



CITY OF CORCORAN
Corcoran City Council Agenda
January 28, 2021 - 7:00pm

**Meeting Held Via Telephone/Other
Electronic Means Call-in Instructions**

Call: +1 312 626 6799 US
Enter Meeting ID: 852 4083 3057
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Sections in the meeting.**

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Meeting ID: 852 4083 3057**

**Participants can utilize the Raise Hand function
to be recognized to speak during the Public
Comment sections in the meeting. Participant
video feeds will be muted.**

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public comment visit:**

www.corcoranmn.gov

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Commission Representatives***
5. **Open Forum – Public Comment Opportunity**
6. **Presentations/Recognitions**
 - a. Hennepin County Commissioner Kevin Anderson
7. **Consent Agenda**
 - a. Draft Minutes of January 14, 2020 Council Meeting*
 - b. Financial Claims*
 - c. Pay Equity Reporting*
 - d. Pay Request #2, Change Order #2 – City Hall Remodel*
 - e. Police Officer Declaration of PERA Contributions – Caitlyn Sandstad*
 - f. Dakota County Criminal Justice System Services Agreement*
 - g. Wright Hennepin Wetland Waiver – 19835 Larkin Road (City File 20-048)*
 - h. Request for Metropolitan Agricultural Preserve Expiration (City File 21-001)*
8. **Planning Business**
 - a. Site Plan Amendment and Conditional Use Permit for Nelson International (City File 20-022)*
 - b. Easement Vacation for Nelson International (City File 20-022)*
 - c. PUD Sketch Plan Review for Van Blaricom and Schober Properties (City File 20-050)*
9. **Unfinished Business**
10. **New Business – Public Comment Opportunity**
 - a. Authorize Feasibility Study – City Center Drive and 79th Place Improvements*
 - b. Draft Appaloosa Woods Feasibility Study*
 - c. Bellwether Park Improvement Project – Boardwalk*
 - d. 2021 Legislative Priorities*
 - e. COVID-19 Leave Extension*
 - f. Schedule Work Session – Northeast Water Supply Planning*
11. **Staff Reports**
 - a. Active Corcoran Planning Applications*
 - b. Pandemic Response Update
12. **Closed Session – Property Acquisition for the 66th Avenue/Gleason Parkway Extension
Corridor Improvements**
13. **2021 City Council Schedule***
14. **Adjournment**

Due to the COVID-19 health pandemic, the City Council's regular meeting place is not available and is not open to the public. Pursuant to Minnesota Statute 13D.021 the one or more members of the City Council may participate by telephone or other electronic means.

***Includes Materials** - *Materials relating to these agenda items can be found in the House Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at www.ci.corcoran.mn.us.*

STAFF REPORT

Agenda Item 4.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: Commission Representatives	Action Required: None – Informational

Summary:

The advisory commission representatives for the January 28th Council meeting are as follows:

- Planning Commission: Jeff Dickman
- Parks and Trails Commission: John Dugan

Financial/Budget:

N/A

Council Action:

N/A

Attachments:

N/A



CITY OF CORