, subject to the following findings and conditions:

1. A site plan and conditional use permit are approved to allow for the construction of four buildings for a mini storage/self storage facility as shown on application and plans received by the City on June 18, 2021 and additional information received on July 9, 2021, except as amended by this resolution.
2. The applicant must comply with all conditions in the City Engineer’s memo dated July 27, 2021.
3. The applicant must comply with MnDOT comments dated May 25, 2021.
4. The applicant must comply with the Public Safety Plan Review comments dated May 5, 2021 and June 23, 2021.
5. The development shall comply with all I-1 district standards.
6. Prior to submittal of final plat, the applicant must comply with the following conditions:
  - a. Prior to final plat submittal, initiation of grading, or any other site work, the applicant must provide a turning radius exhibit to ensure that emergency vehicles can safely move through the site.

**RESOLUTION NO. 2021-95**

- b. Plans shall be revised to show all accessory structures including the three accessory structures on 6315 Horseshoe Bend Drive.
  - c. The applicant must coordinate with adjacent landowners for the installation of the eight additional trees.
  - d. The applicant must preserve the existing 15 trees on the south-east property line, plant the eight trees on the adjacent properties to the north and install 62 new trees and 207 shrubs in compliance with Section 1060 of the Zoning Ordinance.
  - e. The applicant must provide a landscape detail to ensure for the proper planting of trees on steep slopes.
  - f. The applicant is required to obtain any required permits and comply with access requirements from the City of Medina or initiate annexation of the property from Medina to Corcoran prior to final plat.
  - g. The applicant is responsible for obtaining an Access Permit from MnDOT.
  - h. The applicant is responsible for obtaining approval and financing any requirements from MnDOT including for any work within or affecting the MnDOT right-of-way.
  - i. No access to the mini-storage/self storage facility will be allowed from Horseshoe Bend Drive.
  - j. The applicant shall own and maintain the stormwater infrastructure.
  - k. When the frontage road is constructed to the proposed development, access to State Highway 55 will be removed and redirected to the frontage road.
  - l. When municipal sewer and water are available to the proposed development, the developer is responsible to pay TLAC (Trunk Line Availability Charges) fees. Connection charges will be due when the connection to municipal sanitary sewer and water is made.
7. A conditional use permit for mini storage/self storage is approved, subject to the finding that the applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Zoning Ordinance have been met. Specifically:
- a. The proposed mini storage/self storage facility use is consistent with the commercial uses anticipated on this site by the Comprehensive Plan. The proposed use does not impact public facilities and capital improvement plans.
  - b. The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The use is also allowed within the I-1 district.

**RESOLUTION NO. 2021-95**

- c. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The new business is a conditional use in the I-1 district and conditions have been proposed to ensure compliance with ordinance standards.
- d. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- e. The site is located within the MUSA but municipal sewer and water are not available to the site. Private utilities would be provided until a connection to municipal sewer and water can be made.
- f. Staff has proposed draft conditions to ensure compliance with the Zoning Ordinance regulations.
- g. Staff has analyzed the performance standards of this Chapter and has included conditions to ensure compliance with the performance standards.
- h. The use shall be subject to the following conditions:
  - i. Units are to be used for dead storage only. Units are not to be used for retailing, auto repair, human habitation, or any commercial activity, except as allowed in section.
  - i. No office and /or retail space is allowed.
  - ii. Storage of hazardous or flammable materials is prohibited.
  - iii. No exterior storage is allowed.
  - iv. The facility shall be secured by either the walls of the structure and/or fencing. All doors on the units shall face inward and away from the street and property lines.
  - v. An on-site manager is allowed only where adequate sanitary facilities are provided, either through use of a septic system or through connection to the public sanitary sewer system. Use of portable sanitary facilities does not fulfill this requirement. No on-site manager is proposed or approved for this project.
  - vi. No auto repair will be allowed on the site or within units.
  - vii. No overnight parking is allowed outside of the units.
  - viii. The applicant must provide a copy of the lease agreement prohibiting such activities for City review and approval.

**RESOLUTION NO. 2021-95**

8. A building permit is required prior to beginning construction.
9. The applicant must submit and receive approval of a wetland No Loss application prior to final plat submittal.
10. The applicant is responsible for maintenance of the stormwater pond and must enter into a stormwater maintenance agreement with the City.
11. The applicant shall execute the Site Improvement Performance Agreement and provide a financial guarantee in compliance with Section 1070 of the Zoning Ordinance.
12. FURTHER, the applicant shall record the approving resolution and required easements at Hennepin County and provide proof of recording to the City.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*



**RESOLUTION NO. 2021-96**

**Motion By:**  
**Seconded By:**

**APPROVING VARIANCES FOR THE PROPERTIES LOCATED AT 2240 STATE HIGHWAY 55 AND 6315 HORSESHOE BEND DRIVE (PID 32-119-23-44-0001 and 32-119-23-44-0009) (CITY FILE 21-016)**

**WHEREAS**, Craig Scherber of Garages Too, LLC (“the applicant”) is requesting approval of variances for the properties located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive, legally described as follows:

*That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5<sup>th</sup> Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota.*

*and*

*Lot 4, Block 2, Schnell’s Highland Acres 2nd Addition, Hennepin County, Minnesota.*

**WHEREAS**, the applicant has also requested approval of a variance from lot size and lot width requirements in the Urban Reserve (UR) district for the property located at 6315 Horseshoe Bend Drive; and

**WHEREAS**, the applicant has also requested approval of a variance from lot width and front setback requirements in the Light Industrial (I-1) district for the property located at 2400 State Highway 55; and

**WHEREAS**, the applicant has also requested approval of a variance from parking and drive aisle setback requirements in the I-1 district for the property located at 2400 State Highway 55; and

**WHEREAS**, the applicant has also requested approval of a variance from Municipal Services Requirement for the properties located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive and

**WHEREAS**, the Planning Commission has reviewed the variances at a public meeting and recommends approval.

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for variance, subject to the following findings and conditions:

1. Approval is based on plans received by the City on June 18, 2021 and additional information received on July 9, 2021, except as amended by this resolution.
2. The requested variance from the lot size and lot width requirements in the UR district for the property located at 6315 Horseshoe Bend Drive is approved based on the following findings:

**RESOLUTION NO. 2021-96**

- a. That there are practical difficulties in complying with the Zoning Ordinance. The existing lot at 6315 Horseshoe Bend Drive is a legal, nonconforming lot, and the combined area with 2400 State Highway 55 is not changing. The nonconformity of Lot 2 is decreasing because Lot 2 will increase from 1.67 to 2.12 acres in size. There is practical difficulty in complying with the Zoning Ordinance because the lot is legal nonconforming and it is not possible to create a conforming lot from the combined area of the two lots. Adjusting the common lot line will not result in any real change to the existing conditions with the existing legal nonconforming lot.
  - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The conditions for which the variance is being sought were established after the property at 6315 Horseshoe Bend Drive had been developed. The constraints to conform with minimum lot size and lot width were established prior to, and not created by, the current landowners.
  - c. That the granting of the variation will not alter the essential character of the locality. The essential character of the locality is not changing as no new lots are being created and Lot 2 has been developed.
  - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The intent of the UR district is to preserve areas where urban services are planned, as shown on the 2040 Comprehensive Plan, but not yet available. City Code describes that large minimum lot sizes will assist to retain these lands in their natural state until public infrastructure is available. 6315 Horseshoe Bend Drive has already been developed and will continue to preserve the urban service area as it exists today.
  - e. The variance is consistent with the Comprehensive Plan. The variance to allow for smaller lot dimensions is consistent with the Comprehensive Plan for Existing Low Density Residential. The density of roughly 1 unit per 2 acres will remain the same, as no new development or lots are being created.
3. The requested variance from lot width and front setback requirements in the I-1 district for the property located at 2400 State Highway 55 is approved based on the following findings:
    - a. That there are practical difficulties in complying with the Zoning Ordinance. The property is unique in that the existing lot of record has no frontage on a public or private street. Without a front lot line, the lot width is zero and does not comply with the lot width requirements in the I-1 district. Because the site is being platted, a variance is required as the site will no longer be legal nonconforming and has practical difficulties in complying with the zoning ordinance.
    - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The situation is unique to the site as the property is nonconforming today and that condition will not change if the preliminary plat and variances are approved. The constraints to conform with lot width and front setback standards were established prior to, and not created by the current landowner.
    - c. That the granting of the variation will not alter the essential character of the locality. The granting of the variation will not alter the essential character of the

**RESOLUTION NO. 2021-96**

locality. Allowing redevelopment of the site to light industrial use from low density residential is consistent with the future land use projected for the site. The residential neighborhood to the north and west will remain essentially unchanged.

- d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The intent of the I-1 district is to provide for the establishment of warehousing and light industrial development. The proposed self-storage facility use is a low impact use and generally compatible with adjacent low density residential uses. Plans for the proposed facility comply with I-1 height, lot coverage, setbacks, landscaping, and loading regulations which facilitate compatibility between light industrial uses and residential development.
  - e. The variance is consistent with the Comprehensive Plan. The variance would allow for the development of a mini storage/self storage facility consistent with the light industrial uses anticipated in the Comprehensive Plan.
4. The requested variance from parking and drive aisle setback requirements in the I-1 district for the property located at 2400 State Highway 55 is approved based on the following findings:
- a. That there are practical difficulties in complying with the Zoning Ordinance. The property is unique in that the existing lot of record has no frontage on a public street or private drive. Without a front lot line, proposed Lot 1 cannot meet the required setbacks for parking and drive aisles. The front of proposed Lot 1 is determined to be the south lot line where access to the site is provided. The parking and drive aisle could meet a 50 ft. setback from the south property line, however meeting such setbacks would require an exceptionally large amount of landscaping and construction work to overcome topographical challenges of developing the steep slope on the north side of proposed Lot 1. This would also shift the development closer to the adjacent residential properties.
  - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The property has no street frontage and the setback requirements for the front lot line do not abut a street. These conditions are unique to the parcel of land and were not created by the landowner.
  - c. That the granting of the variation will not alter the essential character of the locality. Allowing redevelopment of the site to light industrial use from low density residential is consistent with the future land use projected for the site. The residential neighborhood to the north and west will remain essentially unchanged. The south property line abuts an existing light industrial use that will not be impacted by the proposed development.
  - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The intent of the I-1 district is to provide for the establishment of warehousing and light industrial development. The proposed self-storage facility use is a low impact use and generally compatible with adjacent low density residential uses. The applicant is proposing a 10 ft. setback from the south property line which is consistent with parking area and drive aisle setbacks for side and rear property lines. The south property line abuts an existing light industrial use which would not require extensive buffers between compatible land uses.

**RESOLUTION NO. 2021-96**

- e. The variance is consistent with the Comprehensive Plan. The variance would allow for the development of a mini storage/self storage facility consistent with the light industrial uses anticipated in the Comprehensive Plan.
5. The requested variance from Municipal Services Requirement for the properties located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive is approved based on the following findings:
    - a. That there are practical difficulties in complying with the Zoning Ordinance. New development within the I-1 district shall only be allowed when a full range of municipal services and facilities are available to serve the area. The site is located in the 2030-2035 stage of the Comprehensive Plan 2040 Staging Plan, but the area is subject to a Metropolitan Council study which is not expected to be completed until the next Comprehensive Plan update. It is not practical to delay the development of a site that will not require municipal sewer and water connection.
    - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The property does not have access to municipal sewer and water services which restricts the ability to develop the site and this condition will not change if the proposed development is approved. The constraints to conform with a connection to municipal sewer and water services were not created by the current landowners.
    - c. That the granting of the variation will not alter the essential character of the locality. Allowing redevelopment of the site to light industrial use from low density residential is consistent with the future land use projected for the site. The residential neighborhood to the north and west will remain essentially unchanged. The south property line abuts an existing light industrial use property which will also remain unchanged.
    - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The variance will be in harmony with the general purpose and intent of the I-1 district, which is to provide for the establishment of warehousing and light industrial development. While this development is proposed without municipal services available to the site, such services are not required to facilitate the proposed use.
    - e. The variance is consistent with the Comprehensive Plan. The variance would allow for the development of a mini storage/self storage facility that is consistent with the industrial uses anticipated in the Comprehensive Plan.
    - f. The City may impose conditions on the variance to address the impact of the variance. when municipal sewer and water are available to the site the applicant will be required to connect the facility to those services.
  6. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use.

**RESOLUTION NO. 2021-96**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2021-97**

**Motion By:**  
**Seconded By:**

**APPROVING A PRELIMINARY PLAT FOR THE PROPERTIES LOCATED AT 2240 STATE HIGHWAY 55 AND 6315 HORSESHOE BEND DRIVE (PID 32-119-23-44-0001 and 32-119-23-44-0009) (CITY FILE 21-016)**

**WHEREAS**, Craig Scherber of Garages Too, LLC (“the applicant”) is requesting approval of a preliminary plat for the properties located at 2240 State Highway 55 and 6315 Horseshoe Bend Drive, legally described as follows:

*That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5<sup>th</sup> Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota.*

*and*

*Lot 4, Block 2, Schnell’s Highland Acres 2nd Addition, Hennepin County, Minnesota.*

**WHEREAS**, the Planning Commission has reviewed the preliminary plat at a duly called public hearing and recommends approval.

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for a preliminary plat, subject to the following findings and conditions:

1. A preliminary plat is approved, in accordance with the plans received by the City on June 18, 2021 and additional information received on July 9, 2021, except as amended by this resolution.
2. Approval of the preliminary plat is contingent upon the approval of the rezoning, site plan, conditional use permit and variance.
3. The applicant must comply with all conditions in the City Engineer’s memo dated July 27, 2021.
4. The applicant must submit and receive approval of a wetland No Loss application prior to final plat submittal.
5. Approval of the preliminary plat shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of final plat.

**VOTING AYE**

- McKee, Tom**  
 **Bottema, Jon**  
 **Nichols, Jeremy**  
 **Schultz, Alan**

**VOTING NAY**

- McKee, Tom**  
 **Bottema, Jon**  
 **Nichols, Jeremy**  
 **Schultz, Alan**

**RESOLUTION NO. 2021-97**

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*





# Hennepin County Property Map

Date: 7/29/2021



PARCEL ID: 3211923440001

OWNER NAME: Garages Too Llc

PARCEL ADDRESS: 22400 State Hwy No 55,  
Corcoran MN 55340

PARCEL AREA: 5.04 acres, 219,587 sq ft

A-T-B: Abstract

SALE PRICE: \$122,500

SALE DATA: 08/1987

SALE CODE: Warranty Deed

ASSESSED 2020, PAYABLE 2021  
PROPERTY TYPE: Residential  
HOMESTEAD: Homestead  
MARKET VALUE: \$369,000  
TAX TOTAL: \$5,181.24

ASSESSED 2021, PAYABLE 2022  
PROPERTY TYPE: Residential  
HOMESTEAD: Homestead  
MARKET VALUE: \$386,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2021



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To:	Kevin Mattson, City of Corcoran	From:	Kent Torve, City Engineer Steve Hegland, PE
Project:	Garages Too Corcoran Site Improvement Project	Date:	7/27/21

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**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Project Development Narrative New Storage Facility by Garages Too, LLC, 22400 State Highway 55 Dated 07/08/2021
2. Certificate of Survey Elsen 6315 Horseshoe Bend Dr, Prepared by Schoborg Land Services, Inc., Dated 03/11/2021
3. Certificate of Survey 22400 State HWY 55, Prepared by Engineering Design & Surveying, Dated 06/04/2020
4. Garages Too Site Improvement Project Civil Site Plans, Prepared by Civil Engineering Site Design, Dated 07/20/2021
5. Garages Too Corcoran Site Improvement Project – Drainage Analysis, Prepared by Civil Engineering Site Design, Dated 06/16/2021

**Comments:**General:

1. Comments provided are based on the level of detail of the documents provided. Additional comments should be anticipated on future submittals as the level of detail increases.
2. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the owner/applicant or representative provides a written response to each item. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran.
3. Narrative currently references requirements from “the City of St. Michael”. Designer should update the “Requirements” and “Summary” section to correctly reference City of Corcoran requirements.
4. Site disturbance is identified as over and acre which will require the site to comply with MPCA and Elm Creek Watershed Management Commission requirements in addition to City of Corcoran Stormwater Guidelines. Final approval by the MPCA and Elm Creek WMO must be attained before any site grading or activity may commence. Provide Elm Creek Watershed and MPCA approval within the SWMP when received.
5. Final permitting and documentation of septic system abandonment needs to be provided to the city.
6. Final permitting and documentation of well abandonment needs to be provided to the city.

July 27,2021

Garages Too Corcoran Site Improvement Project

Kevin Mattson

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### Plat:

1. The applicant shall show all drainage and utility easements and all platting requirements met per the City Code. Drainage and utility easements shall be provided as standard per City requirements.
2. Easements should be provided over all infrastructure used for the conveyance and treatment of stormwater.
  - a. This includes but not limited to, storm sewer inlets, storm sewer pipes, and the stormwater management basin and filtration components.
3. Applicant shall coordinate and meet all requirements of city planning for lot adjustments including any necessary review and vacation of existing easements.

### Erosion Control/SWPPP

1. Preparation of an erosion control plan and compliance with a Construction SWPPP shall be required for construction.
  - a. A copy of the MPCA Construction Stormwater Permit shall be provided to the City prior to any disturbance activities.
  - b. Additional inlet protection required on all storm sewer inlets, including flankers and on-grade inlets.
2. The City of Corcoran is an MS4 community and site visits will be conducted weekly or after rain events.
3. Outlet pipe from filtration basin is a concentrated discharge directly into a silt fence. Silt fence is for intercepting sheet flow not a concentrated discharge. Provide alternative perimeter protection from this concentrated discharge.
4. Silt fence is placed perpendicular to contours in some locations. Silt fence should only be placed parallel to contours. Consider silt fence relief with rock bags, hale bales, erosion log or similar perimeter control for concentrated discharges. J hooking is also an acceptable method.
5. Provide erosion control at skimmer inlet consistent with City of Corcoran Standard Plate STO-16.
6. Vegetation for Stormwater Management Facility is not provided. Need to provide vegetation tolerant of typical wetland conditions. From MPCA stormwater manual, "Bioinfiltration basins must meet the required 48-hour drawdown time and must be sized to allow for adequate maintenance.
7. Planting notes allows "substitution by Owner", however the note should be removed or modified to "any substitution must be approved by City".
8. Silt fence installed outside of easements on access road. Silt fence shall be placed within property or developer shall provide agreement with adjacent property to allow rights for temporary improvements.

### Transportation

1. The need for fire access around the building shall be determined by Public Safety.
2. A future frontage road is planned for this area connecting Pioneer Trail and Rolling Hills Road. The Site appears north of the future road corridor, but ultimate access will be provided via this future frontage road.
3. Concrete sections are concrete on sand. We typically would expect a class 5 or other aggregate base. Confirm this is correct.
4. Bituminous section calls out sand, draitile detail provided in plans, no draitile shown in bit section, change to not have sand or included draitile for drainage.

5. Parking to be verified with City Planning. No designated parking shown.
6. Grading limits are shown for private drive but no additional information on elevations or grades. Details shall be provided for the proposed drive including the improvements and grading to ensure it fits within the existing easement. This shall include all necessary stormwater improvements to ensure driveway improvements don't impact adjacent properties.

#### Grading /Stormwater

1. The City's Stormwater Modeling Guidelines shall be used for stormwater systems and modeling (<https://corcoranmn.gov/common/pages/DisplayFile.aspx?itemId=15567509>).
2. The property owner shall own and maintain the stormwater infrastructure. A stormwater maintenance agreement will be required for all stormwater conveyance and treatment facilities.
3. Stormwater rate control and water quality treatment is not currently shown for private driveway. All disturbed areas must be analyzed for compliance with stormwater standards. Any increase in imperviousness due to the private drive shall be included in modeling.
4. Retaining walls to be located outside of D&U Easement, or an encroachment agreement to be provided.
5. Update OCS Detail 1 to be proportionally drawn.
6. Subwatershed delineation should encompass the entire contributing drainage areas, including undisturbed or off-site areas that drain on, not just the parcel boundary.
7. Time of concentration (Tc) flow paths not shown. Additionally, an aerial is needed to verify surface type and is required per Stormwater Guidelines. Also, the Tc's calculated were increased to the "minimum Tc" of 15mins. Where does this assumed minimum come from? Typically, 7 mins is considered the minimum Tc for Minnesota.
8. Proposed sub catchment 12S uses Tcs calculated with values attributed to cropland flow. Adjust or edit the value to the Tc minimum for proposed conditions.
9. Designer should check scale of drawings showing drainage areas. Based on the scale of the DA1 and DA2 the parcel is only ~4.7 acres not 5.04 acres. Site Data provided for existing impervious/pervious breakdown on Sheet C1 does not match existing HydroCAD modeling.
10. Plans need a pre-treatment basin detail.
11. It would be more appropriate to model the basin as a two-basin system rather than a single system. As currently modeled, the two basins function as one basin, but they will function in series except at water elevations exceeding 1032.0 after the outlet basins equalize. Ensure filtration is only accounted for within the 2<sup>nd</sup> basin.
12. Unit hydrograph has peak factor of 400 rather than the default SCS 484 which lower's peak runoff rates. The 400 peaking factor refers to MSE 3 MN rather than MSE 3. MSE 3 MN is only applicable to rural hydrology per MnDOT and NEH Part 650 – Minnesota Supplement.
13. In the absence of in-situ tests an infiltration rate of 0.06 in/hr should be used for soil type D instead of 0.8 in/hr A soils according to MPCA guidelines. Test pits or in-situ are required for any project proposing natural infiltration practices. This type of practices is difficult (or not feasible) in the heavy soils in Corcoran.
14. Exfiltration flows should be routed in series to a 6" diameter drain tile, not directly to the outlet culvert. Model the drain tile to account for its capacity.
15. Modeling of the overflow to the riser structure (Device #5) overestimates capacity at elevations between 1034.5 and 1035.25 since the orifice is not horizontal. A custom weir/orifice should be used

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Garages Too Corcoran Site Improvement Project

Kevin Mattson

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- for non-orthogonal orifices. Ensure to use a sharp crested weir coefficient (~3.1) City will provide spreadsheet to determine custom weir HydroCAD inputs based on City standard OCS detail.
16. Update EOF details in model to match plans provided. Dimensions do not seem to match plans.
  17. The EOF should be 1 foot above the HWL. Currently the EOF is less than 6 inches above the HWL.
  18. Sheet C7.2 – No socks on underdrains should be used. See City of Corcoran standard detail plate STO-20.
  19. Upsize all draitile to 6" to reduce chance of clogging.
  20. Northern draitile is at 0.8% per sheet C3, but C7.2 only indicates a single slope of 0.5% on the detail. Detail or plan sheet should be updated.
  21. Much of the runoff directly to the filtration basin is not pre-treated unless you consider filter strip or swales. Ensure pretreatment is provided for impervious areas prior to filtration/infiltration.
  22. Per the Minnesota Stormwwater Manual, the required effective filtration area is determined by the bottom area of the filtration basin not including side slopes. Remove side slopes form infiltration/filtration modeling.
  23. NRCS soils report shows a large area of HSG C soils on site. (model uses HSG D), update to appropriate CN.
    - o Proposed conditions shall use HSG D soils for greenspace if within area of disturbance.
  24. Pond in proposed Hydrocad should have a defined starting elevation at the controlling outlet structure elevation (NWL).
  25. Provide storm sewer sizing calculations using the rational method for the 10 year event.
  26. A typical CB inlet capacity is 2 to 2.5 CFS, and CBs shall be spaced accordingly.
    - o Three inches (0.25 feet) of head on a CB will inundate a street centerline (2% slope).
    - o Typical spacing is 200 to 250 feet along a curb that includes about 40 feet from road centerline (drainage area of 10,000 SF per CB).
  27. Grading contours not shown on proposed access driveway. Grading limits should be expanded as necessary to account for tie in to existing.
  28. 3' sump required in MH-10 for drop greater than 2'.

#### Watermain/Sanitary Sewer

1. The applicant indicates that no sewer and water facilities are necessary or provided for the site.
2. If not used with the current development, any wells which service the existing property should be abandoned by a licensed contractor.
3. The existing septic system should be abandoned by a licensed contractor.

**End of Comments**



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

# Memo

**To:** Planning (Planner Lindahl)  
**From:** Planner Davis  
**Date:** May 5, 2021  
**Re:** Garages Too Corcoran  
(City File No. 21-016)

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A Public Safety plan review meeting was held on 05/05/2021. In attendance were: Director of Public Safety Gottschalk, Lieutenant Ryan Burns, Planner Davis, Fire Chief Feist, Fire Chief Dave Malewicki, Fire Chief Leuer, and Building Official Geske. The comments are based on revised plans submitted April 20, 2021. The steep slope surrounding the site presents some fire protection challenges. The following public safety comments are provided for the project:

1. Fire barriers will be required in buildings to create fire areas of less than 12,000 square feet; otherwise, the buildings will need to be sprinkled.
2. The requirement for a 150' hose pull distance must be met throughout the site. The current plans do not reflect this for buildings C and D.
3. A 300' hose pull distance is permitted if the buildings are sprinkled, or if the applicant wants to claim a topographic waiver as outlined in the International Fire Code 503.1.1.1, the applicant must meet with the Fire Chiefs and the Building Official to determine a sufficient alternative fire protection system.
4. The 24' roadway to the site was deemed sufficient by the Public Safety Group.
5. A turning radius exhibit is required for the site.

**From:** [Ryan Burns](#)  
**To:** [Natalie Davis](#); [Kendra Lindahl, AICP](#); [Kevin Mattson](#); [Kent C. Torve](#); [Matt Gottschalk](#); [Michael Pritchard](#)  
**Cc:** [Jeff Leuer \(jleuer@ci.loretto.mn.us\)](#); [Todd Geske](#)  
**Subject:** RE: Distribution #21-016 Garages Too Corcoran - Rezoning, Preliminary Plat, Conditional Use Permit, Variance, and Site Plan  
**Date:** Wednesday, June 23, 2021 3:11:33 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)

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Fire Chief Leuer and Building Official Geske discussed and approved the plan to have fire connections on the front of the building that connect to the rear of the building. Fire would haul an apartment pack to the rear of the building, connect in the rear to the source from the front, and no need not pull a hose around the building. Kind of like a fire riser in multi-story building, instead of going up, they would be going through the building. They will not be sprinkled buildings.

**Ryan Burns | Lieutenant**  
City of Corcoran | 8200 County Road 116 | Corcoran, MN 55340  
Phone: (763) 420-8966 | [rburns@ci.corcoran.mn.us](mailto:rburns@ci.corcoran.mn.us) | [f](#) | [t](#)



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**From:** Natalie Davis <[ndavis@corcoranmn.gov](mailto:ndavis@corcoranmn.gov)>  
**Sent:** Wednesday, June 23, 2021 2:09 PM  
**To:** Kendra Lindahl Forwarding <[klindahl@landform.net](mailto:klindahl@landform.net)>; Kevin Mattson <[kmattson@corcoranmn.gov](mailto:kmattson@corcoranmn.gov)>; Kent C. Torve <[ktorve@wenck.com](mailto:ktorve@wenck.com)>; Ryan Burns <[rburns@corcoranmn.gov](mailto:rburns@corcoranmn.gov)>; Matt Gottschalk <[mgottschalk@corcoranmn.gov](mailto:mgottschalk@corcoranmn.gov)>; Michael Pritchard <[MPritchard@corcoranmn.gov](mailto:MPritchard@corcoranmn.gov)>  
**Subject:** Distribution #21-016 Garages Too Corcoran - Rezoning, Preliminary Plat, Conditional Use Permit, Variance, and Site Plan

Good afternoon,

Please find enclosed updated plans for Garages Too.

Matt – The applicant believes they addressed Public Safety’s comments by incorporating fire department connections on the front and back walls of Buildings C and D, but Kendra and I are uncertain if this truly satisfies the requirements of a 150’ maximum hose pull distance (or outfitting the buildings with sprinklers).

Thank you,

*Natalie Davis*  
Planner

**City of Corcoran**

8200 County Road 116, Corcoran, MN 55340

[www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

[ndavis@corcoranmn.gov](mailto:ndavis@corcoranmn.gov)

Direct: 763-258-4272 Main: 763-420-2288



*City of Corcoran - A Hidden Gem Waiting To Be Discovered*

May 25,2021

Natalie Davis  
Planner  
City of Corcoran  
8200 County Road 116  
Corcoran, MN 55340

SUBJECT: MnDOT Review #**S21-031**  
**Garages Too-Corcoran**  
NW Quad MN 55 & Rolling Hills Road  
Corcoran, Hennepin County

Dear Ms. Davis:

Thank you for the opportunity to review the **Garages Too-Corcoran**. MnDOT has reviewed the documents and has the following comments:

***Traffic:***

MnDOT recommends providing main access from Horseshoe Bend Dr, rather than having customers with trailers accessing the site from a horizontal curve on a high-speed, high-volume roadway without turn lanes.

If you have any questions regarding these comments please contact Eric Lauer-Hunt of MnDOT Traffic at [eric.lauer-hunt@state.mn.us](mailto:eric.lauer-hunt@state.mn.us) or 651-234-7875.

***Permits:***

An Access permit will be required. Additionally, any use of, or work within or affecting, MnDOT right of way will require a permit.

Permits can be applied for at this site: <https://olpa.dot.state.mn.us/OLPA/>. Please upload a copy of this letter when applying for any permits.

Please direct questions regarding permit requirements to Buck Craig of MnDOT's Metro Permits Section at [Buck.Craig@state.mn.us](mailto:Buck.Craig@state.mn.us) or 651-234-7911.

***Review Submittal Options***

MnDOT's goal is to complete reviews within 30 calendar days. Review materials received electronically can be processed more rapidly. Do not submit files via a cloud service or SharePoint link. In order of preference, review materials may be submitted as:

An equal opportunity employer



1. Email documents and plans in PDF format to [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us). Attachments may not exceed 20 megabytes per email. Documents can be zipped as well. If multiple emails are necessary, number each message.
2. PDF file(s) uploaded to MnDOT's external shared internet workspace site at: <https://mft.dot.state.mn.us>. Contact MnDOT Planning development review staff at [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us) for uploading instructions, and send an email listing the file name(s) after the document(s) has/have been uploaded.

If you have any questions concerning this review, please contact me at (651) 234-7797.

Sincerely,



Cameron Muhic  
Senior Planner

**Copy sent via E-Mail:**

Buck Craig, Permits  
Jason Swenson, Water Resources  
Andrew Lutaya, Area Manager  
Mackenzie Turner Borgen, Multimodal  
Jason Junge, Transit

Lance Schowalter, Design  
Eric Lauer-Hunt, Traffic  
Douglas Nelson, Right-of-Way  
Jesse Thorsen, Multimodal  
Russell Owen, Metropolitan Council

## **Executive Summary**

Storage space is in demand and this development responds to fill that need for the area surrounding the West Metro of Hennepin County. The buildings are attractive, well-built and will be a welcomed addition to the City of Corcoran.

## **Overview**

Garages Too, LLC proposes this project for the City of Corcoran's consideration. The Project will be located at 22400 State Highway 55 in Corcoran, Minnesota. Building spaces will be leased to companies and private individuals seeking protected and secure storage for their possessions ranging from company vehicles, supplies, automobiles, recreational vehicles, pickup trucks and trailers. However, no commercial-type vehicles are allowed within these units. Each rental space has its own entrance, its individual level of interior finishes, its own power, heat and lighting.

Home-based businesses located in the City of Corcoran and surrounding communities will now have an option to office out of their home per city ordinances, but store their business equipment, supplies and other non-ordinance compliant items off-site in this facility. This option will allow Corcoran residents to conduct their business in compliance with city regulations and give each of them a better opportunity to succeed in their business ventures. However, no public traffic or extended employee presence will be allowed for this development and no outdoor storage or over-night parking of any kind will be allowed on this property. To that end, Developer has arranged on-going towing services from Burda's Towing for any violator- no exemptions granted. Hours of daily operation shall be posted allowing activity from 7:00 am to 9:00 pm only. Each tenant will be required to furnish and maintain two fire extinguishers within each rental space. No retail sales of goods or services will be allowed as this is a storage facility use (S-1) not a business use (B). Repair of personal vehicles will be allowed within a given rental space, but specifically prohibited on all parking lots or drives.

This property will be equipped with surveillance equipment to maintain a high level of security for tenants without the need of perimeter fencing or access gates. Signage for the project will be limited to rental unit identification only located above the service door to each rental unit; no other signage will be allowed.

Garages Too has contacted adjacent residential land owners adjoining to the north and east boundaries of the existing parcel. Garages Too proposes landscape improvements at select locations on some adjoining properties that will result in enhanced screening of the proposed development. Garages Too also proposes a lot line adjustment with cooperation of the adjoining residential land owner at the northeast corner of the existing property. The existing residential lot (6315 Horseshoe Bend Drive) is owned by Benjamin and Mercedes Elsen and they are supportive of the lot line adjustment and replat of their lot. The existing lot has an existing home, garage, and other residential improvements. The home, garage, and driveway as currently configured on the existing lot provides minimal rear yard and side yard spaces. The replat and increased lot area would provide additional rear/side yard space which would be beneficial to the residential lot.

## **Programming / CUP Standards**

Business model research revealed area market needs in the leasing of large volume storage spaces. This was evident in the West Metro of Hennepin County for small service-oriented businesses as well as certain private individuals. To meet this market need the Project has been designed with the following features:

- 1) Four Total Structures- development proposes four (4) stand-alone buildings to maximize development in most efficient manner (identified as Buildings "A" thru "D"); all buildings are non-sprinkled (NS)

- 2) Buildings "B", "C" and "D" have been technically divided into two separate fire areas through the use of a 3-hour fire resistance rated wall assembly meeting the requirements of the 2020 Minnesota State Building Code; their designation is shown as "B1" / "B2", "C1" / "C2" and "D1" / "D2".
- 3) Reason for this division for buildings "B", "C" and "D" is to comply with the building code for buildings of the indicated size supporting S-1 Moderate Hazard use of these spaces (see Building Area Calculations on sheet #PR-1).
- 4) Building "A" Signature Unit- storage unit with special features identifying it as the main focal point of project (includes the common facility maintenance space)
- 5) Typical Rental Unit
  - a) Large Warehouse Space- 12' x 12' high overhead door; 60' to 70' depth for large items
  - b) Electrical Service- 200amp with separate / individual meters
  - c) Heating System- ceiling mounted individual direct-fired natural gas heaters for each unit

### Site Development

The existing 20 foot wide access drive will be upgraded to a 24 foot wide road to provide access to the facility. An access easement exists to allow site access from Highway 55. No change to Highway 55 is anticipated other than connected to the wider access road. No turn lane improvements are required for Highway 55 as this facility will generate only 20 trips per day far below the 100 daily trips threshold required for any new turn lane<sup>1</sup>. Chapter 3 of Mn/DOT Access Management Manual includes a series of requirements or warrants when considering design criteria for its roadway system<sup>2</sup>. None of the 9 warrants listed are triggered by this project. Four separate buildings are served by bituminous paving. Surface storm water will be collected and routed to a storm water management basin on-site with discharge on-grade. The discharge point is protected with rip-rap to address erosion. No exterior storage of any kind is allowed on the property.

### Landscape Design

Landscape design is proposed that is reasonable and appropriate for the proposed development.

Tree plantings are proposed with a variety of coniferous and deciduous trees with a quantity that exceeds the city requirement based on building square footage by code 1060.070.2.G.2. Tree plantings are proposed along the north and east sides of the site to provide buffer screening from adjacent residential properties. Existing trees in the southern portion of the east boundary are proposed to remain to the extent possible. Adjacent properties to the west and south are zoned I-1 Light Industrial and future like kind uses are anticipated. Trees are proposed along the south side of the site with a typical spacing of 50 ft. Trees are not proposed along the west boundary due to topography and retaining wall issues.

Shrub plantings are proposed along select building walls that have primary visibility from adjacent residential properties. Shrub plantings are proposed along the east and north walls of Building A, and on the east wall of Building C. The total number of shrubs proposed is less than the calculation result based on building square footage required by code 1060.070.2.G.2. The number of shrubs proposed does exceed the calculation result based on site perimeter required by code 1060.070.2.G.2.

### Building Construction

- Project consists of four (4) masonry structures, using decorative masonry units for all exterior walls and wood roof trusses with asphalt shingle roofing, pre-finished metal fascia, and soffits; 14'-0" truss bearing height, pre-finished doors and windows (see attached Drawings);
- Building "A" – 5 individual rental units; the signature design feature is finished with stone veneer base and stone cap, lap siding and trim; includes the Facility Maintenance space required for ordinary repairs and upkeep of the buildings and grounds.
- Building "B" Fire Area "B1" – 7 individual rental units;
- Building "B" Fire Area "B2" – 6 individual rental units;
- Building "C" Fire Area "C1" – 6 individual rental units;
- Building "C" Fire Area "C2" – 5 individual rental units;
- Building "D" Fire Area "D1" – 6 individual rental units;
- Building "D" Fire Area "D2" – 2 individual rental units;
- Total Individual Rental Units – 37
- No outdoor / exterior storage is allowed at any time.

#### **Variations Standards**

##### Variance #1- 6315 Horseshoe Bend Drive (proposed Lot 2): Residential Lot Size and Width

- The project proposes to replat the existing residential lot (Lot 4, Block 2, Schnell's Highland Acres 2<sup>nd</sup> Addition) with additional land resulting in an increased residential lot area.
- Variance is needed to the lot area and lot width standards of current zoning designation UR Urban Reserve for the residential lot. UR zoning requires a minimum 20 acre lot area and minimum 300 ft lot width.
- The existing lot is a legal non-conforming lot since it does not conform to current UR zoning lot area or lot width standards. The lot was of record prior to adoption of the current UR zoning standards.
- The existing lot area is 1.67 acres. The replat will result in a lot area of 2.12 acres (increase of 0.45 acres).
- No change is proposed to the existing lot width which is approximately 280 ft at Horseshoe Bend Drive.
- No change is proposed to current access to the lot which is off of Horseshoe Bend Drive.
- No access will be provided from the 2240 State Highway 55 property as part of the replat.
- The lot line modification provided by the plat is beneficial to the properties included in the plat.
- There are no negative impacts to adjoining properties.
- The proposed land use is consistent with the comprehensive plan.

##### Variance #2- 22400 State Highway 55 (proposed Lot 1): Industrial Lot Width and Front Setback

- This existing lot of record has no frontage on a public street. This is an existing condition not created by the owner.
- Variance is needed to the required 100 ft lot width and building setback standards of proposed I-1 Light Industrial zoning since the existing lot (and resulting platted lot) has no frontage on a public street.
- The lot width requirement and front setback requirement cannot be met for proposed Lot 1 as there is no public street adjoining the property.
- City staff has clarified that the front is determined to be the lot line where access is provided (south).
- The project does propose building locations that provide a minimum 50 ft building setback from the south, north, and east lot lines. Since the south lot line is interpreted to be the front, the project does provide a 50 ft setback from the interpreted front (south).
- There are no negative impacts to adjoining properties.

- The proposed land use is consistent with the comprehensive plan.

Variance #3- 22400 State Highway 55: Parking and Drive Aisle Setback to South Property Line

- This existing lot of record has no frontage on a public street. This is an existing condition not created by the owner.
- City staff has clarified that the front is determined to be the lot line where access is provided (south).
- Variance is needed to the required parking and drive aisle 50 ft setback from front for I-1 zoning.
- Sufficient driveway and maneuvering space is needed for fire/safety access to all buildings and circulation within the site.
- Sufficient driveway and maneuvering space is needed to access the building tenant spaces from the south.
- The project does propose curb setback at 10 ft from south lot line.
- Adjacent property to the south is I-1 zoned property. Future development of the adjacent property would allow for curb at 10 ft from the same lot line.
- Compliance with the required 50 ft setback is not practical, would result in an inefficient use of land, and would not provide acceptable fire/safety access.
- There are no negative impacts to adjoining properties.
- The proposed land use is consistent with the comprehensive plan.

Variance #4- 22400 State Highway 55: Municipal Services requirement waiver

- The property is located in the Metropolitan Urban Service Area (MUSA) and is in stage 2030-2035 of the Sanitary Sewer Plan.
- Since the site is located inside of the MUSA boundary, city code requires it to be developed with sewer and water.
- Variance is needed to the requirement for municipal services.
- The proposed use (interior storage) of the project does not need municipal sanitary sewer or municipal water services.
- No office or bathroom facilities will be provided within tenant spaces.
- There are no negative impacts to adjoining properties.
- The proposed land use is consistent with the comprehensive plan.

Footnotes:

- 1 Tod Sherman Email, dated 12-14-20 (attached)  
Tod Sherman, Planning Director  
Office of Planning, Program Management and Transit  
1500 West County Road B-2  
Roseville, MN 55113  
(651) 234-7794  
[Tod.sherman@state.mn.us](mailto:Tod.sherman@state.mn.us)
- 2 Mn/DOT Access Management Manual – Chapter 3  
Section 3.4.9 Turn Lanes  
<http://www.dot.state.mn.us/accessmanagement/resources.html>



# GARAGES TOO CORCORAN

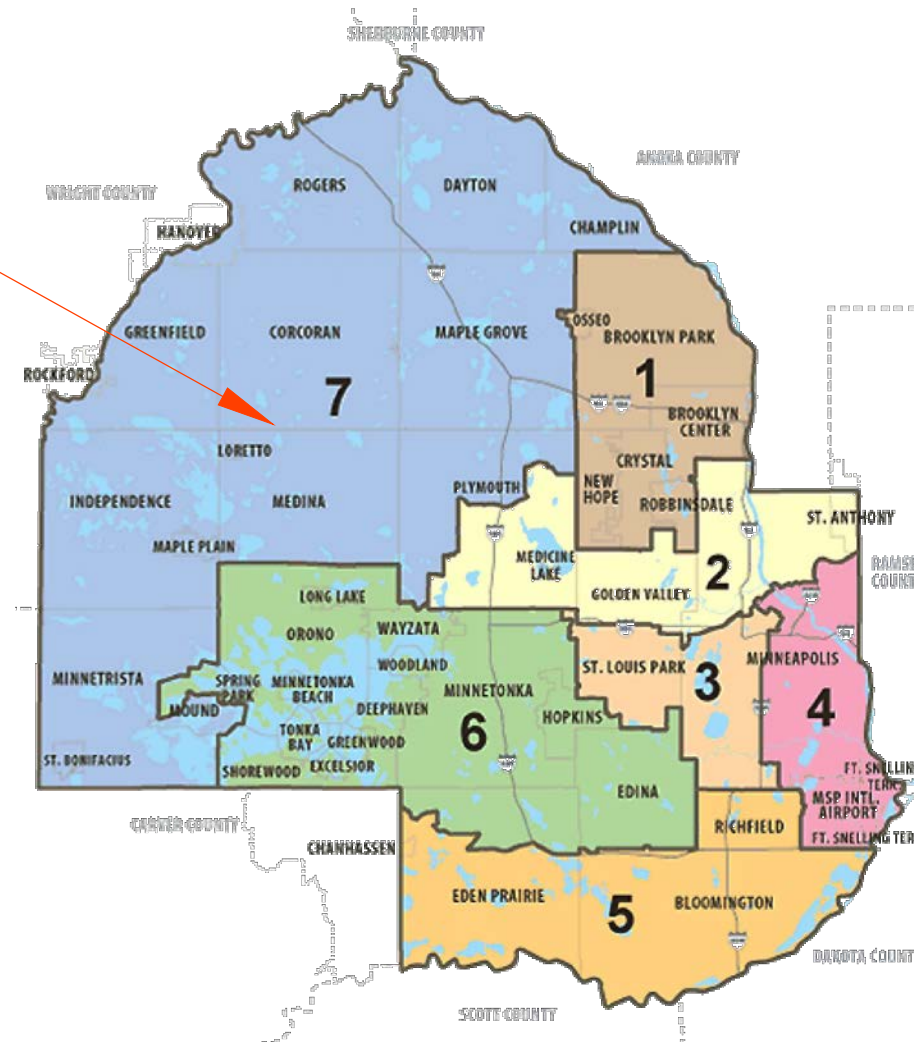
## SITE IMPROVEMENT PROJECT

### CORCORAN, MN



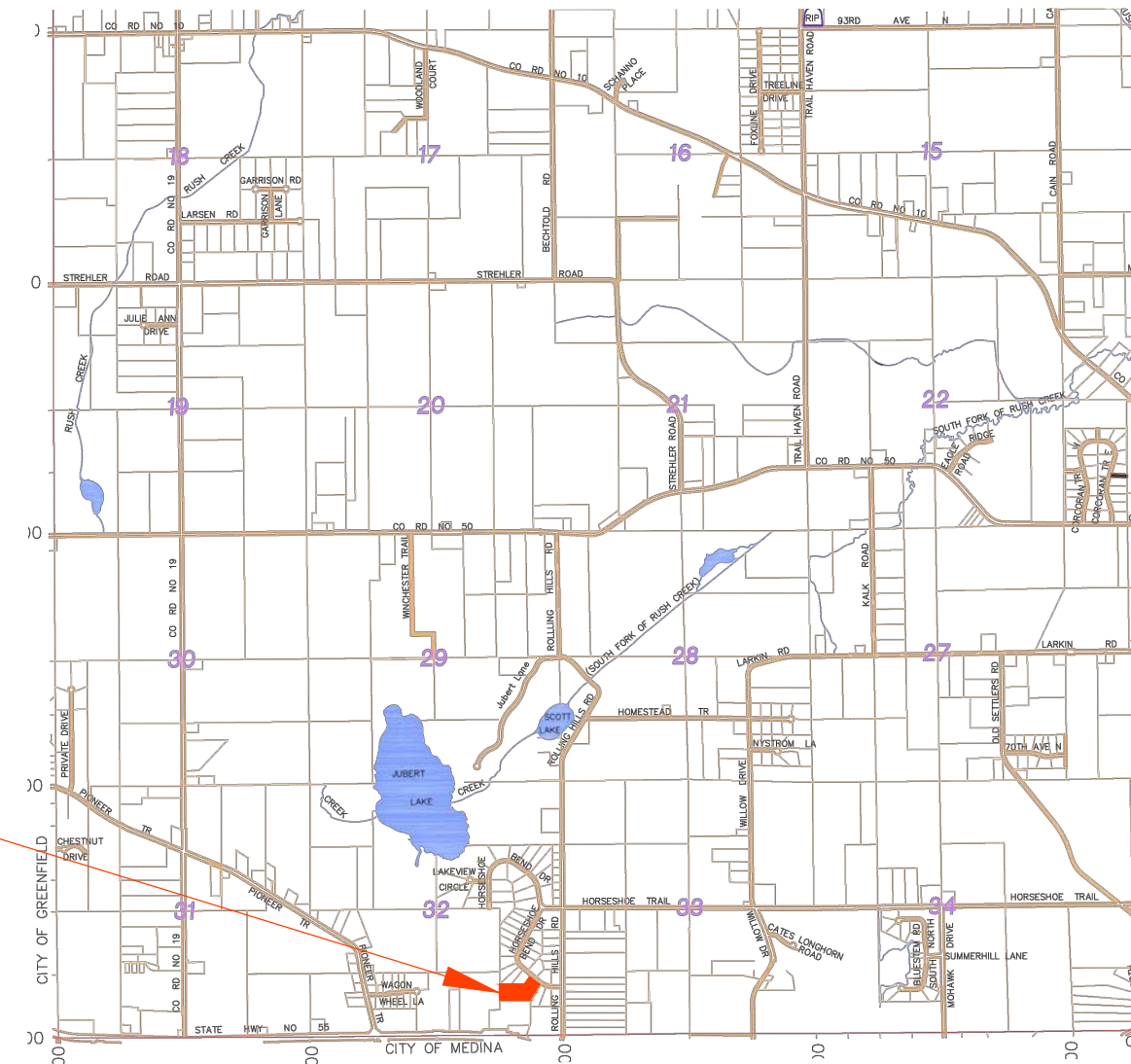
MINNESOTA

SITE



HENNEPIN COUNTY

SITE

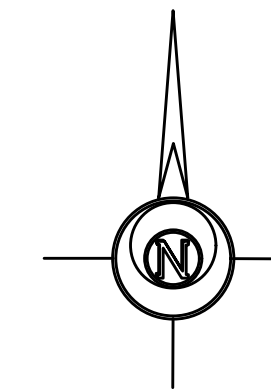


CITY OF CORCORAN, MN



SITE

PROJECT LOCATION



**INDEX OF CIVIL SITE DRAWINGS:**

- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN & PRELIMINARY PLAT
- C2 GRADING AND DRAINAGE PLAN
- C3 STORM SEWER PLAN
- C4 PRIVATE DRIVE
- C5.1-5.2 SWPPP
- C6.1-6.2 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 DETAILS
- C8 LANDSCAPE PLAN

CLIENT:

**GARAGES TOO, LLC**

305 Lakeview Ave.  
Tonka Bay, MN 55331

Craig Scherber  
612-810-8400

GARAGES TOO CORCORAN  
SITE IMPROVEMENT  
PROJECT

22400 State Highway No. 55  
Corcoran, Minnesota 55340

PROJECT LOCATION PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 24348  
PREPARED BY: CIVIL ENGINEERING  
SITE DESIGN

1118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civileng.com

REVISIONS  
06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER  
07/08/21 ADDED DRIVEWAY GRADING LIMITS

DATE 04/20/21

DRAWN BY SD

DESIGNED BY SD

CHECKED BY SD

HORIZONTAL SCALE  
1" = 100' (FULL SIZE SHEET 24" x 36")

VERTICAL SCALE  
1" inch = 10 feet

FILE NO. 00796

**CO**

Project Location plan



**SITE PLAN NOTES**

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- MATCH EXISTING GRADES AT EXISTING PAVEMENT TO REMAIN.
- EXISTING PAVEMENT TO REMAIN SHALL BE SAW CUT FOR CLEAN EDGE. TACK SHALL BE USED ON ALL VERTICAL EDGES PRIOR TO PATCHING.
- CONTRACTOR SHALL VERIFY AND COORDINATE CONDUIT REQUIREMENTS FOR UNDERGROUND UTILITIES IF ANY WITHIN THE WORK ZONE WITH THE OWNER PRIOR TO PAVING.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FIRE MARSHALL FOR POSTING OF FIRE LANES, CURB MARKING AND SIGNAGE, AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SITE FEATURES THAT INTERFERE WITH NEW WORK AS SHOWN.

**GENERAL NOTES**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND PIPING, VALVING, ETC.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT IF OWNER HAS PROVIDED SUCH REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. IF REQUESTED BY THE OWNER, CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, LICENSED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE SURVEY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL EXISTING CONCRETE CURBING AND PAVEMENT TO REMAIN SHALL BE PROTECTED FROM DAMAGE. CONTRACTOR TO REPAIR ANY DAMAGED EXISTING CURB AND PAVEMENT AT CONTRACTOR'S EXPENSE.

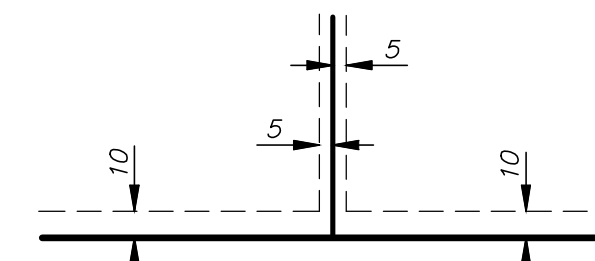
**KEY NOTES:**

- BITUMINOUS PAVEMENT; SEE SECTION ON DETAIL SHEET
- 4 FT CONCRETE VALLEY GUTTER (SEE DETAIL)
- CONCRETE PAVEMENT HEAVY DUTY; 4,500 PSI MIX; SEE SECTION ON DETAIL SHEET
- CONCRETE PAVEMENT LIGHT DUTY; 4,500 PSI MIX; SEE SECTION ON DETAIL SHEET (PRIVATE SIDEWALK)
- B612 (6") CONCRETE CURB & GUTTER MIX 3F32 FOR MACHINE PLACEMENT (MNDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MNDOT 2461)
- B612 (6") CONCRETE OUTFLOW CURB & GUTTER. (TIP-OUT FLOWLINE) MIX 3F32 FOR MACHINE PLACEMENT (MNDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MNDOT 2461)
- PERVIOUS AREA. SEE LANDSCAPE PLAN
- RETAINING WALL. ALL RETAINING WALLS OVER 4.0 FT EXPOSED HEIGHT SHALL BE ENGINEERED AND HAVE FENCE PER LOCAL AUTHORITY REQUIREMENTS
- SITE ACCESS PRIVATE DRIVE. SEE PLAN SHEET C4
- FIRE DEPARTMENT CONNECTION. DRY LINE STANDPIPE FOR SUPPLY TO CONNECTION AT REAR WALL OF BUILDING. CONFIRM LOCATION AND SIGNAGE WITH FIRE DEPARTMENT. ADJUST LOCATION AS NECESSARY.

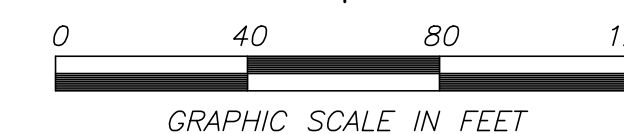
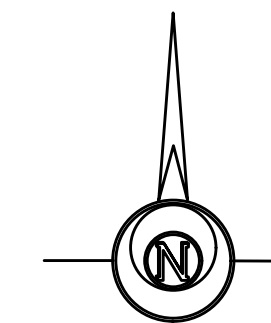
**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
ENGINEERING DESIGN & SURVEYING  
6480 WAYZATA BLVD.  
MINNEAPOLIS, MN 55426  
DATED: MARCH 11TH, 2021  
BENCHMARK:  
DISK "UMC"  
ELEV.=1046.20 (NGVD 29) MNDOT

Drainage and utility easements are shown thus:



Being 10 feet in width and adjoining right-of-way lines, also being 5 feet in width and adjoining lot lines, unless otherwise indicated, as shown on the plat.



**LEGEND:**

- EXISTING BOUNDARY
- EXISTING EASEMENT
- EXISTING R/W LINE
- CONCRETE LIGHT DUTY
- CONCRETE HEAVY DUTY
- BITUMINOUS PAVEMENT
- AGGREGATE SURFACE
- PROPOSED CURB AND GUTTER STANDARD
- PROPOSED CURB AND GUTTER TIP-OUT
- PROPOSED PARKING STALLS
- PROPOSED LIGHT POLE

**PROJECT LOCATION**

SE 1/4 of the SE 1/4 SECTION 32 TOWNSHIP 119, RANGE 23, HENNEPIN COUNTY, MINNESOTA.

**EXISTING PROPERTY DESCRIPTIONS**

THAT PART OF THE NORTH 340 FEET OF THE SOUTH 1065 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 119 NORTH, RANGE 23, WEST OF THE 5TH/ PRINCIPAL MERIDIAN, LYING WEST OF THE EAST 685 FEET THEREOF, HENNEPIN COUNTY, MINNESOTA. AND LOT 4, BLOCK 2, SCHNELL'S HIGHLAND ACRES 2ND ADDITION, HENNEPIN COUNTY, MINNESOTA.

**PROPOSED LEGAL DESCRIPTIONS**

LOTS 1 AND 2, BLOCK 1, GARAGES TOO CORCORAN, HENNEPIN COUNTY, MINNESOTA.

**SITE DATA:**

EXISTING ZONING:	UR URBAN RESERVE
PROPOSED ZONING:	I1 LIGHT INDUSTRIAL (LOT 1) UR URBAN RESERVE (LOT 2)
GROSS AREA:	292,345 SF = 6.71 ACRES
PROPOSED LOT 1:	199,893 SF = 4.59 ACRES
PROPOSED LOT 2:	92,452 SF = 2.12 ACRES
TOTAL PROPOSED BUILDINGS (LOT 1):	62,031 SF
PERCENT BUILDING COVERAGE (LOT 1):	31.03 % (% of lot area)
FLOOR AREA RATIO (LOT 1)	0.3103 (62,031 / 199,893)
EXISTING IMPERVIOUS AREA (LOT 1):	15,137 SF (includes existing buildings, existing pavement areas)
PROPOSED IMPERVIOUS AREA (LOT 1):	131,120 SF (excludes proposed Lot 2)
PROPOSED PERCENT IMPERVIOUS (LOT 1):	65.60 % (% of lot area; 131,120 / 199,893)
PROPOSED PERVIOUS AREA:	68,773 SF (landscape, turf areas)
PROPOSED PERCENT PERVIOUS AREA:	34.40% (% of lot area; 68,773 / 199,893)
DISTURBANCE AREA:	240,428 SF = 5.52 AC

**SETBACKS:**

LOCATION:	BUILDING
FRONT, FROM MAJOR ROADWAYS	100'
FRONT, FROM ALL OTHER STREETS	50'
SIDE YARD	20'
REAR YARD	20'
ADJACENT TO RESIDENTIAL	50'
LOCATION:	PARKING
FRONT	50'
SIDE YARD	10'
REAR YARD	10'

**MINIMUM LOT REQUIREMENTS**

I-1 LOT MINIMUMS:	
LOT AREA	1.0 AC.
LOT WIDTH	100 FT
LOT DEPTH	200 FT
MAXIMUM LOT COVERAGE	70%

**INDEX OF CIVIL SITE DRAWINGS:**

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- C3 STORM SEWER PLAN
- C4 PRIVATE DRIVE
- C5.1-5.2 SWPPP
- C6.1-6.2 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 DETAILS
- C8 LANDSCAPE PLAN

CLIENT:

**GARAGES TOO, LLC**

305 Lakeview Ave.  
Tonka Bay, MN 55331

Craig Scherber  
612-810-8400

GARAGES TOO CORCORAN  
SITE IMPROVEMENT  
PROJECT

22400 State Highway No. 55  
Corcoran, Minnesota 55340

SITE PLAN & PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 243418  
PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
1118 East Broadway St.  
Monticello, MN 55362  
Phone: 763-314-0929  
www.civildesign.com

REVISIONS  
06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER  
07/08/21 ADDED DRIVEWAY GRADING LIMITS

DATE 04/20/21  
DRAWN BY SD  
DESIGNED BY SD  
CHECKED BY SD

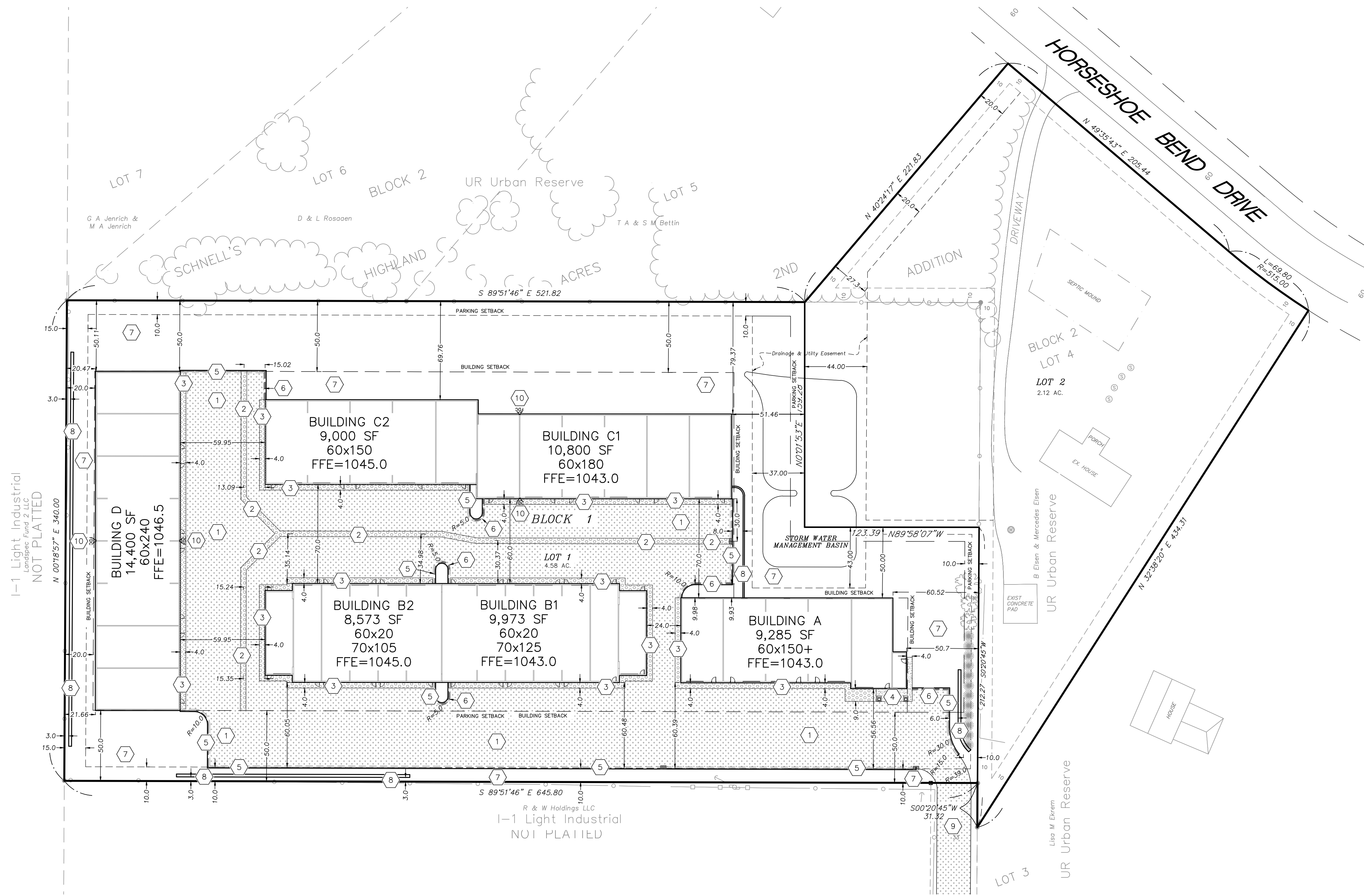
VERTICAL SCALE  
1" = 10' feet

HORIZONTAL SCALE  
1" = 40' feet  
(FULL SIZE SHEET 24 X 36)

FILE NO. 00796

C1

Site Plan & Preliminary Plat



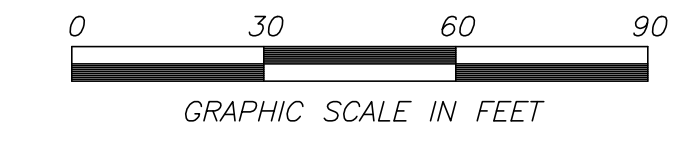
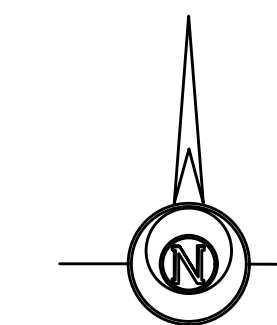
I-1 Light Industrial  
Landmark Fund 2 LLC  
NOT PLATTED

R & W Holdings LLC  
I-1 Light Industrial  
NOT PLATTED



**GENERAL GRADING NOTES:**

- Specifications applicable for this project: Current standard specifications for City of Corcoran, MN, and the latest Minnesota Department of Transportation Specifications for Highway Construction and all NPDES requirements except where modified by these contract documents.
- OSHA requirements shall be followed for all work on this project.
- The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (1-800-252-1166.)
- The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer of any conflicts.
- Erosion Control shall be constructed, as applicable, as sequenced below:
  - Silt Fence.
  - Rock Construction Entrance.
  - Demolition
  - Common excavation (grading).
  - Seed and mulch or sod (See notes on Landscape plan).
- Final Plat shall govern for easements and lot dimensions.
- Any erosion control items necessary to protect adjacent properties shall be constructed by the Grading Contractor.
- Erosion control maintenance shall be performed by the Grading Contractor, and removed as per the Contract Documents or as directed by the Engineer, followed by all necessary restoration of disturbed area. This work shall be incidental to the grading contract.
- The Grading Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:
  - Within the upper 3' of streets, the Grading Contractor shall utilize approved soils that are within 1% of the optimum moisture content as defined by the Standard Proctor Test—ASTM: D-698 with compaction meeting 100% Standard Proctor Density and not exceeding this compaction by more than 1%. Below the upper 3', compaction shall meet 95% Standard Proctor Density, and be within 3% of the optimum moisture content. Grading tolerances shall be 0.1'.
  - Grading tolerances for the remainder of the site shall be 0.25'.
- All areas of unsuitable soils found in the pad described above that cannot be corrected shall be located in the field by the Grading Contractor. The Grading Contractor shall immediately notify the Engineer of these areas and provide information as to their size and location.
- The Grading contractor shall provide positive drainage on the site at all times.
- The Grading Contractor shall keep public streets and travel ways clear of soil and debris. Daily cleaning at the construction entrance shall be performed, especially at the end of each day's work.
- All silt fence shall be removed at project completion.
- All proposed elevations are at curb flow line or finished bituminous surface unless otherwise noted.
- All erosion control best management practices shall be per City standards.

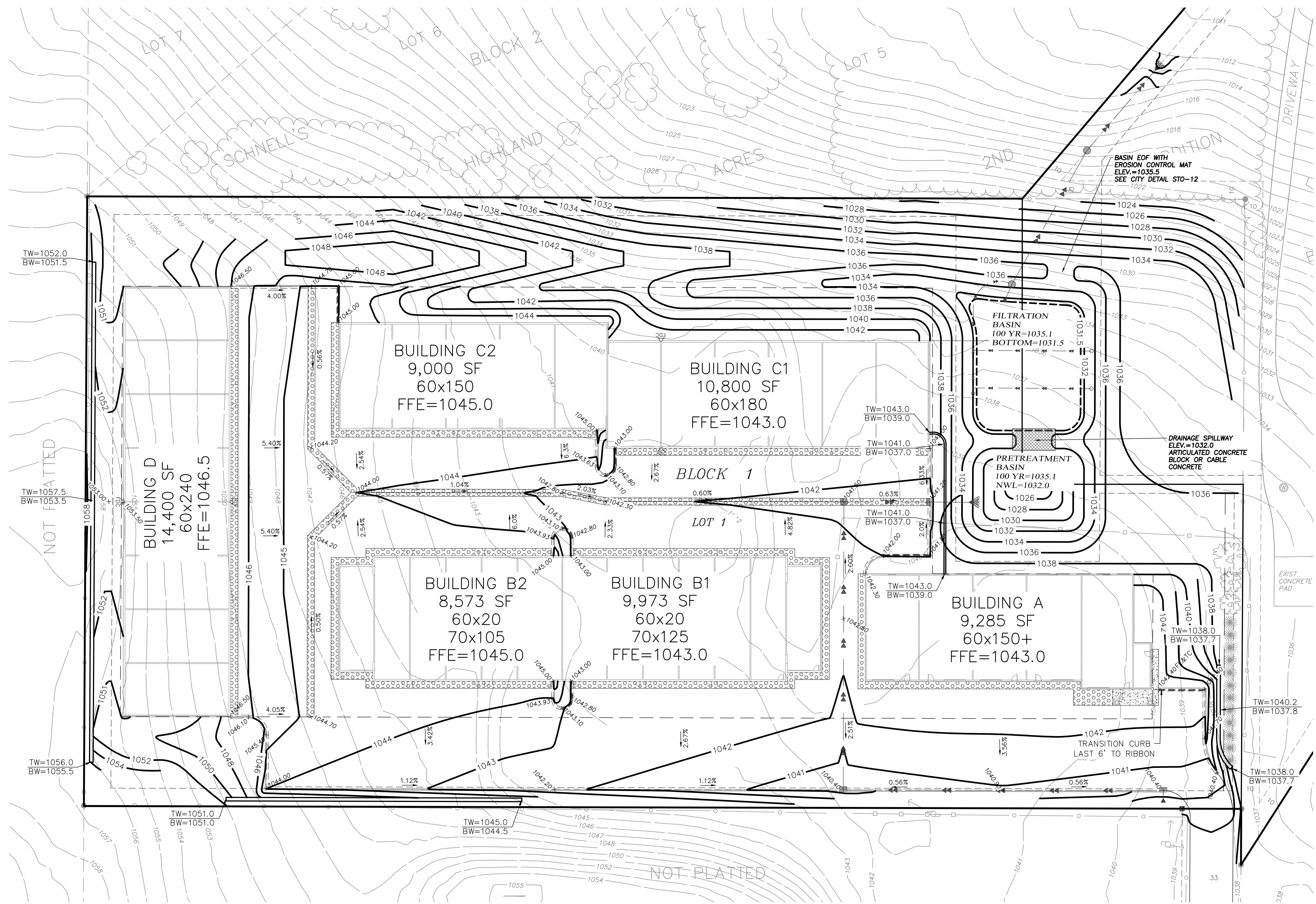


**LEGEND:**

- 908 — Existing Contours
- >> Existing Storm Sewer
- x 908.0 Existing Spot Elevation
- 908 — Proposed Contours
- ▶ Proposed Storm Sewer
- x 943.50 Proposed Spot Elevation
- 2.40% Flow Direction
- ➔ Overflow Route

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
 ENGINEERING DESIGN & SURVEYING  
 6480 WAZATA BLVD.  
 MINNEAPOLIS, MN 55426  
 DATED: MARCH 11TH, 2021  
 BENCHMARK:  
 DISK "UMC"  
 ELEV.=1046.20 (NGVD 29) MNDOT



CLIENT:

**GARAGES TOO, LLC**

305 Lakeview Ave.  
 Tonka Bay, MN 55331

Craig Scherber  
 612-810-8400

**GARAGES TOO CORCORAN  
 SITE IMPROVEMENT  
 PROJECT**

22400 State Highway No. 55  
 Corcoran, Minnesota 55340

**GRADING & DRAINAGE PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
 1118 East Broadway St.  
 Monticello, Mn 56362  
 Phone: 763-314-0929  
 www.civiland.com

REVISIONS  
 06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER  
 07/08/21 ADDED DRIVEWAY GRADING LIMITS

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
04/20/21	SD	SD	SD

FILE NO.	00796
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- C7.1-7.2 DETAILS
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C2

Grading & Drainage Plan

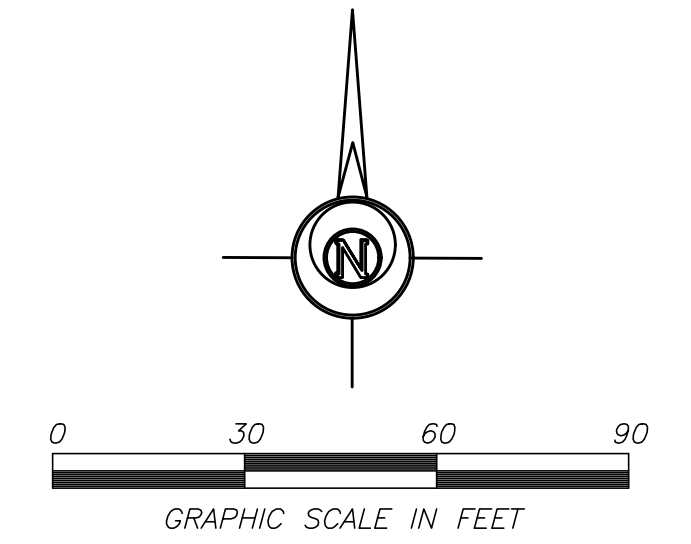


**GENERAL UTILITY NOTES**

- Specifications applicable for this project: Current standard specifications for the City of Corcoran, MN and all Minnesota Department of Health and MPCA requirements except where modified by these contract documents.
- OSHA requirements shall be followed for all work on this project.
- The Contractor shall notify "Copher State One Call" prior to any excavation (651-454-0002 or 1-800-252-1166 out state.)
- The Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction (storm sewer, sanitary sewer, water, natural gas, telephone, electric, etc.), and immediately notify the Engineer of any conflicts.
- The Contractor shall protect all existing utilities and facilities to allow proper functioning during and after construction. Any required supporting structures shall be supplied by the Contractor as work incidental to the contract.
- The contractor shall immediately notify the Engineer of any conflicts between existing utilities, and the proposed construction. The Engineer will coordinate with the Utility Company in question to determine the need for relocation of the existing utility.
- Existing conditions such as sand in manholes or valve boxes shall be identified by the Contractor and these shall be reported to the Engineer prior to excavation by the Contractor. Once construction has begun, all damage to underground utilities will be assumed to have been caused by the Contractor, any repairs necessary shall be performed by the Contractor at the Contractor's expense.
- Final Plat shall govern for easements.
- The Contractor shall coordinate with the local jurisdiction to obtain permits and meter for water source. All associated costs shall be incidental to the Contract, including disposal of test water into City's sanitary sewer system. The Contractor shall not operate gate valves or hydrants on the City's water supply system.
- The Contractor shall notify the City Engineer and the Project Engineer 48 hours prior to starting work or as required by the local jurisdiction or be subject to being shut down.

- The Contractor shall keep access roads clear of soil or other debris, and perform daily street cleaning as required by the NPDES permit. Positive drainage, controlled with erosion control and erosion prevention measures as required by the NPDES permit shall be performed. Inlet protection shall be installed within 48 hours after inlet construction. Unless specified on the plans or as a bid item on the Bid Form, any temporary culverts, ditches, filter fabric, etc. necessary to accomplish this shall be performed as incidental to the Contract.
- The Contractor shall preserve and protect the markers and monuments set for the subdivision of the land.
- The Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:  
 A. Density tests shall be taken on all trenches at locations as determined by the Engineer or his representative.  
 B. Within the upper 3' of streets, private drives and parking lots, Contractor shall utilize approved soils that are within 1% optimum moisture content as defined by the Standard Proctor Test--ASTM: D-698 with 100% Standard Proctor Density and not exceeding compaction by more than 1%. Below the upper 3', compaction shall meet 95%. Grading tolerances shall be 0.1'.  
 C. The Owner shall pay for all testing of soils compaction. Any areas which fail to meet the above standards shall be corrected and re-tested by the Owner's testing agent at the Contractor's expense.
- Contractor shall provide temporary traffic control in compliance with MN/DOT "Temporary Traffic Control Zone Layouts Field Manual" most recent version for construction adjacent to travel ways.
- Contractor shall be responsible for verification of the depth of existing stubs listed on this plan prior to the ordering of any fittings, structures, castings, etc. Engineer, Owner or City shall not be responsible for any discrepancies found as depths are estimated.
- All manhole castings in pavement shall be sumped 0.05'. All catch basin castings in curb shall be sumped 0.10'. Rim elevations on plan reflect sumped elevations.

- Castings shall be Neenah or equivalent.
- The contractor shall be responsible for coordinating with utility companies for power pole and/or line relocation required.
- The contractor shall provide all necessary traffic control.
- The contractor shall be responsible for all grading and restoration required to restore surfaces to like kind existing condition.
- Existing curb and pavement damaged or impacted on adjacent property shall be restored with in-kind materials and section. All match lines are to be sawcut.
- Pipe lengths shown are measured center of structure to center of structure and includes FES length.
- The contractor shall obtain a Utility Excavation Permit from the City Public Works Department prior to commencement of utility connections.
- PVC pipe crossing over watermain pipe shall be ASTM D 1785, ASTM D 2241, or AWWA C900
- Perforated PVC Pipe Subdrains to be installed PER CITY DETAIL STR-4.
- Contractor or owner to provide an as-built utility plan once construction is complete.

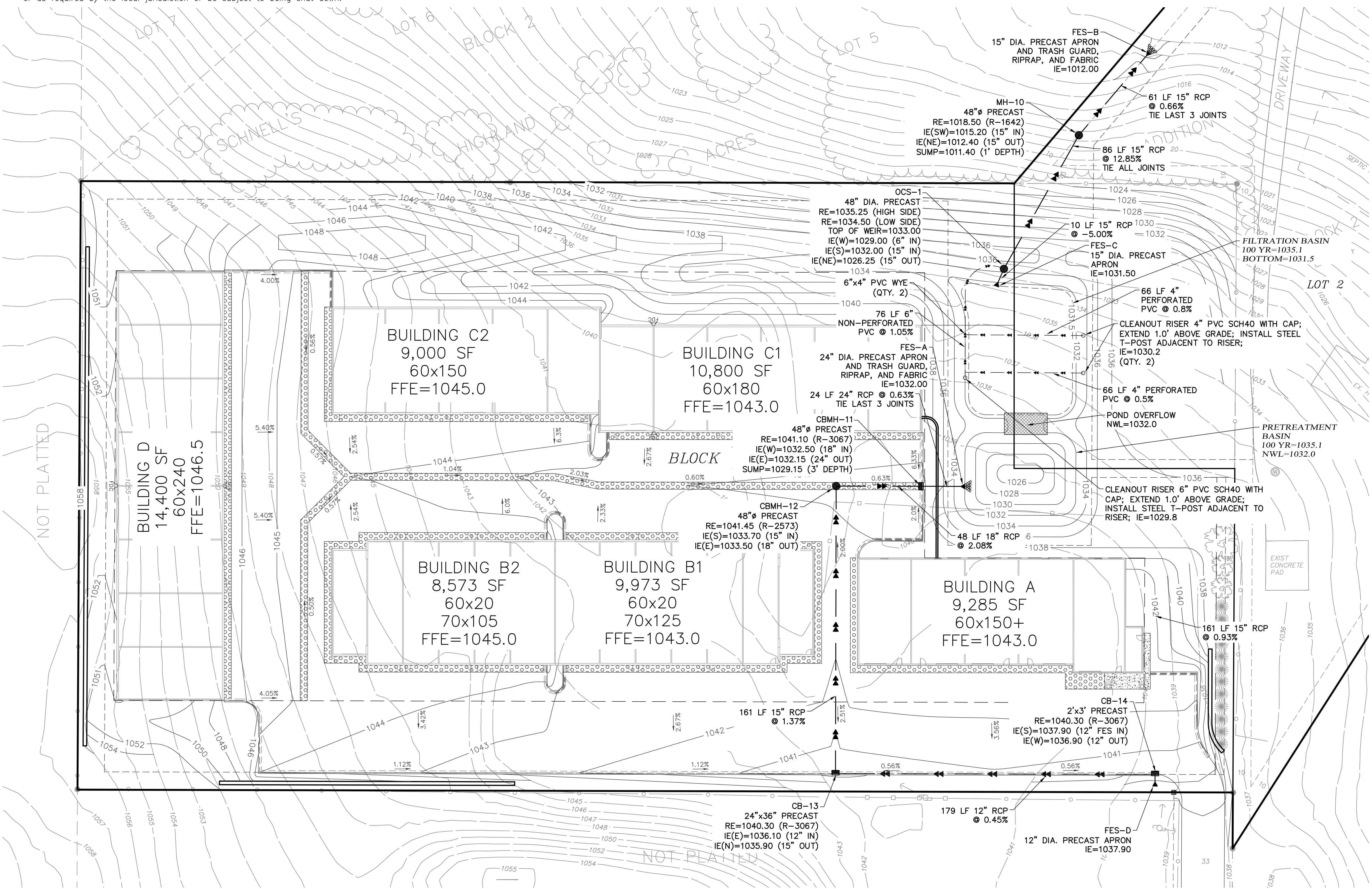


**LEGEND:**

- Existing Contours
- - - Existing Storm Sewer
- - - Existing Water Main
- - - Existing Sanitary Sewer
- - - Existing Trees
- - - Existing Body Line
- - - Proposed Sanitary Sewer
- - - Proposed Water Main
- - - Proposed Gate Valve
- - - Proposed Storm Sewer
- - - Proposed Fire Hydrant

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
 ENGINEERING DESIGN & SURVEYING  
 6480 WAZATA BLVD.  
 MINNEAPOLIS, MN 55426  
 DATED: MARCH 11TH, 2021  
 BENCHMARK:  
 DISK "UMC"  
 ELEV.=1046.20 (NGVD 29) MNDOT



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- C8 LANDSCAPE PLAN

CLIENT:  
**GARAGES TOO, LLC**  
 305 Lakeview Ave.  
 Tonka Bay, MN 55331  
 Craig Scherber  
 612-810-8400

**GARAGES TOO CORCORAN  
 SITE IMPROVEMENT  
 PROJECT**

22400 State Highway No. 55  
 Corcoran, Minnesota 55340

STORM SEWER PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 24348  
 PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
 118 East Broadway St.  
 Monticello, Mn 55362  
 Phone: 763-314-0929  
 www.civiland.com

REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY
06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER		SD	SD	SD
07/08/21 ADDED DRIVEWAY GRADING LIMITS				

VERTICAL SCALE  
1 inch = \_\_\_ feet

HORIZONTAL SCALE  
1 inch = \_\_\_ feet  
(FULL SIZE SHEET 24 x 36)

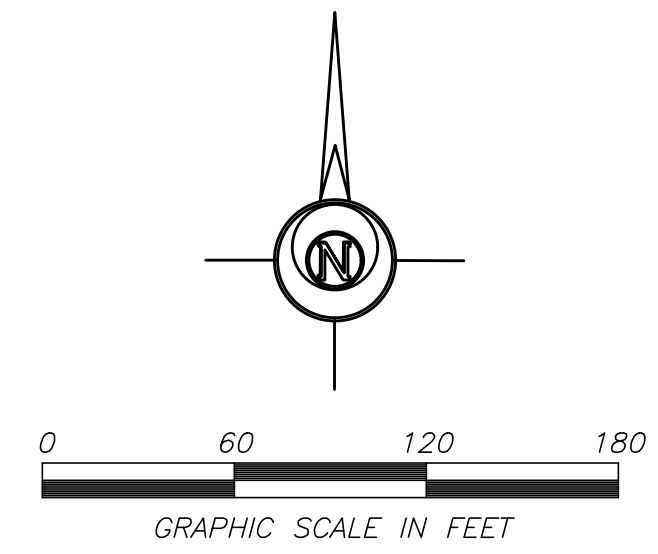
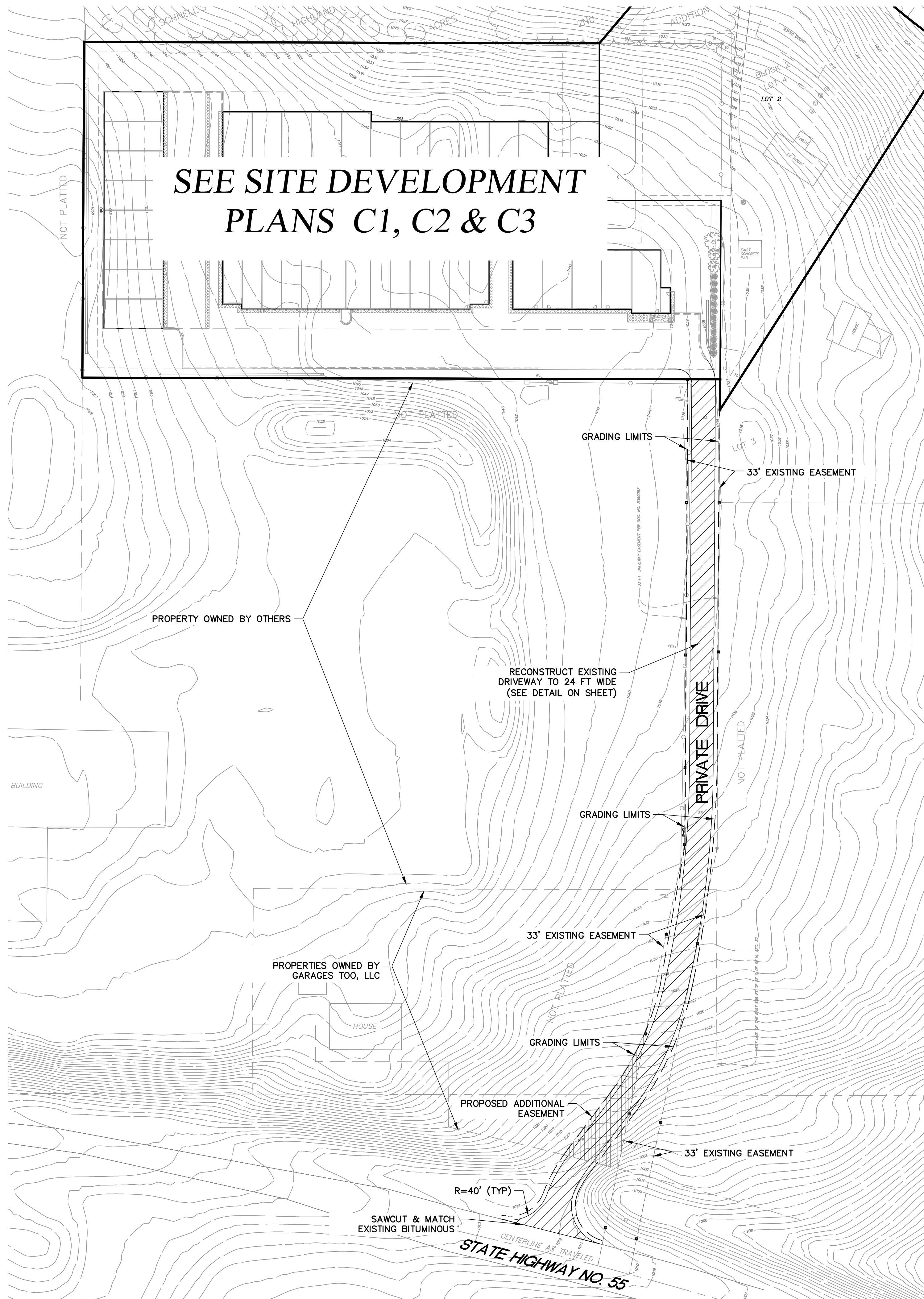
DATE	DRAWN BY	DESIGNED BY	CHECKED BY
04/20/21	SD	SD	SD

FILE NO. 00796

**C3**

Storm Sewer Plan



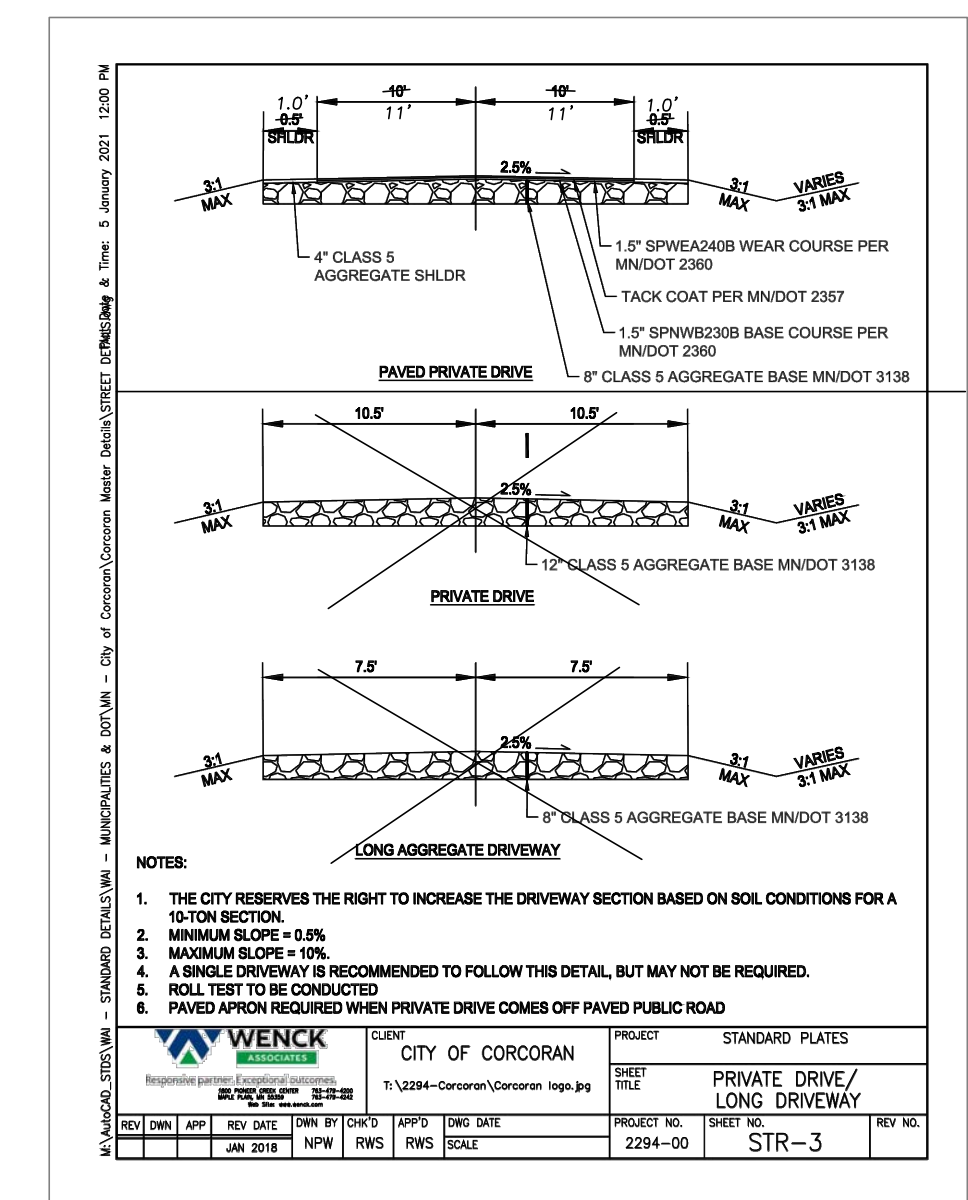


**LEGEND:**

BITUMINOUS PAVEMENT

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
ENGINEERING DESIGN & SURVEYING  
6480 WAYZATA BLVD.  
MINNEAPOLIS, MN 55426  
DATED: MARCH 11TH, 2021  
BENCHMARK:  
DISK "UMC"  
ELEV.=1046.20 (NGVD 29) MNDOT



NOTES:

1. THE CITY RESERVES THE RIGHT TO INCREASE THE DRIVEWAY SECTION BASED ON SOIL CONDITIONS FOR A 10-TON SECTION.
2. MINIMUM SLOPE = 0.5%.
3. MAXIMUM SLOPE = 15%.
4. A SINGLE DRIVEWAY IS RECOMMENDED TO FOLLOW THIS DETAIL, BUT MAY NOT BE REQUIRED.
5. ROLL TEST TO BE CONDUCTED.
6. PAVED SPUR REQUIRED WHEN PRIVATE DRIVE COMES OFF PAVED PUBLIC ROAD.

PROJECT	CITY OF CORCORAN	STANDARD PLATES
SHEET	PRIVATE DRIVE / LONG DRIVEWAY	
PROJECT NO.	2294-00	STR-3
DATE	07/08/21	

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CLIENT:  
**GARAGES TOO, LLC**  
305 Lakeview Ave.  
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Craig Scherber  
612-810-8400

**GARAGES TOO CORCORAN  
SITE IMPROVEMENT  
PROJECT**  
22400 State Highway No. 55  
Corcoran, Minnesota 55340  
PRIVATE DRIVE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Sart D. Walker*  
Date: 7/08/21 Reg. No. 24348  
PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
1118 East Broadway St.  
Monticello, Mn 55362  
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07/08/21 ADDED DRIVEWAY GRADING LIMITS

DATE	04/20/21	DRAWN BY	SD	CHECKED BY	SD
		DESIGNED BY	SD		

VERTICAL SCALE  
1" = 10 feet  
HORIZONTAL SCALE  
1" = 100 feet

FILE NO. 00796

**C4**

Private Drive



**SWPP NARRATIVE**

This LIGHT industrial project construction will consist of site clearing, grading, utilities, and parking lot construction. Construction is planned for 2021.

First, perimeter silt fence and rock construction entrance shall be installed. Then site work shall commence. The contractor shall dispose all debris off-site within 24 hours. Then the site can be graded, utilities installed, building constructed, curbing and pavements installed, final grade tolerance, and landscape final stabilization. Once final grade is established and certified, the site shall be stabilized with seed and mulch or sod. Once vegetation is established, temporary erosion control measures shall be removed.

**POLLUTION PREVENTION NOTES**

Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction debris and other wastes must be disposed of properly off-site and must comply with MPCA requirements.

Hazardous materials: oils, gasoline, paint, and any hazardous substance must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal must be in compliance with MPCA regulations.

External washing of trucks or other construction vehicles is not allowed on site. No engine degreasing is allowed on site. No concrete washouts are allowed on site.

Concrete truck washout is not to be allowed on site unless washout waste is contained with no discharge to ground surface or site drainage facilities. Containment systems are to be located a minimum 50 feet away from drainage facilities and watercourses. Containment systems shall have an impermeable liner. Containment system shall be clearly marked with signage.

All sanitary waste must be collected from portable toilet units on site by a licensed waste management contractor. The units must be secured and shall be maintained on a regular basis as needed to prevent overfills.

**DESIGN CALCULATIONS**

Design calculations, including soil types are on file with: Civil Engineering Site Design

SWPPP Designer: Scott Dahike (Expires 2022)

**EROSION CONTROL MAINTENANCE SCHEDULE**

- Erosion control measures shall be inspected by the contractor's representative and maintained by the contractor every Friday and within 24 hours after any rainfall event larger than 1/2" until the project is completed. Maintenance requirements are as follows: silt fence - 1/3 height of fence or damaged, remove sediment and/or repair fence within 24 hours; rock entrance - refresh as necessary to conform to detail; inlet protection inserts - remove sediment after each rain event, clean or replace filter when clogged; surface water - drain and stabilize, within 7 days of discovery; and street sweeping - remove all sediment tracked onto paved surfaces within 24 hours or as directed by City Engineer.
- Replacement - Fabric shall be replaced promptly when it decomposes or becomes ineffective before the barrier is no longer necessary.
- Any sediment remaining in place after silt fence is no longer required shall be dressed to conform with the existing grade, prepared, and seeded with appropriate seed mix, as directed by the engineer.
- Removal of the silt fence - Silt fences shall be removed when they have served their useful purpose, but not before the upward sloping area has been permanently stabilized.

**VEGETATION GROUND COVER SCHEDULE**

- Stabilization of all exposed soil areas must be initiated immediately but in no case completed later than seven (7) days after the construction activity in that portion of the site has temporarily or permanently ceased. Seeding and mulching shall conform to the latest NPDES requirements for installation schedule with regards to grading.
- Permanent turf ground cover shall include all disturbed areas be covered with a minimum 6" topsoil and sodded or seeded as allowed by City, or as proposed on City approved landscape plan for the project. If not otherwise specified, turf seed to be MnDOT mix 25-141 applied at 59 lbs/ac and stormwater filtration basin seed to be 33-261 applied at 35 lb/ac in bottom of filtration basin and up 3 feet from bottom and stormwater pond seed to be 33-261 applied at 35 lb/ac to be planted for 10 feet outside of the normal water level. Transition zone seed to be MnDOT mix 35-241 applied at 36.5 lb/ac to be planted to the top of the embankments. MnDOT Type 3 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket. Seeding and mulching shall conform to the latest NPDES requirements for installation schedule with regards to grading.
- Temporary ground cover to be MnDOT seed mix 22-111 shall be applied at 31 lbs/ac, or equivalent as approved by City. MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Fertilizer for turf shall be MnDOT Type 3 22-5-10 and applied at 350 lb/ac. Disc fertilizer into top 3" of soil. Fertilizer for stormwater basin seed shall be Type 4, 18-1-8 at 120 lb/ac. Specification reference is MnDOT 2574.
- Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40° F, using some rates specified above. No seed shall be placed on snow or ice greater than 2" in depth.
- Any seeded areas that do not become established with vegetation shall be re-seeded at Contractor's expense.
- Erosion blanket shall be installed in seed areas with ground surface slopes of 3H:1V or steeper.

**EROSION CONTROL NOTES**

- All devices necessary to control erosion and sediment (i.e. perimeter silt fence, rock construction entrances, swales, ponds, berms, etc.) shall be installed prior to any other construction operations.
- After completion of final grading, exposed soils must be permanently stabilized within 7 days. Stabilization shall consist of disc-anchored seed & mulch, HECP with fiber reinforced mat, erosion blanket with seed, or sod.
- The site must be kept in a well drained condition at all times. The contractor shall be responsible for temporary ditches, or other means necessary to ensure proper drainage. The building pad must be provided with a positive outflow. This work shall be incidental to the grading contract.
- Entering/exiting of the site shall occur only at rock construction entrance to reduce tracking of dirt onto paved streets. Sediment tracked onto streets during working hours must be reclaimed via street scraping and sweeping at the end of each working day.
- Stormwater discharge pipe outlet energy dissipation shall be provided by rip-rap with size, quantity, and placement in accordance with City standards. Rip-rap installation shall be within 24 hours of pipe installation.
- Install silt fence around all temporary inactive stockpiles which are not placed within existing silt fence area or other perimeter erosion controls.
- Stabilization of temporary or permanent drainage ditches that drain water from the construction site must be initiated within 24 hours of connecting the drainage ditch to any storm water conveyance system and must be completed using erosion blanket.
- Sufficient personnel, equipment, and materials shall be mobilized within 24 hours of written order (i.e. email) by the owner or owners representative to conduct corrective work and install temporary erosion control work in the case of an emergency.

**EROSION CONTROL INSTALLATION SCHEDULE**

- Silt fence shall be installed or restored prior to any construction. Silt fence shall be located as shown to intercept runoff. The area located beyond the perimeter silt fence shall not be disturbed during construction.
- Rock Construction Entrance shall be installed prior to grading operations.
- All storm sewer inlets shall have inlet protection inserts installed. Inserts shall be "Road rain-Top Slab" or "Road Drain-Curb & Gutter" inlet protection devices as manufactured by WIMCO (or approved equal) and installed per manufacturer's recommendations.
- All erosion control installations shall remain in place and be maintained in good condition by the contractor until the site has been re-vegetated, at which time it shall be removed by the contractor. For proposed paved surface areas, the contractor may remove necessary silt fencing to construct roadway, while maintaining adequate erosion control in adjacent areas.
- Sufficient topsoil shall be stockpiled to allow for the replacement of 6" topsoil for disturbed areas to be re-vegetated.
- The contractor shall schedule site grading, utility installation and roadway construction so that the general site can be mulched and re-seeded soon after disturbance. Areas that will not be subject to construction traffic for 14 days shall be seeded and mulched or sodded within 7 days of final grading.

**RESPONSIBLE PARTY**

Contact information for the responsible party for erosion control is:

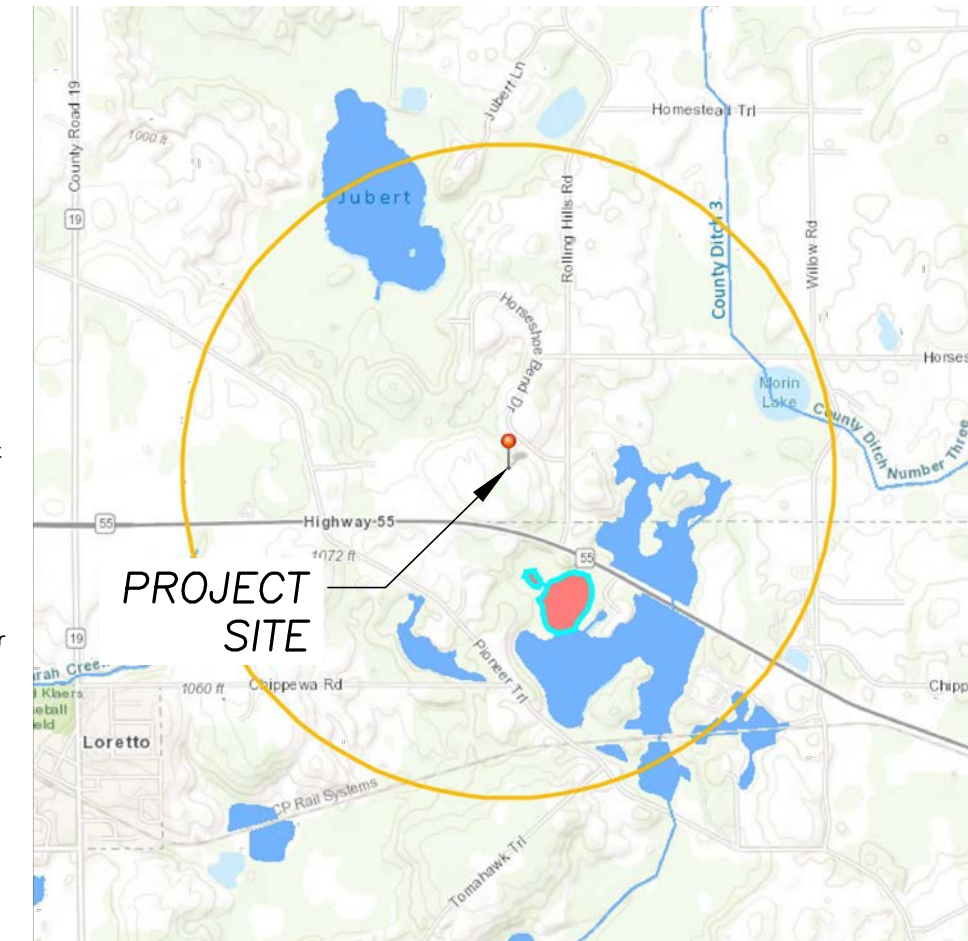
Owner: Garages Too, LLC  
305 Lakeview Ave.  
Tonka Bay, MN 55331

Contractor: Not Known Yet

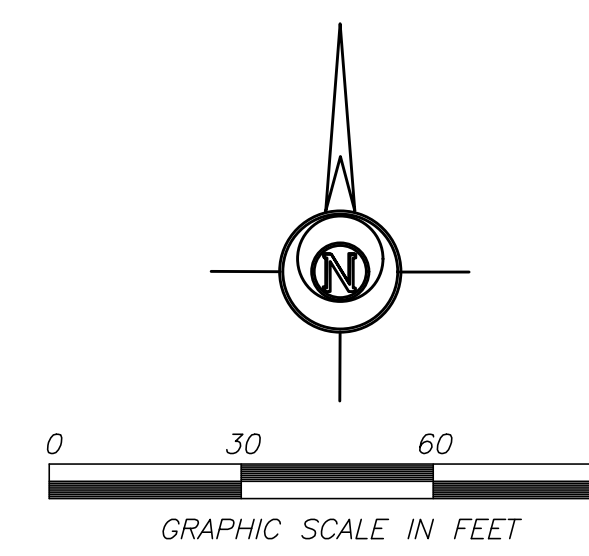
Manager: Not Known Yet

**FILTRATION BASIN NOTES**

- Filtration area shall be staked off during construction to restrict heavy equipment traffic from compacting native soils.
- Install appropriate temporary erosion control devices to prevent sediment from entering the practice during construction.
- Grading of the filtration basin shall be accomplished using low impact earth-moving equipment to prevent compaction of the underlying soils. Small tracked dozers and skid-steers with runner tracks are recommended.
- In the event that sediment is introduced into the BMP during or immediately following excavation, this material will need to be removed from the basin prior to initiating the next step in the construction process.
- Install sediment control around basin after completion of basin grading.
- Seeding and installation of erosion control shall be completed within 48 hours of final grading of basin.



PETER (NORTH BAY), IMPARED WATER WITHIN 1 MILE RADIUS OF PROJECT SITE



**LEGEND:**

- 908 — Existing Contours
- >>> Existing Storm Sewer
- 908 — Proposed Contours
- ▶— Proposed Storm Sewer
- Proposed Silt Fence
- Proposed Fiber Logs
- Proposed Storm Sewer Inlet Protection
- 1.9% — Flow Direction
- ▨ Proposed Erosion Blanket

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
ENGINEERING DESIGN & SURVEYING  
6480 WAZATA BLVD.  
MINNEAPOLIS, MN 55426

DATED: MARCH 11TH, 2021

BENCHMARK:  
DISK "UMC"  
ELEV.=1046.20 (NGVD 2ND) MNDOT

**PROJECT LOCATION**

SE 1/4 of the SE 1/4  
SECTION 32 TOWNSHIP 119, RANGE 23,  
HENNEPIN COUNTY, MINNESOTA.

**EXISTING PROPERTY DESCRIPTION**

SEE SURVEY

**TOTAL SITE DATA:**

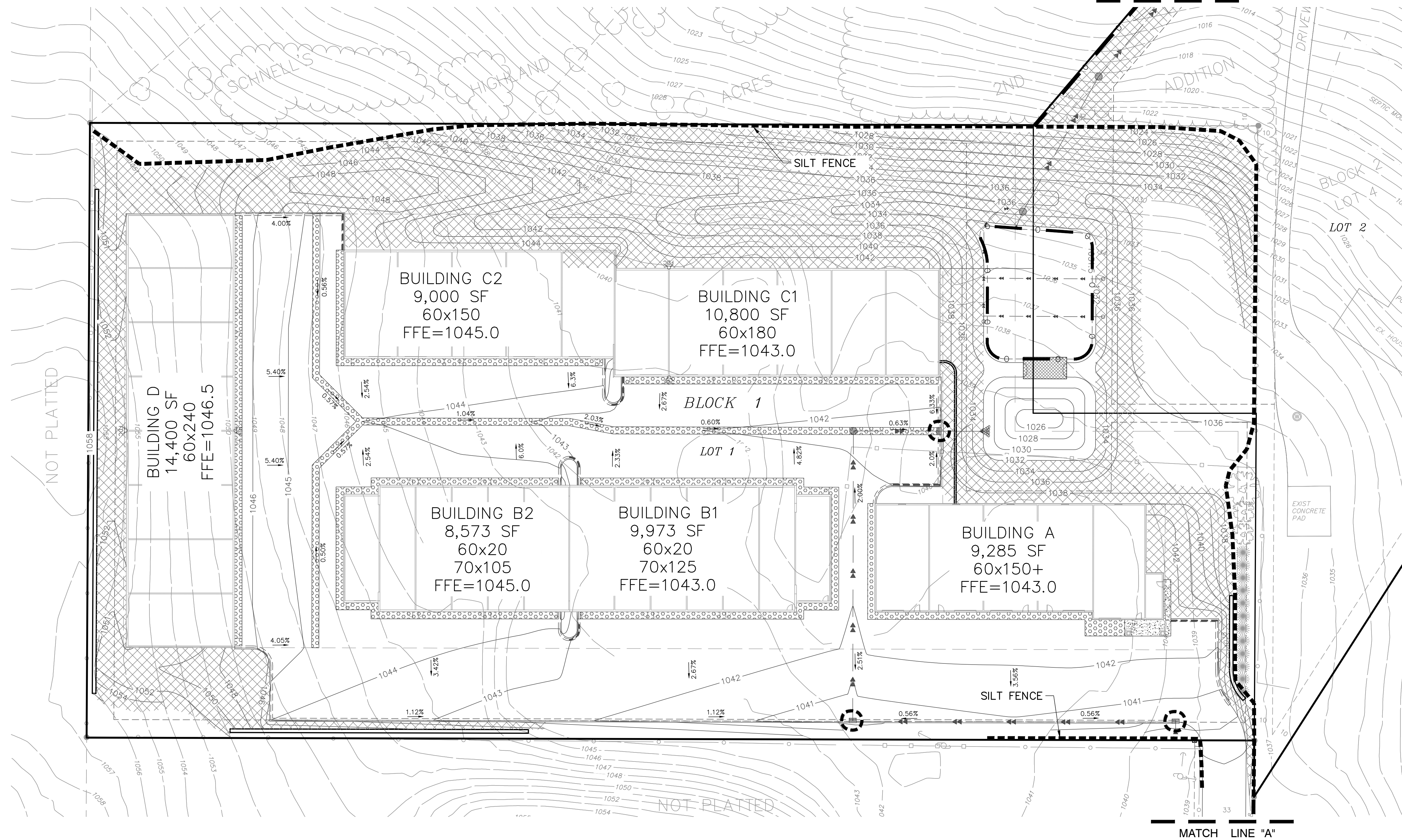
EXISTING IMPERVIOUS AREA:	15,137 SF
PROPOSED IMPERVIOUS AREA:	131,120 SF
TOTAL PERCENT IMPERVIOUS AREA: (% of total area: 131,120/199,893)	65.60%
PROPOSED DISTURBED AREA:	240,428 SF = 5.52 AC

**EROSION CONTROL QUANTITIES:**

ITEM:	QUANTITY	UNIT
ROCK ENTRANCE	1	EA
SILT FENCE	2042	LF
WOOD FIBER LOG	400	LF
MULCH TYPE 3 & DISC ANCHORING	10.44	AC
EROSION BLANKET CAT. 3	6,630	SY
INLET PROTECTION	3	EA

**INDEX OF CIVIL SITE DRAWINGS:**

- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN & PRELIMINARY PLAT
- C2 GRADING AND DRAINAGE PLAN
- C3 STORM SEWER PLAN
- C4 PRIVATE DRIVE
- C5.1-5.2 SWPPP
- C6.1-6.2 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 DETAILS
- C8 LANDSCAPE PLAN



CLIENT:

**GARAGES TOO, LLC**

305 Lakeview Ave.  
Tonka Bay, MN 55331

Craig Scherber  
612-810-8400

GARAGES TOO CORCORAN SITE IMPROVEMENT PROJECT

22400 State Highway No. 55  
Corcoran, Minnesota 55340

SWPPP

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Scott Dahike  
Date: 7/08/21 Reg. No. 241348  
PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
1118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civildesign.com

REVISIONS  
06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER  
07/08/21 ADDED DRIVEWAY GRADING LIMITS

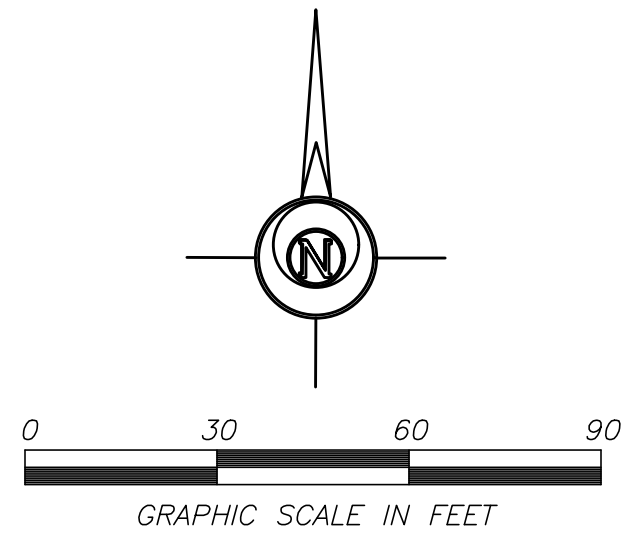
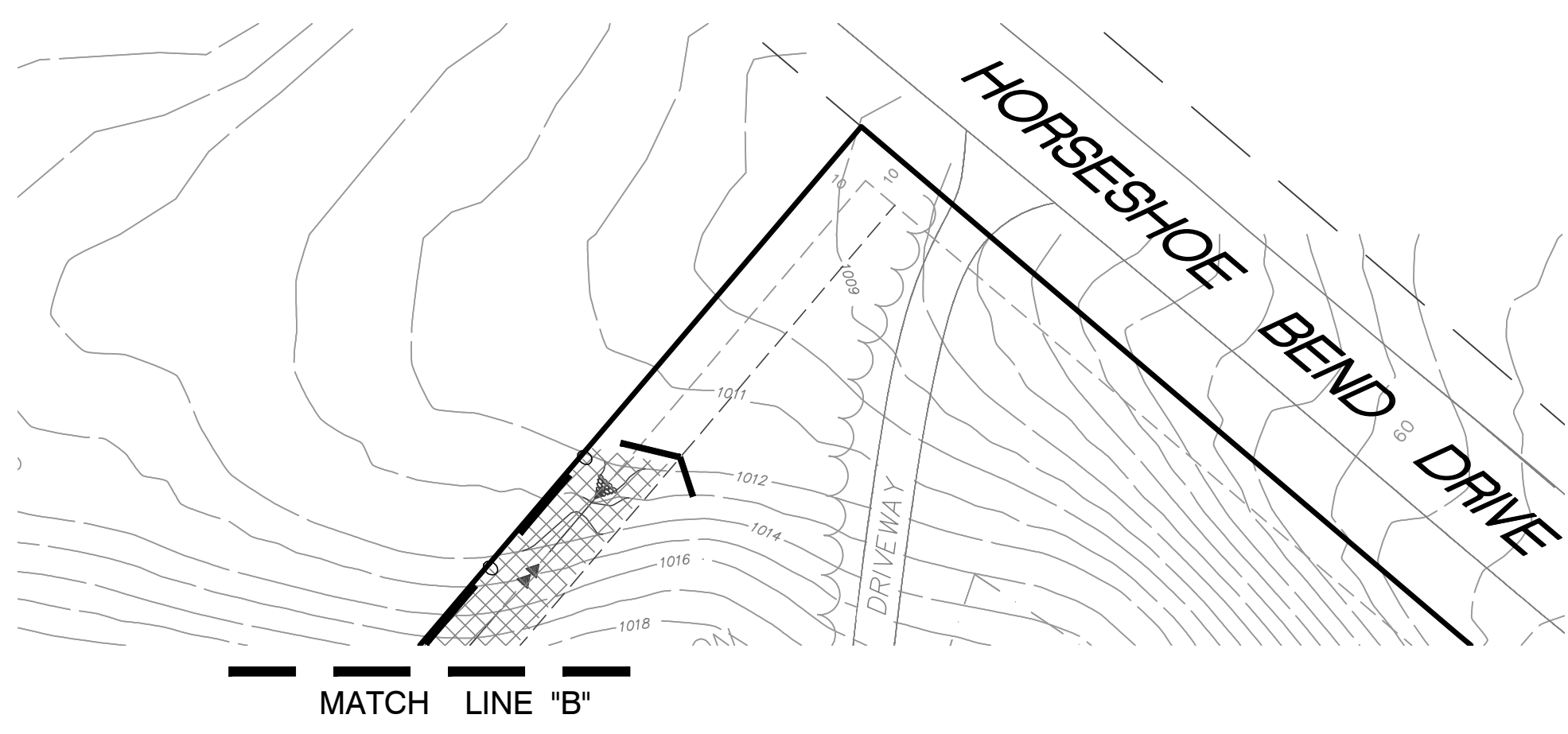
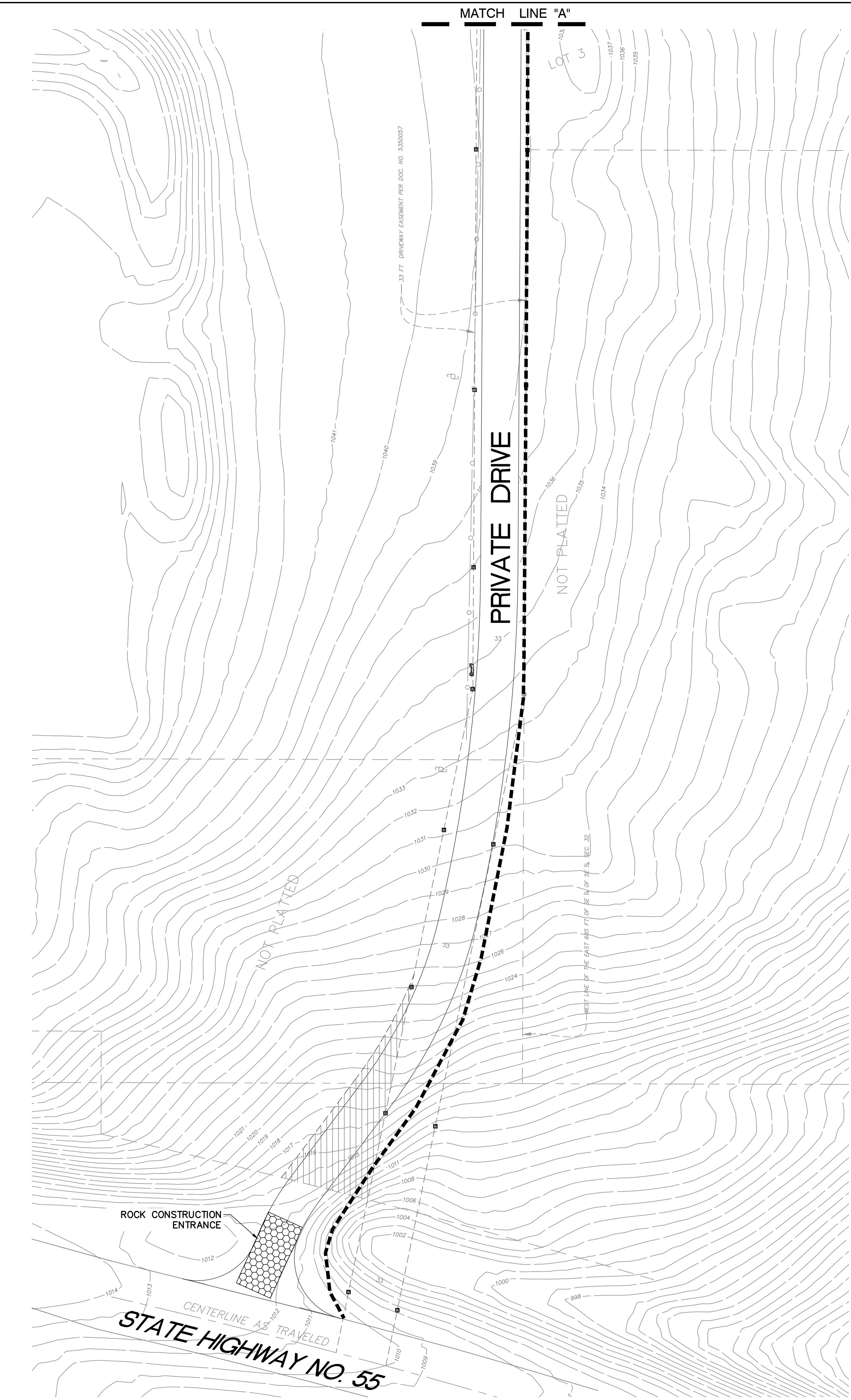
DATE 04/20/21  
DRAWN BY SD  
DESIGNED BY SD  
CHECKED BY SD

FILE NO. 00796

**C5.1**

SWPPP





- LEGEND:**
- Existing Contours
  - >- Existing Storm Sewer
  - 008- Proposed Contours
  - >- Proposed Storm Sewer
  - - - - Proposed Silt Fence
  - 0 - Proposed Fiber Logs
  - Proposed Storm Sewer Inlet Protection
  - 1.9% Flow Direction
  - ▨ Proposed Erosion Blanket

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
ENGINEERING DESIGN & SURVEYING  
6480 WAZYATA BLVD.  
MINNEAPOLIS, MN 55426

DATED: MARCH 11TH, 2021

BENCHMARK:  
DISK "UMC"  
ELEV.=1046.20 (NGVD 29) MNDOT

**PROJECT LOCATION**

SE 1/4 of the SE 1/4  
SECTION 32 TOWNSHIP 119, RANGE 23,  
HENNEPIN COUNTY, MINNESOTA.

**EXISTING PROPERTY DESCRIPTION**

SEE SURVEY

CLIENT:  
**GARAGES TOO, LLC**  
305 Lakeview Ave.  
Tonka Bay, MN 55331  
Craig Scherber  
612-810-8400

**GARAGES TOO CORCORAN  
SITE IMPROVEMENT  
PROJECT**

22400 State Highway No. 55  
Corcoran, Minnesota 55340

SWPPP

*I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.*

*Sar D. M. M.*

Date: 7/08/21 Reg. No. 24348

PREPARED BY: **CIVIL ENGINEERING  
SITE DESIGN**

118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civildesign.com

REVISIONS 06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER 07/08/21 ADDED DRIVEWAY GRADING LIMITS	VERTICAL SCALE 1" inch = _____ feet
DATE 04/20/21	HORIZONTAL SCALE 1" inch = _____ feet (FULL SIZE SHEET 24" x 36")
DRAWN BY SD	
DESIGNED BY SD	
CHECKED BY SD	

FILE NO. 00796

**INDEX OF CIVIL SITE DRAWINGS:**

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- C6.1-6.2 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 DETAILS
- C8 LANDSCAPE PLAN

**C5.2**

SWPPP

**DEMOLITION NOTES**

1. Install perimeter sediment controls as soon as possible during clear and grub operations. See Erosion Control Plan.
2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
3. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal.
4. Remove or relocate all existing site features that interfere with the proposed construction.
5. Protect existing site features that are to remain during construction. Replace anything damaged with new construction.
6. Pavement shall be saw cut at limits of removal unless noted otherwise. Do not impede existing traffic circulation to adjacent businesses or streets.
7. Sufficient topsoil shall be stockpiled to allow for the replacement of 6" of topsoil in disturbed areas to be re-vegetated.
8. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
9. Storage of materials or equipment shall not be allowed within public Right-of-Way and shall be maintained on site within project boundaries.

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
ENGINEERING DESIGN & SURVEYING  
6480 WAZATA BLVD.  
MINNEAPOLIS, MN 55426

DATED: MARCH 11TH, 2021

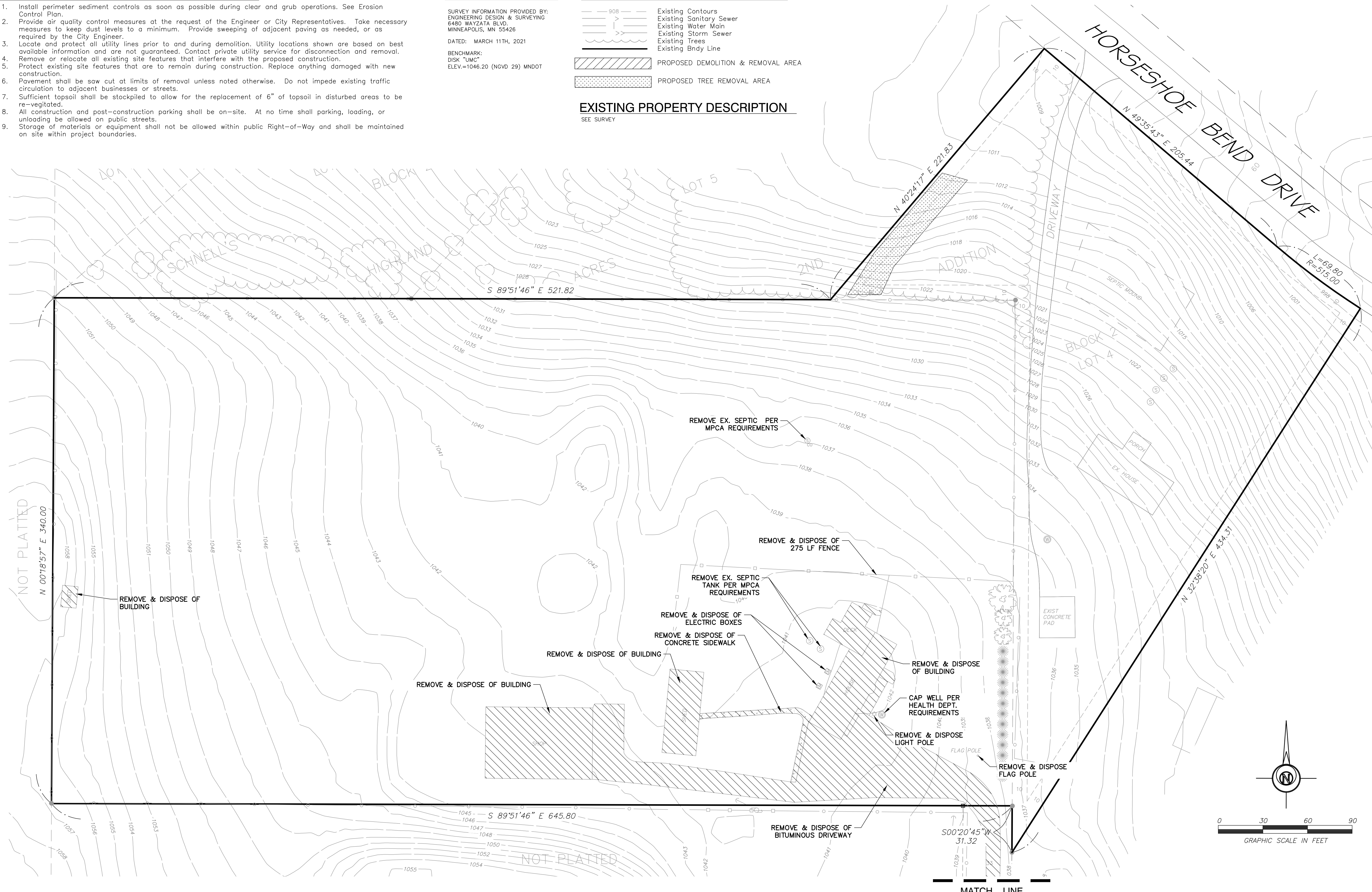
BENCHMARK:  
DISK "UMC"  
ELEV.=1046.20 (NGVD 29) MNDOT

**LEGEND:**

- 908 --- Existing Contours
- Existing Sanitary Sewer
- Existing Water Main
- Existing Storm Sewer
- Existing Trees
- Existing Bndy Line
- [Hatched Box] PROPOSED DEMOLITION & REMOVAL AREA
- [Dotted Box] PROPOSED TREE REMOVAL AREA

**EXISTING PROPERTY DESCRIPTION**

SEE SURVEY



CLIENT:  
**GARAGES TOO, LLC**  
305 Lakeview Ave.  
Tonka Bay, MN 55331  
Craig Scherber  
612-810-8400

**GARAGES TOO CORCORAN SITE IMPROVEMENT PROJECT**

22400 State Highway No. 55  
Corcoran, Minnesota 55340

EXISTING CONDITION & REMOVAL PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 24348  
PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
1118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civiland.com

REVISIONS  
06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER  
07/08/21 ADDED DRIVEWAY GRADING LIMITS

DATE	SD	DESIGNED BY	CHECKED BY
04/20/21	SD	SD	SD

DRAWN BY: SD  
DESIGNED BY: SD  
CHECKED BY: SD

HORIZONTAL SCALE  
1" = 100' (FULL SIZE SHEET 24" x 36")

VERTICAL SCALE  
1" = 10' (FULL SIZE SHEET 24" x 36")

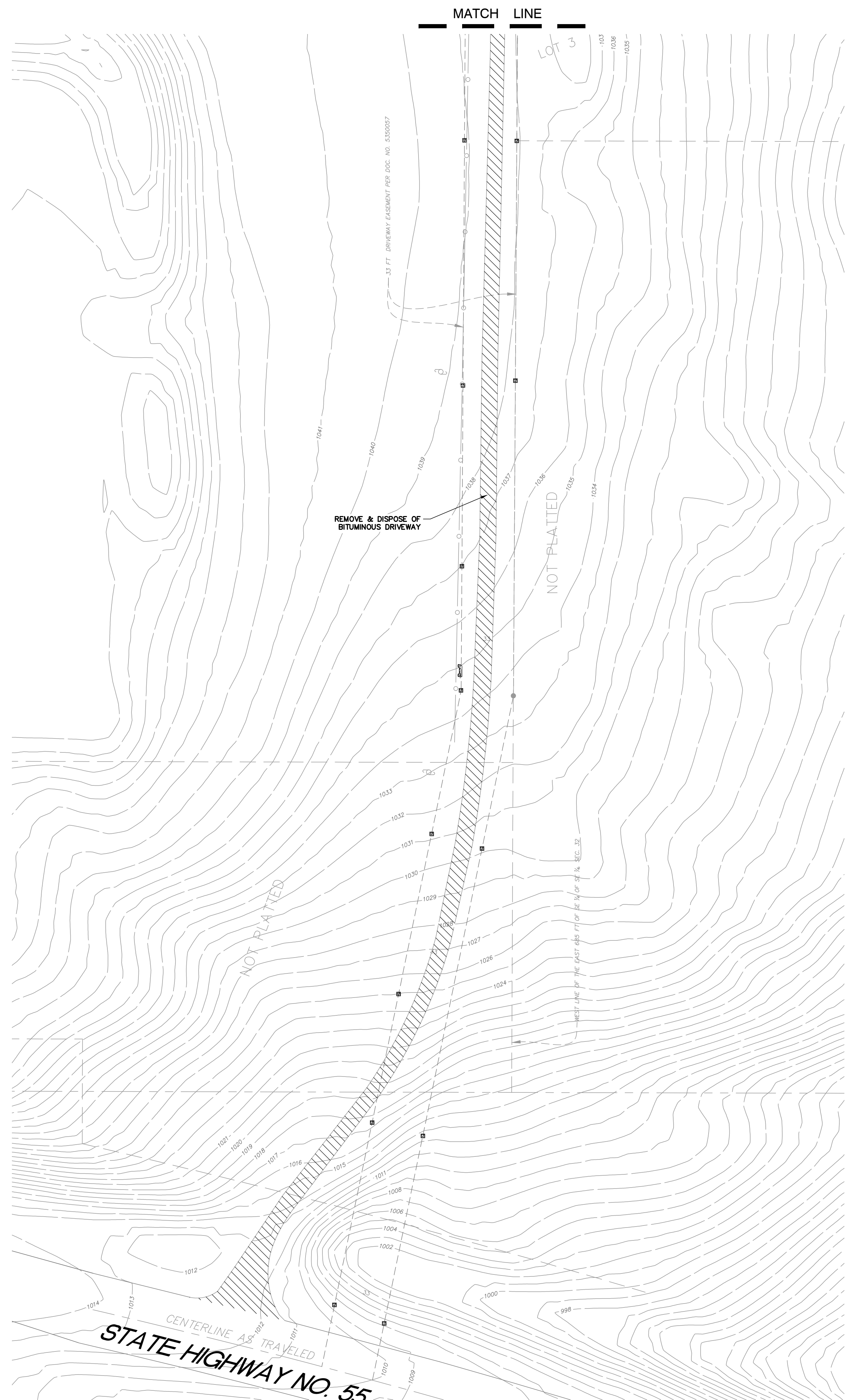
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**C6.1**  
Existing Conditions & Removal Plan





CLIENT:

**GARAGES TOO, LLC**

305 Lakeview Ave.  
Tonka Bay, MN 55331

Craig Scherber  
612-810-8400

**GARAGES TOO CORCORAN  
SITE IMPROVEMENT  
PROJECT**

22400 State Highway No. 55  
Corcoran, Minnesota 55340

EXISTING CONDITION &  
REMOVAL PLAN

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
ENGINEERING DESIGN & SURVEYING  
6480 WAYZATA BLVD.  
MINNEAPOLIS, MN 55426

DATED: MARCH 11TH, 2021

BENCHMARK:  
DISK "UMC"  
ELEV.=1046.20 (NGVD 29) MNDOT

**LEGEND:**

- Existing Contours
- Existing Sanitary Sewer
- Existing Water Main
- Existing Storm Sewer
- Existing Trees
- Existing Bndy Line
- PROPOSED DEMOLITION & REMOVAL AREA
- PROPOSED TREE REMOVAL AREA

**EXISTING PROPERTY DESCRIPTION**

SEE SURVEY

- DEMOLITION NOTES**
1. Install perimeter sediment controls as soon as possible during clear and grub operations. See Erosion Control Plan.
  2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
  3. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal.
  4. Remove or relocate all existing site features that interfere with the proposed construction.
  5. Protect existing site features that are to remain during construction. Replace anything damaged with new construction. Pavement shall be saw cut at limits of removal unless noted otherwise. Do not impede existing traffic circulation to adjacent businesses or streets.
  6. Sufficient topsoil shall be stockpiled to allow for the replacement of 6" of topsoil in disturbed areas to be re-vegetated.
  7. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
  8. Storage of materials or equipment shall not be allowed within public Right-of-Way and shall be maintained on site within project boundaries.

**REVISIONS**

06/16/21	REVISED BOUNDARY, BASIN, AND STORM SEWER
07/08/21	ADDED DRIVEWAY GRADING LIMITS

DATE 04/20/21

DRAWN BY SD

DESIGNED BY SD

CHECKED BY SD

VERTICAL SCALE  
1" = 10' feet

HORIZONTAL SCALE  
1" = 40' feet  
(FULL SIZE SHEET 24" x 36")

**INDEX OF CIVIL SITE DRAWINGS:**

C0	PROJECT LOCATION PLAN
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C6.1-6.2	EXISTING CONDITIONS & REMOVAL PLAN
C7.1-7.2	DETAILS
C8	LANDSCAPE PLAN

FILE NO. 00796

**C6.2**

Existing Conditions &  
Removal Plan

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 24348

PREPARED BY: CIVIL ENGINEERING SITE DESIGN

1118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civildesign.com



CLIENT:

# GARAGES TOO, LLC

305 Lakeview Ave.  
Tonka Bay, MN 55331

Craig Scherber  
612-810-8400

## GARAGES TOO CORCORAN SITE IMPROVEMENT PROJECT

22400 State Highway No. 55  
Corcoran, Minnesota 55340

DETAILS

DATE: 7/08/21 REG. NO. 24348  
PREPARED BY: CIVIL ENGINEERING SITE DESIGN

118 East Broadway St.  
Monticello, Mn 55362  
Phone: 763-314-0929  
www.civiland.com

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REVISIONS  
06/16/21 REVISED BOUNDARY, BASIN, AND STORM SEWER  
07/08/21 ADDED DRIVEWAY GRADING LIMITS

VERTICAL SCALE  
1 inch = 4 feet  
HORIZONTAL SCALE  
1 inch = 24 feet  
(FULL SIZE SHEET 24 x 36)

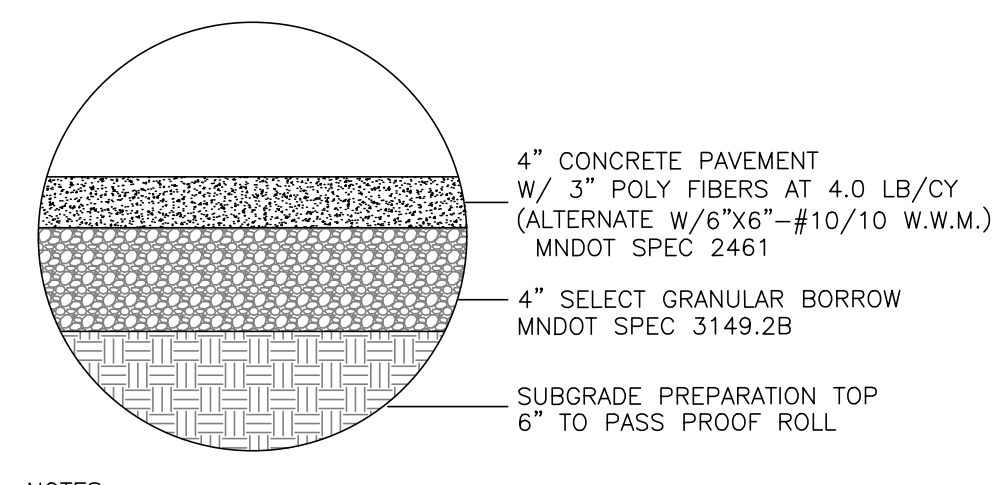
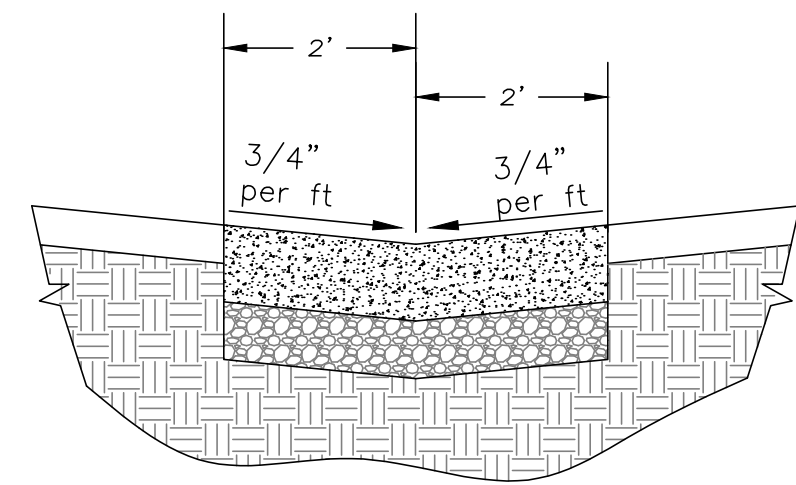
DATE: 04/20/21  
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DESIGNED BY: SD  
CHECKED BY: SD

FILE NO. 00796

# C7.1

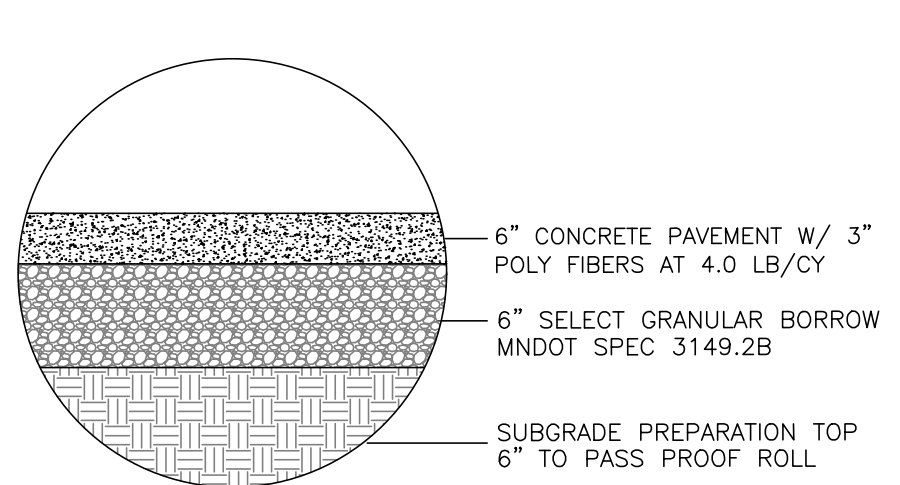
Details

### CONCRETE VALLEY GUTTER WITH HEAVY DUTY CONCRETE PAVEMENT SECTION



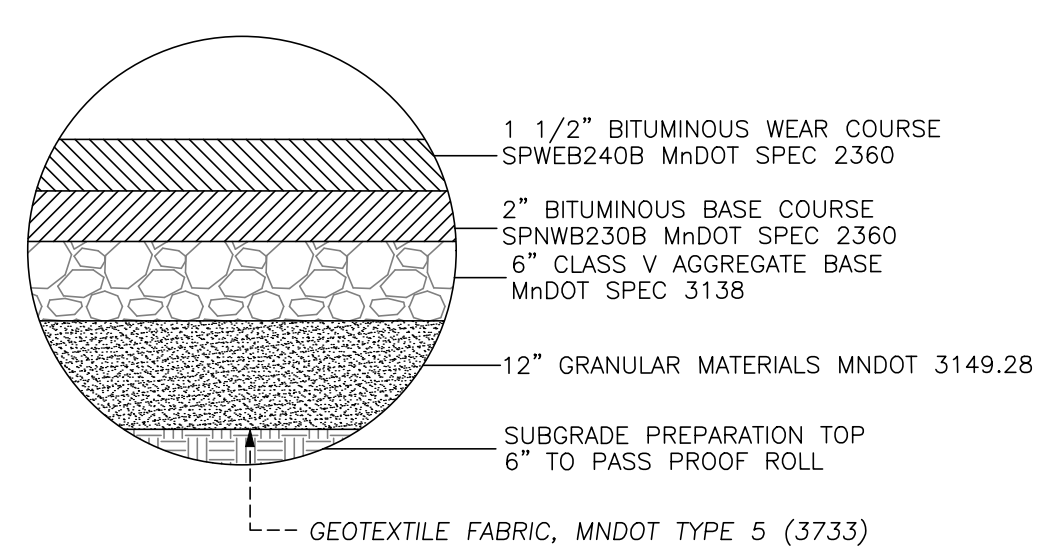
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- CONCRETE MIX SHALL CONFORM TO MNDOT SPEC. 2461 MIX No. 3F32 FOR SLIPFORM PLACEMENT (4,500 PSI) MIX No. 3F52 FOR MANUAL PLACEMENT (4,500 PSI)
  - CONCRETE PLACEMENT SHALL CONFORM TO MNDOT SPEC. 2301
  - CONTRACTOR SHALL SPACE THE CONTRACTION JOINTS AT 6'-0" O.C.
  - SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECIFICATIONS

### CONCRETE PAVEMENT - LIGHT DUTY (PRIVATE SIDEWALK)



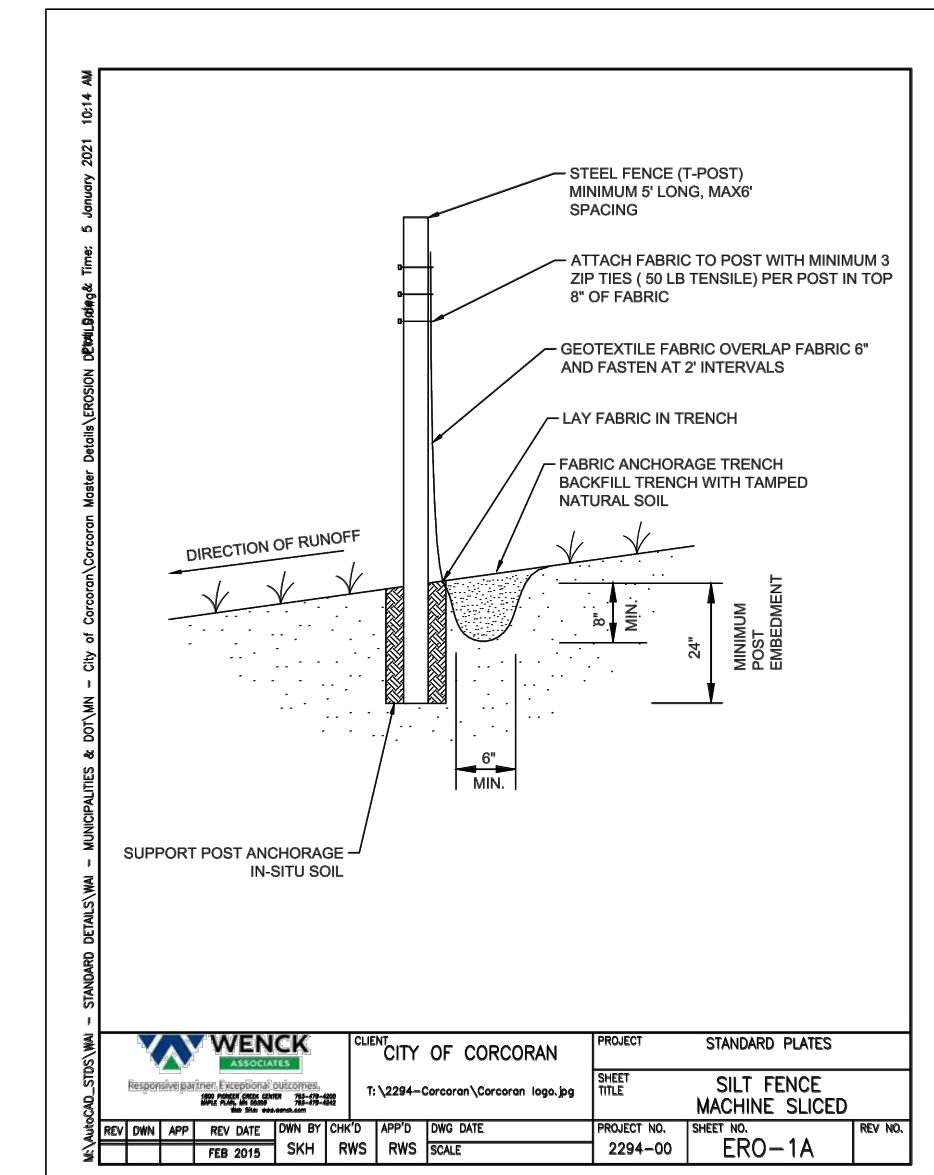
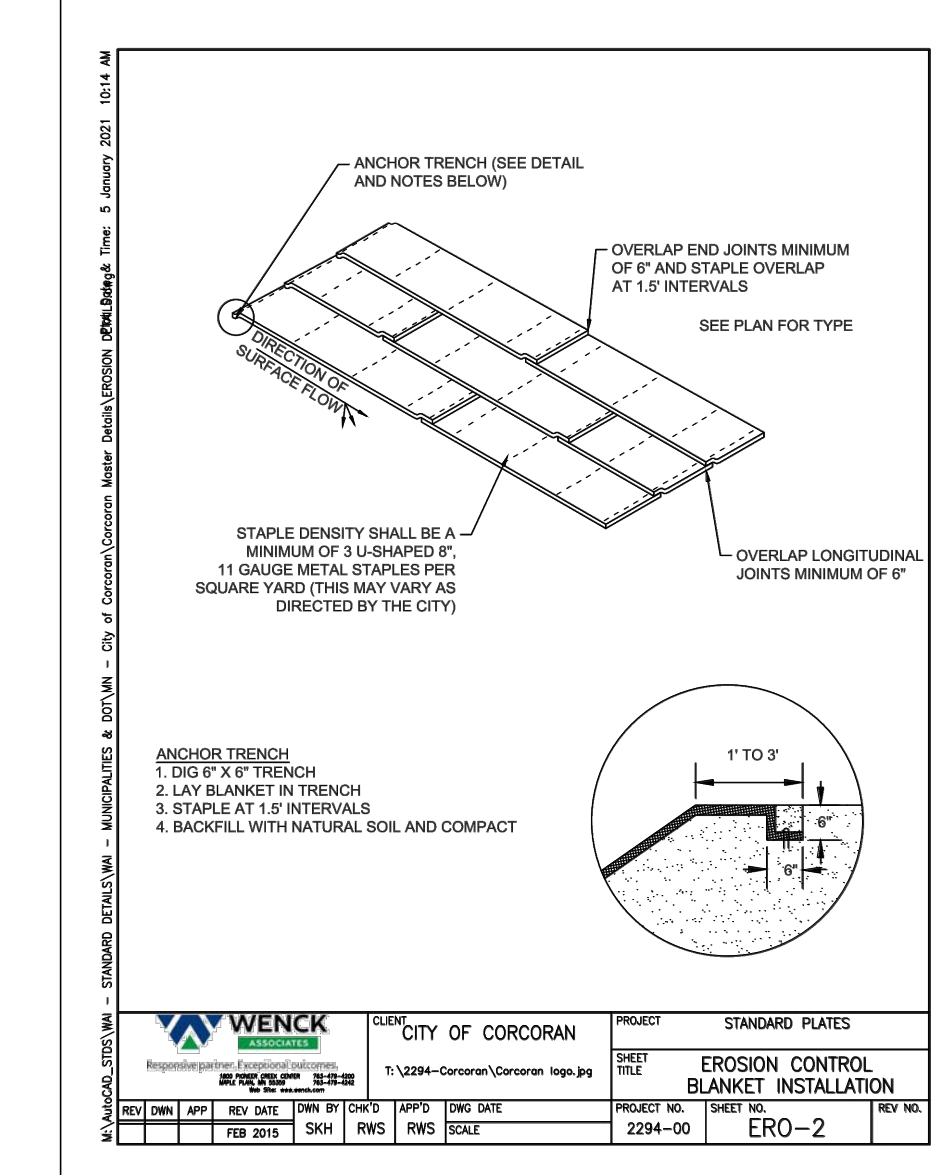
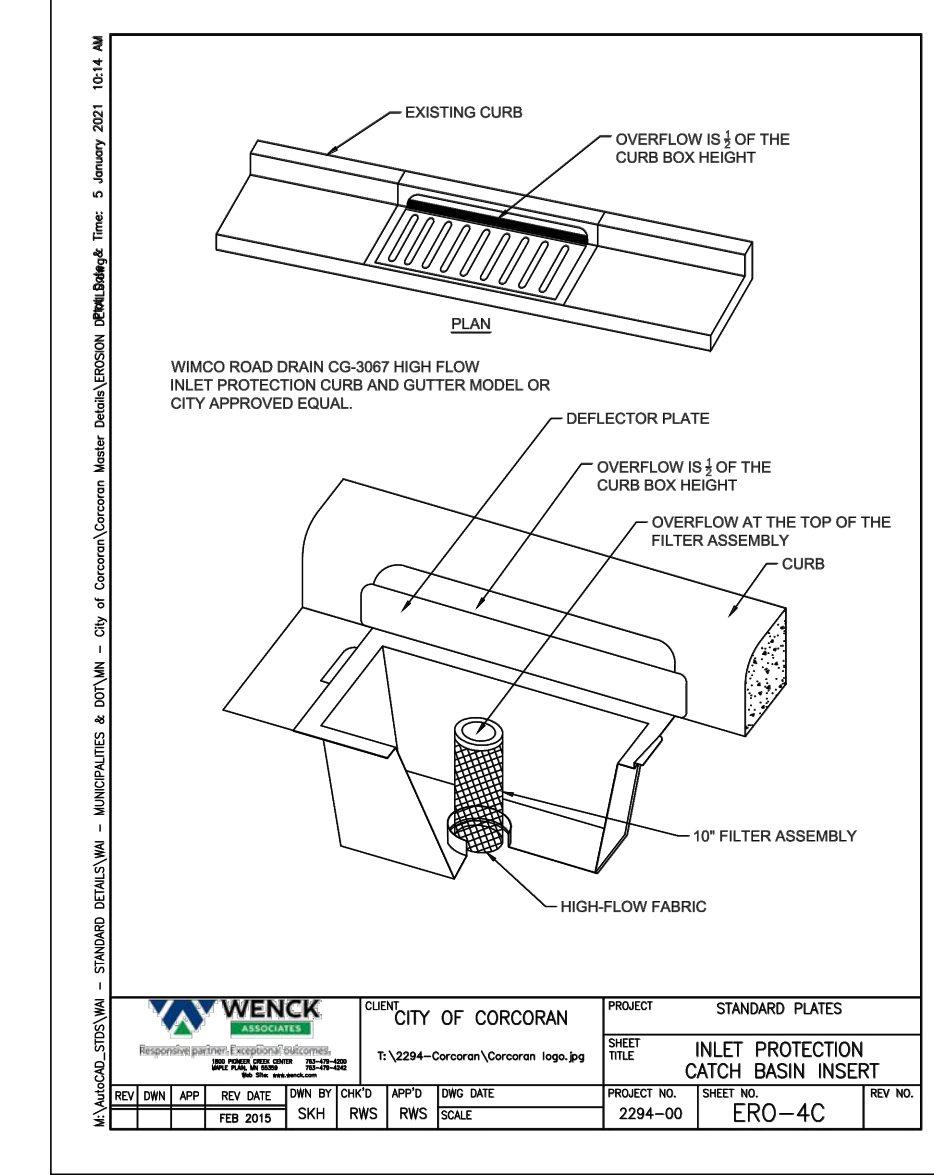
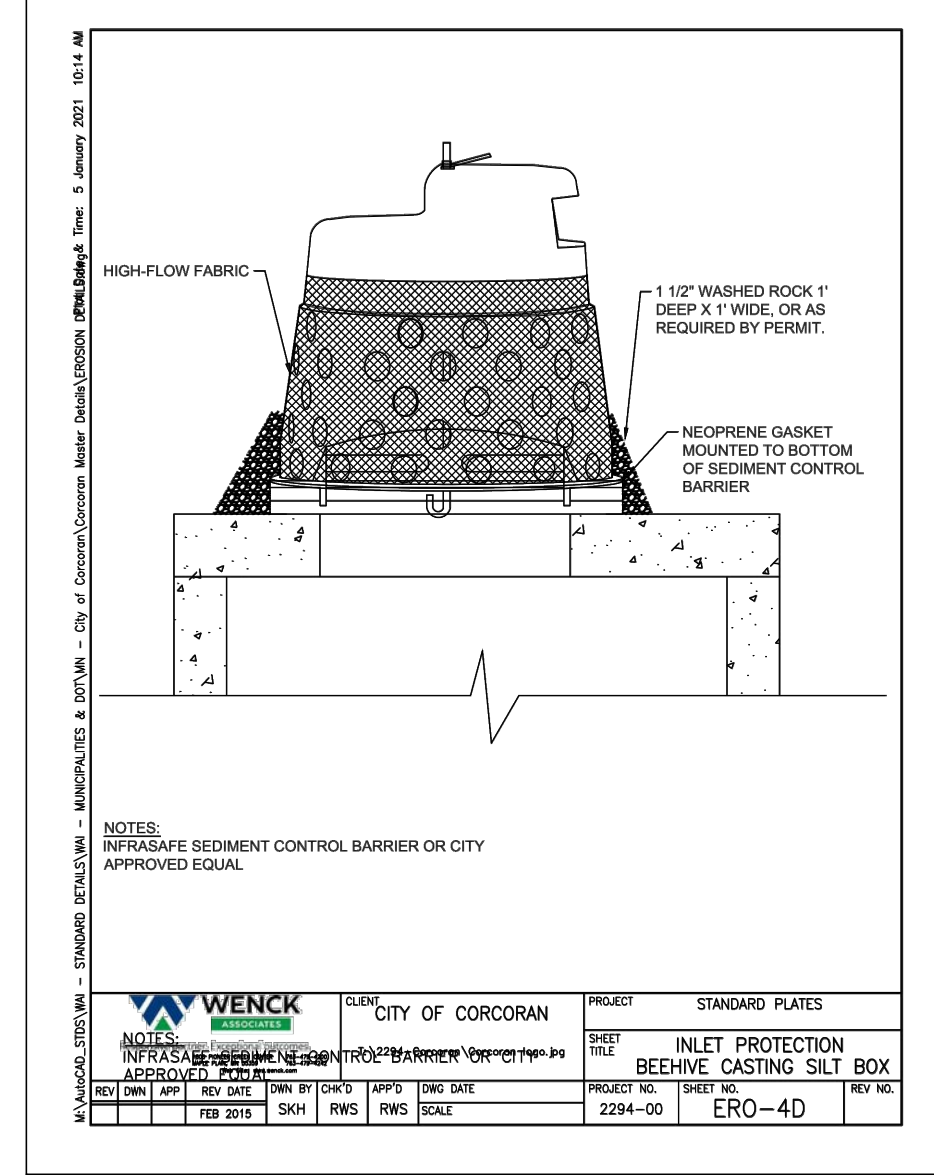
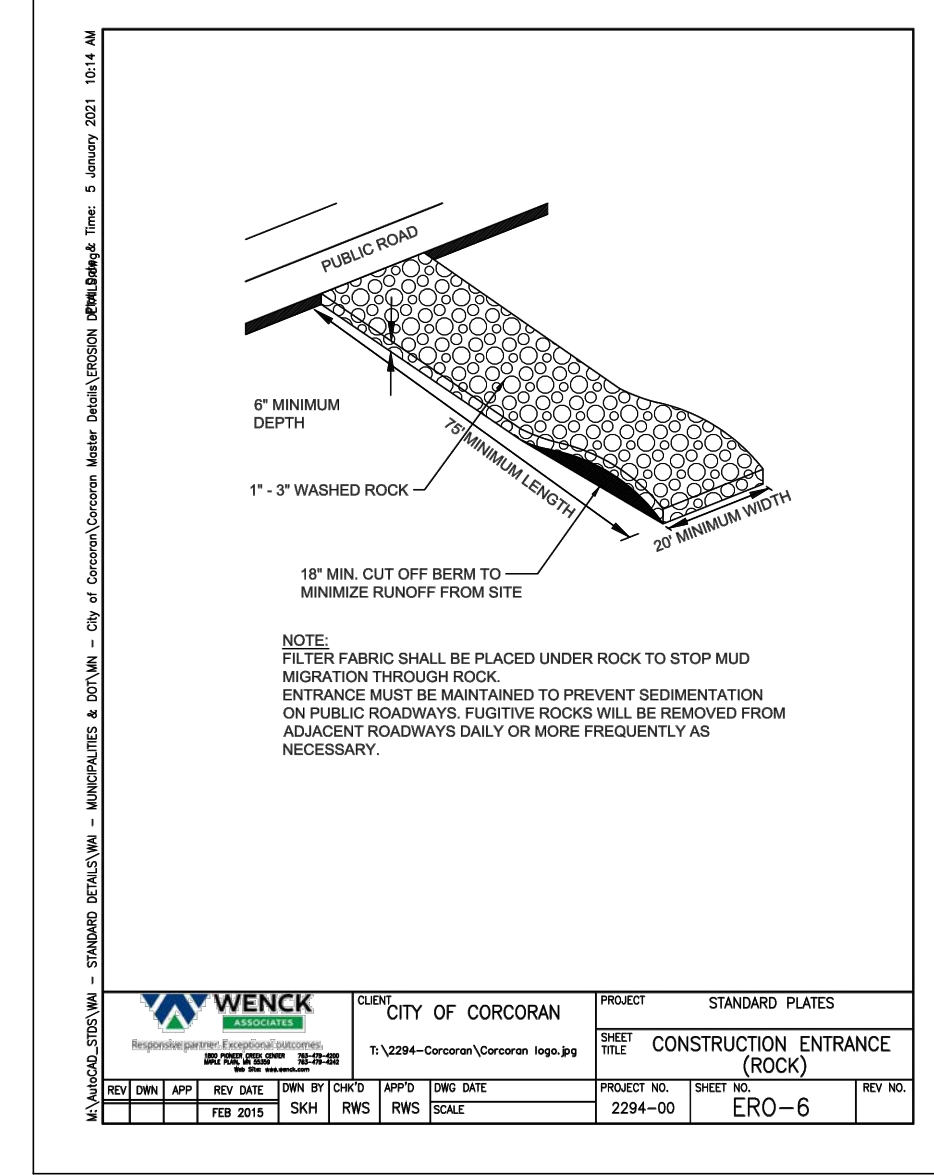
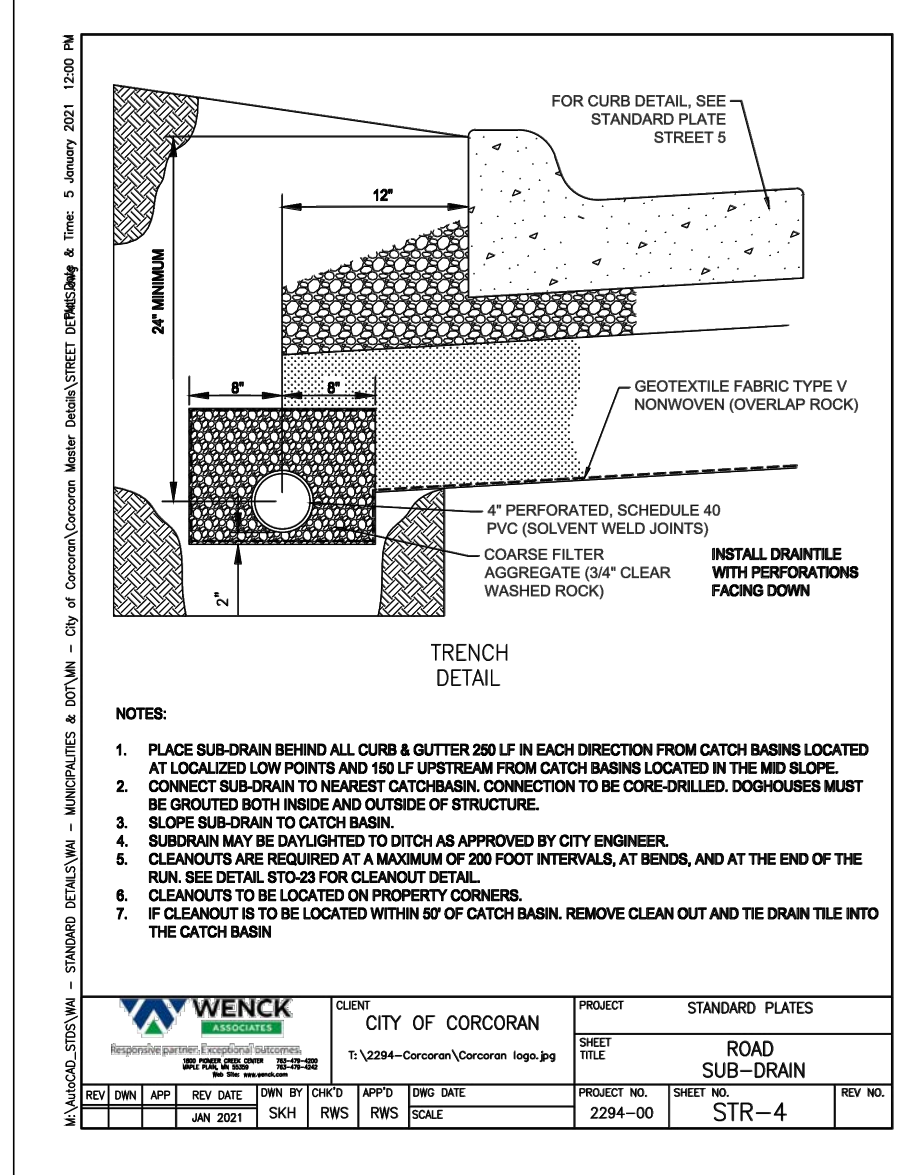
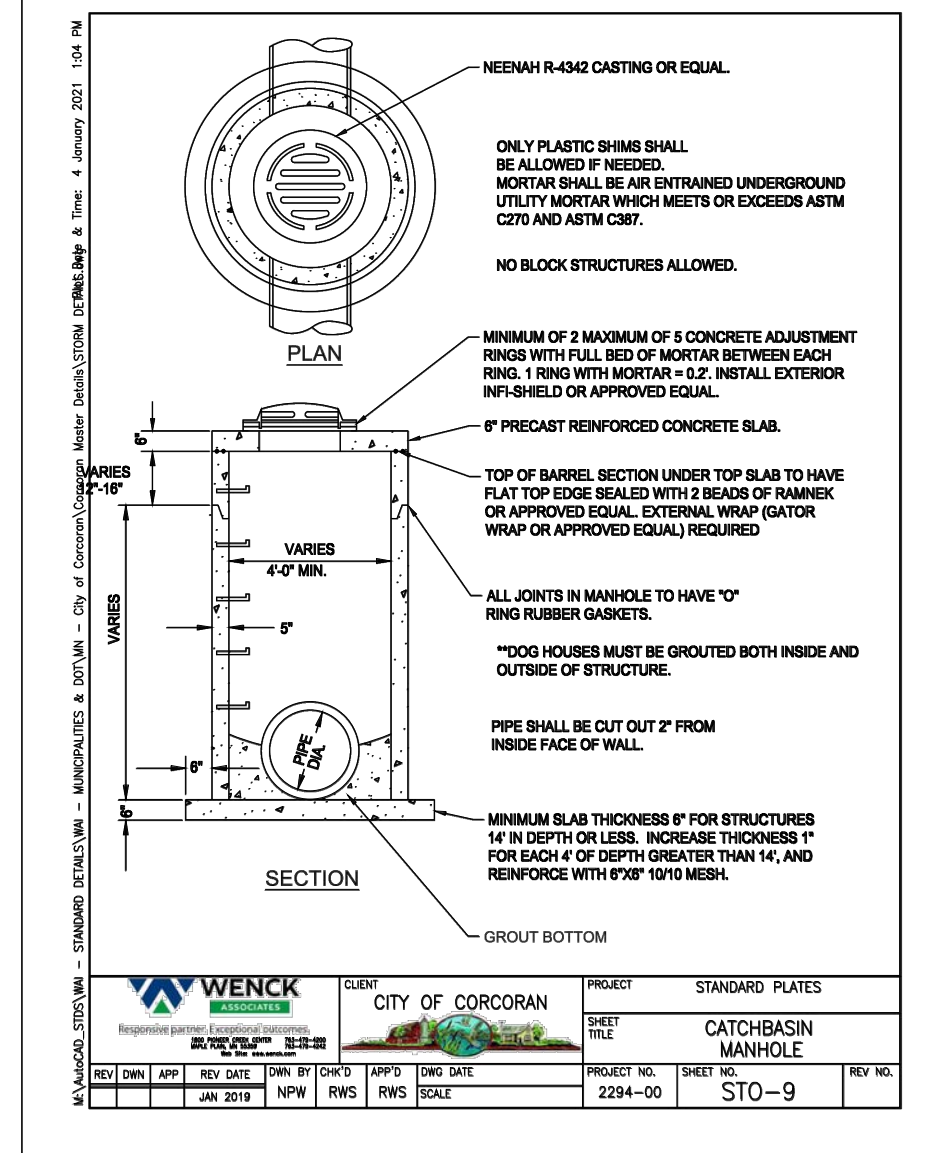
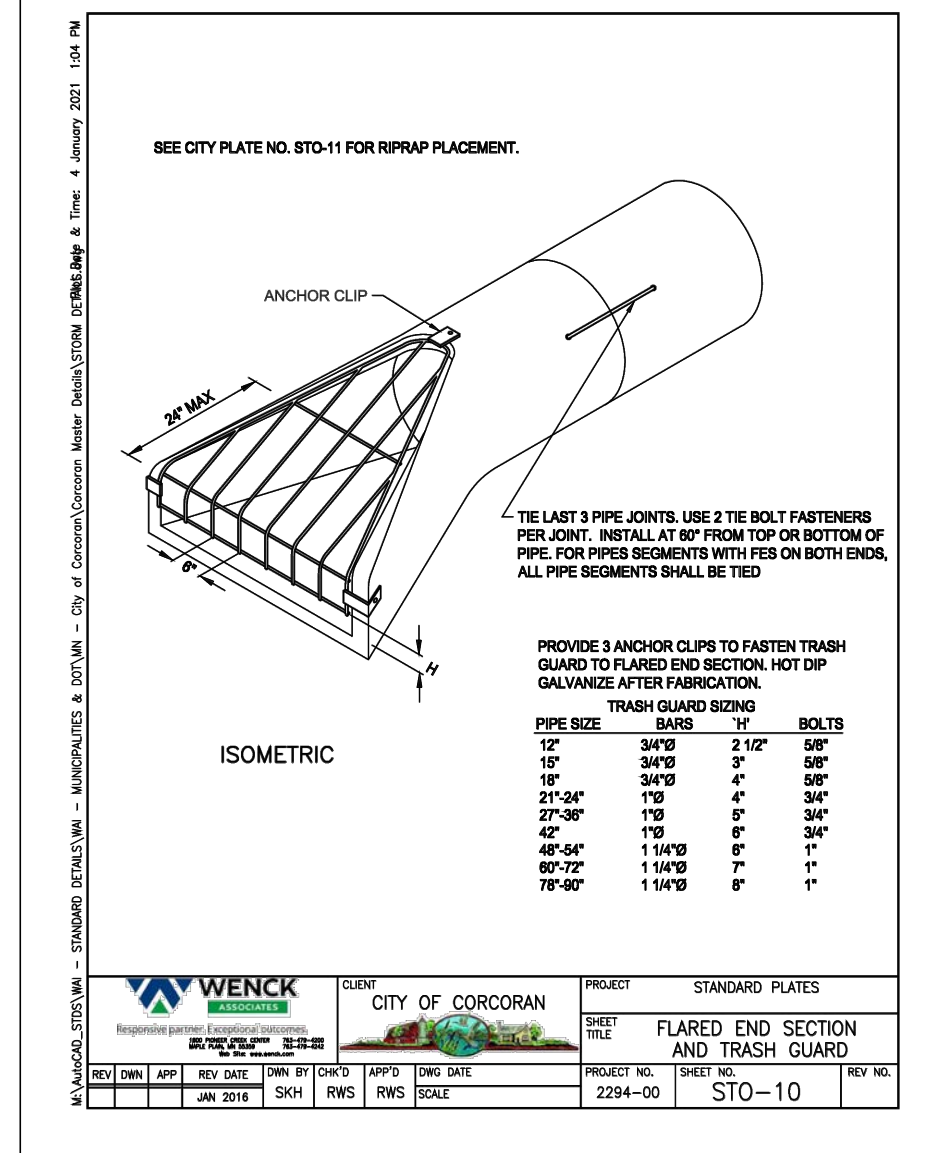
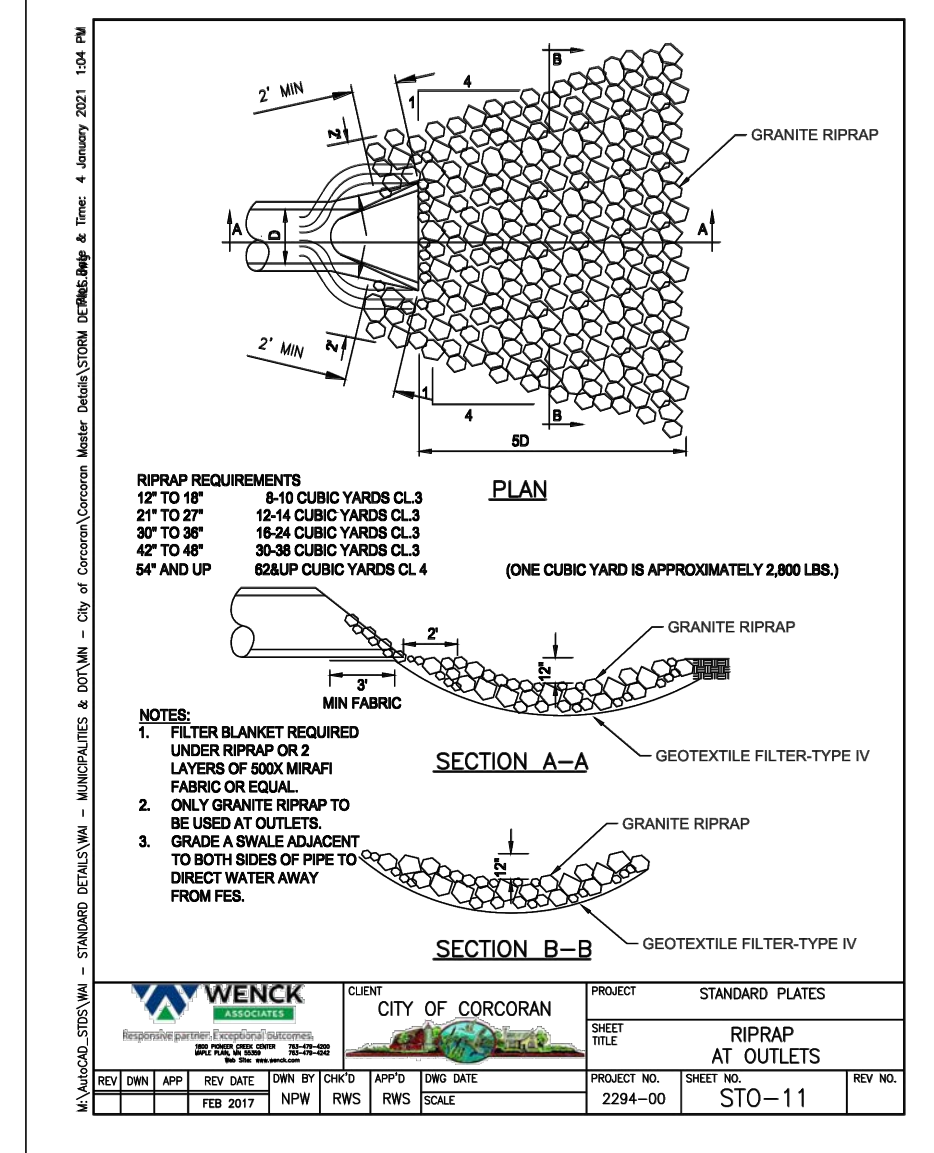
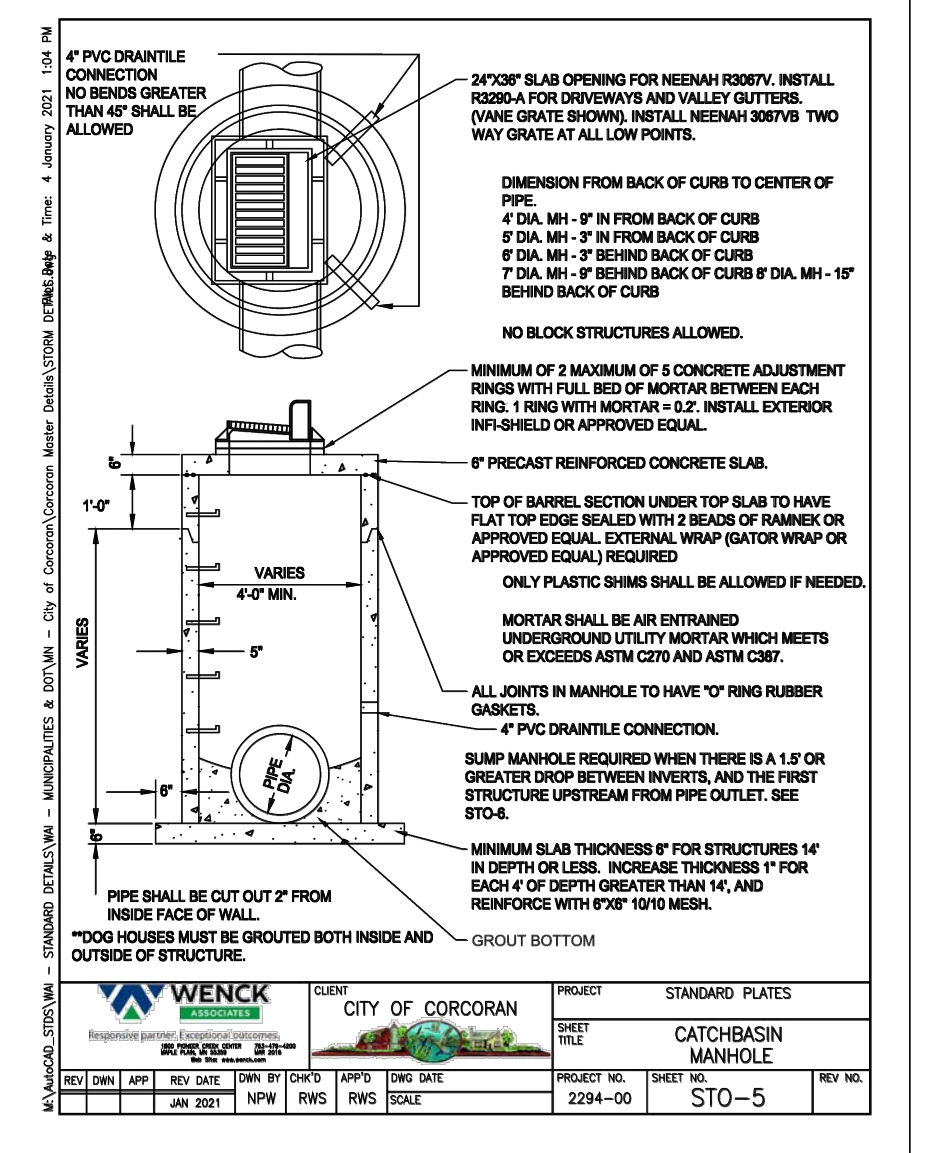
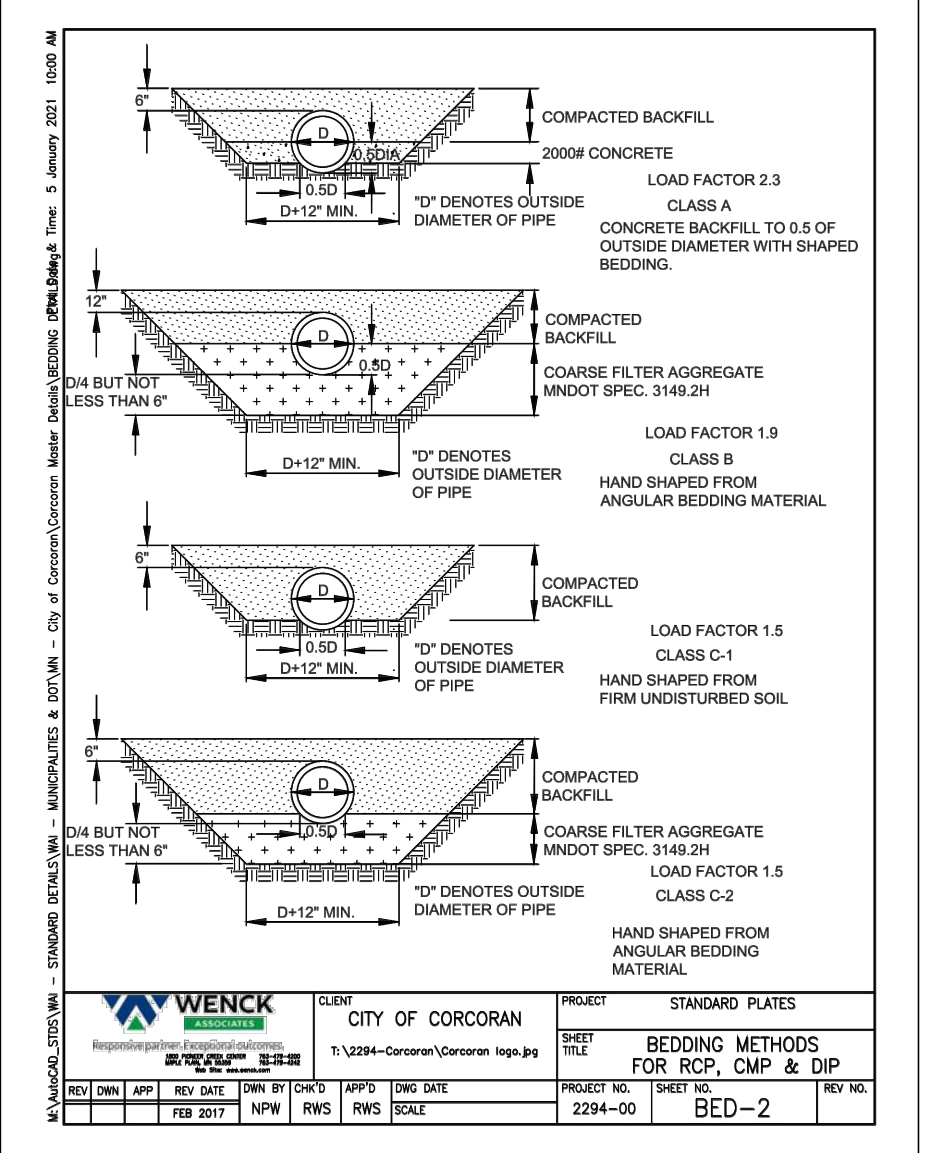
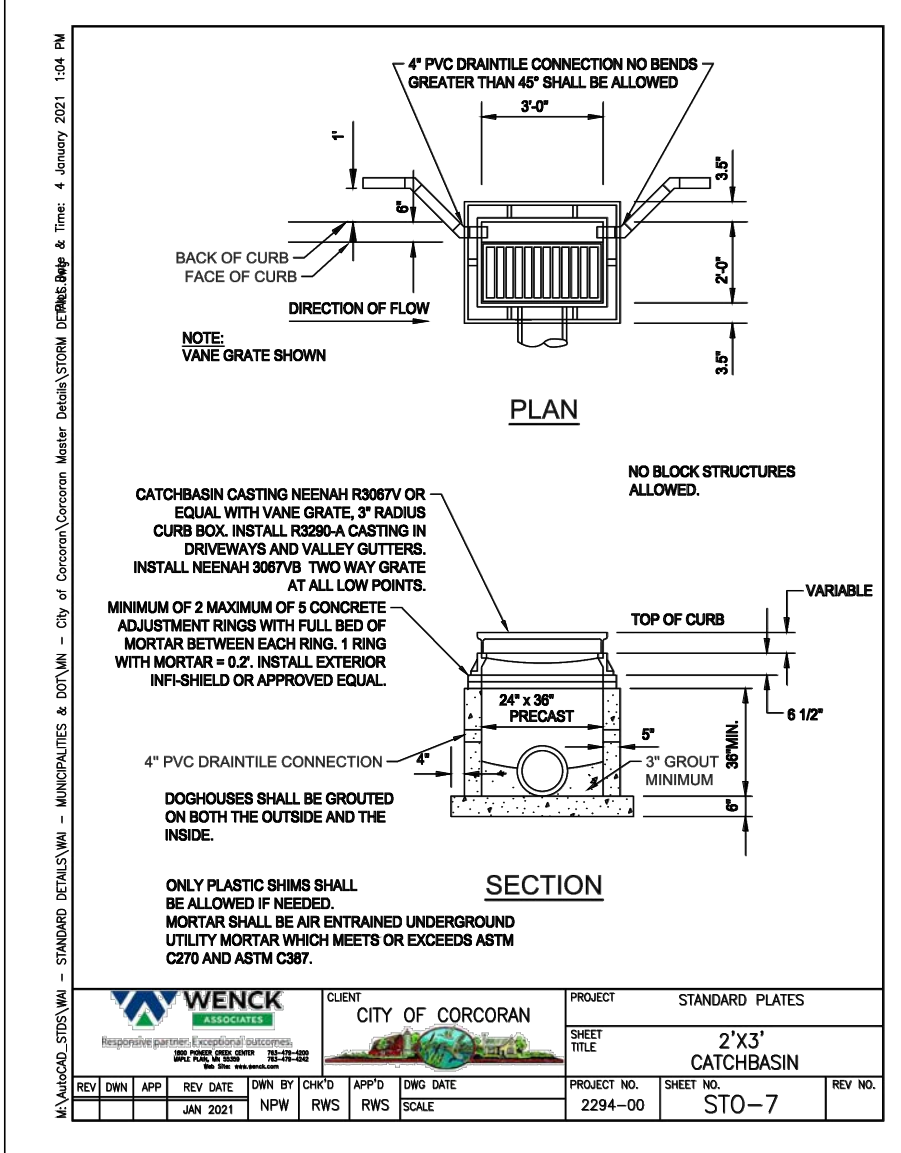
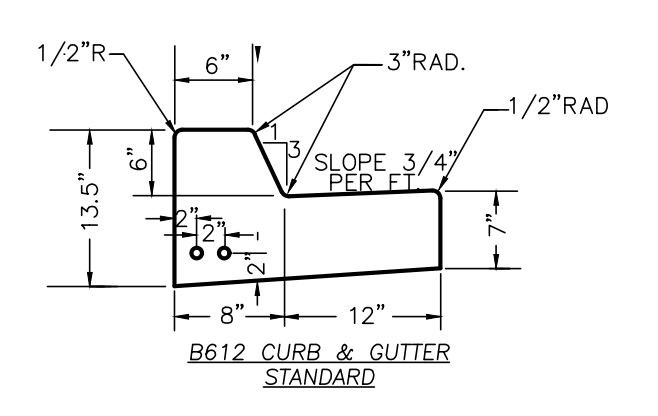
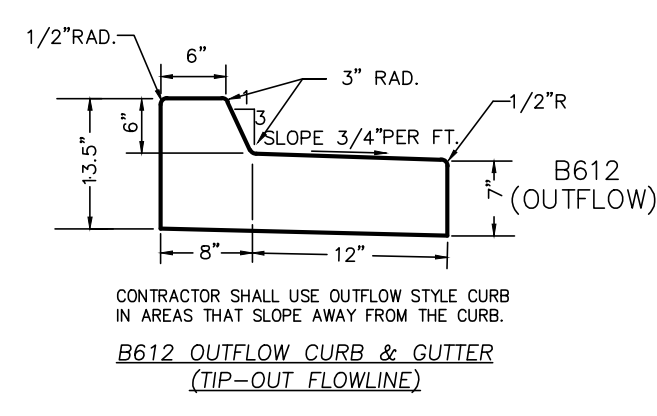
- NOTES:
- CONCRETE MIX SHALL CONFORM TO MNDOT SPEC. 2461 MIX No. 3F32 FOR SLIPFORM PLACEMENT (4,500 PSI) MIX No. 3F52 FOR MANUAL PLACEMENT
  - CONCRETE PLACEMENT SHALL CONFORM TO MNDOT SPEC. 2301
  - CONTRACTOR SHALL SPACE THE CONTRACTION JOINTS AT 12'-0" O.C.
  - SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECIFICATIONS

### CONCRETE PAVEMENT - HEAVY DUTY



### BITUMINOUS PAVEMENT

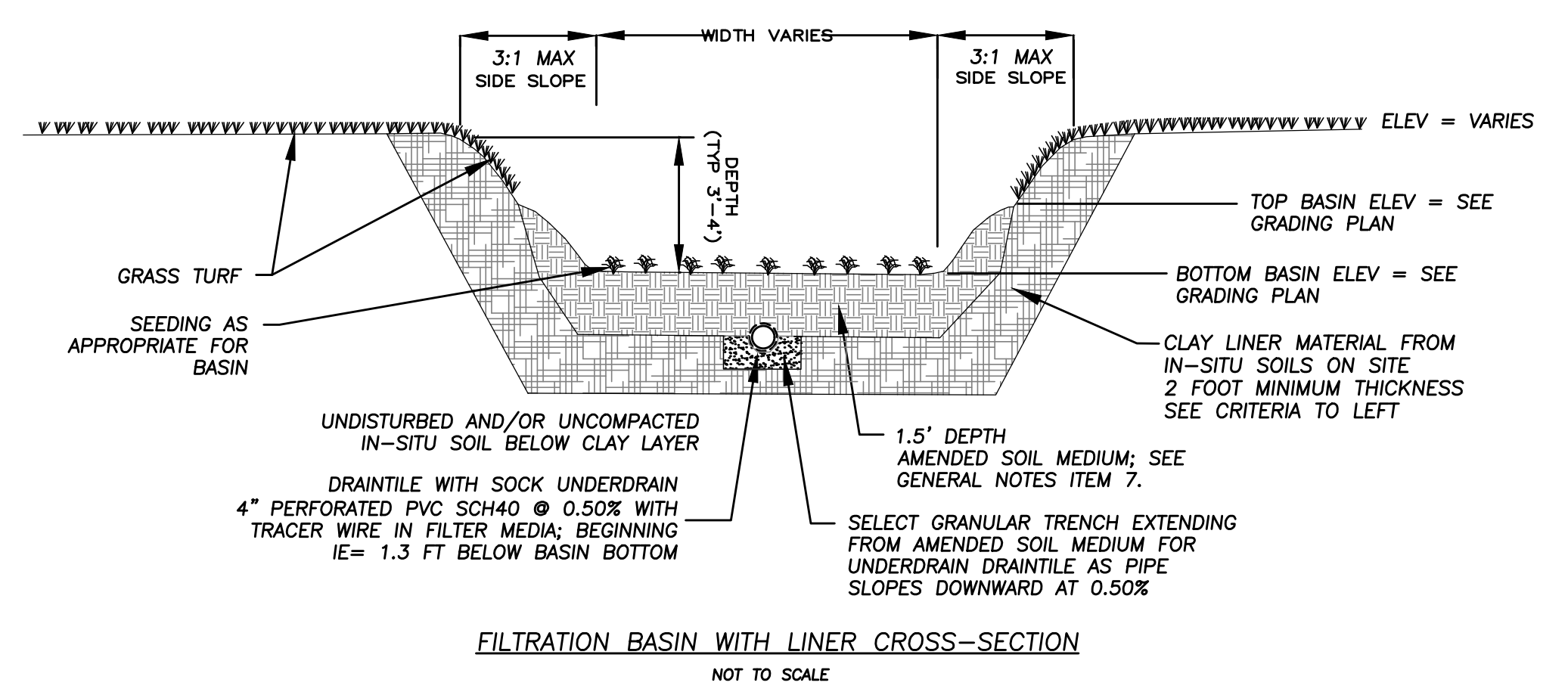
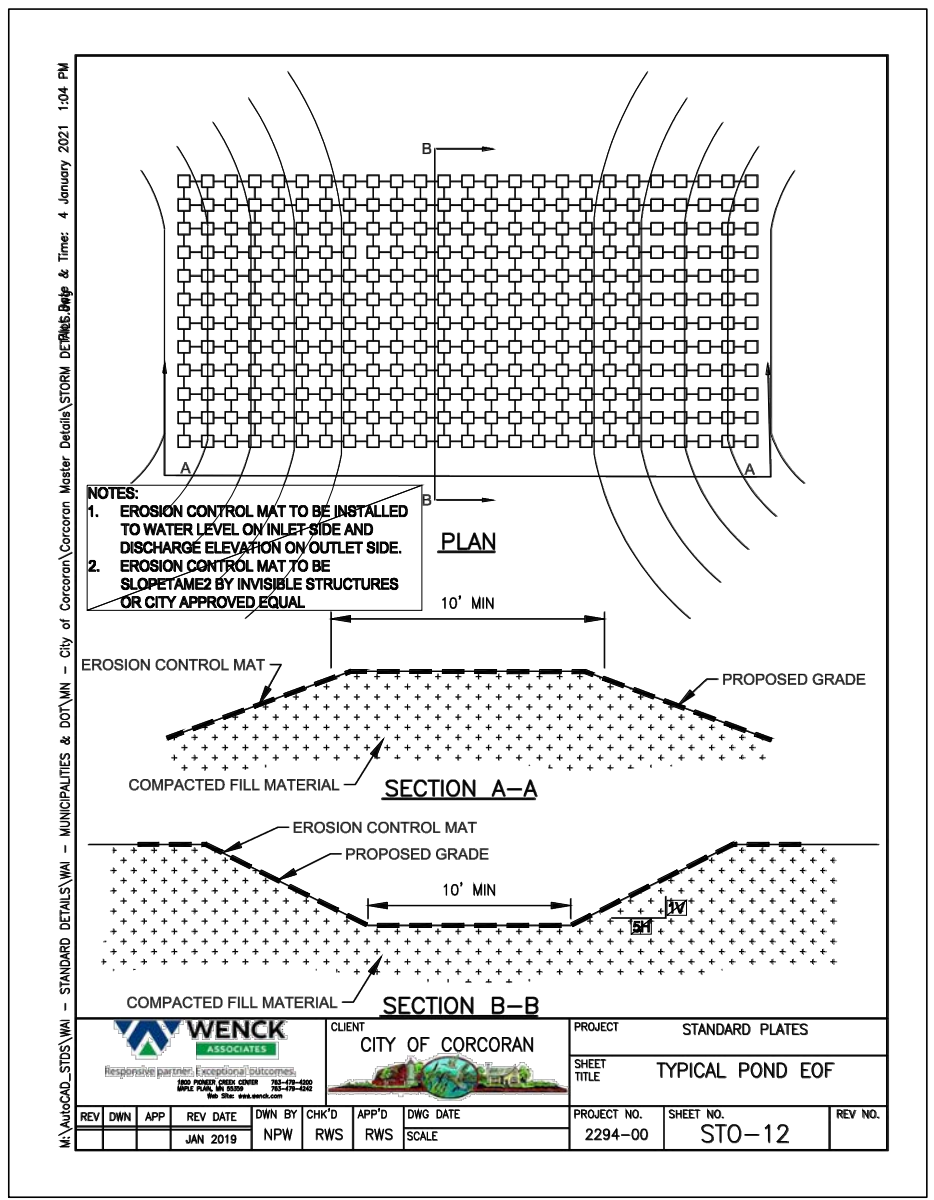
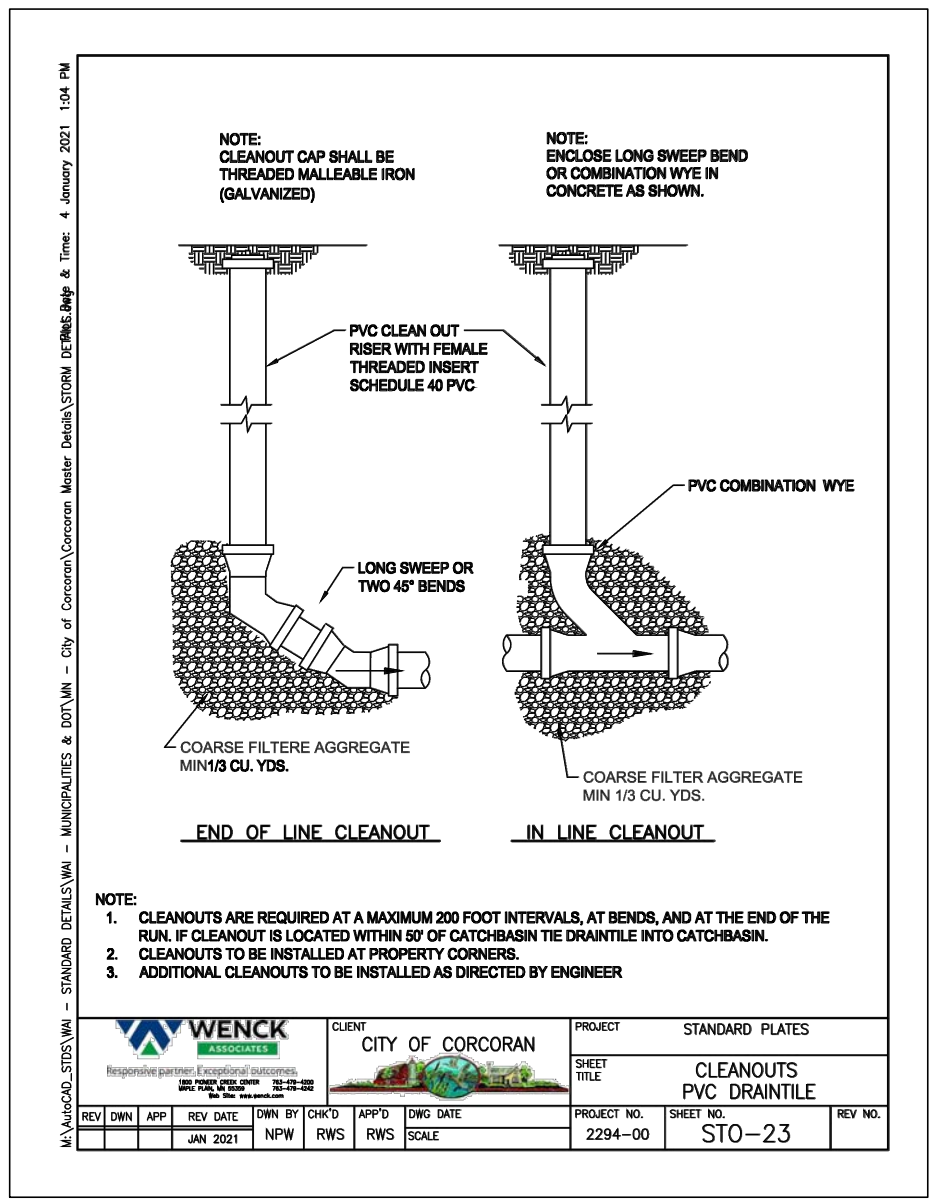
NOTE: SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECIFICATIONS



### INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN & PRELIMINARY PLAT
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- C5.1-5.2 SWPPP
- C6.1-6.2 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 DETAILS
- C8 LANDSCAPE PLAN



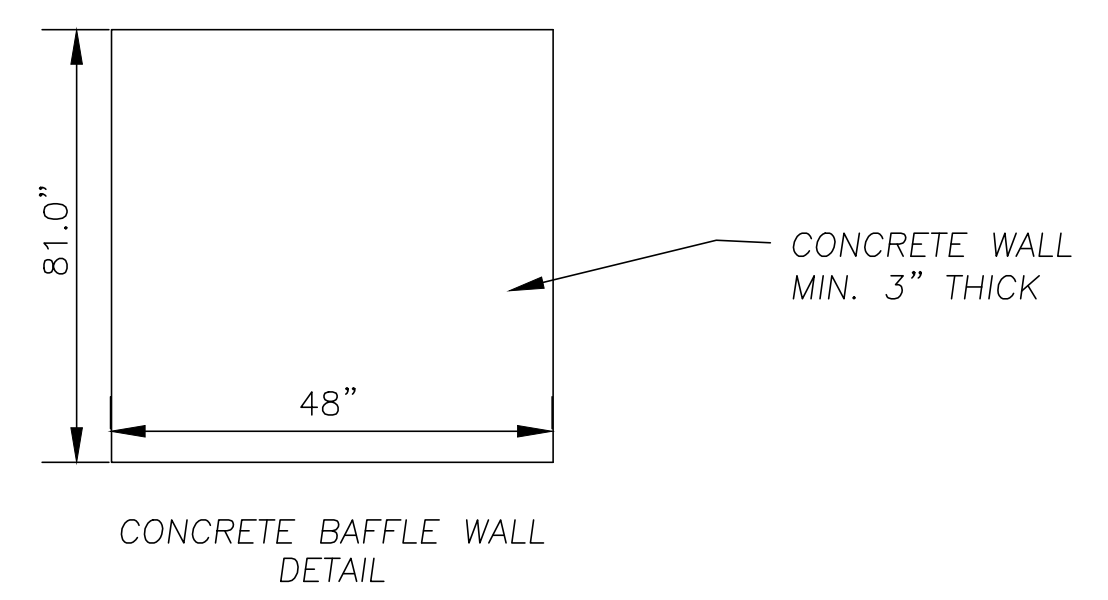
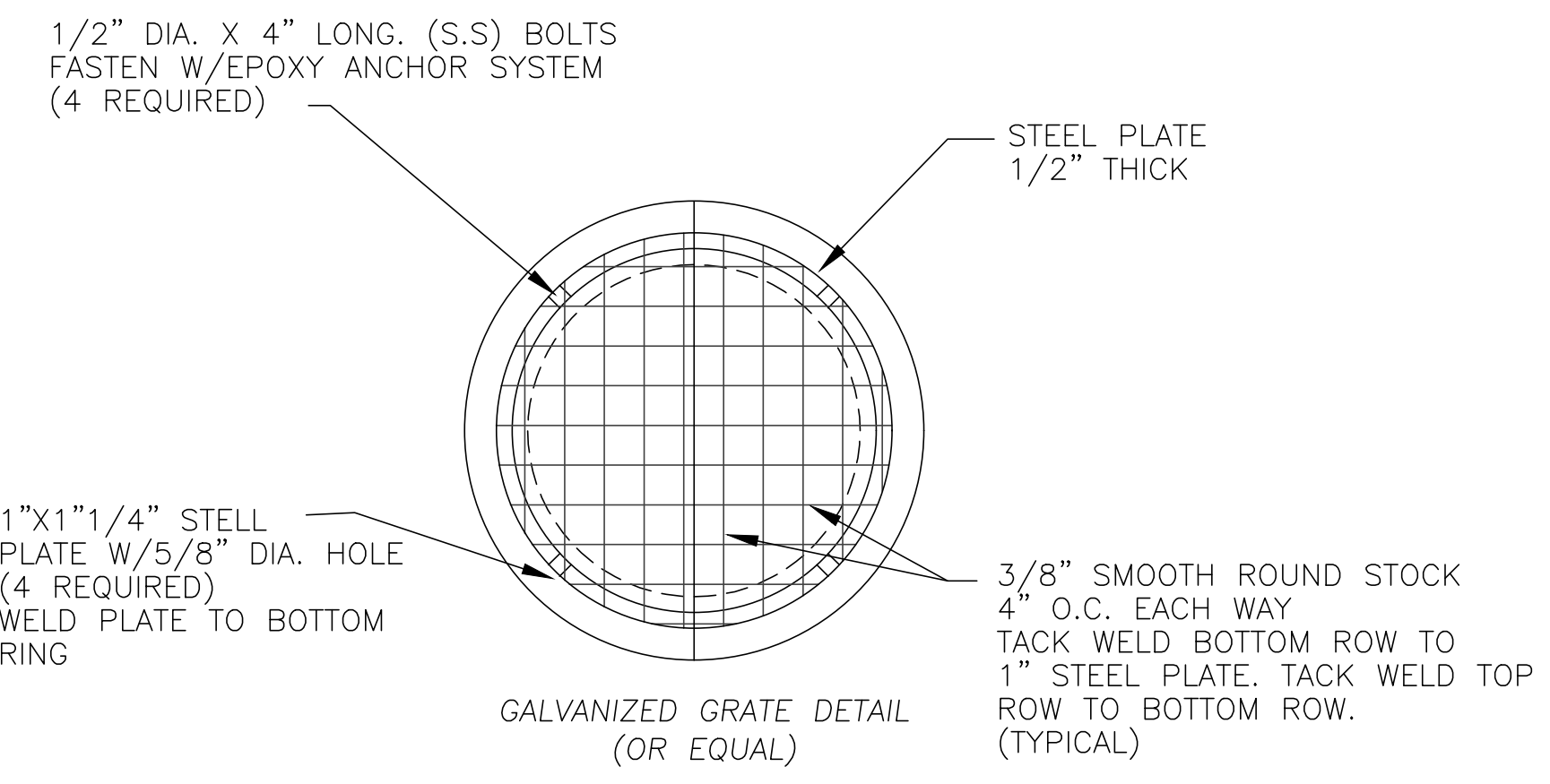
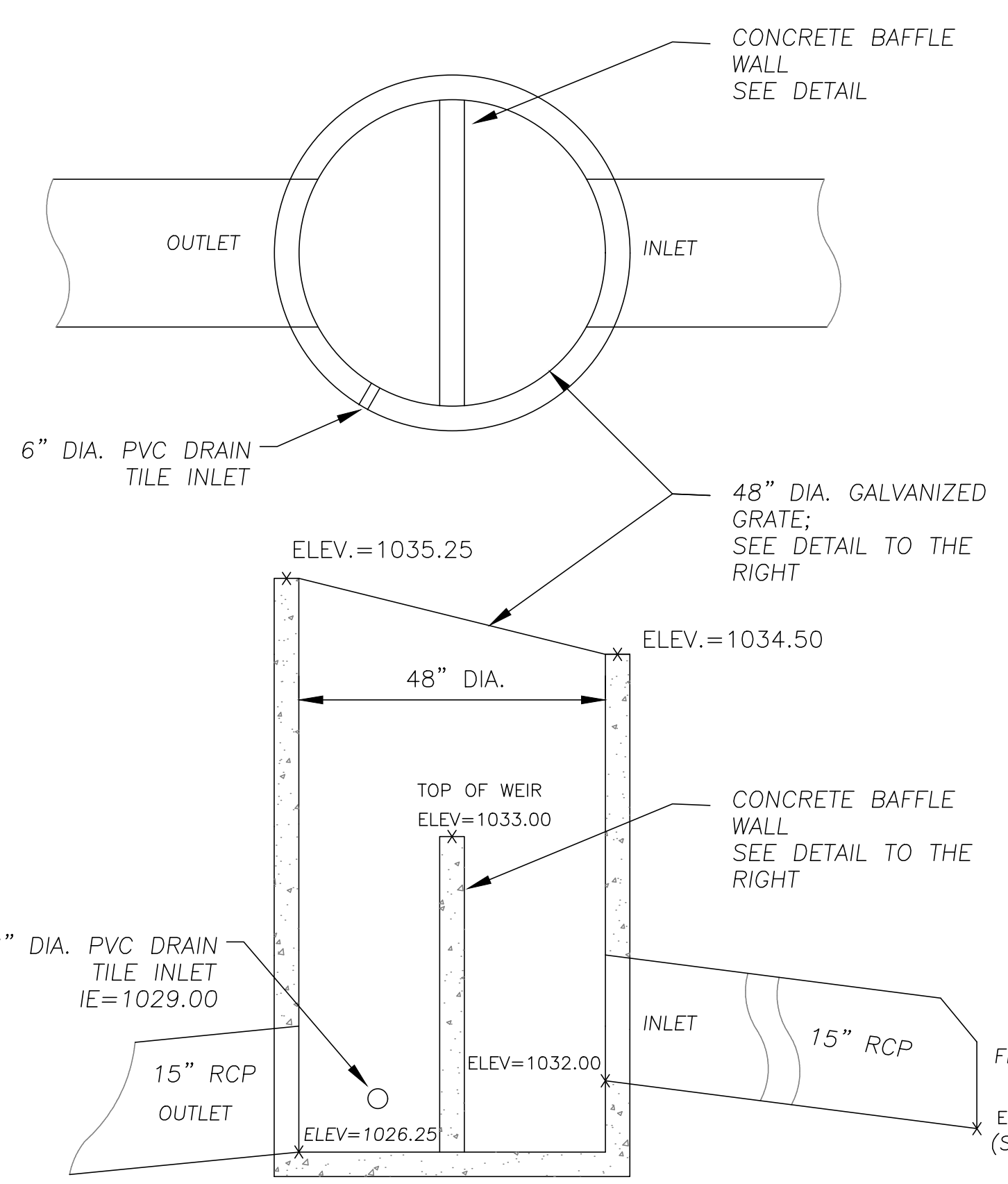


**CLAY LINER CRITERIA (Per MPCA Guidelines)**

- 50 PERCENT FINES (200 SIEVE) OR MORE
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1X10<sup>-10</sup> CENTIMETERS PER SECOND (CM/S) OR LESS
- AVERAGE LIQUID LIMIT OF 25 OR GREATER, WITH NO VALUE LESS THAN 20
- AVERAGE PI OF 12 OR MORE, WITH NO VALUES LESS THAN 10
- CLAY INSTALLED WET OF OPTIMUM IF USING PROCTOR, AND 2 PERCENT WET OF OPTIMUM IF USING MODIFIED PROCTOR
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 300, CLAY LINERS
- MINIMUM THICKNESS OF TWO FEET

**FILTRATION BASIN GENERAL NOTES:**

- 1) INSTALL ALL TEMPORARY EROSION CONTROL MEASURES (IN ACCORDANCE WITH MNDOT GENERAL CONDITIONS 2573) PRIOR TO THE START OF ANY CONSTRUCTION OPERATION THAT MAY CAUSE ANY SEDIMENTATION OR SILTATION AT THE SITE.
- 2) INSTALL STORM DRAIN INLET PROTECTION TO PREVENT CLOGGING OF THE STORM SEWER AND SEDIMENT LOADS TO DOWNSTREAM STORM WATER FACILITIES OR WATERBODIES.
- 3) IF THE STORM WATER BMP IS BEING DESIGNED TO SERVE AS A TEMPORARY SEDIMENT BASIN, GRADE THE BMP TO WITHIN 12" ABOVE THE FINAL GRADE TO PROTECT THE UNDERLYING MATERIAL FROM CLOGGING. ONCE CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED AND THE SITE IS STABILIZED, EXCAVATE THE INFILTRATION BASIN TO FINAL GRADE AND COMPLETE CONSTRUCTION OF THE FILTRATION BASIN.
- 4) GRADING OF THE FILTRATION BASIN SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- 5) EXCAVATE THE FILTRATION BASIN TO THE SPECIFIED DEPTH (ELEVATION). ALL SUB MATERIAL BELOW THE SPECIFIED ELEVATION SHALL BE LEFT UNDISTURBED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 6) IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL WILL NEED TO BE REMOVED FROM THE FILTRATION BASIN PRIOR TO INITIATING THE NEXT STEP IN THE FILTRATION BASIN CONSTRUCTION PROCESS. THIS IS ESPECIALLY IMPORTANT IF THE FILTRATION BASIN HAS BEEN DESIGNED TO INFILTRATE STORM WATER. SEDIMENT THAT HAS BEEN WASHED INTO THE FILTRATION BASIN DURING THE EXCAVATION PROCESS CAN SEAL THE PERMEABLE MATERIAL, SIGNIFICANTLY REDUCING THE INFILTRATION CAPACITY OF THE SOILS.
- 7) FILTRATION BASIN SHALL BE OVER-EXCAVATED TO SPECIFIED DEPTH AND FILLED WITH A WELL BLENDED MPCA STORMWATER MANUAL MIXTURE "D" BY VOLUME OF 50%-65% SAND; 25%-35% TOPSOIL; 10%-15% ORGANIC MATTER (MNDOT GRADE 2 COMPOST)
- 8) FILTRATION BASIN TO BE SEEDED WITH MNDOT SEED MIX 33-261 OR APPROVED EQUAL. SEEDING SHALL CONFORM TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- 9) BOTTOM OF FILTRATION BASIN TO BE SEEDED AND SHALL BE MULCHED WITH CLEAN GRAIN STRAW (MNDOT TYPE 3) AT A RATE OF 2 TONS PER ACRE.
- 10) SEEDING AND INSTALLATION OF ANY EROSION CONTROL BLANKET NECESSARY SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF FINAL GRADING.



**POND OUTLET CONTROL STRUCTURE OCS-1**

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C6.1-6.2	EXISTING CONDITIONS & REMOVAL PLAN
C7.1-7.2	DETAILS
C8	LANDSCAPE PLAN

CLIENT:  
**GARAGES TOO, LLC**  
 305 Lakeview Ave.  
 Tonka Bay, MN 55331  
 Craig Scherber  
 612-810-8400

**GARAGES TOO CORCORAN SITE IMPROVEMENT PROJECT**

22400 State Highway No. 55  
 Corcoran, Minnesota 55340

DETAILS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 24348  
 PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
 1118 East Broadway St.  
 Monticello, Mn 55362  
 Phone: 763-314-0929  
 www.civildesign.com

REVISIONS	DATE	BY	DESCRIPTION
06/16/21	06/16/21	SD	REVISED BOUNDARY, BASIN, AND STORM SEWER
07/08/21	07/08/21	SD	ADDED DRIVEWAY GRADING LIMITS

HORIZONTAL SCALE: 1" = 10' (FULL SIZE SHEET 24" x 36")  
 VERTICAL SCALE: 1" = 1' (FULL SIZE SHEET 24" x 36")

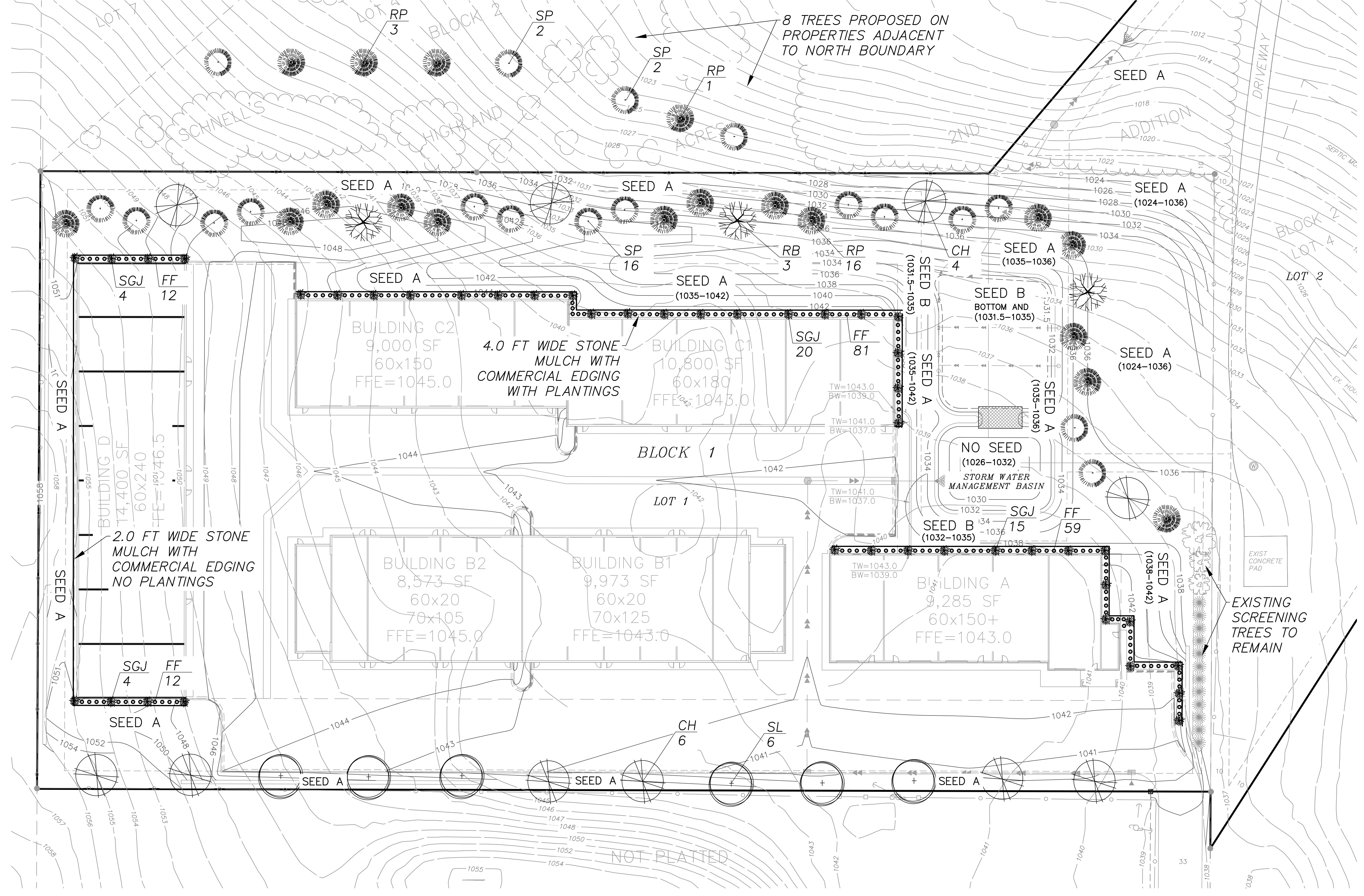
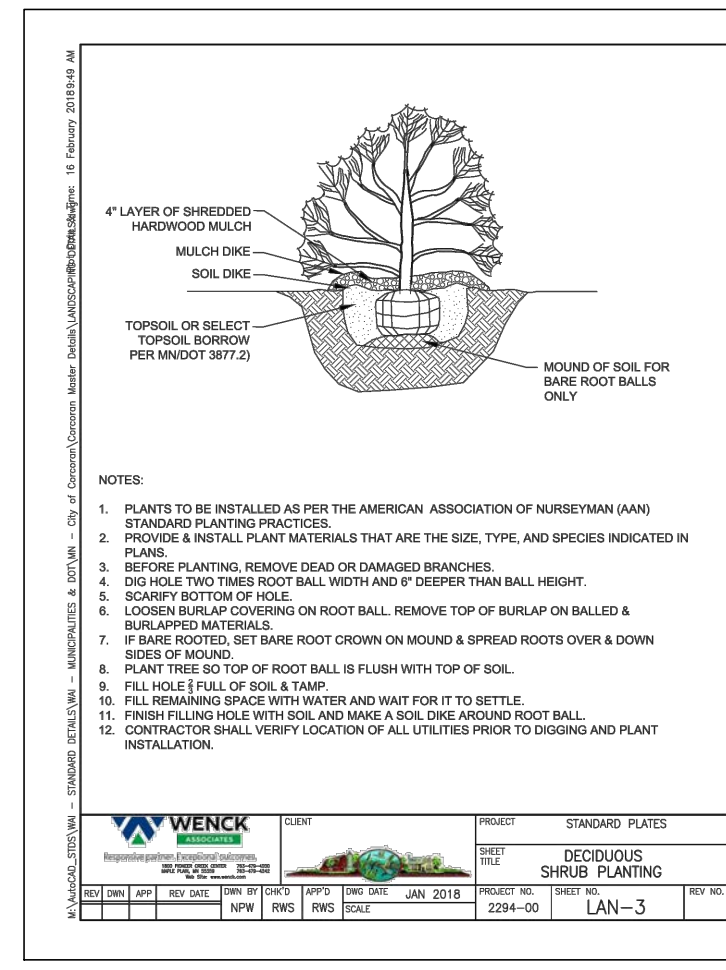
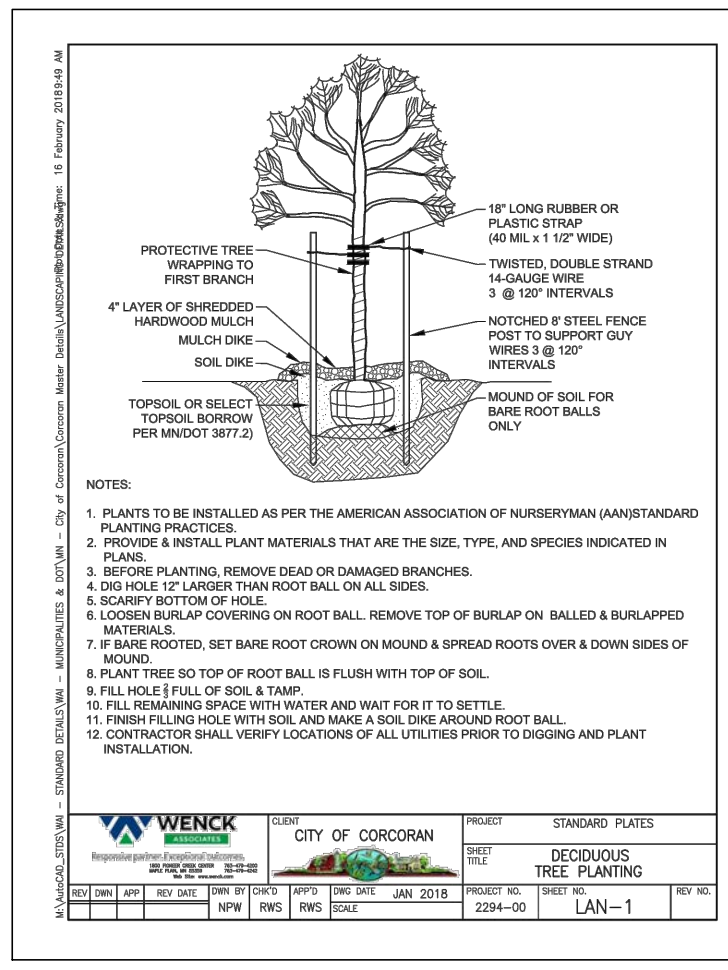
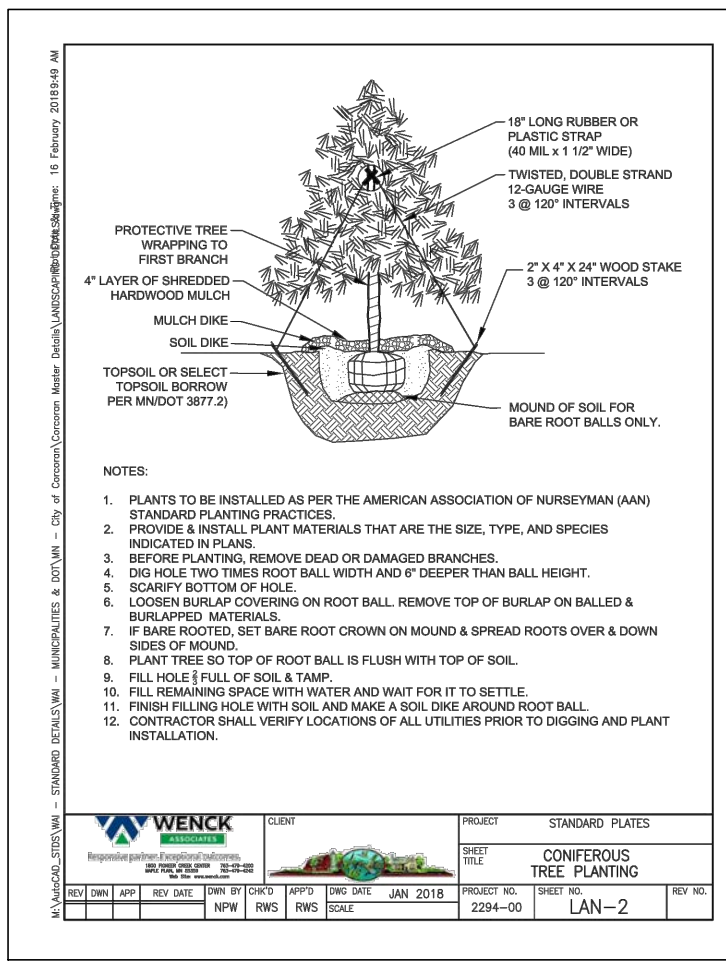
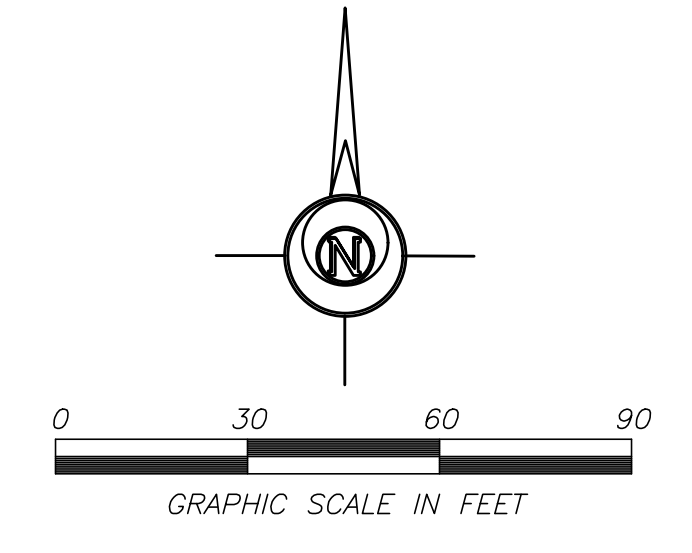
DATE	04/20/21
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00796

**C7.2**

Details





REQUIRED PLANT MATERIALS	
<b>TREES:</b> GREATER QUANTITY: 1 TREE PER 50 LF OF SITE PERIMETER OR 1 TREE PER 1,000 SF OF BUILDING. PERIMETER: 1,972 LF x 1/50 = 39 TREES BUILDING: 62,031 SF x 1/1,000 = 62 TREES (GREATER QUANTITY)	
<b>SHRUBS:</b> GREATER QUANTITY: 1 SHRUB PER 300 LF OF SITE PERIMETER OR 1 SHRUB PER 300 SF OF BUILDING. PERIMETER: 1,972 LF x 1/300 = 66 SHRUBS BUILDING: 62,031 SF x 1/300 = 207 SHRUBS (GREATER QUANTITY)	
PROVIDED PLANT MATERIALS	
62 OVERSTORY TREES 207 SHRUBS	

TREE LIST: TOTAL SITE			
QTY.	KEY	BOTANICAL NAME	COMMON NAME
TREES			
18	RP	Pinus resinosa	Red Pine
19	SP	Pinus sylvestris	Scotch Pine
3	RB	Betula nigra	River Birch
16	CH	Celtis occidentalis	Common Hackberry
6	SL	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust
62	TOTAL		

SHRUB LIST: TOTAL SITE			
QTY.	KEY	BOTANICAL NAME	COMMON NAME
SHRUBS			
164	FF	Forsythia 'Fiesta'	Fiesta Forsythia
43	SGJ	Juniperus chinensis 'Sea Green'	Sea Green Juniper
207	TOTAL		

**PLANTING NOTES:**

Contractor shall provide two year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the initial planting. Replacement plant materials shall also have a one year guarantee commencing upon planting.

All plants to be northern-grown and hardy. Plants to be installed as per standard AAN planting practices. Contractor shall verify locations with all utilities prior to installation of plants.

Staking of trees optional; reposition if not planted after one year.

Open top of burlap on BB materials; remove pot on potted plants; split and break apart peat pots.

Prune plants as necessary - per standard nursery practice.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

Double shredded dark brown hardwood mulch 4" deep shall be provided around all new trees.

Field adjust tree and shrub locations to fit utility locations and any changes that may have occurred to the site plan and/or building overall design. Place foundation plantings to align with building/window design.

All seeding shall be done according to the current MNDOT Seeding Manual for rates, application methods, soil preparations, fertilization, and cover crop or erosion cover methods.

Seed A: Mesic Prairie General area (MNDOT 35-241), or an approved equivalent by Owner. Seed upland buffer in areas of low maintenance and periodic mowing. Seed basin slopes from the 1035 contour around the basin to the top of basin berm at contour 984. Provide a 6' foot overlap of seed mixtures.

Seed B: Stormwater Facility area (MNDOT 35-261), or an approved equivalent by Owner. Seed sides of storm pond from normal water level at 1032 contour to the 1035 contour and filtration basin bottom end from 1031.5 contour to the 1035 contour.

Stone mulch shall be 1.5" River Rock or equal as approved by owner.

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GARAGES TOO CORCORAN  
SITE IMPROVEMENT  
PROJECT

LANDSCAPE PLAN

22400 State Highway No. 55  
Corcoran, Minnesota 55340

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 7/08/21 Reg. No. 243418

PREPARED BY: CIVIL ENGINEERING SITE DESIGN

118 East Broadway St.  
Monticello, MN 55362  
Phone: 763-314-0929  
www.civildesign.com

REVISIONS	
06/16/21	REVISED BOUNDARY, BASIN, AND STORM SEWER
07/08/21	ADDED DRIVEWAY GRADING LIMITS
DATE	BY
04/20/21	SD
	SD

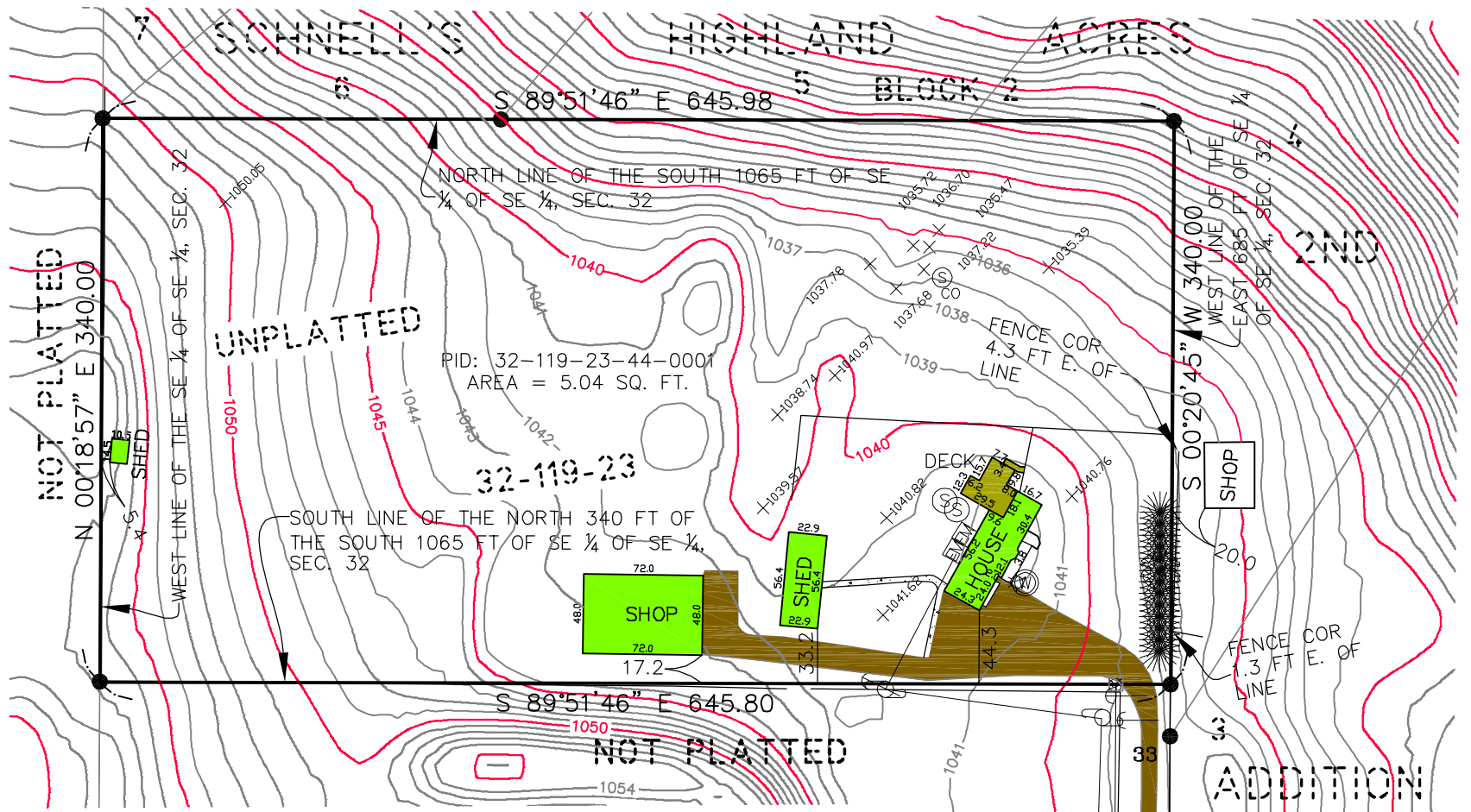
DATE	BY	CHECKED BY
04/20/21	SD	SD
		SD



# CERTIFICATE OF SURVEY

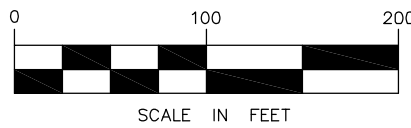
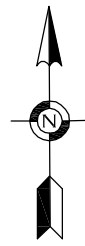
-for-  
CRAIG SCHERBER

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
Twin Cities Area 651-454-0002  
MN. Toll Free 1-800-252-1166



## LEGEND

- DENOTES FOUND PROPERTY IRON
- ⊕ DENOTES SET WOOD LATH
- ⊙ DENOTES SEPTIC TANK MANHOLE
- ⊙ DENOTES SEPTIC CLEANOUT
- ⊕ DENOTES ELECTRIC METER
- ⊙ DENOTES LIGHT POLE
- ⊙ DENOTES WELL
- ⊙ DENOTES TELEPHONE PEDESTAL
- ⊙ DENOTES TELEPHONE PEDESTAL
- ⊙ DENOTES POWER POLE
- ⊙ DENOTES CONIFEROUS TREE
- DENOTES CHAINLINK FENCE
- DENOTES WOOD FENCE
- DENOTES BITUMINOUS SURFACE
- DENOTES EXISTING BUILDINGS
- DENOTES EXISTING DECK
- DENOTES CONCRETE SURFACE
- 999 DENOTES EXISTING CONTOUR LINE
- x999.99 DENOTES EASEMENT LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION



## NOTES

1. THE BASIS OF THE BEARING SYSTEM IS BASED ON HENNEPIN COUNTY COORDINATE SYSTEM.
2. CONTRACTOR MUST VERIFY PROPOSED ELEVATIONS.
3. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY THE SURVEYOR.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.
6. CONTOURS SHOWN ARE PER MNDNR LIDAR DATA (NAVD 88).

PROPERTY LOCATION: 22400 STATE HIGHWAY 55, HAMEL, MN 55340

NO.	DATE	DESCRIPTION	BY



**ENGINEERING DESIGN & SURVEYING**  
6480 Wayzata Blvd. Minneapolis, MN 55426  
OFFICE: (763) 545-2800 FAX: (763) 545-2801  
EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Vlad Sivriver* DATED: 3/11/2021  
VLADIMIR SIVRIVER L.S. NO. 25105

FIELD WORK DATE:  
2/28/21

DRAWN BY: CG

JOB NO. 21-012

FIELD BOOK NO.:

CHECKED BY: VS

SHEET NO. 1 OF 2

# LEGAL DESCRIPTION

-for-

CRAIG SCHERBER

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
Twin Cities Area 651-454-0002  
MN. Toll Free 1-800-252-1166

PID 32-119-23-44-00012

SECTION 32

TOWNSHIP 119

RANGE 23

## LEGAL DESCRIPTION

That part of the North 340 feet of the South 1065 feet of the Southeast Quarter of the Southeast Quarter of Section 32, Township 119 North, Range 23, West of the 5th Principal Meridian, lying West of the East 685 feet thereof, Hennepin County, Minnesota. Together with an easement for driveway purposes over the Easterly 33 feet of that part of the South 725 feet of the Southeast Quarter of the Southeast Quarter of Section 32; Township 119 North, Range 23, and that part of Government Lot 1, Section 5, Township 118 North, Range 23, West of the 5th Principle Meridian, lying Northerly of the centerline of State Highway No. 55 and Westerly of the following described line: Beginning at the intersection of the North line of said 725 feet with the West line of said East 685 feet of said Southeast Quarter of the Southeast Quarter; thence South along said West line to a point thereon distant 250 feet North of the South line of said Southeast Quarter of the Southeast Quarter, said distance being measured along said West line; thence deflecting right 11 degrees 18 minutes to said centerline, and there ending.

### ZONING

ZONING: UR = URBAN RESERVE

### REFERENCE BENCHNARK

ELEVATION = 1046.20 (NGVD 29) MNDOT  
DISK "UMC"

### EXISTING HARDCOVER

EXISTING HOUSE	1,744 SQ. FT.
EXISTING DECK	703 SQ. FT.
EXISTING SHOP	3,457 SQ. FT.
EXISTING SHED	1,289 SQ. FT.
EXISTING CONCRETE SURFACE	412 SQ. FT.
EXISTING BITUMINOUS SURFACE	690 SQ. FT.
TOTAL IMPERVIOUS AREA	8,295 SQ. FT.
TOTAL LOT AREA	219,599 SQ. FT.
EXISTING HARDCOVER	3.8 %

## NOTES

1. THE BASIS OF THE BEARING SYSTEM IS BASED ON HENNEPIN COUNTY COORDINATE SYSTEM.
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3. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY THE SURVEYOR.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
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POPERTY LOCATION: 22400 STATE HIGHWAY 55, HAMEL, MN 55340

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6480 Wayzata Blvd. Minneapolis, MN 55426  
OFFICE: (763) 545-2800 FAX: (763) 545-2801  
EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver DATED: 3/11/2021  
VLADIMIR SIVRIVER L.S. NO. 25105

FIELD WORK DATE:  
2/28/21

DRAWN BY: CG

JOB NO. 21-012

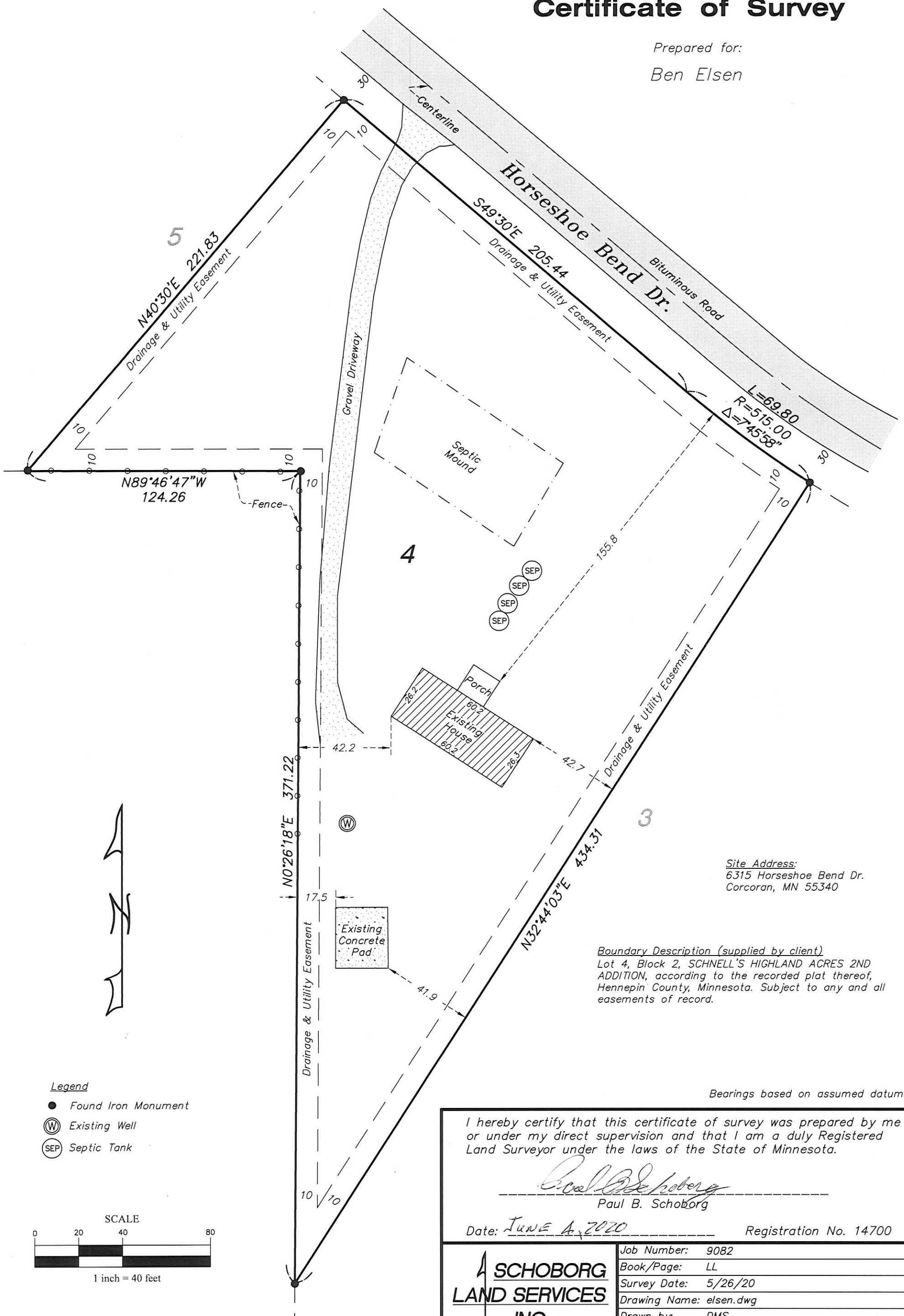
FIELD BOOK NO.:

CHECKED BY: VS

SHEET NO. 2 OF 2

# Certificate of Survey

Prepared for:  
Ben Elsen



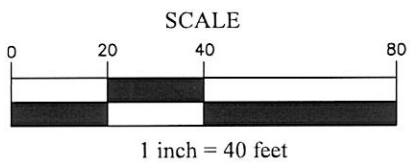
Site Address:  
6315 Horseshoe Bend Dr.  
Corcoran, MN 55340

Boundary Description (supplied by client)  
Lot 4, Block 2, SCHNELL'S HIGHLAND ACRES 2ND ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. Subject to any and all easements of record.

Bearings based on assumed datum.

**Legend**

- Found Iron Monument
- ⊙ Existing Well
- ⊙ SEP Septic Tank



I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Paul B. Schoborg*  
Paul B. Schoborg

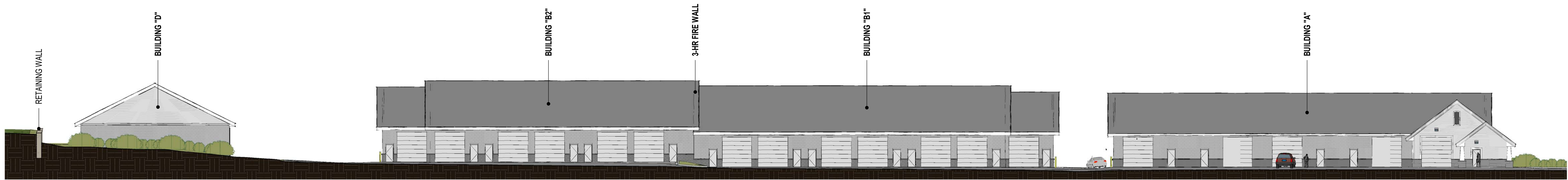
Date: JUNE 4, 2020 Registration No. 14700

**SCHOBORG**  
**LAND SERVICES**  
**INC.**

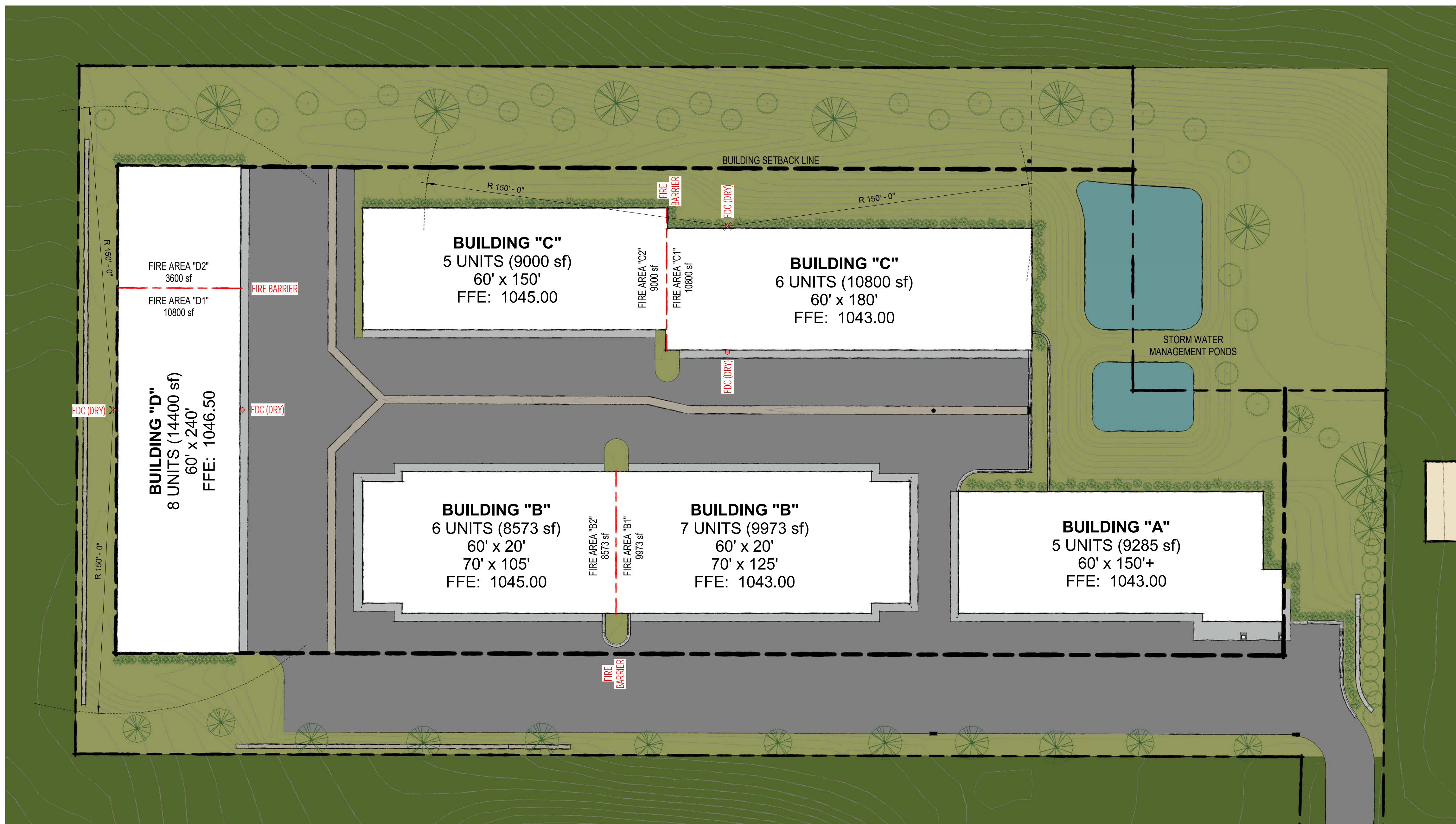
763-972-3221 8997 Co. Rd. 13 SE  
www.SchoborgLand.com Delano, MN 55328

Job Number:	9082
Book/Page:	LL
Survey Date:	5/26/20
Drawing Name:	elsen.dwg
Drawn by:	DMS
Revisions:	





**2 SOUTH VIEW of PROPOSED DEVELOPMENT**



**1 SITE DEVELOPMENT PLAN**

**BUILDING AREA CALCULATIONS:**  
 $W = 0.1 \cdot w1 + 0.2 \cdot w2 + 0.3 \cdot w3 + 0.4 \cdot w4 / FF$  ... equation 5-4  
 $FF = [F/P - 0.25] W / 30$  ... equation 5-5

**BLDG "A"**  
 $W = [(130 \cdot 30) + (70 \cdot 30) + (130 \cdot 30) + (70 \cdot 20)] / 400$   
 $W = 28.25$   
 $FF = [(400 / 400) - 0.25] \cdot 28.25 / 30$   
 $FF = 0.7063$  or 70.63%  
**Type of Construction: V-B**  
 \*S1\*: AREAAal = 9000 + (9000 \* 0.7063) or 15358 sf  
 \*S1\*: AREAAac = 9285 sf ... PASSES

**BLDG "B"**  
 $W = [(270 \cdot 30) + (60 \cdot 0) + (270 \cdot 30) + (60 \cdot 30)] / 600$   
 $W = 30$   
 $FF = [(600 / 660) - 0.25] \cdot 30 / 30$   
 $FF = 0.639$  or 65.90%  
**Type of Construction: III-B**  
 \*S1\*: AREAAal = 17500 + (17500 \* 0.659) or 29032 sf  
 \*S1\*: AREAAac = 18506 sf ... PASSES

**BLDG "C"**  
 $W = [(330 \cdot 30) + (70 \cdot 30) + (330 \cdot 30) + (70 \cdot 30)] / 800$   
 $W = 30$   
 $FF = [(800 / 800) - 0.25] \cdot 30 / 30$   
 $FF = 0.75$  or 75%  
**Type of Construction: III-B**  
 \*S1\*: AREAAal = 17500 + (17500 \* 0.75) or 30625 sf  
 \*S1\*: AREAAac = 9973 sf ... PASSES

**BLDG "D"**  
 $W = [(240 \cdot 20) + (60 \cdot 30) + (240 \cdot 30) + (60 \cdot 30)] / 600$   
 $W = 26$   
 $FF = [(600 / 600) - 0.25] \cdot 26 / 30$   
 $FF = 0.649$  or 64.90%  
**Type of Construction: III-B**  
 \*S1\*: AREAAal = 17500 + (17500 \* 0.649) or 28857 sf  
 \*S1\*: AREAAac = 14400 sf ... PASSES

**SUMMARY:**  
 OCCUPANCY (ALL BUILDINGS) S-1 MODERATE HAZARD  
 FIRE SUPPRESSION SYSTEM NO SPRINKLERING OF ANY OF THE PROPOSED BUILDINGS  
 FIRE BARRIERS REQUIRED @ BUILDINGS "B", "C" & "D" 3-HR FIRE RESISTANCE RATING 12,000sf MAXIMUM FIRE AREA  
 FDC (150' HOSE REQUIREMENT) SHOWN @ BUILDINGS "C" & "D" (DRY LINE ONLY PROVIDING ACCESS TO REAR OF BUILDING)

New Storage Facility for  
**GARAGES TOO LLC**  
 Highway 55 - Corcoran, Minn

REVISIONS		
#	Description	Date
1	CITY REVIEW UPDATES	7-2-2021

**SITE DEVELOPMENT CONCEPT (37 UNITS)**

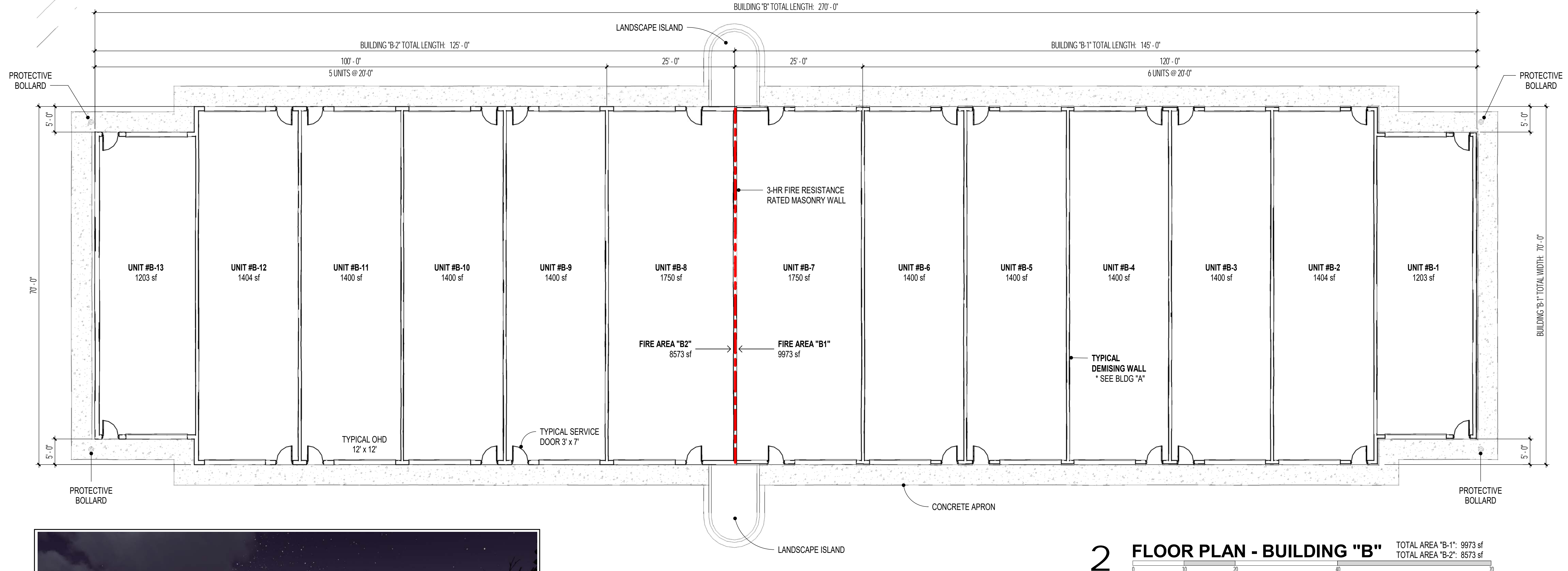
Project Number: 20-004  
 Date: APR 20, 2021  
 Drawn By: SDK  
 Checked By:  
**SITE PLAN REVIEW PR-1**  
 Scale: As indicated





THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED FOR BIDDING PURPOSES ONLY. FINAL DESIGN & DOCUMENTATION OF THIS PORTION OF THE PROJECT WILL BE COMPLETED VIA THE DESIGN/BUILD APPROACH BY LICENSED DESIGN PROFESSIONALS REGISTERED IN THE STATE OF MINNESOTA.

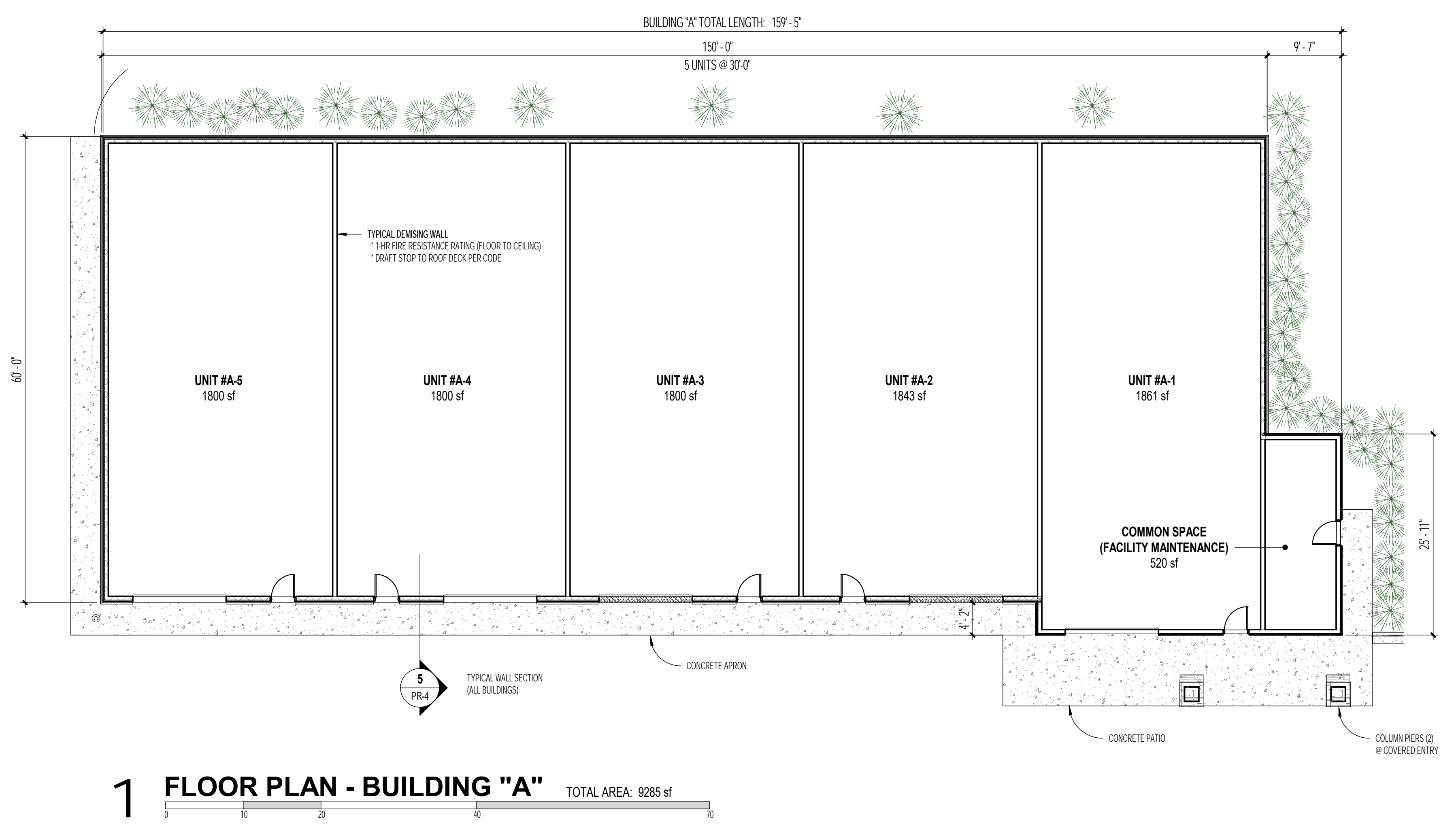
New Storage Facility for  
**GARAGES TOO LLC**  
Highway 55 - Corcoran, Min



ENTRY VIEW (evening)



ENTRY VIEW (daylight)



REVISIONS		
#	Description	Date
1	CITY REVIEW UPDATES	7-2-2021

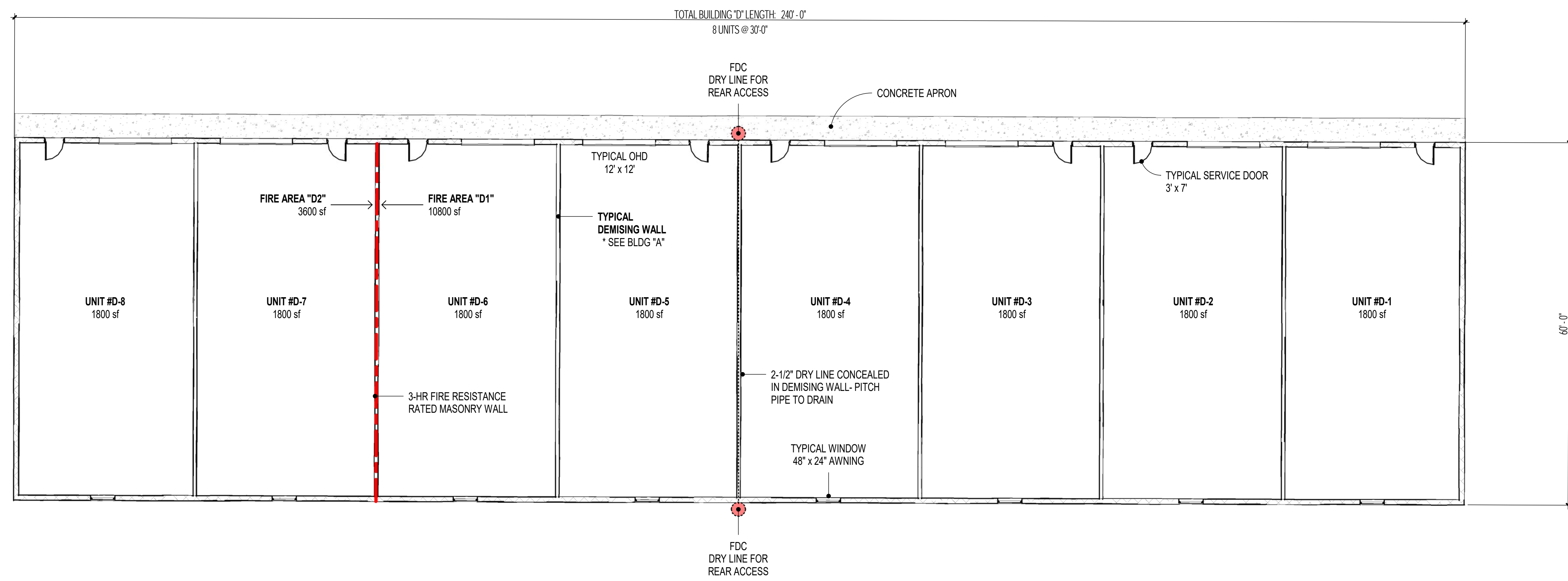
FLOOR PLANS BUILDINGS "A" & "B"	
Project Number:	20-004
Date:	APR 20, 2021
Drawn By:	SDK
Checked By:	
SITE PLAN REVIEW	
<b>PR-2</b>	
Scale:	As indicated



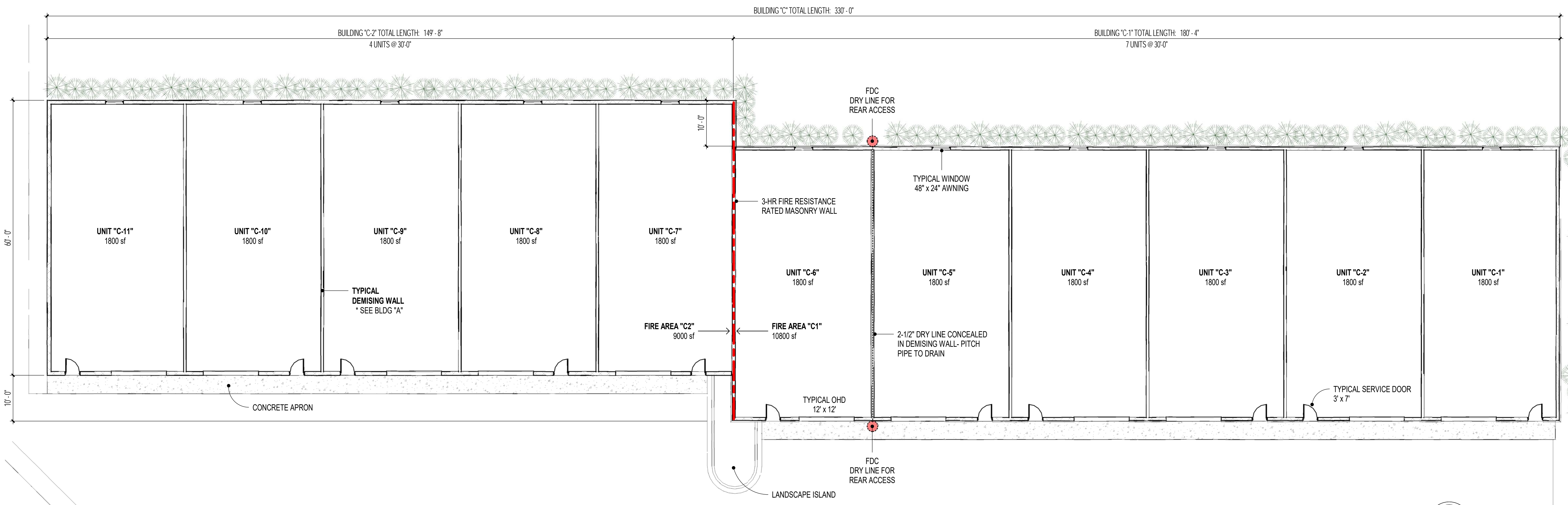
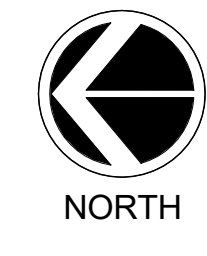


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New Storage Facility for  
**GARAGES TOO LLC**  
Highway 55 - Corcoran, Minn



**2 FLOOR PLAN - BUILDING "D"** TOTAL "D": 14,400 sf



**1 FLOOR PLAN - BUILDING "C"** TOTAL AREA "C-1": 12,600 sf  
TOTAL AREA "C-2": 7,200 sf



REVISIONS		
#	Description	Date
1	CITY REVIEW UPDATES	7-3-2021

**FLOOR PLANS  
BUILDINGS "C" & "D"**

Project Number: 20-004  
Date: APR 20, 2021  
Drawn By: SDK  
Checked By:

**SITE PLAN REVIEW  
PR-3**

Scale: 3/32" = 1'-0"



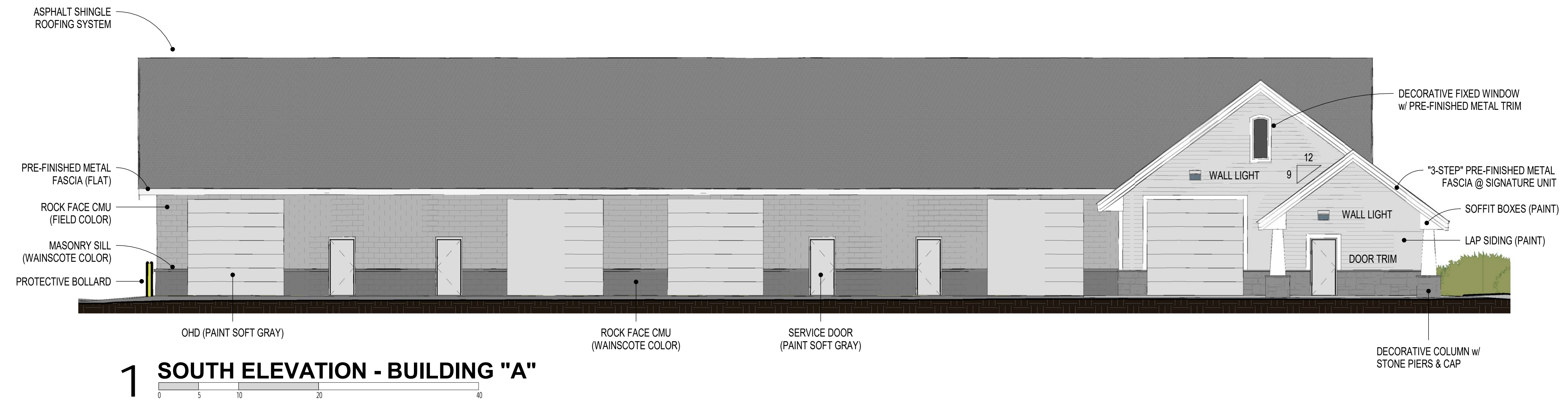
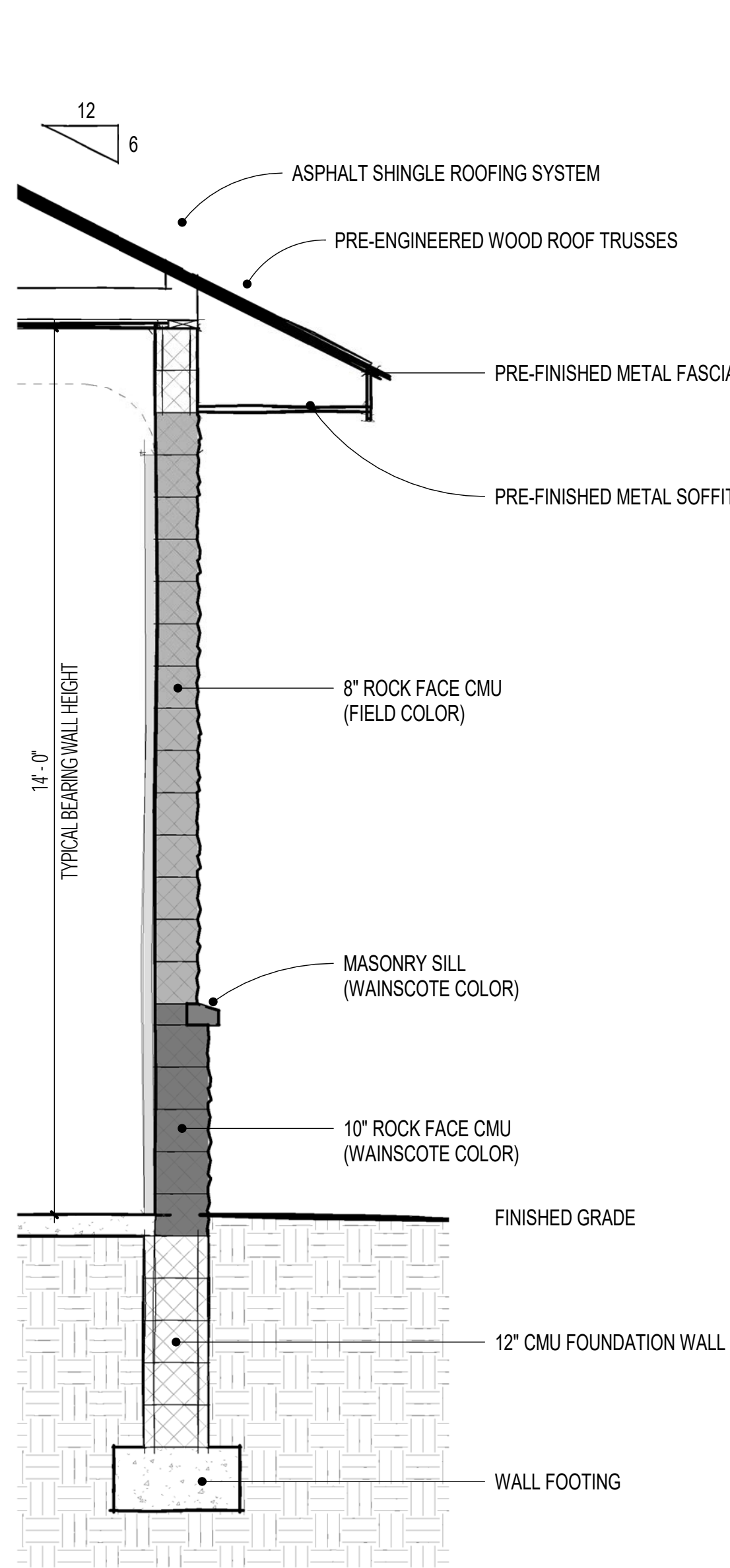
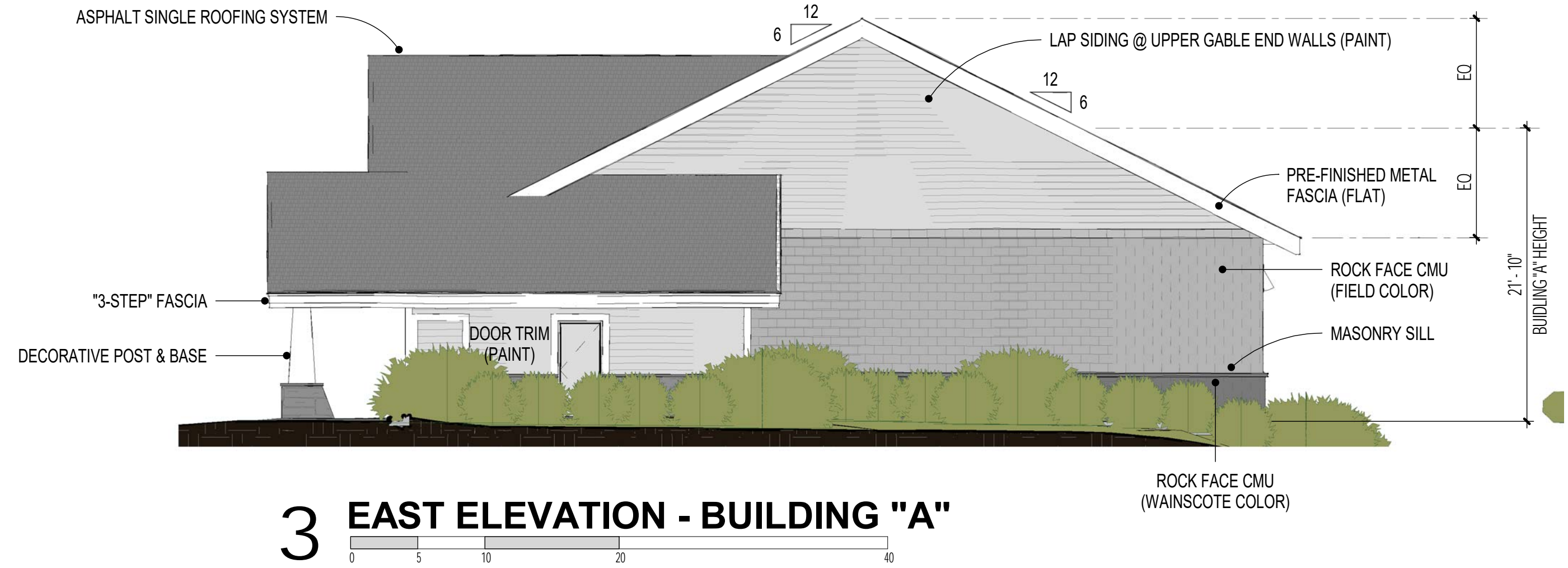
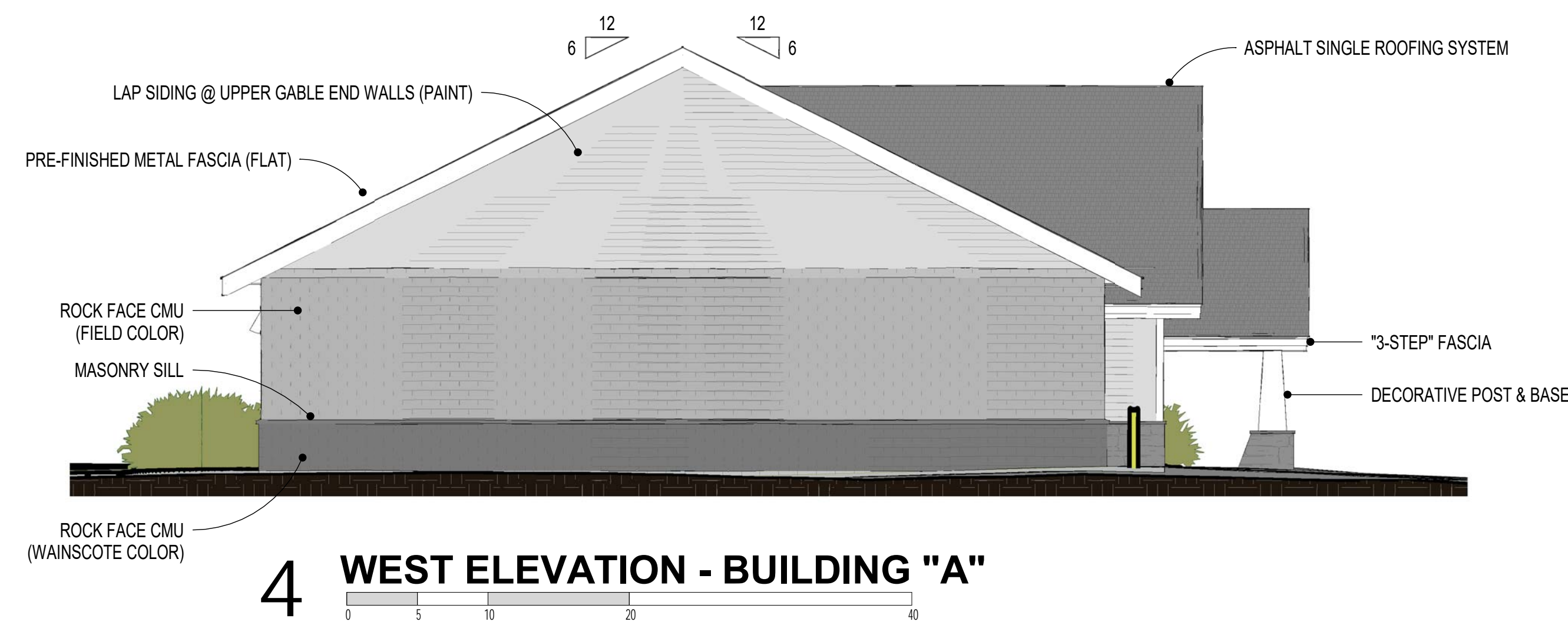
THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED FOR BIDDING PURPOSES ONLY. FINAL DESIGN & DOCUMENTATION OF THIS PORTION OF THE PROJECT WILL BE COMPLETED VIA THE DESIGN/BUILD APPROACH BY LICENSED DESIGN PROFESSIONALS REGISTERED IN THE STATE OF MINNESOTA.

New Storage Facility for  
**GARAGES TOO LLC**  
Highway 55 - Corcoran, Minn

REVISIONS		
#	Description	Date
1	CITY REVIEW UPDATES	7-2-2021

**EXTERIOR ELEVATIONS (BUILDING "A")**

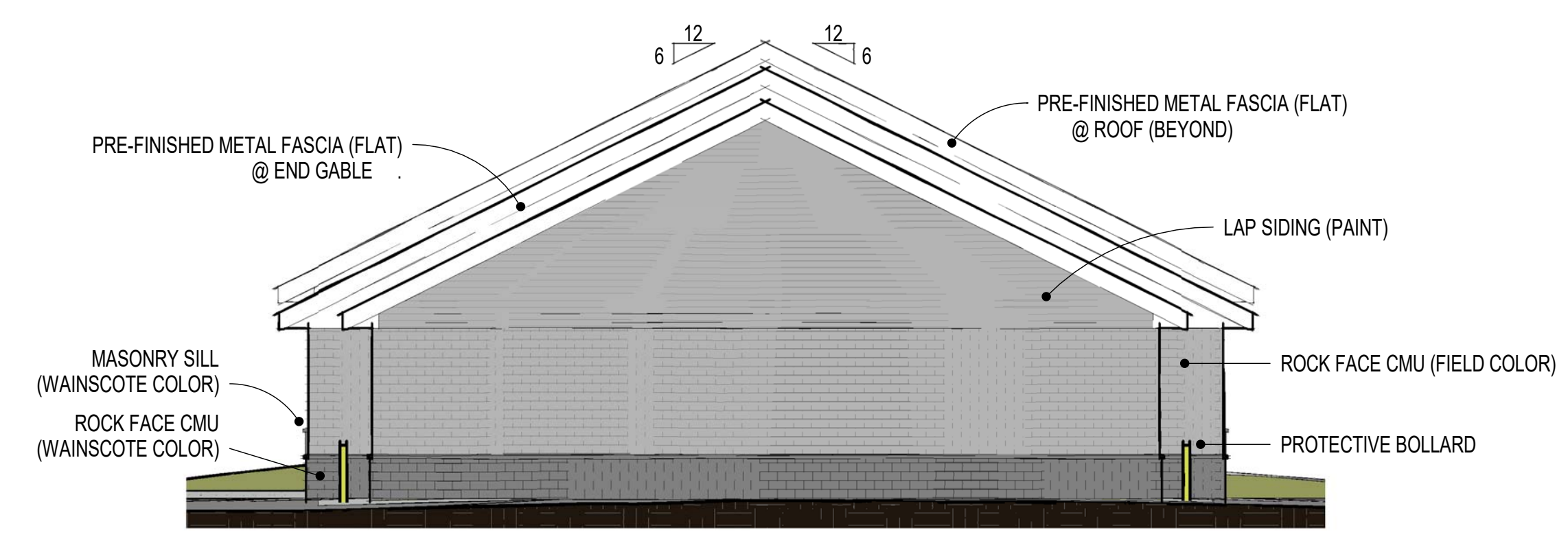
Project Number: 20-004  
Date: APR 20, 2021  
Drawn By: SDK  
Checked By:   
SITE PLAN REVIEW  
**PR-4**  
Scale: As indicated



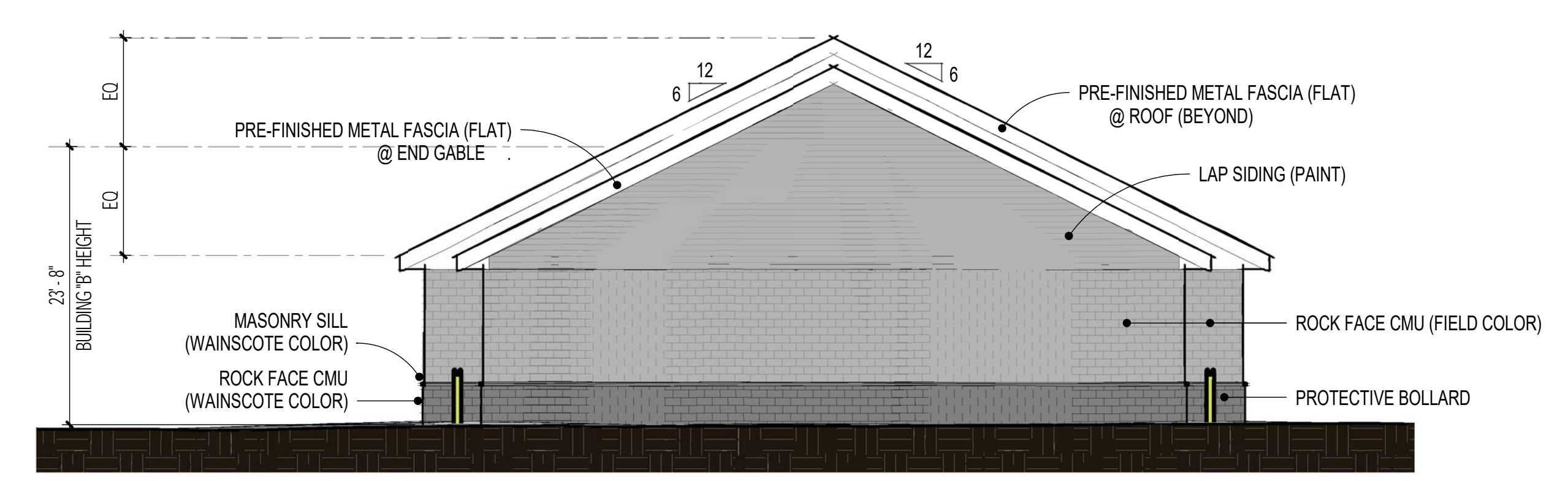


THIS DRAWING, SPECIFICATION OR REPORT WAS PREPARED FOR BIDDING PURPOSES ONLY. FINAL DESIGN & DOCUMENTATION OF THIS PORTION OF THE PROJECT WILL BE COMPLETED VIA THE DESIGN/BUILD APPROACH BY LICENSED DESIGN PROFESSIONALS REGISTERED IN THE STATE OF MINNESOTA.

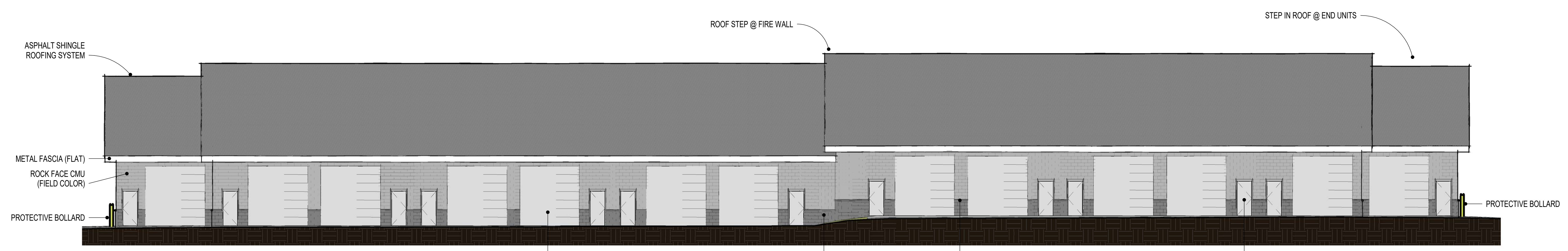
New Storage Facility for  
**GARAGES TOO LLC**  
Highway 55 - Corcoran, Minn



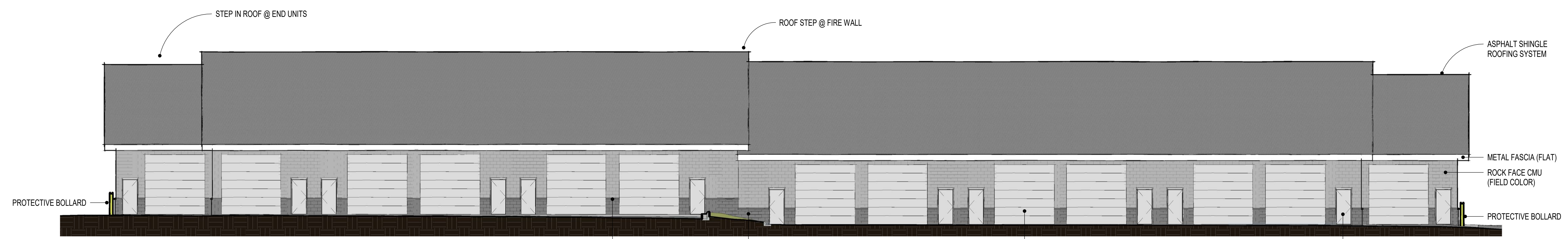
**4 WEST ELEVATION - BUILDING "B"**



**3 EAST ELEVATION - BUILDING "B"**



**2 NORTH ELEVATION - BUILDING "B"**



**1 SOUTH ELEVATION - BUILDING "B"**

REVISIONS		
#	Description	Date
1	CITY REVIEW UPDATES	7-2-2021

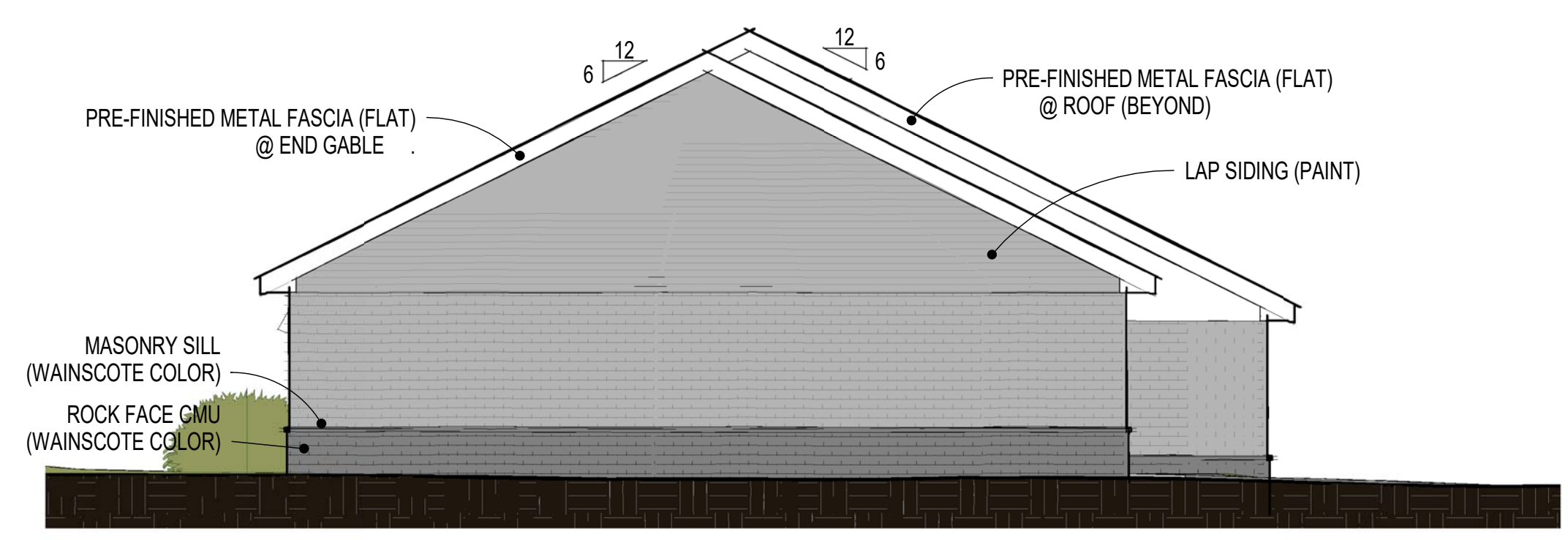
**EXTERIOR ELEVATIONS (BUILDING "B")**

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Date: APR 20, 2021  
Drawn By: SDK  
Checked By: \_\_\_\_\_

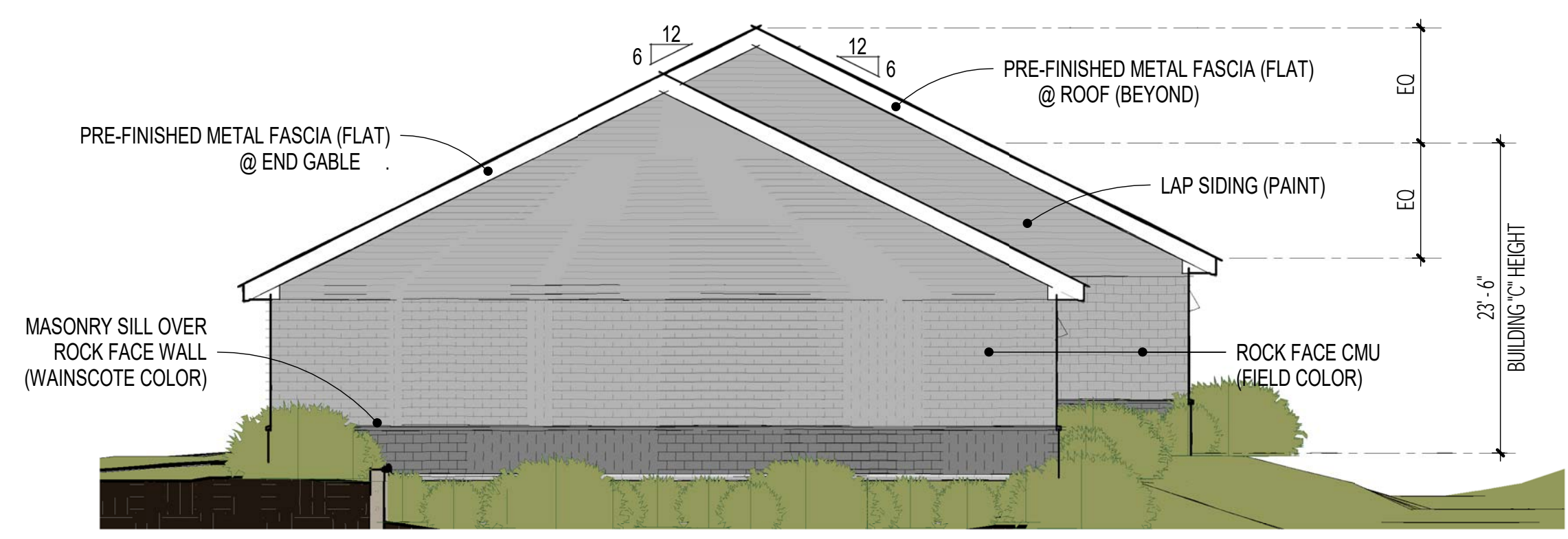
**SITE PLAN REVIEW**  
**PR-5**

Scale: 1" = 10'-0"

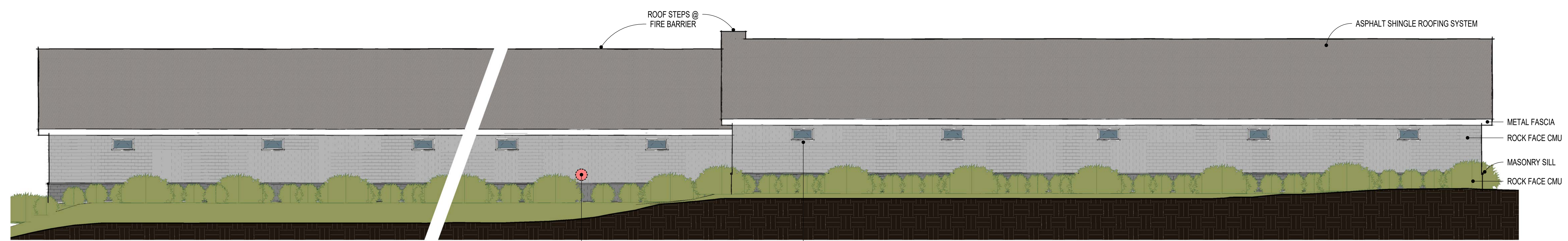




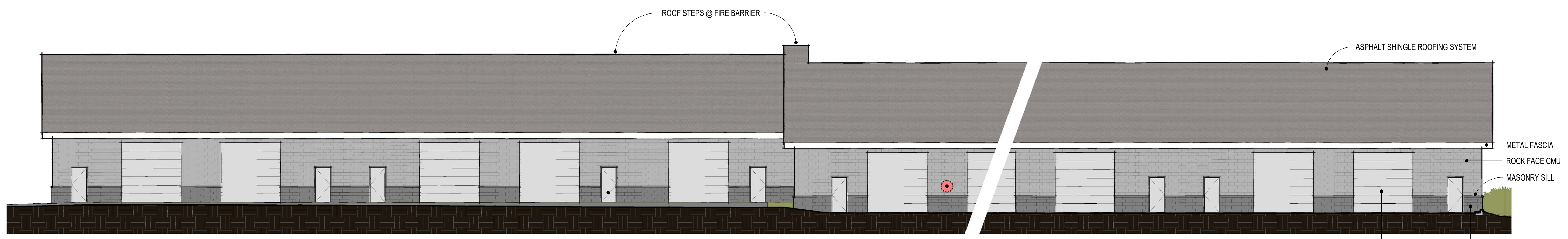
**4 WEST ELEVATION - BUILDING "C"**



**3 EAST ELEVATION - BUILDING "C"**



**2 NORTH ELEVATION - BUILDING "C"**



**1 SOUTH ELEVATION - BUILDING "C"**

REVISIONS		
#	Description	Date
1	CITY REVIEW UPDATES	7-2-2021

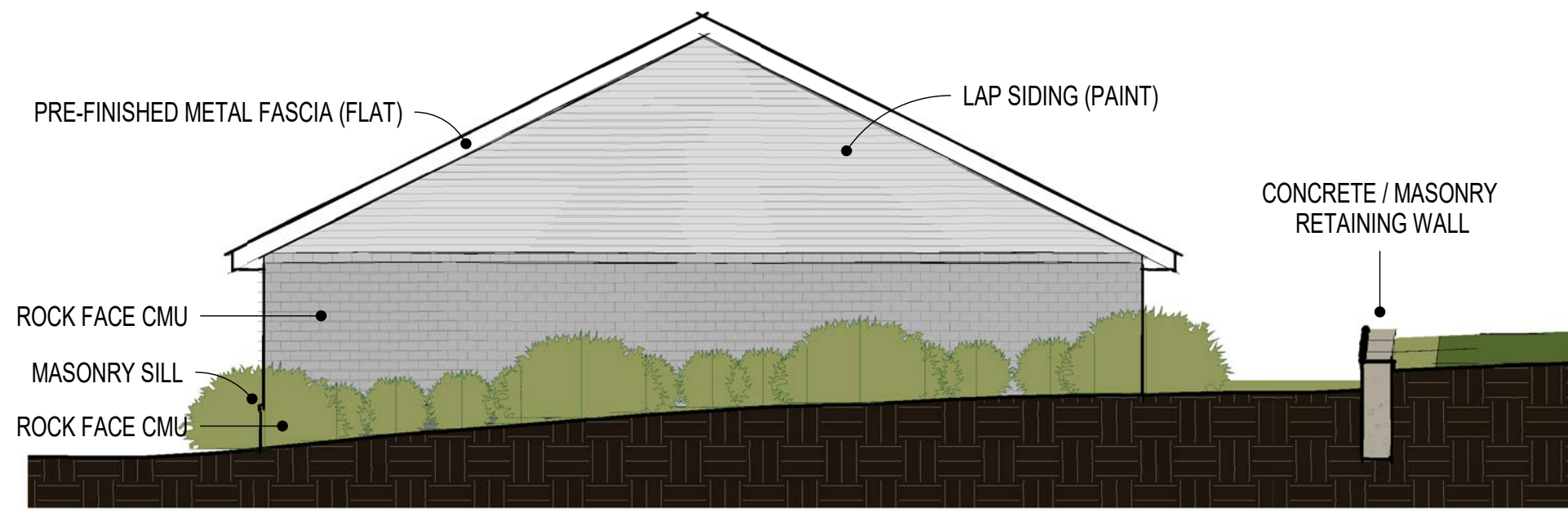
**EXTERIOR ELEVATIONS (BUILDING "C")**

Project Number: 20-004  
 Date: APR 20, 2021  
 Drawn By: SDK  
 Checked By: \_\_\_\_\_

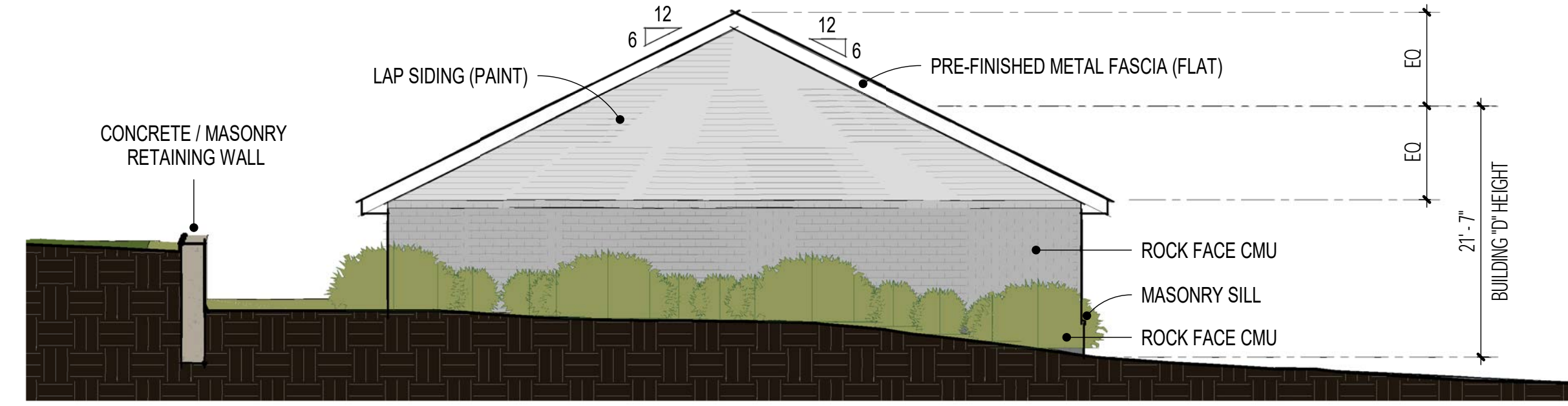
**SITE PLAN REVIEW**  
**PR-6**

Scale: 1" = 10'-0"

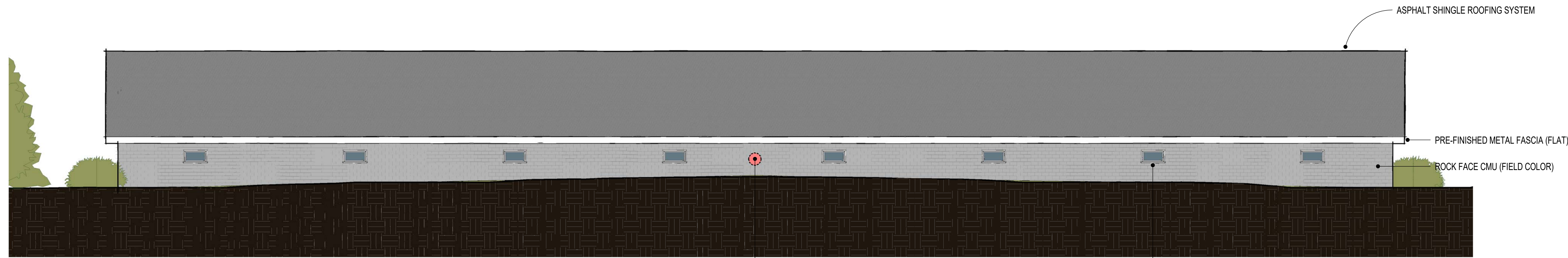




**4 WEST ELEVATION - BUILDING "D"**



**3 EAST ELEVATION - BUILDING "D"**



**2 NORTH ELEVATION - BUILDING "D"**



**1 SOUTH ELEVATION - BUILDING "D"**

**REVISIONS**

#	Description	Date
1	CITY REVIEW UPDATES	7-2-2021

**EXTERIOR ELEVATIONS (BUILDING "D")**

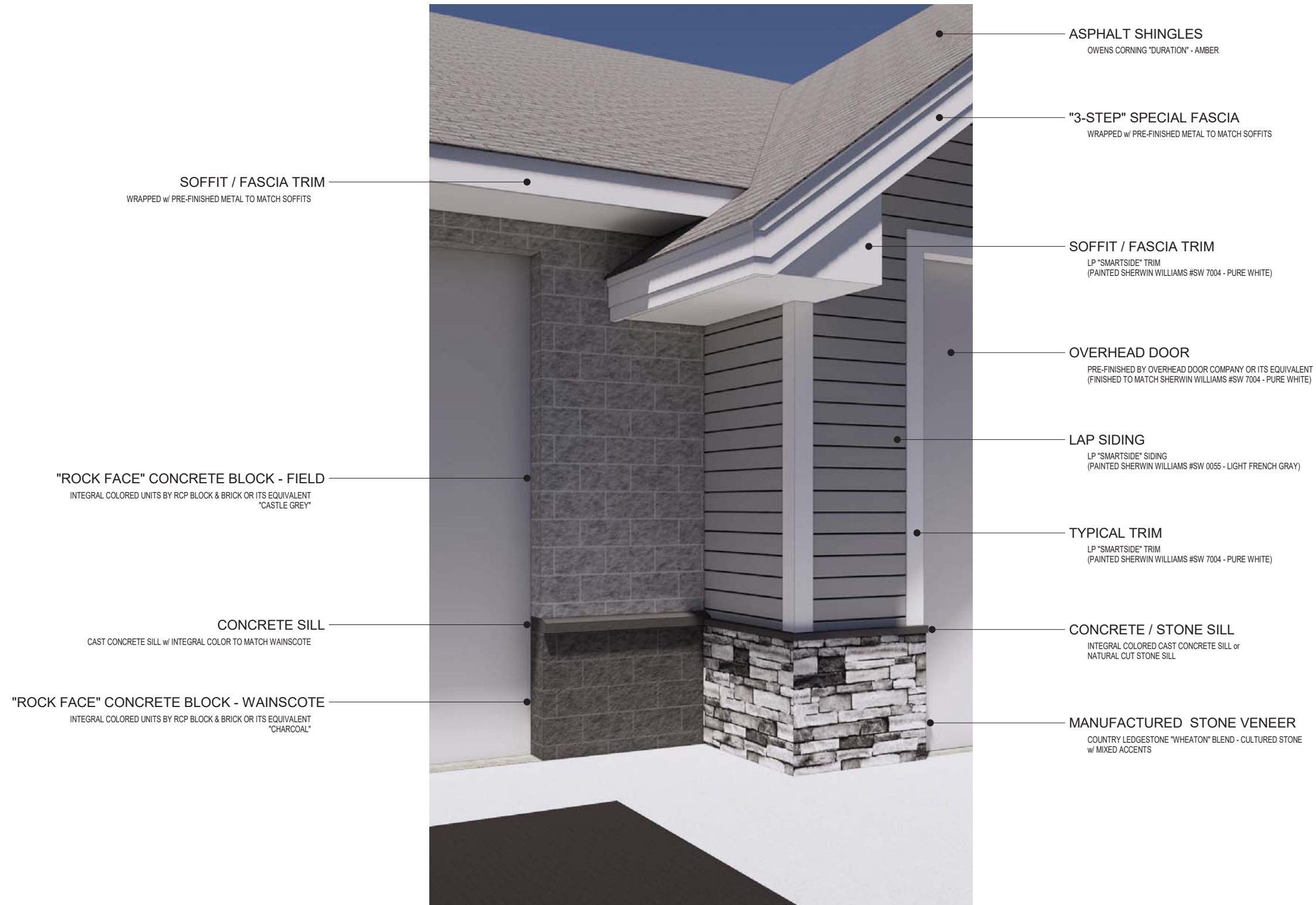
Project Number: 20-004  
 Date: APR 20, 2021  
 Drawn By: SDK

Checked By:

**SITE PLAN REVIEW**  
**PR-7**

Scale: 3/32" = 1'-0"





# MATERIALS DISPLAY BOARD

NEW STORAGE FACILITY-GARAGES TOO, LLC

## DESCRIPTION

The Streetworks Wal-Pak Series of wall luminaires provides traditional architectural style with high performance energy efficient illumination. Rugged die-cast aluminum construction, stainless steel hardware along with a sealed and gasketed optical compartment make the Wal-Pak virtually impenetrable to contaminants. IP66 Rated. UL and cUL wet location listed. The Wal-Pak wall luminaire is ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways and loading docks.

Catalog #	WKP6BLEDEDFC-7040	Type	
Project	Garages Too LLC	Date	
Comments	Full light cutoff		
Prepared by	SDK Architects LLC		7-2-2021

## SPECIFICATION FEATURES

### Housing

Rugged one-piece die-cast aluminum housing and hinged, removable die-cast aluminum door. One-piece silicone gasket seals the optical chamber. UL 1598 wet location listed and IP66 ingress protection rated. Not recommended for car wash applications.

### Electrical

LED driver and related electrical components are hard mounted to the die-cast housing for optimal heat sinking and operating efficiency. Wiring is extended through a silicone gasket at the back of the housing. Three 1/2" threaded conduit entry points allow for thru-branch wiring. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from LED source. Integral LED electronic driver incorporates internal fusing designed to

withstand a 6kV surge test and is Class 2 rated for 120-277V with an operating temperature of -40° to 55°C. Wal-Pak LED systems maintain greater than 93% of the initial light output after 72,000 hours of operation.

### Optical

Highly reflective anodized aluminum reflectors provide high efficiency illumination. Optical assemblies include impact resistant borosilicate refractive glass, and full cutoff IESNA compliant configurations. Patented, solid state LED luminaires are thermally optimized with three lumen packages.

### Door Assembly

Single point, captive stainless steel hardware secures the removable hinged door allowing for ease of installation and maintenance. Door assembly is hinged at the bottom for easy removal and installation.

### Finish

Finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors.

### Efficiency Standards Notice

Select luminaires are manufactured to USA and California efficiency regulations.



## WKP WAL-PAK

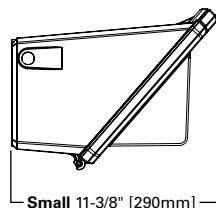
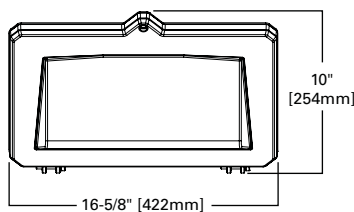
27, 32 and 46W

LED

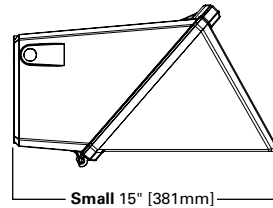
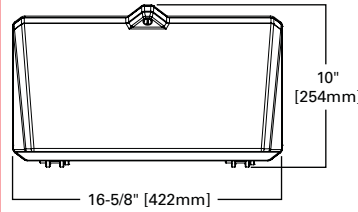
WALL MOUNT LUMINAIRE

## DIMENSIONS

### BOROSILICATE GLASS DOOR



### FULL CUTOFF DOOR



### CERTIFICATION DATA

UL and cUL Wet Location Listed  
IP66 Rated  
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum  
Title 20 Compliant  
LM79 / LM80 Compliant

### ENERGY DATA

120-277V 50/60Hz

### SHIPPING DATA

Approximate Net Weight:  
32-42 lbs. (15-19 kgs.)



**POWER AND LUMENS**

Catalog Number	Lumens	Power Consumption (Watts)	B.U.G. Rating	Correlated Color Temperature CCT (Kelvin)	Color Rendering Index (CRI)
<b>Borosilicate Glass Door (GL)</b>					
WKP3BLEDEDGL-7040	3,270	27W	B1-U3-G1	4000K	73
WKP4BLEDEDGL-7040	4,160	32W	B1-U3-G2	4000K	73
WKP6BLEDEDGL-7040	5,828	46W	B1-U4-G4	4000K	73
WKP3BLEDEDGL	3,333	27W	B1-U3-G1	5000K	72
WKP4BLEDEDGL	4,199	32W	B1-U3-G3	5000K	73
WKP6BLEDEDGL	5,883	46W	B1-U4-G4	5000K	73
<b>Full Cutoff Door (FC)</b>					
WKP3BLEDEDFC-7040	1,884	27W	B1-U0-G1	4000K	72
WKP4BLEDEDFC-7040	2,239	32W	B1-U0-G1	4000K	73
WKP6BLEDEDFC-7040	3,137	47W	B1-U0-G1	4000K	73
WKP3BLEDEDFC	1,912	27W	B1-U0-G1	5000K	72
WKP4BLEDEDFC	2,279	32W	B1-U0-G1	5000K	73
WKP6BLEDEDFC	3,192	46W	B1-U0-G1	5000K	73

**CURRENT DRAW**

Light Engine	3B	4B	6B
Nominal Power (Watts)	27W	32W	46W
Input Current @ 120V (A)	0.24	0.28	0.40
Input Current @ 208V (A)	0.14	0.18	0.23
Input Current @ 240V (A)	0.13	0.15	0.20
Input Current @ 277V (A)	0.11	0.13	0.18
Input Current @ 347V (A)	0.09	0.11	0.15
Input Current @ 480V (A)	0.10	0.12	0.14

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)*	Theoretical L70 (Hours)
25°C>	93%	>340,000
40°C>	92%	>316,000

\*Per TM-21 data.

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
10°C	1.07
15°C	1.04
25°C1	1.00
40°C0	0.94

**ORDERING INFORMATION**

Sample Number: WKP3BLEDEUGL

Product Family	Lamp Wattage <sup>1</sup>	Lamp Type	Driver Type	Voltage <sup>2</sup>	Door/Lens Type	Color
WKP=Wal-Pak	LED 3B=(3 Package), 27W 4B=(4 Package), 32W 6B=(6 Package), 46W	LED=Solid State Light Emitting Diodes	E=Electronic LED Dimming (0-10V) Driver	9=347V <sup>3</sup> 8=480V <sup>3</sup> U=Universal (120-277V)	GL=Borosilicate Glass Door FC=Full Cutoff Door	AP=Grey BZ=Bronze BK=Black WH=White
Options (Add as Suffix)				Accessories (Order Separately)		
7030=70 CRI / 3000K CCT 7040=70 CRI / 4000K CCT 5=Non NEMA Photocontrol (Must Specify Voltage) B=Two-Position Terminal Block				WG/WPGL=Wire Guard Borosilicate Glass Lens Door WG/WPFC=Wire Guard Full Cutoff Door TR/WP=Tamper-resistant Screw and Bit VS/WPGL=Polycarbonate Vandal Shield for Borosilicate Glass Lens Door		

**NOTES:**

- LED packages based on 70 CRI / 5000K package at 25°C ambient.
- 105°C Rated wire required for thru-branch wiring. Thru-branch wiring is rated for 40°C. Higher wattage thru-branch wiring is rated for use in 25°C ambient operating environments.
- Not available with thru-branch wiring. LED will be supported with integral step down transformer.

<b>Project</b>	Garages Too LLC Corcoran, MN	<b>Catalog #</b>	see below	<b>Type</b>	
<b>Prepared by</b>	SDK Architects LLC	<b>Notes</b>		<b>Date</b>	7-2-2021



# HALO Commercial

## HC8 | HM8 | 81

8-inch downlight and wall wash

### Typical Applications

Office • Education • Healthcare • Hospitality

### Interactive Menu

- Order Information page 2
- Product Specifications page 3
- Photometric Data page 4
- Energy & Performance Data page 6
- Connected Systems page 7
- Product Warranty

### Product Certification



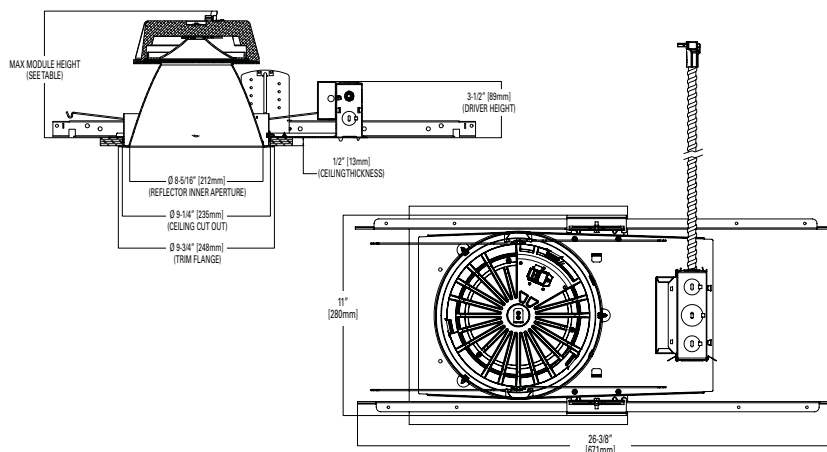
### Product Features



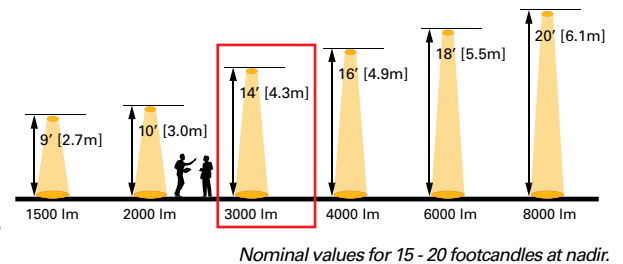
### Top Product Features

- Lumen output in 1500, 2000, 3000, 4000, 6000, 8000 lm
- Color temperature in 2700K, 3000K, 3500K, 4000K CCT
- CRI in 80 CRI or 90 CRI
- Reflector distributions in Narrow, Medium, Wide, and Wall Wash with rotatable linear spread lens
- Reflector finishes in Specular clear, semi-specular (haze), matte white, black baffle, and white baffle finishes

### Dimensional and Mounting Details



### Scale



additional product diagrams

Aug. 3, 2021

To: City of Corcoran Planning Commission,

We are property owners at 6312 Horseshoe Bend Dr. N. Corcoran.

We are apposed to the Rezoning, Preliminary Plat, Variance, Conditional Use Permit, and Site Plan (city file 21-016).

This is a residential neighborhood and want it to stay that way.

Our home is our lifetime investment, we have lived here for 37 years. We do not want home values effected by the rezoning ect. for commercial use. Storage of business equipment is a Very Vague discription of what will be put across the street that we will have to look at. What about noise from trucks + equipment = Maintenance on this equipment, loud air driven wrenches ect., grinders, saws.

We live here this is our Home, this is a peaceful neighborhood with horse pastures and respectful residences.

Thank you,

Clarice Dubay + Philip Dubay

**From:** [Lisa Wyffels](#)  
**To:** [Brad Martens](#)  
**Subject:** Garages Too  
**Date:** Thursday, August 5, 2021 9:35:50 AM

---

Hi Brad,

I apologize for the late input but I am not sure I will be able to log into the planning meeting tonight so I wanted to give a little input for the Garages Too project. If you could pass this along to the commissioners that would be great.

I am concerned about the additional traffic this will add so close to the Rolling Hills Road entrance and the potential safety hazards it will add to driving the portion of hwy 55. It has become increasingly difficult to turn out onto 55 and it will continue to get worse as more people move out that direction. I have seen so many unsafe things happen because people get sick of waiting or they simply don't see certain vehicles coming. Also, I presume a good portion of vehicles entering and exiting will be towing trailers of some kind. Having these vehicles turn into there will cause even more backups and accidents without the addition of turn lanes. It is not uncommon for traffic to be backed up all the way from 19 to Rolling Hills or even farther past that during higher traffic times. Again, unsafe things happen when vehicles try to turn during those backups. Increased traffic will aggravate that even more.

Having this land rezoned feels premature given the unknowns of that area. Correct me if I am wrong but there isn't a specific timeline for adding in that frontage road. We also don't know when they will decide to widen 55 in which case they plan to make Rolling Hills a right in and right out only. This will force anyone needing to go east on 55 to take Horseshoe Trail to Willow. Does the city plan to pave Horseshoe Trail at that time?

Thank you,  
Lisa Wyffels

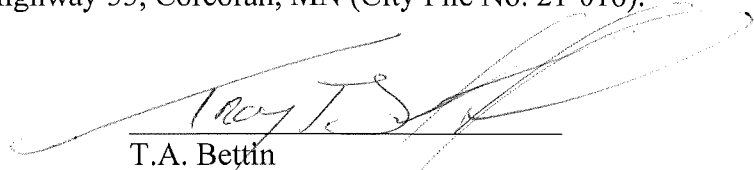


T.A. Bettin  
S.M. Bettin  
6321 Horseshoe Bend Drive  
Corcoran, MN 55340

To: The City of Corcoran

The undersigned hereby confirm that they support the application of Garages Too, LLC to develop the property located at 22400 State Highway 55, Corcoran, MN (City File No. 21-016).

Dated: 7-30-21



T.A. Bettin  
6321 Horseshoe Bend Drive  
Corcoran, MN 55340

Dated: 7-30-2021



S.M. Bettin  
6321 Horseshoe Bend Drive  
Corcoran, MN 55340

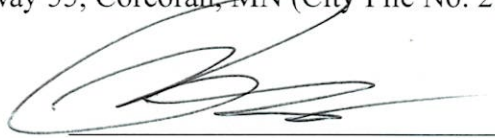
**RECEIVED**  
AUG 02 2021  
BY: \_\_\_\_\_

B. Elsen  
Mercedes Elsen  
6315 Horseshoe Bend Drive  
Corcoran, MN 55340

To: The City of Corcoran

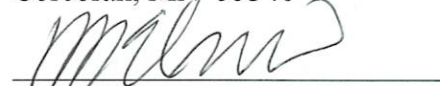
The undersigned hereby confirm that they support the application of Garages Too, LLC to develop the property located at 22400 State Highway 55, Corcoran, MN (City File No. 21-016).

Dated: 07/27/2021



B. Elsen  
6315 Horseshoe Bend Drive  
Corcoran, MN 55340

Dated: 07/21/2021



Mercedes Elsen  
6315 Horseshoe Bend Drive  
Corcoran, MN 55340

## Kendra Lindahl, AICP

---

**Subject:** FW: Letter of Support-Garages Too

---

**From:** Jon Rausch/USA <Jon.Rausch@cushwake.com>

**Sent:** Tuesday, August 3, 2021 10:18 AM

**To:** Kendra Lindahl, AICP <KLindahl@landform.net>; Natalie Davis <ndavis@corcoranmn.gov>; Brad Martens (bmartens@ci.corcoran.mn.us) <bmartens@ci.corcoran.mn.us>; Kenton Torve (ktorve@wenck.com) <ktorve@wenck.com>

**Subject:** Letter of Support-Garages Too

[Kendra/Brad/Natalie/Kent:](#)

[Please share with the city council regarding my support of the Garages Too project.](#)

[I am the owner of the 55 acre property immediately west of Mr. Sherber's project. I want to express my support for this development. I expressly like the fact that the city is willing to allow his project on well and septic. Additionally, I like the flexibility the council is having over building materials. I think this project will ignite some development.](#)

[We hope to bring a project forward in the near future that will feed off of his and increase the tax base within the city of Corcoran.](#)

[Thank you ,](#)

[JR](#)

**Jon Rausch**

Executive Director

Brokerage Services

[www.landmnwi.com](http://www.landmnwi.com)

Mobile: +1 612 685 8288

[jon.rausch@cushwake.com](mailto:jon.rausch@cushwake.com)

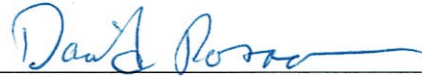
Please see our website to view our privacy notice / statement.

D. Rosaaen  
L. Rosaaen  
6325 Horseshoe Bend Drive  
Corcoran, MN 55340

To: The City of Corcoran

The undersigned hereby confirm that they support the application of Garages Too, LLC to develop the property located at 22400 State Highway 55, Corcoran, MN (City File No. 21-016).

Dated: 7/22/21



D. Rosaaen  
6325 Horseshoe Bend Drive  
Corcoran, MN 55340

Dated: 7-22-2021



L. Rosaaen  
6325 Horseshoe Bend Drive  
Corcoran, MN 55340



To: City of Corcoran City Council, Planning  
Commission and all others,

We are property owners at: 6415 HORSESHOE BEND DR,  
We are Apposed to the Rezoning, Preliminary Plat,  
Variance, Conditional Use Permit, and Site Plan  
(City File 21-016) on the property's 22400 State  
Hwy 55 + 6315 Horseshoe Bend Dr.

This is a established Residential Family  
neighborhood. No rezoning-even when frontage  
road and sewer/water is installed in the  
future along Hwy 55,

Thank you!

STEPH MILES

date: 8-19-2021

05 Nov 14 2:00 PM 411

for Aug. 26<sup>th</sup> meeting

page 1 of 2

To: Corcoran City Council, Planning  
Commission and all others,

8-19-21

\* / 1st I am totally against this whole thing  
of Rezoning and building of this Garages  
Too (city file 21-016)

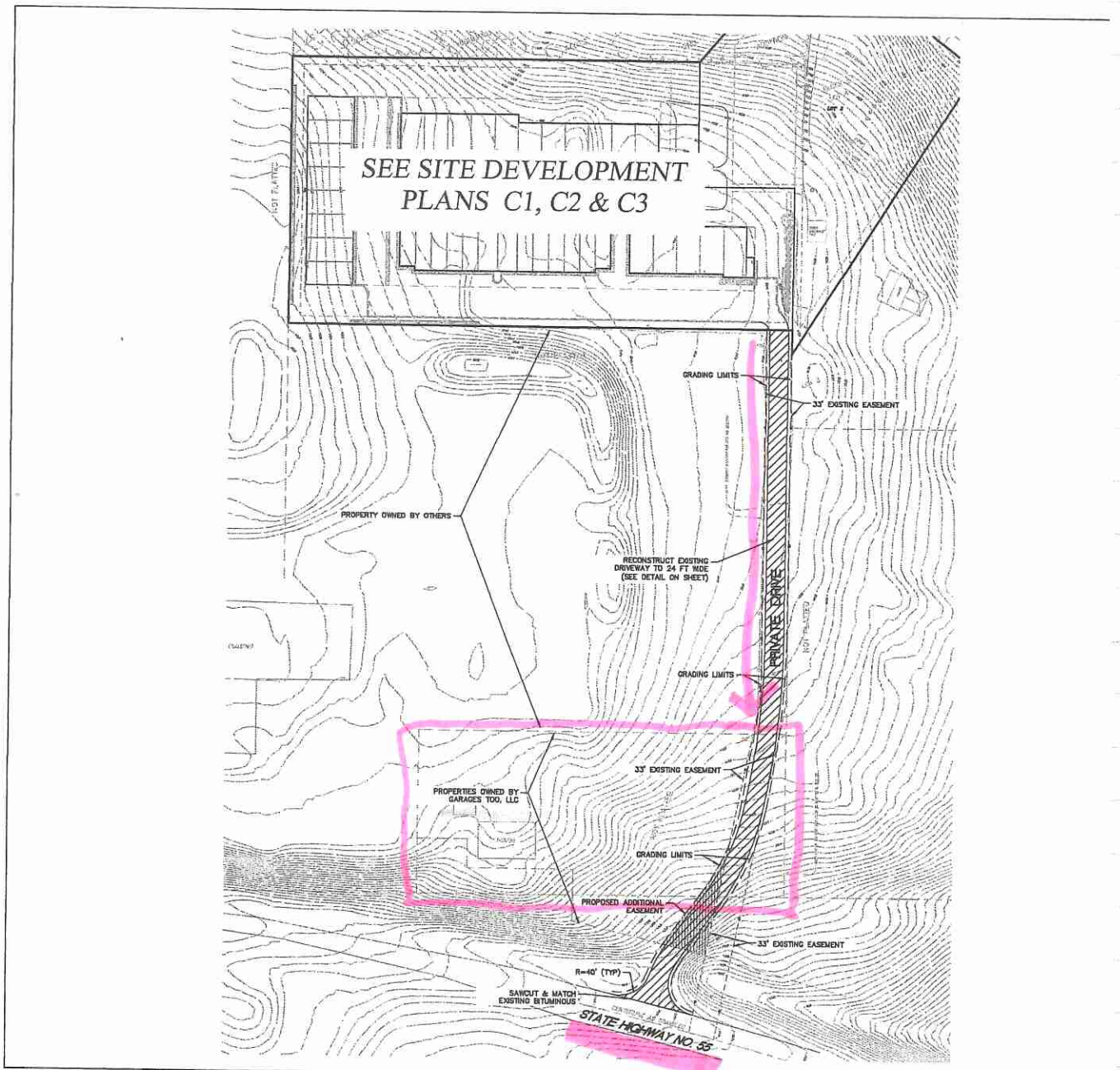
~~\*\*~~ 2nd

After having a little time - Take a good  
look at the drainage of the sight. Why is  
the water being diverted down the north side  
of the hill in holding ponds towards homes?  
When we have hard rains the runoff from  
the top of the hill comes down each side of  
Horseshoe Bend flooding/pooling in our front yard  
and a river/lake through our back yard ending  
up in Gunderson's pond filling it. The other  
side of Horseshoe Bend water has washed out  
6315 driveway 3 times in the past, also goes  
over HB into our front yard, close to our house  
this all ends up down at Gundersons also. Flood  
water filling front-side yard + pond over  
flowing and running east Over Rolling Hills Rd.  
more than once. Plus water comes down  
the ditch heading south on Rolling H.R. The  
pond overflows - pooling even up to the back  
of his house (See picture on back) →  
The drainage should go down the South  
side along the driveway to holding ponds  
put on the land they own on Hwy 55 →



Thank you,  
Clarice Dubay  
6312 Horseshoe Bend

Then when holding ponds overflow which they will - it can flow east down the huge ditch then under Hwy 55 to Peter Lake (Note: a real Lake not homes!)





105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
www.landform.net

**TO:** Corcoran City Council  
**FROM:** Kevin Shay through Kendra Lindahl, Landform  
**DATE:** August 19, 2021 for the August 26, 2021 City Council Meeting  
**RE:** Sketch Plan for 23185 County Road 10 (city file 21-033)  
**120-DAY REVIEW DEADLINE:** October 16, 2021

## 1. Description of Request

The applicant, Nate Kariniemi, is requesting an opportunity to appear before the City Council to solicit informal comments on a sketch plan for a proposed subdivision of 23185 County Road 10. The proposal includes subdividing the property into three commercial lots on the west side of the site and 10 rural residential lots on the east side of the site, with a large outlot dividing the east and west sides of the site.

## 2. Context

The site is an existing 124.5-acre lot with a single family residential structure on the northeast corner of the site. There are 13 development rights on the property.

### *Zoning and Land Use*

The site is guided Rural/Ag Residential in the Comprehensive Plan and is zoned RR (Rural Residential). A shoreland overlay district runs through the center of the property for Rush Creek.

### *Surrounding Properties*

The properties to the east, south and west are guided Rural/Ag Residential and zoned RR (Rural Residential). The properties to the north are guided Rural Service/Commercial and zoned CR (Rural Commercial). The public works facility is surrounded by this property on the western portion of the site.

### *Natural Characteristics of the Site*

Rush Creek runs through the center of the site. There are natural plant communities on the site identified as a high-quality maple/basswood area on the Natural Resource Inventory Areas Map in the Comprehensive Plan. Further, multiple wetlands are shown on Hennepin County's Natural Resources mapping software as shown on the Site Location map.





### 3. ANALYSIS:

#### *Sketch Plan*

The sketch plan process provides an opportunity for the applicant to get information from the City that can be incorporated into a formal development application. The next steps would be:

1. Application for Comprehensive Plan Amendment, Rezoning and Preliminary Plat
2. Application for Final Plat (and development contract)

The plans show a road connection to the site to the east. The formal plan application must include a ghost plat or concept plan for that portion of the site.

#### *Comprehensive Plan Amendment and Rezoning*

The proposed land use and zoning for the site will require a change on the western portion of the site from Rural/Ag Residential to Rural Service/Commercial for the land use and Rural Residential to Rural Commercial for the zoning. This is a policy change and the Council has a higher level of discretion when reviewing these types of applications. The proposed commercial land would abut commercial land on the north and the public works garage on the south. The change would allow additional commercial opportunities in the City.

- City Council should provide feedback on this request.

#### *Lot Standards*

The sketch plan appears to show compliance with the RR and CR standards, which require the following minimum standards:

	<b>RR (Rural Residential)</b>	<b>CR (Rural Commercial)</b>
Minimum Lot Area	2 acres	2.5 acres
Minimum Lot Width	200 feet	100 feet
Minimum Lot Depth	300 feet	200 feet
Minimum Principal Structure Setbacks:		
Front, From Major Roadways*	100 feet	100 feet
Front, From all other streets	50 feet	50 feet
Front Porch (≤ 120 square feet)	40 feet	n/a
Side	25 feet	20 feet
Rear	25 feet	20 feet
Adjacent to Residential	n/a	50 feet
Maximum Principal Building Height	35 feet	35 feet



	<b>RR (Rural Residential)</b>	<b>CR (Rural Commercial)</b>
Maximum Impervious Surface Coverage	n/a	50%

*\*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2030 Roadway Functional Classification map in the 2030 Comprehensive Plan.*

*\*\*Minimum separation between structures on adjacent parcels shall be 15 feet.*

The shoreland overlay district standards for setbacks, structure height and impervious surface apply to the area within 300 feet of the ordinary high-water level of Rush Creek. This appears to affect the rear of Lots 5-10 of the residential parcels. The applicant must comply with the shoreland requirements in Section 1050.020 of the Zoning Ordinance, which requires a buffer adjacent to the creek and additional limitations on building height within the overlay district.

*Development Rights*

The site has 13 development rights. The applicant’s proposal shows three assigned to the commercial lots (Lots C-1, C-2 and C-3) and 10 residential lots. The plan shows a 65.1-acre Outlot A with no development rights.

*Sidewalks and Trails*

The 2040 Comprehensive Plan has a proposed on-road trail shown along northern boundary of this property on County Road 10. Adequate right of way will need to be dedicated for this trail. A proposed off-road trail is shown along Rush Creek. If the park is not accepted and Outlot A is absorbed into the adjacent lots an easement for this trail should be acquired with the plat. City Council should discuss whether the trail should access directly from the County Road 10 on-road trail or provide an access between two of the residential properties, such as Lots 9 and 10 and whether a connection to the CR 19 trail should be planned.

*Parks*

The 2040 Comprehensive Plan identifies an open space community park search area on the southeastern portion of this property along with an athletic search area on the western part of the property. Recently, the athletic fields were added to the community park at the County Road 10 and 50 intersection. The Parks and Trails Commission has indicated that the community park satisfies athletic park needs for the foreseeable future, but the Council may wish to comment. If the Park is accepted, then Outlot A can remain in place. If the park is not accepted the City does not allow unbuildable outlots to remain unless it is part of an Open Space & Preservation plat.

*“All remnants of land which are below the minimum lot size or which are otherwise unbuildable must be added to adjacent lots and shall not be platted as an unusable outlot or parcel.”*

The lots surrounding Outlot A should be extended to incorporate the area shown as Outlot A into the adjacent lots.



### *Transportation/Access*

The applicant is proposing two accesses with one serving the residential lots and one serving the proposed commercial lots. The residential lots will be accessed from a public road extending from County Road 10. The commercial lots will be accessed from the new proposed roadway extending from County Road 19, which will also provide the public works facility with access.

### *Utilities*

The entire site is located outside the MUSA and will be served with well and septic.

### *Ponding*

Stormwater ponding can be provided on site in compliance with local and state requirements.

### *Floodplain*

The site has 100-year floodplain generally surrounding Rush Creek. The applicant will need to comply with the requirements of Section 1050.030 of the Zoning Ordinance

### *Wetlands*

There are a number of wetlands on site. The applicant must submit a wetland delineation for review and approval by the City as the LGU for the WCA. If wetland impacts are proposed additional applications for mitigation would be required.

The applicant must comply with the wetland buffer and setback requirements in Section 1050.010 of the Zoning Ordinance.

### *Summary*

The proposal appears to comply with or have the ability to comply with ordinance requirements.

## **4. RECOMMENDATION:**

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.



### **Attachments**

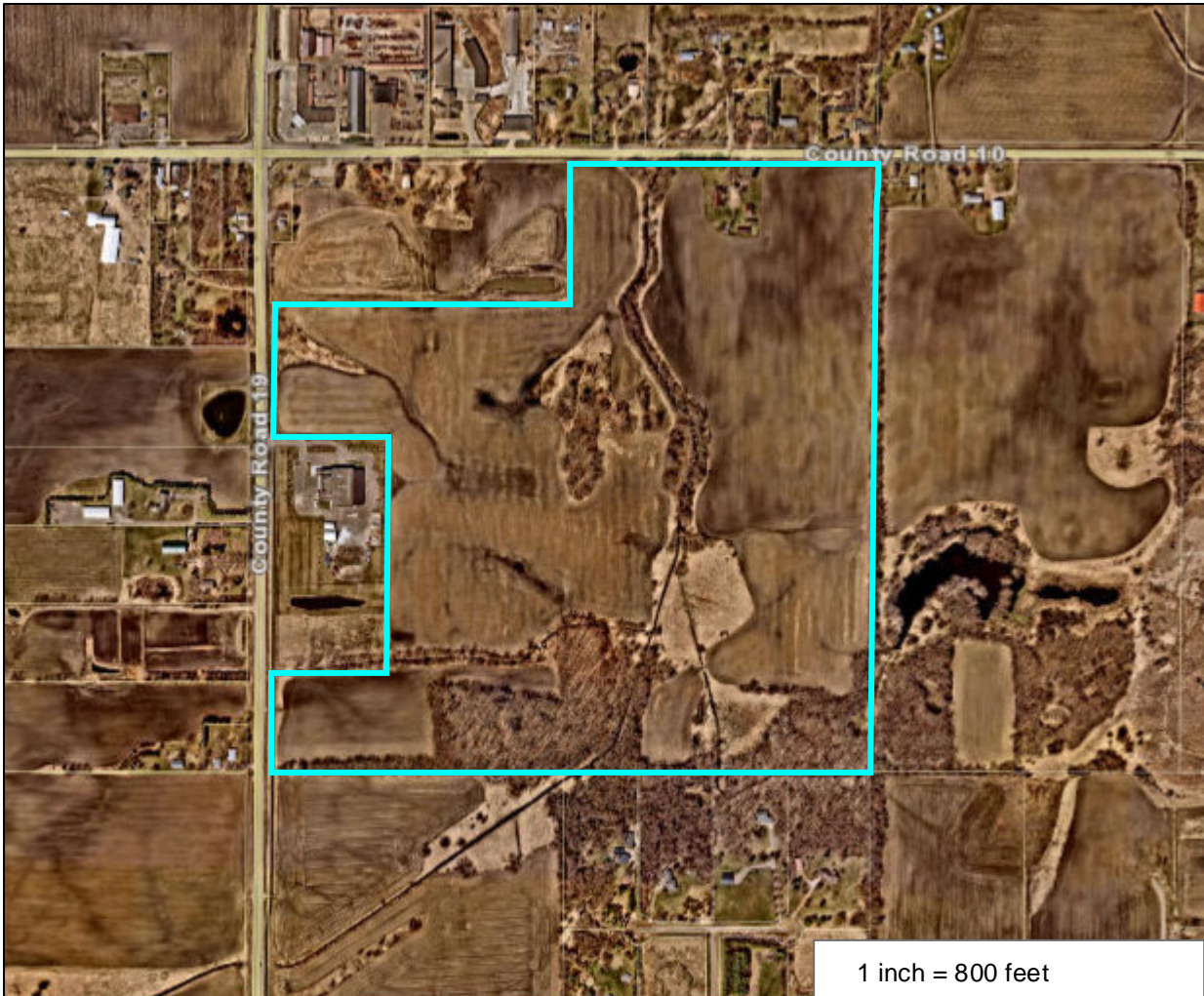
1. Site Location Map
2. City Engineer's Memo dated August 17, 2021
3. Applicant Narrative dated June 18, 2021
4. Sketch Plan dated June 18, 2021
5. Official Zoning Map
6. 2040 Future Land Use
7. Parks and Trails Plan
8. Natural Resource Inventory
9. Wetland Locations and Classifications





# Hennepin County Property Map

Date: 8/18/2021



PARCEL ID: 1811923110002

OWNER NAME: Willow 1 Llc

PARCEL ADDRESS: 23185 Co Rd No 10, Corcoran MN 55374

PARCEL AREA: 124.54 acres, 5,424,987 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Residential  
HOMESTEAD: Non-Homestead  
MARKET VALUE: \$940,400  
TAX TOTAL: \$10,867.94

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Residential  
HOMESTEAD: Non-homestead  
MARKET VALUE: \$1,235,600

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2021

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To: Kevin Mattson, City of Corcoran

From: Kent Torve, City Engineer

Project: Karineimi\_Roehlke Concept

Date: August 17, 2021

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**Exhibits:**

This Memorandum is based on a review of the following document:

1. Concept Plan on Outlot A, Roehlke Addition by Otto and Associates, 6-18-21
  - a. Project shows ten residential lots (CR 10), three commercial lots (CR 19) and a 65 acre Outlot A.

**Comments:**General:

1. Comments provided are high level comments based on the concept plan schematic provided. Additional comments should be anticipated on future submittals on the details of the development.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, public safety, and all other applicable codes and standards of the City of Corcoran, NPDES, WMO, Hennepin County, etc.
3. Adjacent site to northeast is historical site (Burschville School) and may receive additional attention and protection during construction.

Plat:

1. The applicant shall show all drainage and utility easements and all platting requirements met per the City Code. Drainage and utility easements shall be provided as standard per City requirements.
2. Easements should be provided over all infrastructure used for the conveyance and treatment of stormwater.
3. Easements should be provided over any/all public infrastructure as applicable.
4. All existing easement, if any, should be provided to the City for review. Vacation of existing easements requires a City process.
5. Project shows a ROW connection to the east between Lots 3 and 4, City may require paving the street stub.
  - a. ROW stub may need turnaround to meet City requirements.
6. Ghost plat parcel to east to ensure ROW is in proper location.
7. Access to Outlot A shall be provided.

August 17, 2021

Kariniemi\_Roehlke Concept

Kevin Mattson

Page 2 of 2

### Transportation

1. County is permitting agency for CR 10. Turn lanes may be required and would be constructed under a City project with developer providing escrow.
2. County is permitting agency for access to commercial lots along CR 19.
3. The need for fire access around any commercial buildings shall be determined by Public Safety at time of building permit.

### Stormwater

1. Stormwater management appears manageable for the residential lots
2. Stormwater management for commercial lot C-1 appears challenging due to wetland, required buffer, etc.
3. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
4. The City's Stormwater Guidelines shall be used for stormwater systems and modeling.
5. WMO typically requires that the model P8 or a similar calculation to demonstrate that the site meets the total phosphorous and total suspended solids reduction standards for all treatment practices.
6. Provide a hydraulic stormwater model to ensure that the proposed development meets all required rate control standards and does not adversely impact surrounding properties.
7. Adjacent D&D site will direct some drainage to its southeast corner, however this is minimal and will be reviewed for potential of erosion. Prior ComLink site directed more drainage to this location, so D&D has lessened the impact to Roehlke parcel.
8. If filtration is required by WMO for the site, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used with adequate maintenance access.
9. Incorporate any turn lane drainage (CR 10 and CR 19) into the site's SWMP and WMO permitting.

### Fire Protection, Private Wells and Septics

1. Public Safety should review the need for any future fire protection within the property.
2. If not used with the current development, any wells which service the existing property should be abandoned by a licensed contractor.
3. Any existing septic system should be abandoned by a licensed contractor.

**End of Memo**



# CITY OF CORCORAN

## Sketch Plan Application Process

Prior to filing a formal Site Plan application, applicants may present a sketch plan to the Zoning Administrator. Request for sketch plan review and comment by the City Council shall be filed with the Zoning Administrator on an official application form.

All of the following information must be submitted. Once the application has been submitted with the appropriate fees, staff will review for completeness. Applications will be scheduled for public meetings only if all required items are submitted. The applicant will be notified within 15 business days as to whether or not the application is complete. Once the application is deemed complete, the 60-day statutory review period will begin. The City may extend the review period an additional 60 days if necessary to complete the review process.

- 1) A completed and signed Land Use Application Form.
- 2) A non-refundable fee and escrow deposit.
- 3) Proof of ownership or owner authorization to proceed with the request.
- 0 + 0 4) One full-size (24x36) set (collated, stapled and folded), one reduced (11x17) set of plans and one PDF of the full set.
- 0 + 0 5) The plans should contain the following information (Section 1070.050, Subd. 3):
  - a) The proposed site with reference to existing development on adjacent properties, at least to within 200 feet.
  - b) Aerial photograph of the area.
  - c) General location of natural resources on site and abutting the property.
  - d) General location of proposed structures.
  - e) Tentative street arrangements, both public and private.
  - f) Amenities to be provided such as recreational areas, open space, walkways, etc.
  - g) A representative example of the style of structures to be constructed.
  - h) Proposed sewer/septic, water/well and storm drainage.
  - i) A statement showing the proposed density of the project and the method of calculating said density.
  - j) Extent of and any proposed modifications to land within the Overlay Districts as described and regulated in Section 1050.
- (k) A written narrative, which:
  - i) Describes the proposed uses.
  - ii) Indicates covenants or agreements which will influence the use and maintenance of the proposed development.

Corcoran City Hall / 8200 County Road 116 / Corcoran, MN 55340  
Office 763.420.2288 / Fax 763.420.6056



- iii) Describes the analysis of site conditions and development objectives which has resulted in the planned development proposal.
- iv) Includes a statement of which primary zoning district provisions are being modified by the planned development.

- 6) Any other information deemed necessary by the City Staff in order to evaluate plans.
- 7) Certification that all property taxes, special assessments, interest, or City utility fees due upon the parcel of land to which the application relates have been paid. Certification can be verified through Hennepin County Tax receipts, Hennepin County website (<https://www.hennepin.us/residents/property/property-information-search>) or the applicant's title company.

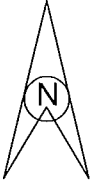
Any opinions or comments provided to the applicant by the Zoning Administrator or City Council shall be considered advisory only and shall not constitute a binding decision on the request.

This handout is intended to provide a *summary* of the submittal requirements. It is the responsibility of the applicant to know the applicable land use regulations. Please see the Corcoran City Code for a complete, detailed listing of requirements. Sketch plan requirements can be found in Section 1070.050 of the Zoning Ordinance. If you have any questions about these requirements, please contact City Hall to speak with the City Planner.

Please attach a brief description of your project/reason for your request.

- ① Request council support to rezone three commercial lots accessing from the city road
- ② Provide land for park in lieu of fees
- ③ Plat 10 residential lots on NE corner
- ④ Meet shoreland overlay requirements
- ⑤ Rural residential to commercial fits the area between D&D site and city property

# Concept Plan



0 200 400 Feet

Total Plot Area = 126.66 ACRES

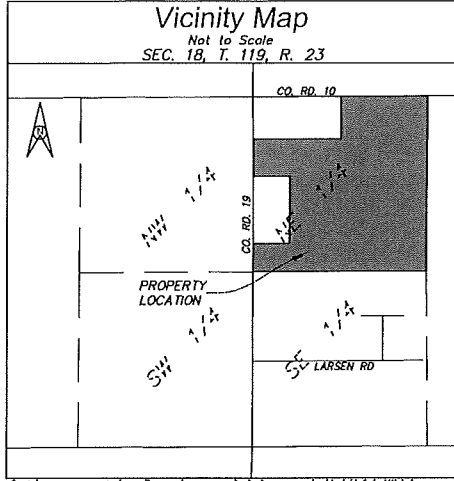
Proposed OS+P Plat in RR District with 150% of Existing Development Rights

Existing Development Rights = 13 Lots  
13x1.5=19.5

Total Lots Proposed = 19 Lots Proposed

Outlot A = 65.1 Acres Preserved Open Space.

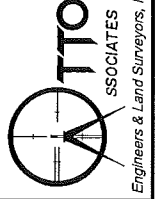
Lots Labeled C are Proposed to be Commercial Zoning



- denotes iron monument found
- denotes 1/2 inch by 1/4 inch iron pipe set and marked by License #40062

www.otbaassociates.com  
9 West Division Street  
Buffalo, MN 55513  
(763)682-4727  
Fax: (763)682-3522

Project No. 21-0188



Requested By:

**Nathan Kariniemi**

Drawn By: T.R.K.  
Checked By: P.E.O.  
Scale: 1"=200'

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date: 3-26-21  
Drawn By: T.R.K.  
Checked By: P.E.O.

Concept Plan on Outlot A, ROEHLKE ADDITION, Hennepin County, Minnesota.

Revised: 6-9-21 - Outlots - A.N.B.  
Date: 6-9-21



# Hennepin County Property Map

Date: 6/8/2021



PARCEL ID: 1811923110002

OWNER NAME: W W Roehlke & E G Roehlke Tr

PARCEL ADDRESS: 23185 Co Rd No 10, Corcoran MN 55374

PARCEL AREA: 124.54 acres, 5,424,987 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Residential

HOMESTEAD: Non-Homestead

MARKET VALUE: \$940,400

TAX TOTAL: \$10,867.94

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Residential

HOMESTEAD: Non-homestead

MARKET VALUE: \$998,900

### Comments:

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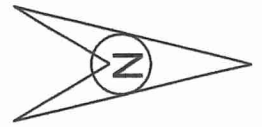
## Comments:

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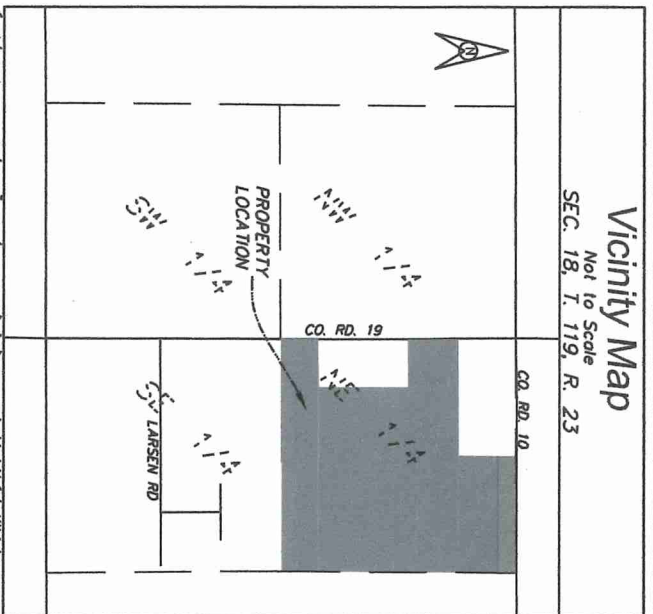
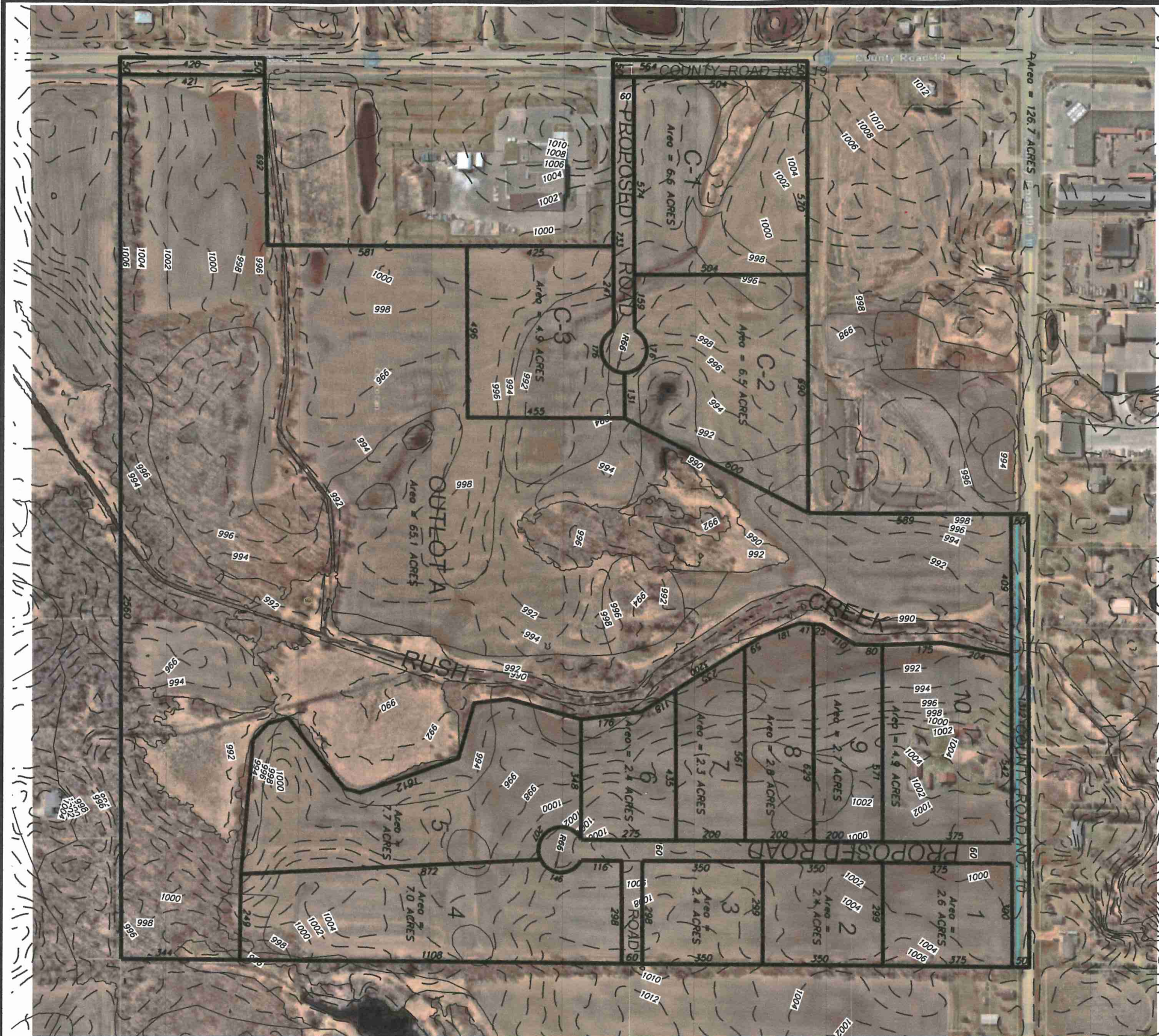
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COUNTY 2021



# Concept Plan



Total Plat Area = 126.66 ACRES  
 Proposed RR Plat East CR - West 3 Lots  
 Existing Development Rights = 13 Lots  
 Total Lots Proposed = 10 Residential, 3 Commercial



Vicinity Map  
 Not to Scale  
 SEC. 18, T. 119, R. 23

Concept Plan on Outlot A, ROEHLKE ADDITION, Hennepin County, Minnesota.

Revised:

Requested By:

**Nathan Kariniemi**

Date: 6-18-21

Drawn By: M.L.O.

Scale: 1"=200'

Checked By: P.E.O.



www.ottoassociates.com  
 9 West Division Street  
 Buffalo, MN 55313  
 (763)682-4727  
 Fax: (763)682-3522

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Project No. **21-0188**

































# CITY OF CORCORAN

## Official Zoning Map

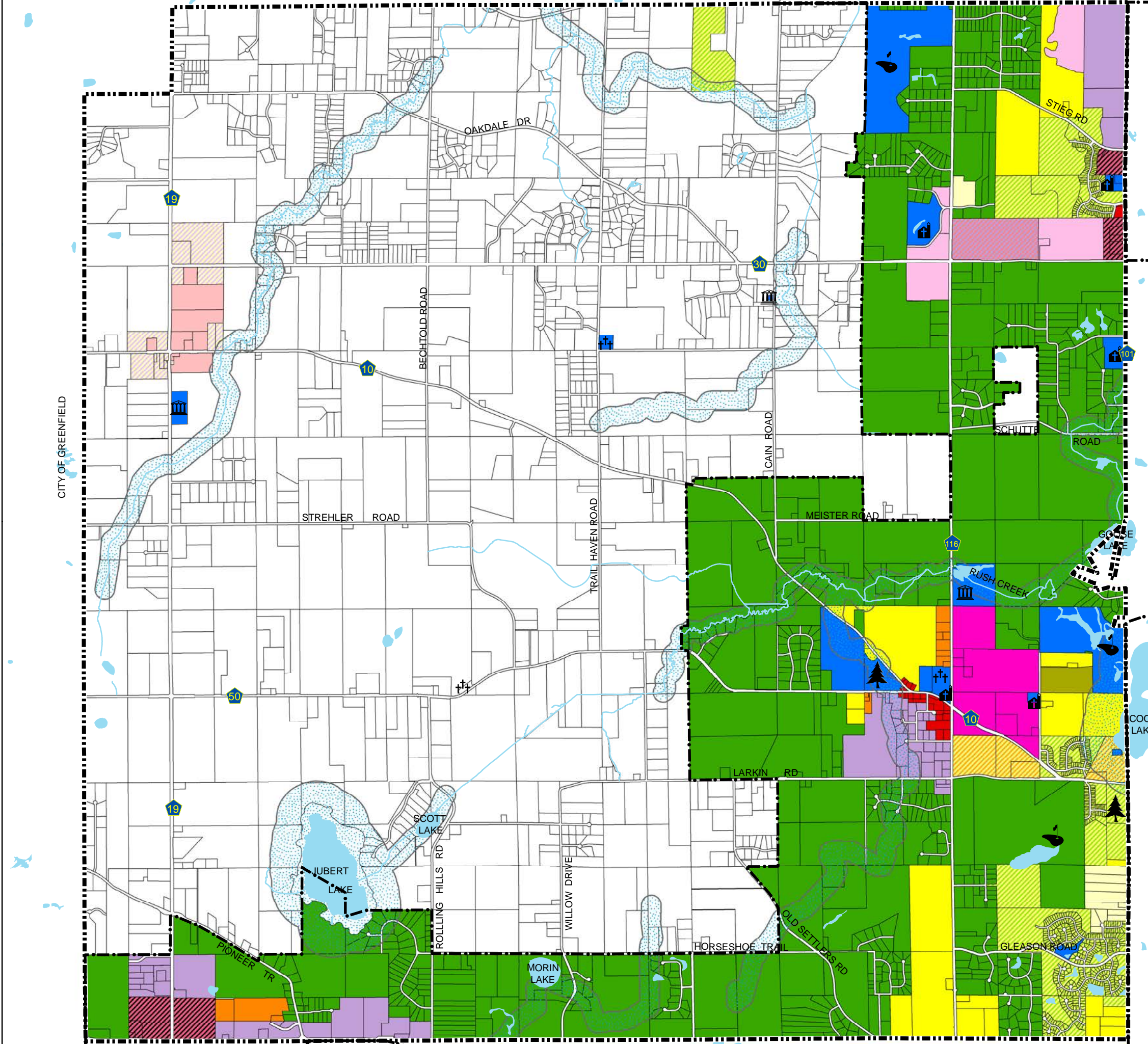
### Zoning Districts:

-  UR Urban Reserve
-  RR Rural Residential
-  RSF-1 Single Family Residential 1
-  RSF-2 Single Family Residential 2
-  RSF-3 Single and Two Family Residential 3
-  RMF-1 Medium Density Residential
-  RMF-2 Mixed Residential
-  RMF-3 High Density Residential
-  MP Manufactured Home Park
-  P-1 Public / Institutional
-  TCR Transitional Rural Commercial
-  CR Rural Commercial
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  DMU Downtown Mixed Use
-  GMU General Mixed Use
-  BP Business District
-  I-1 Light Industrial
-  PUD Planned Unit Development
-  Cemetery
-  Church
-  Golf Course
-  Government Building
-  Public Park
-  2040 Metropolitan Urban Service Area
-  City Limit
-  Open Water
-  Shoreland Overlay District

3,000 1,500 0 3,000 Feet



Updated September 2020  
Adopted June 2011







# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 2-1 2040 Future Land Use

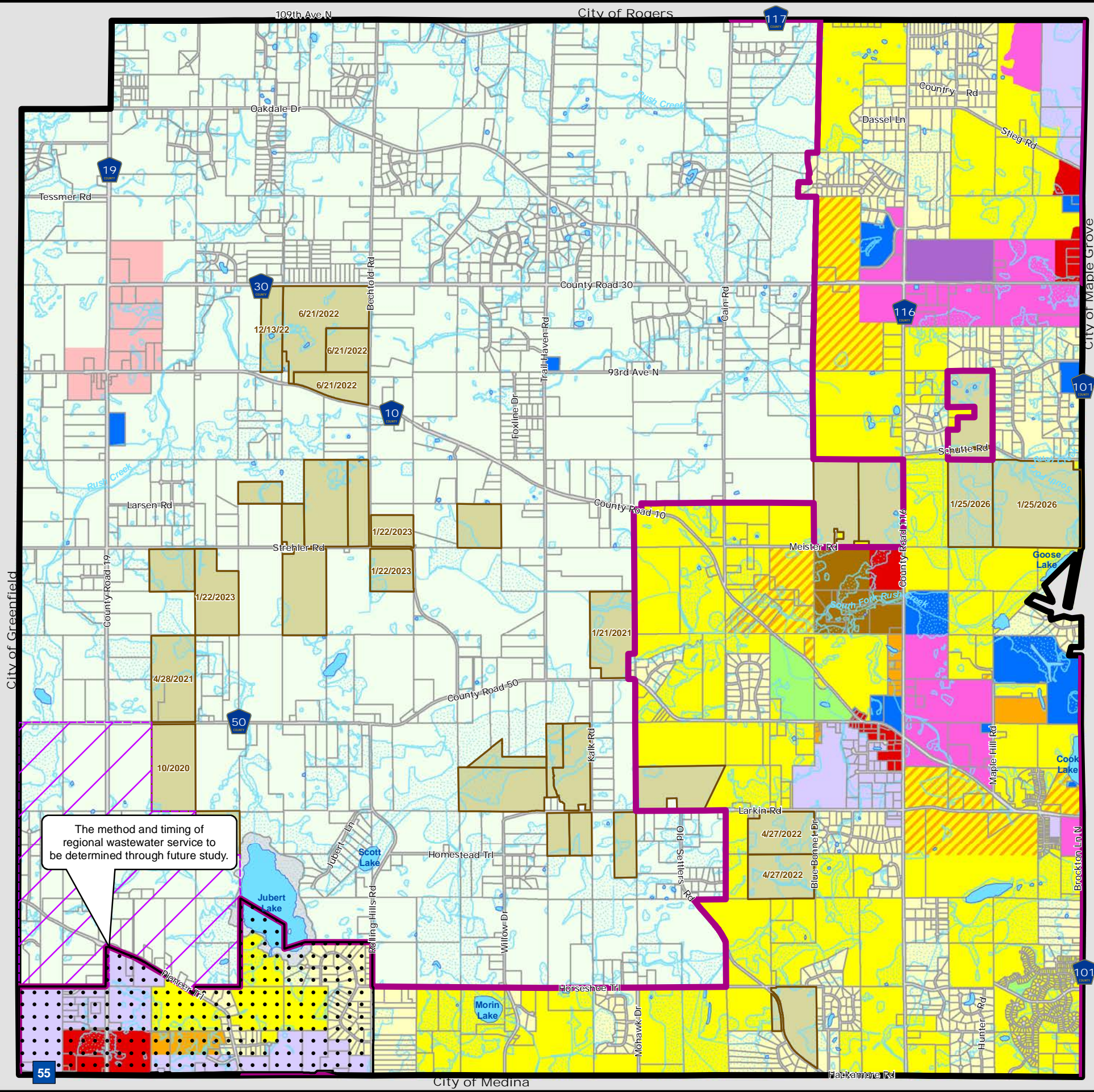
- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Future Study Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:  
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



Feet



The method and timing of regional wastewater service to be determined through future study.

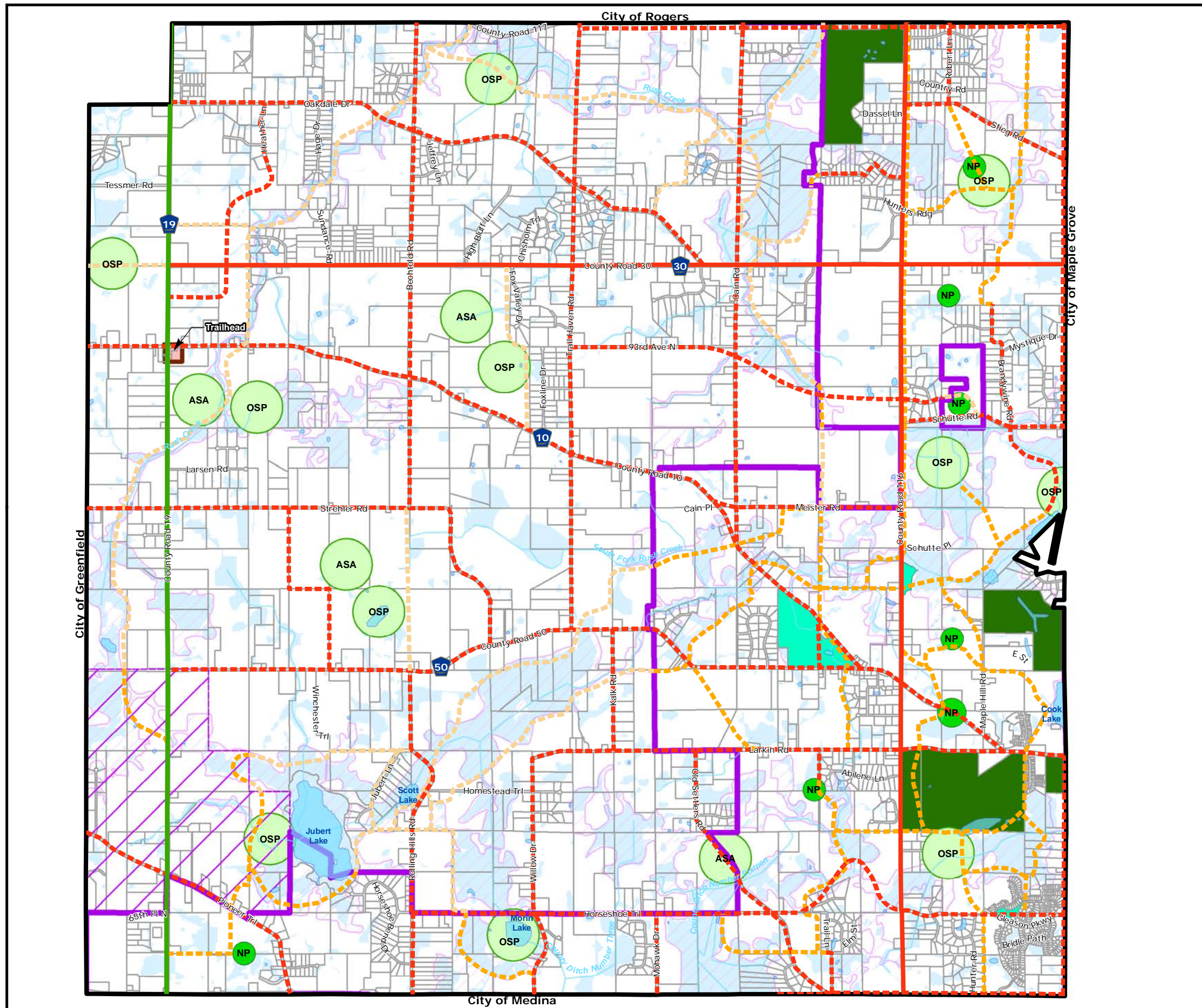




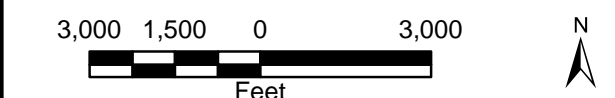
# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 5-1 Parks and Trails Plan



- Existing Parks and Trails**
- Regional Trail
  - Existing On Road Trail
  - City Park
  - Trailhead
  - Private Park/Open Space
- Proposed Parks and Trails**
- Proposed On Road Trail
  - Proposed Off Road Trail
  - Proposed Off Road Trail outside 2040 Development Area
  - Neighborhood Park
  - Community Park
  - Greenway Corridor
  - Municipal Boundaries
  - 2040 MUSA
  - Future MUSA Expansion Area
  - Parcel Boundaries
  - Streams
  - Lake/Open Water
  - Wetlands



Path: L:\2294\100\2040CompPlan\Parks and Trails Map.mxd  
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# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

### Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

#### Natural Plant Communities

##### Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

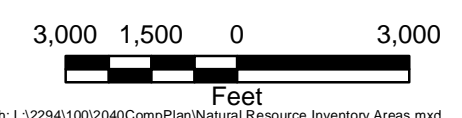
##### Uplands

- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field

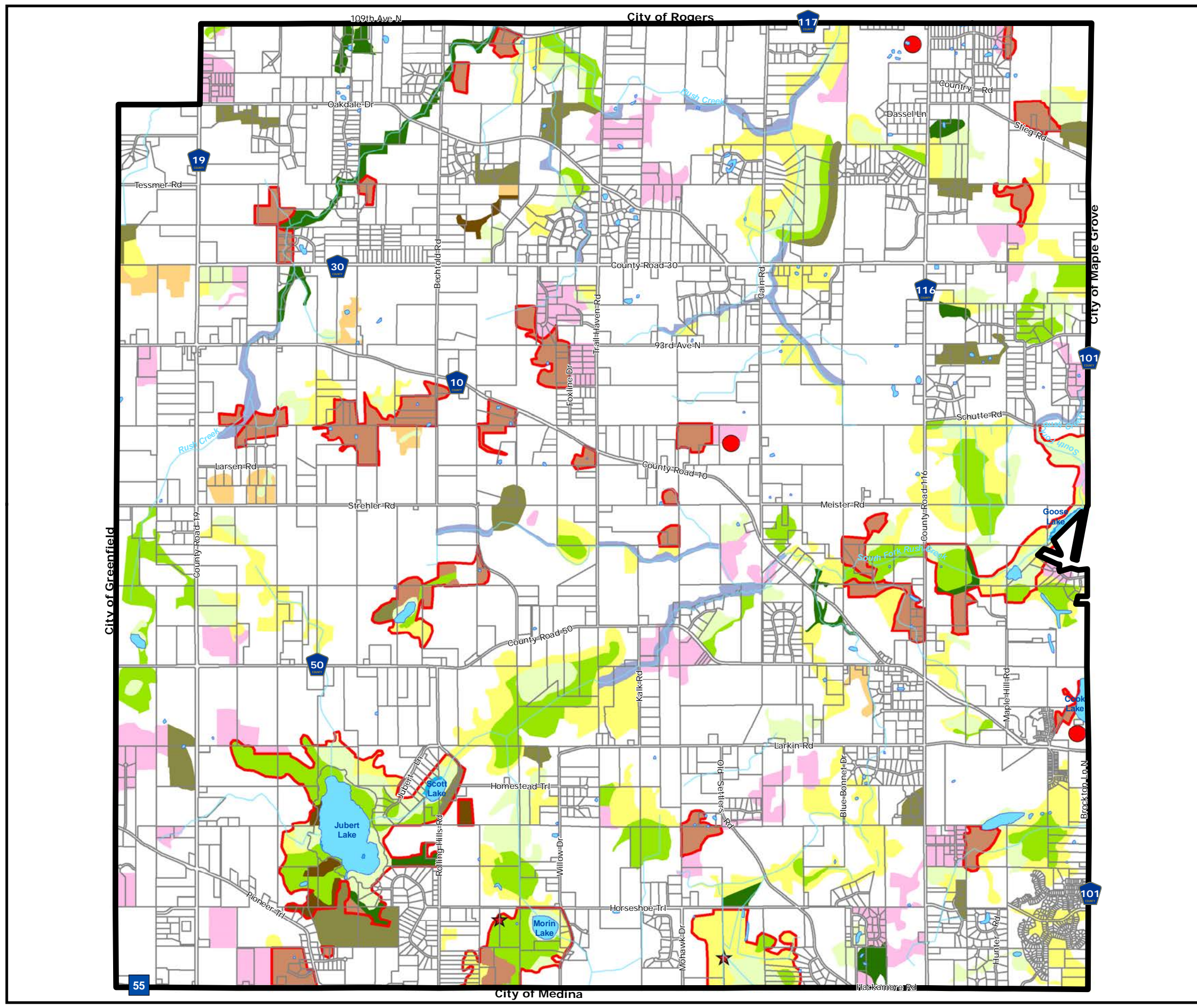
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source: Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



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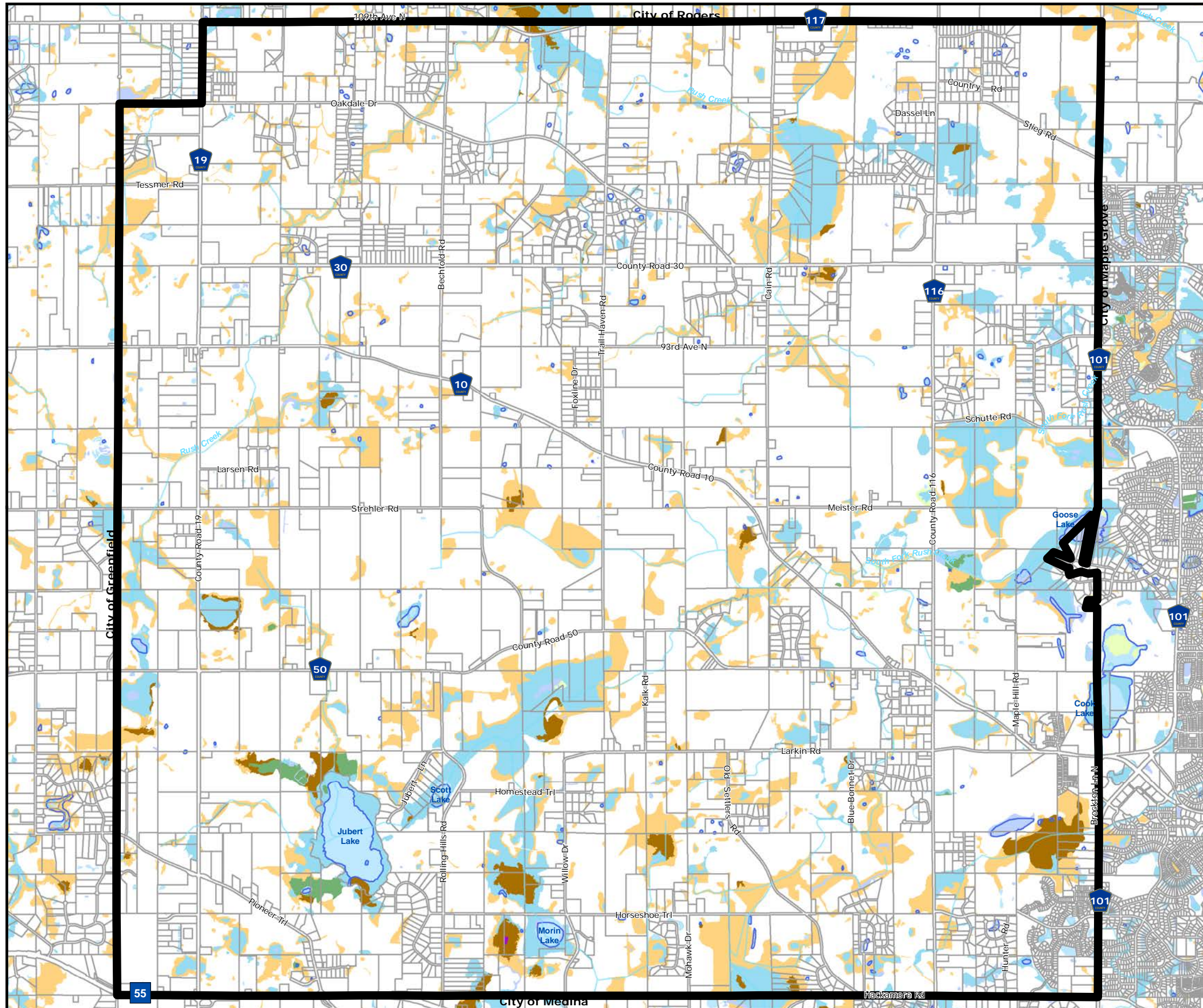
# CITY OF CORCORAN

## 2040 COMPREHENSIVE PLAN

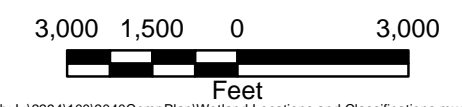
Map 1-11

### Wetland Locations and Classifications

-  1 - Seasonally Flooded Basin or Flat
-  2 - Wet Meadow
-  3 - Shallow Marsh
-  4 - Deep Marsh
-  5 - Shallow Open Water
-  6 - Shrub Swamp
-  7 - Wooded Swamp
-  8 - Bogs
-  Municipal Boundary
-  Streams
-  Parcel Boundaries
-  Lake/Open Water



Source:  
Revised National Wetland Inventory (Minnesota Department  
of Natural Resources 2009-2014)



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## STAFF REPORT

## Agenda Item 8c.

<b>Council Meeting:</b> August 26, 2021	<b>Prepared By:</b> Natalie Davis
<b>Topic:</b> Sign Ordinance Update	<b>Action Required:</b> Direction

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### Summary:

#### Campaign Signs

At the April 8, 2021, City Council meeting, there was discussion in favor of eliminating the Campaign Sign Enforcement Policy prior to elections. The current policy calls for enforcement to respond, “on a complaint basis and to obvious violations,” specifically when campaign signs are placed in the Public, City, and County right-of-way; when campaign signs are placed within 10’ of the property line; and when signs present a sight-line/visibility hazard.

Minnesota State Statute 211B.045 states:

*All noncommercial signs of any size may be posted in any number beginning 46 days before the state primary in a state general election year until ten days following the state general election. Municipal ordinances may regulate the size and number of noncommercial signs at other times.*

Allowing any number of signs of any size in the right-of-way and visibility triangles can obstruct the view and flow of vehicle and pedestrian traffic. While Minnesota State Statute does not allow cities to regulate the size and amount of campaign signs, the statute is silent on cities regulating the location of such signs. In completing a survey of 10 nearby cities, 8 cities did not allow for campaign signs to be placed in the right-of-way. Rogers allows signs in the right-of-way if approval is granted by the applicable road authority. Plymouth allows campaign signs to be placed in the public boulevard, but several conditions apply to this allowance. While this strategy may allow for more sign placement options, its level of complexity could prove more time consuming for Code Enforcement. Plymouth still does not allow for signs to interfere with vehicular and pedestrian traffic, but whether a sign obstructs visibility becomes more subjective with this approach. It is worth noting that however Corcoran chooses to regulate the treatment of campaign signs in the right-of-way, this would not impact how the County chooses to enforce campaign signs placed in County right-of-way.

Corcoran City Code also does not allow for signs to be erected in a site visibility triangle (Chapter 84.04, Subd., 2c.). Section 1060.090, Subd. 2 of the Corcoran City Code provides the following definition:



*Visibility from any street or driveway shall be unobstructed above a height of 3 feet, measured from where both street or driveway center lines intersect within a triangular area described as beginning at the intersection of the projected curb line of two intersection streets or drives, thence 30 feet along one curb lines, thence diagonally to a point 30 feet from the point of beginning along the other curb line.*

All surveyed cities had additional requirements to ensure that campaign signs do not interfere with visibility. A majority of the cities surveyed do not allow signs that interfere with visibility triangles or “reasonable visibility”, but two cities allowed for signs to be located in these areas by permit if staff found they would not interfere with vehicular and pedestrian traffic. A permitting process once again allows for more sign location options, but this would require staff time to process permits as well as leaving the determination of what signs may cause a sight-line/visibility hazard up to staff discretion.

Ultimately, staff prefers to have a clear set of standards for campaign signs that applies to everyone and allows for enforcement when there is a public safety need. When standards are clearly defined it results in more objective enforcement, while more flexible standards can result in more subjective enforcement. There is concern that residents and candidates may feel they are being treated unfairly when staff uses their discretion to remove signs that are believed to interfere with vehicle and pedestrian traffic without a measurable standard established. This is why staff recommends proceeding with defined enforcement standards for right-of-way and visibility triangles.

### Construction Signs

Recent discussions between staff and developers have drawn attention to the possible need to re-evaluate how construction signs are treated in the City Code. Currently, construction signs are not separated from other temporary signs. Chapter 84.06, Subd. 1(h-i) states:

- h) Temporary signs may be located on a property for continuous periods not to exceed 30 days. No more than 1 such sign will be allowed per parcel.*
- i) No property shall be allowed more than 4 such periods in any 12-month period.*

These time limitations may not make sense for multi-phase construction projects such as Tavera or Bellwether. Additionally, there also seems to be a need for construction sites to be allowed an additional sign at the entrance of construction sites that provides construction site rules. Construction site rules are required by OSHA to be posted on site and a number of developers have taken to posting on sign at the entrance where is it immediately visible. A photo example of such signs is attached to this report. A second sign of up to 32' feet that provides construction site rules may be reasonable. It is important to note that the City must be mindful of regulating the content of signs as it can interfere with 1<sup>st</sup> Amendment rights and the concept of “content neutrality” stemming from a court decision made by the Supreme Court of the United States in

2015 (*Reed v. Town of Gilbert*). To move forward with these changes, two additional definitions under Chapter 84.02 would need to be added for constructions signs. The proposed definitions are as follows:

Construction Sign – A sign placed at a construction site which may include components such as identifying the project or the name of the architect, engineer, contractor, developer, financier, other involved parties, and construction site rules.

Construction Site – A collective of any properties under construction for a residential, commercial, or industrial development.

The following changes would also need to be made to the current Sign code:

84.06: Temporary Signs.

Temporary use of portable or movable signs shall be allowed in addition to the sign limitations of this ordinance.

1. General Provisions. All temporary signs, with the exception of construction signs, shall comply with the following standards: [...]
2. Construction Signs. Construction signs shall comply with the following standards:
  - a. Construction signs shall comply with Section 84.04 (General Provisions).
  - b. Each construction site will be allowed up to two signs, each limited to a maximum of 32' square feet in area.
  - c. A permit shall be obtained from the Code Compliance Official, or his or her designee, for placement of each such signs, except signs under 8 square feet in area shall not be required to obtain a permit but shall be subject to the two-sign limit.
  - d. Construction signs must be located on the construction site's primary entrance to the development.
  - e. Construction signs can be located on the construction site until:
    - i. 90% of the building permits for a residential development have been issued.
    - ii. A certificate of occupancy has been issued for a commercial or industrial development.

### **Financial/Budget:**

Updating the Sign Code as recommended is not anticipated to impact the budget.

### **Campaign Sign Options:**

1. Keep the current Campaign Sign Enforcement Policy as-is, and the current treatment of campaign signs in the City Code.
2. Amend the City Code and Campaign Sign Enforcement Policy to allow for additional flexibility of the location of campaign signs (i.e. in the right-of-way,

within 10' of the property line, and/or within the visibility triangle), either by right or by permit, as long as these signs do not obstruct vehicle and pedestrian traffic.

### **Construction Sign Options:**

1. Keep treating construction signs as every other type of temporary signs.
2. Move forward with the proposed language changes to allow for additional flexibility for construction signs.
3. Suggest additional language changes.

### **Recommendation:**

Staff recommends continuing with the current Campaign Sign Enforcement Policy and treatment of campaign signs within the City Code. Staff also recommends moving forward with the proposed language changes providing additional flexibility for Construction Signs.

### **Council Action:**

Direct staff on how to proceed with potential changes to the Campaign Sign Enforcement Policy as well as changes to how the City Code treats campaign signs and construction Signs.

### **Attachments:**

1. 2018 Campaign Sign Enforcement Policy
2. Campaign Sign Comparison Table of 10 Cities
3. Photo Examples of Construction Signs





## CITY OF CORCORAN

### ENFORCEMENT PROCEDURES FOR CAMPAIGN SIGNS

- ◆ The City will respond on a complaint basis and to obvious violations.
- ◆ Complaints will be directed to Code Compliance Official at (763) 400-7033.
- ◆ Signs in Public/City Right-of-Way: Campaign signs in the right-of-way will be removed after 24 hour notification to candidate. The signs will be kept at City Hall for three days, then will be disposed of properly.
- ◆ Signs in County Right-of-Way: The City will handle in the same manner as signs in city street right-of-way.
- ◆ Sign Violations Other Than in Right-of-Way: The City will contact the candidate or property owner and notify them of the violation and request correction immediately.
- ◆ Signs will be removed immediately if they present a sight-line/visibility hazard.
- ◆ The identification of any person reporting a sign violation is confidential.

### City Code Chapter 84: Signs

#### 84.07 EXEMPT SIGNS.

8. Noncommercial signs may be posted beginning 46 days before the state primary in a state general election year until ten days following the state general election, per the standards of Minnesota §211B.045, as may be amended.

#### 84.04 GENERAL PROVISIONS.

1. **Conformance to Codes.** All signs shall conform to the provisions of this ordinance and the provisions of the Building Code and of any other applicable ordinance or regulations within the City of Corcoran.

#### 2. Location

a) **Setbacks.** All signs shall be set back 10 feet from the property lines.

b) **Projections Over Public Ways.** Except as provided for elsewhere in this ordinance, private signs may not encroach or overhang the public right-of-way and no sign shall be attached to any utility pole, light standard, street tree or any other public facility located within the public right-of-way.

c) **Traffic Visibility.** No sign or sign structure shall be erected in a site visibility triangle, as defined by Section 1060.090, Subd. 2, in such a manner as to obstruct free and clear vision, nor at any location where by its position, shape, or color it may interfere with or obstruct the view of or be confused with any authorized traffic sign, signal, or device. Signs over County or State Highways are not permitted.

## Campaign Signs City Comparison Chart

City	Allows Campaign Signs in ROW	Allow Signs in Visibility Triangle	Notes
Brooklyn Park	No	No	
Dayton	No	No	
Rogers	Yes- see notes.	No - see notes.	Allowed in ROW if approval granted by the roadway authority. Signs cannot be placed within 10' of a driveway.
Medina	No	No	
Greenfield	No	By permit - see notes.	Signs within a clear-view triangle can be approved if staff finds it doesn't interfere with vehicle and pedestrian traffic.
Maple Grove	No	No	Signs cannot obstruct the vision of drivers or pedestrians. Signs cannot obscure visibility of traffic control devices.
Independence	No	By permit - see notes.	Requires sign permit if within 50' of any street, official traffic device, intersection, driveway, or crosswalk. Can be approved if staff finds it doesn't interfere with vehicle and pedestrian traffic.
Loretto	No	No	
Hanover	No	Signs cannot conflict with traffic signs or signals.	
Plymouth	Yes with several conditions - see notes.	No - see notes.	Such signs may be placed within the public boulevard directly abutting a private property upon consent of the landowner. Such signs shall not be placed: 1) Within the traveled roadway; or 2) Within center medians / traffic islands; or 3) On any public trail or sidewalk; or 4) Within a public boulevard that is located between a public trail or sidewalk and any abutting public street/roadway; or 5) on public park property; or 6) on any city-, county-, state-, or federally-owned property. Such signs shall be set back at least 1' from public trails and sidewalks. If there is no public trail or sidewalk, such signs shall be set back at least 4' from the back-of-curb or public streets/roadways, or in the absense of curbing, such signs shall be set back at least 4' from the outermost limits of the road bed including any shoulders. Additionally, placement of such signs shall not impede safety by obstructing vision of pedestrians, bicycles, or motor vehicle operations. Signs cannot interfere with properly functioning of a traffic sign or with reasonable visibility at a street intersection.

# Construction Sign Example









## STAFF REPORT

## Agenda Item 9a.

<b>Council Meeting:</b> August 26, 2021	<b>Prepared By:</b> Kevin Mattson
<b>Topic:</b> Corcoran Trail Street Improvements – Award Bid	<b>Action Required:</b> Approval

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### Summary:

On August 19, 2021, the engineering team opened bids for the improvement project as outlined in the attached memo. The low bid was \$510,438.35 by Park Construction Company.

Revised project costs are as follows:

- Engineering design to date ~\$50,000.00
- Construction \$510,438.35
- Construction Admin incl independent field testing \$30,000.00
- \$590,438.35\*

\*Approximately \$56,000 over previous estimate primarily from additional street draitile requested under the road.

Staff plans to revisit the draitile consideration and limit the quantity installed because of higher than anticipated unit prices for that item.

### Financial/Budget:

The improvements would be funded through a combination of the following:

- Special assessments estimated at \$176,400
- Local participation estimated at \$414,038.35
  - 2021 General Budget Asphalt Maintenance/Patching line item in the amount of \$175,000
  - Asphalt Fund in the amount of \$239,038.35

The existing Asphalt Fund has a balance of \$969,406.99. If the Corcoran Trail project is approved, the following is estimated to be allocated permanently:

- Corcoran Trail Project: \$239,038.35
- Dayton Parkway Interchange Commitment: \$250,000.00
- Total Committed: \$489,038.35

In addition, the City would likely need to cover the costs of the assessments that would be paid back over ten years. Assuming that not a single property owner pays in advance, the following would be a temporary allocation of the Asphalt Fund to be paid back over ten years:

- Appaloosa Woods Project: \$185,400.00
- Corcoran Trail Project: \$176,400.00
- Total: \$361,800.00

**Options:**

1. Authorize a Notice of Award for the Corcoran Trail Street Improvements to Park Construction Company.
2. Decline.

**Recommendation:**

Staff recommends authorizing a Notice of Award for the Corcoran Trail Street Improvements to Park Construction Company.

**Council Action:**

Consider a motion to authorize a Notice of Award for the Corcoran Trail Street Improvements to Park Construction Company.

**Attachments:**

1. Corcoran Trail Street Improvements Award Bid Engineering Memo
2. Bid Tabulation

To: Kevin Mattson, PE, PW Director      From: Kent Torve, PE City Engineer  
 Nick Wyers, PE

File: 227704153      Date: August 20, 2021

Subject: Bid Results – Corcoran Trail Street Improvements

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### **Council Action Requested**

Staff is recommending Council authorize a Notice of Award for the construction of the Corcoran Trail Street Improvements.

The Corcoran Trail Street Improvements will provide a paved surface and maintenance improvements for the residents on Corcoran Trail

### **Bid Results**

Six bids were received on Thursday, August 19<sup>th</sup> for the Corcoran Trail Street Improvements. Bid results are summarized below and details are in the attached table.

<b>Contractor</b>	<b>Bid Amount</b>
• Park Construction Company.	\$ 510,438.35
• New Look Contracting	\$ 512,384.00
• Northwest	\$ 526,539.69
• Bituminous Roadways, Inc.	\$ 532,474.00
• Duininck, Inc.	\$ 557,469.25
• Northdale Construction	\$ 612,191.74

The low bidder was Park Construction Company, with a bid of \$ 510,438.35. The Engineer's estimate was \$464,650.00. The authorization of work includes construction, field compliance testing, and engineering management costs estimated at an additional \$30,000. The design, permitting, and surveying costs to date for feasibility study, detailed stormwater modeling, resident meetings, design and bidding are approximately \$50,000. Stormwater analysis, modeling, and design to improve drainage increased the engineering effort and was represented in the construction bid costs for culverts, draintile, ditching and stormwater components.

Prior to the August 26<sup>th</sup> Council meeting, Stantec Consulting Services will reach out to Park Construction Company and confirm their commitment to the bid.

### **Funding**

Funding is through special assessments and local participation.

### **Engineer's Recommendation**

The bids were competitive, therefore, Stantec recommends that the project be awarded to Park Construction Company for \$510,438.35.





Bid Item	Description	Units	Quantity	Engineer's Estimate		Bid No. 1 Park Construction Company		Bid No. 2 New Look Contracting		Bid No. 3 Northwest		
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	
<b>BASE BID:</b>												
1	MOBILIZATION & DEMOBILIZATION	LS	1	\$22,030.00	\$ 22,030.00	\$ 43,900.00	\$ 43,900.00	\$ 15,000.00	\$ 15,000.00	\$ 54,530.00	\$ 54,530.00	
2	TRAFFIC CONTROL	LS	1	\$2,190.00	\$ 2,190.00	\$ 985.00	\$ 985.00	\$ 1,100.00	\$ 1,100.00	\$ 5,500.00	\$ 5,500.00	
3	REMOVE STORM SEWER PIPE	LF	165	\$10.00	\$ 1,650.00	\$ 15.50	\$ 2,557.50	\$ 15.00	\$ 2,475.00	\$ 25.00	\$ 4,125.00	
4	REMOVE DRIVEWAY CULVERT	LF	210	\$10.00	\$ 2,100.00	\$ 15.50	\$ 3,255.00	\$ 15.00	\$ 3,150.00	\$ 25.00	\$ 5,250.00	
5	REMOVE BITUMINOUS PAVEMENT	SY	385	\$7.00	\$ 2,695.00	\$ 10.50	\$ 4,042.50	\$ 9.00	\$ 3,465.00	\$ 4.00	\$ 1,540.00	
6	REMOVE CONCRETE DRIVEWAY	SY	90	\$9.00	\$ 810.00	\$ 14.50	\$ 1,305.00	\$ 18.00	\$ 1,620.00	\$ 6.00	\$ 540.00	
7	SALVAGE & RESPREAD DRIVEWAY SURFACING AGGREGATE	SY	130	\$14.00	\$ 1,820.00	\$ 11.80	\$ 1,534.00	\$ 15.00	\$ 1,950.00	\$ 14.65	\$ 1,904.50	
8	FULL DEPTH RECLAMATION	SY	11500	\$2.50	\$ 28,750.00	\$ 1.50	\$ 17,250.00	\$ 1.20	\$ 13,800.00	\$ 0.98	\$ 11,270.00	
9	CLEARING & GRUBBING	LS	1	\$5,000.00	\$ 5,000.00	\$ 7,070.00	\$ 7,070.00	\$ 2,500.00	\$ 2,500.00	\$ 11,500.00	\$ 11,500.00	
10	ROADWAY PREPARATION	RD ST	40.5	\$300.00	\$ 12,150.00	\$ 225.00	\$ 9,112.50	\$ 180.00	\$ 7,290.00	\$ 195.00	\$ 7,897.50	
11	BITUMINOUS MATERIAL FOR TACK COAT	GAL	600	\$3.00	\$ 1,800.00	\$ 2.75	\$ 1,650.00	\$ 5.50	\$ 3,300.00	\$ 5.00	\$ 3,000.00	
12	TYPE SP 9.5 WEARING COURSE MIXTURE (3,B)	TON	1310	\$75.00	\$ 98,250.00	\$ 74.70	\$ 97,857.00	\$ 82.00	\$ 107,420.00	\$ 71.20	\$ 93,272.00	
13	TYPE SP 12.5 NON-WEARING COURSE MIXTURE (3,B)	TON	1750	\$70.00	\$ 122,500.00	\$ 64.30	\$ 112,525.00	\$ 68.00	\$ 119,000.00	\$ 65.44	\$ 114,520.00	
14	AGGREGATE SURFACING CLASS 2	TON	155	\$40.00	\$ 6,200.00	\$ 41.10	\$ 6,370.50	\$ 47.00	\$ 7,285.00	\$ 42.50	\$ 6,587.50	
15	EXCAVATE, LOAD, AND HAUL RECLAIM AGGREGATE	CY	650	\$15.00	\$ 9,750.00	\$ 12.90	\$ 8,385.00	\$ 20.00	\$ 13,000.00	\$ 16.05	\$ 10,432.50	
16	COMMON EXCAVATION	CY	100	\$20.00	\$ 2,000.00	\$ 39.50	\$ 3,950.00	\$ 33.00	\$ 3,300.00	\$ 38.10	\$ 3,810.00	
17	SALVAGE & PLACE RECLAIM AGGREGATE	CY	50	\$8.00	\$ 400.00	\$ 50.30	\$ 2,515.00	\$ 25.00	\$ 1,250.00	\$ 9.92	\$ 496.00	
18	6" PERFORATED PVC SCH 40 DRAIN TILE PIPE	LF	860	\$15.00	\$ 12,900.00	\$ 39.00	\$ 33,540.00	\$ 40.00	\$ 34,400.00	\$ 31.56	\$ 27,141.60	
19	8" SOLID PVC SCH 40 STORM SEWER PIPE	LF	85	\$30.00	\$ 2,550.00	\$ 58.20	\$ 4,947.00	\$ 45.00	\$ 3,825.00	\$ 29.24	\$ 2,485.40	
20	8" PERFORATED PVC SCH 40 DRAIN TILE PIPE	LF	365	\$15.00	\$ 5,475.00	\$ 44.70	\$ 16,315.50	\$ 65.00	\$ 23,725.00	\$ 48.89	\$ 17,844.85	
21	CLEANOUT W/ THREADED CAP	EA	3	\$300.00	\$ 900.00	\$ 1,150.00	\$ 3,450.00	\$ 950.00	\$ 2,850.00	\$ 915.00	\$ 2,745.00	
22	27" DIAMETER CATCH BASIN	EA	2	\$2,000.00	\$ 4,000.00	\$ 3,610.00	\$ 7,220.00	\$ 2,350.00	\$ 4,700.00	\$ 954.43	\$ 1,908.86	
23	18" RC PIPE STORM SEWER CLASS V	LF	42	\$60.00	\$ 2,520.00	\$ 63.90	\$ 2,683.80	\$ 78.00	\$ 3,276.00	\$ 69.65	\$ 2,925.30	
24	21" RC PIPE STORM SEWER CLASS V	LF	125	\$65.00	\$ 8,125.00	\$ 74.30	\$ 9,287.50	\$ 78.00	\$ 9,750.00	\$ 88.89	\$ 11,111.25	
25	24" RC PIPE STORM SEWER CLASS V	LF	121	\$75.00	\$ 9,075.00	\$ 90.80	\$ 10,986.80	\$ 107.00	\$ 12,947.00	\$ 118.75	\$ 14,368.75	
26	18" RC FLARED END SECTION W/ TRASHGUARD	EA	2	\$1,500.00	\$ 3,000.00	\$ 1,880.00	\$ 3,760.00	\$ 1,915.00	\$ 3,830.00	\$ 1,701.85	\$ 3,403.70	
27	21" RC FLARED END SECTION W/ TRASHGUARD	EA	4	\$1,750.00	\$ 7,000.00	\$ 2,130.00	\$ 8,520.00	\$ 2,400.00	\$ 9,600.00	\$ 2,137.25	\$ 8,549.00	
28	24" RC FLARED END SECTION W/ TRASHGUARD	EA	4	\$2,000.00	\$ 8,000.00	\$ 2,290.00	\$ 9,160.00	\$ 2,800.00	\$ 11,200.00	\$ 3,455.47	\$ 13,821.88	
29	15" CMP STORM SEWER	LF	165	\$35.00	\$ 5,775.00	\$ 55.50	\$ 9,157.50	\$ 65.00	\$ 10,725.00	\$ 60.34	\$ 9,956.10	
30	15" CMP FLARED END SECTION	EA	8	\$250.00	\$ 2,000.00	\$ 618.00	\$ 4,944.00	\$ 425.00	\$ 3,400.00	\$ 238.00	\$ 1,904.00	
31	RANDOM RIPRAP CLASS III	CY	60	\$75.00	\$ 4,500.00	\$ 142.00	\$ 8,520.00	\$ 110.00	\$ 6,600.00	\$ 100.00	\$ 6,000.00	
32	6" CONCRETE DRIVEWAY PAVEMENT	SY	120	\$100.00	\$ 12,000.00	\$ 94.50	\$ 11,340.00	\$ 106.00	\$ 12,720.00	\$ 112.50	\$ 13,500.00	
33	3" BITUMINOUS DRIVEWAY PAVEMENT	SY	450	\$25.00	\$ 11,250.00	\$ 39.30	\$ 17,685.00	\$ 32.00	\$ 14,400.00	\$ 26.00	\$ 11,700.00	
34	DITCH GRADING	LF	1445	\$8.00	\$ 11,560.00	\$ 2.85	\$ 4,118.25	\$ 9.00	\$ 13,005.00	\$ 8.20	\$ 11,849.00	
35	TOPSOIL BORROW	CY	175	\$35.00	\$ 6,125.00	\$ 38.20	\$ 6,685.00	\$ 40.00	\$ 7,000.00	\$ 42.00	\$ 7,350.00	
36	SEEDING - MIXTURE 24-151	SY	3400	\$2.00	\$ 6,800.00	\$ 0.20	\$ 680.00	\$ 0.50	\$ 1,700.00	\$ 0.85	\$ 2,890.00	
37	HYDRAULIC BONDED FIBER MATRIX	SY	1000	\$2.00	\$ 2,000.00	\$ 0.25	\$ 250.00	\$ 3.00	\$ 3,000.00	\$ 2.20	\$ 2,200.00	
38	STABILIZED CONSTRUCTION EXIT	EA	1	\$2,500.00	\$ 2,500.00	\$ 1,970.00	\$ 1,970.00	\$ 1.00	\$ 1.00	\$ 3,500.00	\$ 3,500.00	
39	SEDIMENT CONTROL LOG TYPE STRAW - MAINTAINED	LF	200	\$2.50	\$ 500.00	\$ 14.20	\$ 2,840.00	\$ 10.00	\$ 2,000.00	\$ 5.00	\$ 1,000.00	
40	EROSION CONTROL BLANKET CATEGORY 3N, STRAW 2S	SY	2400	\$4.00	\$ 9,600.00	\$ 1.05	\$ 2,520.00	\$ 1.50	\$ 3,600.00	\$ 2.50	\$ 6,000.00	
41	SILT FENCE, TYPE MS - MAINTAINED	LF	850	\$3.00	\$ 2,550.00	\$ 2.10	\$ 1,785.00	\$ 4.00	\$ 3,400.00	\$ 2.50	\$ 2,125.00	
42	STORM DRAIN INLET PROTECTION - MAINTAINED	EA	1	\$250.00	\$ 250.00	\$ 545.00	\$ 545.00	\$ 225.00	\$ 225.00	\$ 165.00	\$ 165.00	
43	CULVERT PROTECTION - MAINTAINED	EA	16	\$225.00	\$ 3,600.00	\$ 204.00	\$ 3,264.00	\$ 225.00	\$ 3,600.00	\$ 245.00	\$ 3,920.00	
				<b>Total Bid: \$</b>	<b>464,650.00</b>	<b>Total Bid: \$</b>	<b>510,438.35</b>	<b>Total Bid: \$</b>	<b>512,384.00</b>	<b>Total Bid: \$</b>	<b>526,539.69</b>	

Bid No. 1  
 Park Construction Company  
 1481 81st Ave NE  
 Minneapolis, MN 55432

Bid No. 2  
 New Look Contracting  
 14045 Northdale Blvd.  
 Rogers, MN 55374

Bid No. 3  
 Northwest  
 1451 Stagecoach Road  
 Shakopee, MN 55379



Bid Item	Description	Units	Quantity	Engineer's Estimate		Bid No. 4 Bituminous Roadways, Inc.		Bid No. 5 Duinick, Inc.		Bid No. 6 Northdale Construction Company, Inc.	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
<b>BASE BID:</b>											
1	MOBILIZATION & DEMOBILIZATION	LS	1	\$22,030.00	\$ 22,030.00	\$ 30,000.00	\$ 30,000.00	\$ 54,000.00	\$ 54,000.00	\$ 22,675.00	\$ 22,675.00
2	TRAFFIC CONTROL	LS	1	\$2,190.00	\$ 2,190.00	\$ 3,500.00	\$ 3,500.00	\$ 2,000.00	\$ 2,000.00	\$ 2,625.00	\$ 2,625.00
3	REMOVE STORM SEWER PIPE	LF	165	\$10.00	\$ 1,650.00	\$ 10.00	\$ 1,650.00	\$ 10.75	\$ 1,773.75	\$ 20.00	\$ 3,300.00
4	REMOVE DRIVEWAY CULVERT	LF	210	\$10.00	\$ 2,100.00	\$ 10.00	\$ 2,100.00	\$ 8.75	\$ 1,837.50	\$ 15.00	\$ 3,150.00
5	REMOVE BITUMINOUS PAVEMENT	SY	385	\$7.00	\$ 2,695.00	\$ 12.00	\$ 4,620.00	\$ 10.00	\$ 3,850.00	\$ 10.00	\$ 3,850.00
6	REMOVE CONCRETE DRIVEWAY	SY	90	\$9.00	\$ 810.00	\$ 15.50	\$ 1,395.00	\$ 20.00	\$ 1,800.00	\$ 20.00	\$ 1,800.00
7	SALVAGE & RESPREAD DRIVEWAY SURFACING AGGREGATE	SY	130	\$14.00	\$ 1,820.00	\$ 13.50	\$ 1,755.00	\$ 20.00	\$ 2,600.00	\$ 23.84	\$ 3,099.20
8	FULL DEPTH RECLAMATION	SY	11500	\$2.50	\$ 28,750.00	\$ 3.75	\$ 43,125.00	\$ 0.75	\$ 8,625.00	\$ 2.64	\$ 30,360.00
9	CLEARING & GRUBBING	LS	1	\$5,000.00	\$ 5,000.00	\$ 7,800.00	\$ 7,800.00	\$ 8,000.00	\$ 8,000.00	\$ 7,350.00	\$ 7,350.00
10	ROADWAY PREPARATION	RD ST	40.5	\$300.00	\$ 12,150.00	\$ 200.00	\$ 8,100.00	\$ 500.00	\$ 20,250.00	\$ 703.70	\$ 28,499.85
11	BITUMINOUS MATERIAL FOR TACK COAT	GAL	600	\$3.00	\$ 1,800.00	\$ 3.00	\$ 1,800.00	\$ 2.50	\$ 1,500.00	\$ 3.53	\$ 2,118.00
12	TYPE SP 9.5 WEARING COURSE MIXTURE (3.B)	TON	1310	\$75.00	\$ 98,250.00	\$ 68.00	\$ 89,080.00	\$ 84.00	\$ 110,040.00	\$ 81.73	\$ 107,066.30
13	TYPE SP 12.5 NON-WEARING COURSE MIXTURE (3.B)	TON	1750	\$70.00	\$ 122,500.00	\$ 56.00	\$ 98,000.00	\$ 74.00	\$ 129,500.00	\$ 68.15	\$ 119,262.50
14	AGGREGATE SURFACING CLASS 2	TON	155	\$40.00	\$ 6,200.00	\$ 38.00	\$ 5,890.00	\$ 50.00	\$ 7,750.00	\$ 30.10	\$ 4,665.50
15	EXCAVATE, LOAD, AND HAUL RECLAIM AGGREGATE	CY	650	\$15.00	\$ 9,750.00	\$ 22.50	\$ 14,625.00	\$ 25.00	\$ 16,250.00	\$ 15.98	\$ 10,387.00
16	COMMON EXCAVATION	CY	100	\$20.00	\$ 2,000.00	\$ 43.00	\$ 4,300.00	\$ 38.00	\$ 3,800.00	\$ 50.00	\$ 5,000.00
17	SALVAGE & PLACE RECLAIM AGGREGATE	CY	50	\$8.00	\$ 400.00	\$ 26.50	\$ 1,325.00	\$ 25.00	\$ 1,250.00	\$ 15.00	\$ 750.00
18	6" PERFORATED PVC SCH 40 DRAIN TILE PIPE	LF	860	\$15.00	\$ 12,900.00	\$ 52.00	\$ 44,720.00	\$ 38.00	\$ 32,680.00	\$ 49.72	\$ 42,759.20
19	8" SOLID PVC SCH 40 STORM SEWER PIPE	LF	85	\$30.00	\$ 2,550.00	\$ 52.00	\$ 4,420.00	\$ 33.85	\$ 2,877.25	\$ 69.18	\$ 5,880.30
20	8" PERFORATED PVC SCH 40 DRAIN TILE PIPE	LF	365	\$15.00	\$ 5,475.00	\$ 58.00	\$ 21,170.00	\$ 47.75	\$ 17,428.75	\$ 65.01	\$ 23,728.65
21	CLEANOUT W/ THREADED CAP	EA	3	\$300.00	\$ 900.00	\$ 1,200.00	\$ 3,600.00	\$ 918.00	\$ 2,754.00	\$ 1,041.31	\$ 3,123.93
22	27" DIAMETER CATCH BASIN	EA	2	\$2,000.00	\$ 4,000.00	\$ 1,300.00	\$ 2,600.00	\$ 1,722.00	\$ 3,444.00	\$ 3,394.11	\$ 6,788.22
23	18" RC PIPE STORM SEWER CLASS V	LF	42	\$60.00	\$ 2,520.00	\$ 93.50	\$ 3,927.00	\$ 59.00	\$ 2,478.00	\$ 116.79	\$ 4,905.18
24	21" RC PIPE STORM SEWER CLASS V	LF	125	\$65.00	\$ 8,125.00	\$ 103.00	\$ 12,875.00	\$ 65.00	\$ 8,125.00	\$ 124.80	\$ 15,600.00
25	24" RC PIPE STORM SEWER CLASS V	LF	121	\$75.00	\$ 9,075.00	\$ 133.00	\$ 16,093.00	\$ 87.50	\$ 10,587.50	\$ 148.12	\$ 17,922.52
26	18" RC FLARED END SECTION W/ TRASHGUARD	EA	2	\$1,500.00	\$ 3,000.00	\$ 2,100.00	\$ 4,200.00	\$ 1,650.00	\$ 3,300.00	\$ 1,690.00	\$ 3,380.00
27	21" RC FLARED END SECTION W/ TRASHGUARD	EA	4	\$1,750.00	\$ 7,000.00	\$ 2,800.00	\$ 10,400.00	\$ 2,135.00	\$ 8,540.00	\$ 2,109.25	\$ 8,437.00
28	24" RC FLARED END SECTION W/ TRASHGUARD	EA	4	\$2,000.00	\$ 8,000.00	\$ 3,100.00	\$ 12,400.00	\$ 2,535.00	\$ 10,140.00	\$ 2,557.02	\$ 10,228.08
29	15" CMP STORM SEWER	LF	165	\$35.00	\$ 5,775.00	\$ 66.00	\$ 10,890.00	\$ 47.50	\$ 7,837.50	\$ 89.35	\$ 14,742.75
30	15" CMP FLARED END SECTION	EA	8	\$250.00	\$ 2,000.00	\$ 900.00	\$ 7,200.00	\$ 567.00	\$ 4,536.00	\$ 568.57	\$ 4,548.56
31	RANDOM RIPRAP CLASS III	CY	60	\$75.00	\$ 4,500.00	\$ 140.00	\$ 8,400.00	\$ 133.00	\$ 7,980.00	\$ 174.99	\$ 10,499.40
32	6" CONCRETE DRIVEWAY PAVEMENT	SY	120	\$100.00	\$ 12,000.00	\$ 105.00	\$ 12,600.00	\$ 121.00	\$ 14,520.00	\$ 151.25	\$ 18,150.00
33	3" BITUMINOUS DRIVEWAY PAVEMENT	SY	450	\$25.00	\$ 11,250.00	\$ 27.50	\$ 12,375.00	\$ 30.00	\$ 13,500.00	\$ 52.78	\$ 23,751.00
34	DITCH GRADING	LF	1445	\$8.00	\$ 11,560.00	\$ 2.50	\$ 3,612.50	\$ 8.00	\$ 11,560.00	\$ 13.15	\$ 19,001.75
35	TOPSOIL BORROW	CY	175	\$35.00	\$ 6,125.00	\$ 57.00	\$ 9,975.00	\$ 50.00	\$ 8,750.00	\$ 40.00	\$ 7,000.00
36	SEEDING - MIXTURE 24-151	SY	3400	\$2.00	\$ 6,800.00	\$ 0.27	\$ 918.00	\$ 0.25	\$ 850.00	\$ 0.21	\$ 714.00
37	HYDRAULIC BONDED FIBER MATRIX	SY	1000	\$2.00	\$ 2,000.00	\$ 1.40	\$ 1,400.00	\$ 1.25	\$ 1,250.00	\$ 0.26	\$ 260.00
38	STABILIZED CONSTRUCTION EXIT	EA	1	\$2,500.00	\$ 2,500.00	\$ 1.00	\$ 1.00	\$ 1,000.00	\$ 1,000.00	\$ 2,996.85	\$ 2,996.85
39	SEDIMENT CONTROL LOG TYPE STRAW - MAINTAINED	LF	200	\$2.50	\$ 500.00	\$ 4.00	\$ 800.00	\$ 3.50	\$ 700.00	\$ 5.25	\$ 1,050.00
40	EROSION CONTROL BLANKET CATEGORY 3N, STRAW 2S	SY	2400	\$4.00	\$ 9,600.00	\$ 1.90	\$ 4,560.00	\$ 1.70	\$ 4,080.00	\$ 1.10	\$ 2,640.00
41	SILT FENCE, TYPE MS - MAINTAINED	LF	850	\$3.00	\$ 2,550.00	\$ 2.25	\$ 1,912.50	\$ 2.00	\$ 1,700.00	\$ 2.21	\$ 1,878.50
42	STORM DRAIN INLET PROTECTION - MAINTAINED	EA	1	\$250.00	\$ 250.00	\$ 200.00	\$ 200.00	\$ 105.00	\$ 105.00	\$ 367.50	\$ 367.50
43	CULVERT PROTECTION - MAINTAINED	EA	16	\$225.00	\$ 3,600.00	\$ 135.00	\$ 2,160.00	\$ 120.00	\$ 1,920.00	\$ 367.50	\$ 5,880.00
				<b>Total Bid:</b>	<b>\$ 464,650.00</b>	<b>Total Bid:</b>	<b>\$ 532,474.00</b>	<b>Total Bid:</b>	<b>\$ 557,469.25</b>	<b>Total Bid:</b>	<b>\$ 612,191.74</b>

Bid No. 4  
 Bituminous Roadways, Inc.  
 1520 Commerce Drive  
 Mendota Heights, MN 55120

Bid No. 5  
 Duinick, Inc.  
 408 8th Street  
 Prinsburg, MN 56281

Bid No. 6  
 Northdale Construction Company, Inc.  
 9780 71st Street NE  
 Albertville, MN 55301

## STAFF REPORT

## Agenda Item 10a.

<b>Council Meeting:</b> August 26, 2021	<b>Prepared By:</b> Brad Martens
<b>Topic:</b> City Council Appointment	<b>Action Required:</b> Approval

---

### Summary:

On July 16<sup>th</sup>, Councilmember Manoj Thomas issued his resignation which the City Council accepted on July 22<sup>nd</sup>. At that meeting, the Council declared a vacancy and directed staff to open an application period to close at 4pm on August 19, 2021. A total of six applications were received by the deadline from the following individuals:

- Byron Moyle
- Dean Vehrenkamp
- Gerald (Jay) Van Den Einde
- Justin White
- Mark Lanterman
- Stanislas (Stas) Manchik

The applications are attached to this report.

The City Council should review the applications and consider appointing an individual to the City Council beginning September 9, 2021. The term would then expire following a special election which would take place on November 8, 2022.

### Financial/Budget:

Not applicable.

### Options:

1. Approve resolution 2021-98 appointing an individual to the City Council.
2. Defer the appointment to a future meeting.

### Council Action:

1. Consider a motion approving resolution 2021-98 appointing an individual to the City Council.

### Attachments:

1. City Council applications
2. Resolution 2021-98



# CITY OF CORCORAN

*A Hidden Gem Waiting To Be Discovered*

[www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

## CITY COUNCIL APPLICATION

**DUE AUGUST 19, 2021 AT 4:00 PM**

The City welcomes you as an applicant for appointment to the City Council. To be considered for appointment, individuals must be eligible to vote in Minnesota, at least 21 years of age on assuming the office, and maintain residency in the City of Corcoran. Please complete the following information, attach extra sheets if necessary, and return to City Hall. Accommodations will be provided, upon request, to allow individuals with disabilities to participate in the application process.

### DATA PRACTICES ADVISORY

The City is required to provide the following information to you. Under Minnesota law, your name and home address are public information, which must be provided to anyone who requests it. If appointed to the City Council, the following information will also be public: education and training background, previous work experience, work location, a work telephone number, and any expense reimbursement. The other information requested below is classified as private. This information will be used by the City Council in determining qualification for appointment to the City Council. Therefore, all of the information will be provided to the City Council in a public forum and will be reviewed in public. Failure to provide the requested information may result in forfeiture of a City Council appointment.

### Please complete the information below:

Name: Byron Moyle		
Address: 9425 County Road 101 , Corcoran, MN 55340		
Phone: (h)	(w)	(c) 763-568-0438
E-mail: byron@midwestliftsllc.com		

Please answer the following questions (use the back side if more space is needed):

### 1) How long have you been a Corcoran resident?

I moved to Corcoran with my family in September of 2020.

*Continued on the next page...*





# CITY OF CORCORAN

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- 2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.**

Although I have not served in a position previously, I have lived in many different cities. I grew up on a farm in Parkers Prairie and then spent many years of my adult life in the city of St. Paul, with stops along the way in Elk River, Alexandria and Apple Valley. I have experienced first hand policies that have both helped and hindered my success and have witnessed councils that make decisions detrimental to the residents without seemingly involving them in the process. My experience as a small business owner for the past 4 years has also given me the opportunities to work with the state and several counties in various grant programs.

- 3) Please describe why you feel qualified to serve on the City Council, including any other relevant experience with the issues faced by the City.**

I feel that I bring a unique perspective to the Council that is not yet represented. I am a small business owner and specifically moved to Corcoran because it was the opportunity to own land and have a building on my property where I could operate my business. I feel that small businesses are a voice that are under represented in Corcoran. I would like to see more small business growth with a more "small business friendly" community that not only welcomes, but supports small businesses. In addition, I am a landowner (7 acres) and I think this brings another unique perspective as someone who enjoys the quiet, small town life of Corcoran but realizes the need for growth and economic stimulation.

- 4) Why are you interested in serving on the City Council?**

2020 has been a life changing year in many respects and the Corcoran city council is no exception. New perspectives and communication styles have led to a council that is more transparent. More residents are becoming involved and voicing their opinions on the direction they feel Corcoran is heading, both positive and negative. Since moving to Corcoran, I have become extremely involved and invested in the decisions made affecting the future and I see on social media platforms how passionate the residents feel. I actively research issues and ensure that I am up to date on any important issues that may affect my family.

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

Byron Moyle  
**Applicant Signature**

08.17.2021  
**Date**

**Administrative Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

**Police Department Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

**Public Works Offices**  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652



# CITY OF CORCORAN

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**Please complete the information below:**

Name:	Dean Vehrenkamp		
Address:	9310 BECHTOLD ROAD CORCORAN MN 55374		
Phone: (h)	612-309-1885 (w)	612-309-1885	(c) 612-309-1885
E-mail:	dean.vehrenkamp@gmail.com		

Please answer the following questions (use the back side if more space is needed):

**1) How long have you been a Corcoran resident?**

14 1/2 YEARS

*Continued on the next page...*



# CITY OF CORCORAN

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2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.

MAPLE GROVE CITIZEN LONG RANGE IMPROVEMENT COMMITTEE - 3 YEARS  
MAPLE GROVE PLANNING COMMISSION - 14 YEARS  
CORCORAN PARKS - 6 MONTHS  
CORCORAN PLANNING COMMISSION - 2 YEARS

3) Please describe why you feel qualified to serve on the City Council, including any other relevant experience with the issues faced by the City.

WITH THE GROWTH AND EXPERIENCE I HAD IN MAPLE GROVE OVER 20 YEARS, I FEEL I CAN CONTRIBUTE TO CORCORAN'S ISSUES CURRENTLY AT HAND AND INTO THE FUTURE.

4) Why are you interested in serving on the City Council?

I WANT TO HELP CORCORAN CONTINUE TO GROW RESPONSIBLY AND KEEP THE IDEAS OF CURRENT LAND OWNERS, THE CITY COMP PLANS, THE BUSINESS COMMUNITY, AND RESIDENTS GROWING AND CHANGING TO MAKE CORCORAN THE BEST IT CAN BE.

If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

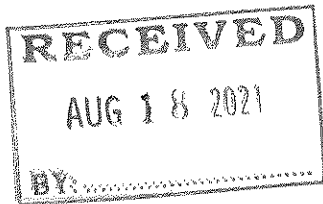
  
Applicant Signature

Aug 1, 2021  
Date

Administrative Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

Police Department Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

Public Works Offices  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652



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### Please complete the information below:

Name: Gerald (Jay) Van Den Einde		
Address: 10620 Cain Road, Corcoran, MN 55374		
Phone: (h) 763-557-5792	(w)	(c) 612-306-4414
E-mail: jsvandy@gmail.com		

Please answer the following questions (use the back side if more space is needed):

### 1) How long have you been a Corcoran resident?

6 years - we moved to Corcoran in 2015

*Continued on the next page...*

**Administrative Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

**Police Department Offices**  
8200 County Road 116  
Corcoran, MN 55340  
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- 2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.

I haven't served on any city committees.

- 3) Please describe why you feel qualified to serve on the City Council, including any other relevant experience with the issues faced by the City.

I am an Army veteran with 10 years in the Army Reserve, including a 1 year tour in Afghanistan. I was in Army R.O.T.C. in college where we focused on developing leadership and decision making skills. I am active in my church, leading youth group for over 10 years. I've been leading people at work for nearly 25 years working across many different teams.

Through all of these areas, I've learned to actively listen in order to understand various perspectives. I ensure I understand the strategic goal and work to get agreement to achieve the goal. I am skilled at analyzing data to make the best possible decision. My strengths are communication, active listening, decision making, financial competence, and building relationships.

- 4) Why are you interested in serving on the City Council?

I am interested to use my skills and experience to make Corcoran better. I have talked to many neighbors and read through Facebook groups to better understand the perceptions of our residents. It seems clear that Corcoran is challenged with growing pains. I've been feeling prompted to step into our city government for a few years, but it's been easier to do nothing. After seeing the opening I decided to put myself in the ring and contribute to my community.

I believe my perspective coming from suburban Plymouth to rural Corcoran can help ensure we address the needs of both the rural and suburban (new developments) residents of Corcoran.

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

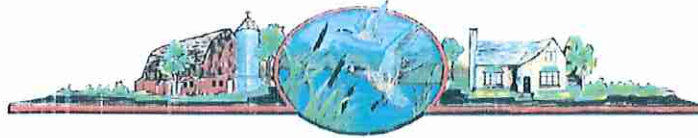
  
Applicant Signature

8/17/21  
Date

Administrative Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

Police Department Offices  
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Corcoran, MN 55340  
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**RECEIVED**  
AUG 19 2021

BY: \_\_\_\_\_

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Please complete the information below:

Name: Justin White		
Address: 20385 Duffney Circle Corcoran, MN 55374-8967		
Phone: (h) —	(w)	(c) 612-578-1541
E-mail: justinw@att.net		

Please answer the following questions (use the back side if more space is needed):

- 1) How long have you been a Corcoran resident? Bought our home in July 2007, moved in September 2007 - 14 years.

Administrative Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

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Corcoran, MN 55340  
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2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary. *Corcoran firearm safety since 2010.*

3) Please describe why you feel qualified to serve on the City Council, including any other relevant experience with the issues faced by the City. *As a resident of Corcoran since 2007 and owner of small farmland I have a personal connection to the vision of Corcoran's preservation of its character and agricultural. I see my ability to provide a level perspective in understanding the facts community input and business needs are the qualification I can bring to the city council and city to meet our goals. While being a volunteer with the City's Firearm safety training for over 10 years, it has provided me with a great opportunity to hear from our community and local police force while supporting the needs of our youth. This has helped me gain perspectives from the community relationships which I am able to bring to the council seat.*

4) Why are you interested in serving on the City Council? *I have a desire to support the mission and vision of the city along with the residents in being able to help promote a balanced and growing city community while preserving the character. The ability to be able to help support the concerns, challenges and growth opportunities in an efficient and effective way is something I have a passion for and feel being on the city council is a way I can support the community and properly encourage development as it meets the needs of the community. I enjoy living in the city of Corcoran and see this as an opportunity for me to give back in support to the community which has provided me a great place to live*

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

Applicant Signature

*08-19-2021*

Date

Administrative Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

Police Department Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

Public Works Offices  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652



# CITY OF CORCORAN

*A Hidden Gem Waiting To Be Discovered*

[www.ci.corcoran.mn.us](http://www.ci.corcoran.mn.us)

## CITY COUNCIL APPLICATION

**DUE AUGUST 19, 2021 AT 4:00 PM**

The City welcomes you as an applicant for appointment to the City Council. To be considered for appointment, individuals must be eligible to vote in Minnesota, at least 21 years of age on assuming the office, and maintain residency in the City of Corcoran. Please complete the following information, attach extra sheets if necessary, and return to City Hall. Accommodations will be provided, upon request, to allow individuals with disabilities to participate in the application process.

### DATA PRACTICES ADVISORY

The City is required to provide the following information to you. Under Minnesota law, your name and home address are public information, which must be provided to anyone who requests it. If appointed to the City Council, the following information will also be public: education and training background, previous work experience, work location, a work telephone number, and any expense reimbursement. The other information requested below is classified as private. This information will be used by the City Council in determining qualification for appointment to the City Council. Therefore, all of the information will be provided to the City Council in a public forum and will be reviewed in public. Failure to provide the requested information may result in forfeiture of a City Council appointment.

### Please complete the information below:

Name:	Mark Lanterman		
Address:	6936 Oak Ridge Road Corcoran, MN 55340		
Phone: (h)	(w)	(952) 924-9920	(c) (612) 802-0004
E-mail:	mlanterman@compforensics.com		

Please answer the following questions (use the back side if more space is needed):

### 1) How long have you been a Corcoran resident?

My family and I have been Corcoran residents since July 2013.

*Continued on the next page...*





# CITY OF CORCORAN

*A Hidden Gem Waiting To Be Discovered*

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- 2) **Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary.**

I was appointed to a vacancy on the Corcoran Planning Commission earlier this year (2021), where I continue to serve.

In addition to my role on the Planning Commission, the Minnesota Supreme Court appointed me to the Lawyer Professional Responsibility Board in 2017 and I currently serve as the Chairperson of its Opinion Committee.

- 3) **Please describe why you feel qualified to serve on the City Council, including any other relevant experience with the issues faced by the City.**

I am well suited to serve the residents of Corcoran by applying my skills to (1) properly identify the issues presented by a specific application or topic and (2) analyze the issues to the best of my ability, taking into account the myriad factors. In the past five months, I have demonstrated these capabilities on the Planning Commission. I take seriously the decisions of our local government, and understand its long and short term affects on our City and its residents. Working in cybersecurity, and having formerly worked as an investigator for local and federal law enforcement, I am dedicated to approaching an issue from all angles and devoting the time and rigorous thought that is necessary to contribute a well-reasoned and principled basis for a resolution.

- 4) **Why are you interested in serving on the City Council?**

I am interested in serving on the Corcoran City Council because I enjoy spending my time carefully scrutinizing the issues that come before the Council. Understanding that the decisions of the Council literally hit close to home for the City's residents, it is a great responsibility that requires significant attention. I believe that I will bring additional thoughts, evaluations, and perspective.

---

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

08/19/2021

**Applicant Signature**

**Date**

---

**Administrative Offices**  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

**Police Department Offices**  
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## CITY COUNCIL APPLICATION

**DUE AUGUST 19, 2021 AT 4:00 PM**

The City welcomes you as an applicant for appointment to the City Council. To be considered for appointment, individuals must be eligible to vote in Minnesota, at least 21 years of age on assuming the office, and maintain residency in the City of Corcoran. Please complete the following information, attach extra sheets if necessary, and return to City Hall. Accommodations will be provided, upon request, to allow individuals with disabilities to participate in the application process.

### DATA PRACTICES ADVISORY

The City is required to provide the following information to you. Under Minnesota law, your name and home address are public information, which must be provided to anyone who requests it. If appointed to the City Council, the following information will also be public: education and training background, previous work experience, work location, a work telephone number, and any expense reimbursement. The other information requested below is classified as private. This information will be used by the City Council in determining qualification for appointment to the City Council. Therefore, all of the information will be provided to the City Council in a public forum and will be reviewed in public. Failure to provide the requested information may result in forfeiture of a City Council appointment.

Please complete the information below:

Name: Stanislas (Stas) manchik		
Address: 6450 Larkspur Ln. Corcoran, MN 55341		
Phone: (h)	(w)	(c) 612.987.1429
E-mail: stasmanchik@gmail.com		

Please answer the following questions (use the back side if more space is needed):

1) How long have you been a Corcoran resident?

June 2020.

*Continued on the next page...*

Administrative Offices  
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Corcoran, MN 55340  
Phone: 763-420-2288

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2) Please list any city committees/ commissions you have served on in the past, either for the City of Corcoran or another community. Please include the dates of service and if you held any positions such as Chair or Secretary. *None.*

3) Please describe why you feel qualified to serve on the City Council, including any other relevant experience with the issues faced by the City.

*I'm decent at public speaking and have almost a decade of real estate experience + even more of customer service which is a huge part of meetings from what I have seen.*

4) Why are you interested in serving on the City Council?

*To give back to the community & get involved more.*

---

*If appointed, I agree to disclose any conflict of interest I might have in reviewing or approving any contract, license, permit, application, appointment, land use decision, public improvement, or other matter that comes before me.*

Please sign and date this application and return to:

City of Corcoran  
8200 County Road 116  
Corcoran MN 55340

*J. Mandil*  
\_\_\_\_\_  
Applicant Signature

*7/23/2021*  
\_\_\_\_\_  
Date

---

Administrative Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-2288

Police Department Offices  
8200 County Road 116  
Corcoran, MN 55340  
Phone: 763-420-8966

Public Works Offices  
9100 County Road 19  
Corcoran, MN 55357  
Phone: 763-420-2652

**RESOLUTION NO. 2021-98**

**Motion By:**  
**Seconded By:**

**A RESOLUTION APPOINTING \_\_\_\_\_ TO THE CORCORAN CITY COUNCIL**

**WHEREAS**, the City of Corcoran received a resignation notice from Councilmember Manoj Thomas effective July 16, 2021; and

**WHEREAS**, the City Council declared a vacancy at its July 22, 2021 meeting, and

**WHEREAS**, Minnesota Statute 412.02 dictates a special election shall be held at or before the next city election to fill the unexpired term, and

**WHEREAS**, the City Council may appoint an individual to serve on the City Council until a qualified successor is elected at the special election; and

**WHEREAS**, the City Council accepted applications for appointment until 4:00 pm on Thursday, August 19, 2021; and

**WHEREAS**, the City Council has found \_\_\_\_\_ to meet the requirements for appointment to serve on the City Council; and

**NOW, THEREFORE BE IT RESOLVED**, by the City of Corcoran, that the City Council hereby appoints \_\_\_\_\_ to the City Council, effective September 9, 2021, until a qualified successor is elected at a special election.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**

Whereupon, said Resolution is hereby declared adopted on this 26<sup>th</sup> day of August 2021.

\_\_\_\_\_  
**Tom McKee –Mayor**

*City Seal*

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – Administrative Services Director**





From Site to Finish

105 South Fifth Street,  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
www.landform.net

# MEMORANDUM

**DATE** August 18, 2021  
**TO** Brad Martens  
**CC** City Council, Planning Commission, Parks & Trails Commission  
**FROM** Kendra Lindahl, City Planner  
**RE** Active Corcoran Planning Applications

*Projects/Comments in blue italics are new*

The following is a summary of project status for current, active projects:

1. **Request for Rezoning, Site Plan, Conditional Use Permit and Variance for Garages Too, LLC at 224010 Highway 55 (PID 32-119-23-44-0001) (city file 21-016).** The applicant has requested approval to allow a mini storage/self-storage facility on the property. The City Council reviewed a concept plan earlier this year and indicated support. *The application was reviewed at a Public Hearing at the August 5<sup>th</sup> Planning Commission and is scheduled for Council action on August 26<sup>th</sup>.*
2. **Conditional Use Permit for Accessory Building Sidewall Height at 6805 Rolling Hills Road (PID 32-119-23-11-0002) (city file 21-018).** The applicant is requesting approval to exceed the sidewall height on a new accessory building in the rear yard. *This item was reviewed at a public hearing at the June 3<sup>rd</sup> Planning Commission meeting where questions were raised about the section of the Zoning Ordinance regarding accessory buildings. This item has been placed on hold while the City considers a Zoning Ordinance text amendment and Council action is tentatively scheduled for August 26<sup>th</sup>.*
3. **Vacation of Cain Road ROW (city file 21-022).** The City Council voted to commence the vacation process as requested by Michael Galbraith to remove an easement containing an unimproved portion of Cain Road adjacent to his property at 20700 70<sup>th</sup> Avenue. *A public hearing is tentatively scheduled for the August 12<sup>th</sup> meeting.*
4. **Sign Ordinance Amendment (city file 21-027).** The City Council directed staff to prepare an update to the sign ordinance regarding campaign signs. The ordinance is scheduled for consideration at the August 26<sup>th</sup> City Council meeting.
5. **Zoning Ordinance Amendment (city file no. 21-029).** Staff is requesting that the City Council consider a text amendment to Section 1030.020 of the Zoning Ordinance regarding accessory structures. The ordinance was amended in 2011 to allow landowners to apply for a conditional use permit to exceed the sidewall height for all properties regardless of parcel size. As part of the review of a recent application by Dave Dornsbach, the City Attorney was asked to review the ordinance and recommends changes before acting on the landowner request. *At the June 24<sup>th</sup> meeting Council directed staff to schedule this item for a public hearing at the August 5<sup>th</sup> Planning Commission and for action at the August 26<sup>th</sup> City Council meeting.*
6. **Preliminary Plat for “Bechtold Farm” at 10165 Bechtold Road (PID 05-119-23-44-0001 and 0811923110007) (city file no. 21-030).** Skies Limit LLC has requested approval of a preliminary plat to create 12 lots on 115.61 acres. *The item is currently incomplete and will be scheduled for meetings upon receipt of a complete application.*

7. **Amendments to the text of Chapter 82 (Nuisances) of the City Code (city file no. 21-032).** At the June 10<sup>th</sup> meeting, Council directed staff to prepare amendments to ease storage restrictions from RVs, firewood and lots with more than one street frontage. The Council reviewed a draft ordinance amendment prepared by staff and the City Attorney. City Council directed staff to proceed with the draft ordinance with to allow a 25-foot front yard setback for up to two recreational vehicles in addition to modifying the language to also allow personal recreational vehicles and unoccupied trailers in the front yard. *Staff was directed to proceed with a Public Hearing which is scheduled for the August 26<sup>th</sup> meeting.*
8. **Kariniemi Sketch Plan for 23185 County Road 10 (PID 18-119-23-11-0002) (city file no. 21-033).** The applicant has requested Council feedback on a concept to reguide/rezone part of the property from residential to commercial to create 3 commercial lots and 10 residential lots. This item is scheduled for Council review at the August 26<sup>th</sup> meeting.
9. **Zoning Ordinance Amendment for Assembly Uses (city file 21-034).** At the June 24<sup>th</sup> meeting, the City Council discussed removing assembly uses in low residential zoning districts within the MUSA. Staff was directed to proceed with a Public Hearing. *The item was tabled at the August 5<sup>th</sup> Planning Commission meeting to September 2<sup>nd</sup> and two alternatives will be presented for consideration. The item will be forwarded to the September 23<sup>rd</sup> City Council meeting.*
10. **Final Plat and PUD Final Plan for “Tavera 2nd Addition” (PID 35-119-23-41-0001 and 35-119-23-41-0002) (city file no. 21-036).** *The final plat for phase 2 includes 46 single family homes. The application is scheduled for Planning Commission review on September 2<sup>nd</sup> and City Council action on September 23<sup>rd</sup>.*
11. **Final Plat and PUD Final Plan for “Amberley 1st Addition” and “Bellwether 6th Addition” (PID 01-119-23-34-0002) (city file no. 21-037).** *The application is for 62 lots in Bellwether 6<sup>th</sup> and 25 lots in Amberley 1st Addition. The application is currently incomplete, but is tentatively scheduled for Planning Commission and City Council action in October.*
12. **Final Plat for “Gordon’s Country Estates First Addition” at 19701 Jackie Lane and 19717 Jackie Lane (PID 01-119-23-22-0024 and 01-119-23-22-0021) (city file no. 21-038).** *The final plat adjusts the lot line between two existing parcels and is scheduled for City Council approval on August 26<sup>th</sup>.*

The following projects were recently acted upon and will be closed out:

1. **Request for Rezoning, Preliminary PUD Development Plan and Preliminary Plat for “Amberley” and “Bellwether” from Pulte Homes (PID 01-119-23-34-002 and 01-119-23-43-0002) (City file 21-017).** Pulte has submitted a request for approval to allow 192 new homes. The Council reviewed a concept plan earlier this year and indicated support. Staff is working with the applicant to resolve infrastructure questions. This item was reviewed at the Parks and Trails Commission meeting on May 20<sup>th</sup>, *at a public hearing at the July 1<sup>st</sup> Planning Commission and approved by the City Council on July 22<sup>nd</sup>.*
2. **City Initiated Ordinance and Land Use Map Amendments (city file 21-020).** Staff is recommending four changes to the land use map for consistency with the adopted plan and minor edits to Appendix B of the Zoning Ordinance. *This item was reviewed at a public hearing at the July 1<sup>st</sup> Planning Commission and City Council approved the request on July 22<sup>nd</sup>. The land use map edits have been sent to the Metropolitan Council for review.*
3. **Franzen Estates Final Plat at 23020 Strehler Road (PID 17-119-23-32-0003) (city file 21-021).** Greg and Deb Franzen have submitted a final plat application for the three lot subdivision. The preliminary plat was approved earlier this year. *The application was approved at the July 22<sup>nd</sup> Council meeting and the applicant is working to address the approval conditions.*
4. **PUD Amendment for Tavera (city file 21-023).** U.S. Home Corporation dba Lennar has requested approval of a PUD amendment to modify the PUD approvals to allow larger temporary real estate signs than allowed by City Code, add two additional lots to the approved preliminary plat and to modify the PUD approvals to allow garage forward home design even for the homes that exceed the

percentage of garage on the front elevations. *The application was acted on at the July 22<sup>nd</sup> City Council meeting.*

5. **Preliminary Plat and Variance for Gordon's County Estates at 19701 and 19717 Jackie Lane (PID 01-119-23-22-0021 and 01-119-23-22-0024) (City file 21-025).** The applicant has submitted a request to adjust the common lot line between two parcels in the Urban Reserve zoning district. *The was reviewed at a public hearing at the July 1<sup>st</sup> Planning Commission and was approved by the City Council on July 22<sup>nd</sup>.*
6. **Rezoning, Preliminary Plat and Preliminary PUD Plan for Cook Lake Highlands (PID 25-119-23-14-0003) (city file no. 21-028).** Trek Development has requested approval for a mixed use development with a senior co-op, villa homes, day care and assisted living/memory care. This is a new application similar to the one denied in April. The applicant has since met with neighbors and received Council approval to submit a new application. *This new application was reviewed at a Public Hearing at the Planning Commission on July 1<sup>st</sup>, at the July 15<sup>th</sup> Parks and Trails Commission and was approved at the July 22<sup>nd</sup> City Council meeting.*
7. **Administrative Permit for T-Mobile Tower Changes for 20140 County Road 30 (PID 11-119-23-12-0001) (city file no. 21-035).** The applicant has requested approval to swap out antennas and ground equipment on this existing tower. *This application was administratively approved.*

**City of Corcoran  
2021 City Council Schedule**

**Agenda Item 12.**

**September 9, 2021 Work Session – 5:30 pm**

- 2022 Budget and Financial Management Plan

**September 9, 2021**

- City Council Oath of Office
- Officer Oath of Office
- Sergeant Promotion
- Commissioner Appointment process
- Job Description Update – Police Administrative Assistant
- Stormwater Area Charge
- Call Assessment Hearings – Corcoran Trail/Appaloosa Woods Improvement projects
- Grant Application Approval – City Park Master Plan
- Northeast Corcoran Water Project
- Potential “Town Hall” meeting
- Paving Petition – Park Trail Road

**September 23, 2021 Work Session – 5:30 pm**

- Fire Service Work Plan

**September 23, 2021**

- Active Corcoran Planning Applications
- Conditional Uses in Residential Zoning Districts
- Assessment Hearings – Appaloosa Woods/Corcoran Trail East & West
- Zoning Amendment for Assembly Uses
- Amberly/Bellwether Final Plat and Final PUD Plan
- Tavera 2<sup>nd</sup> Addition Final Plat and Final PUD Plan
- Phone System Proposal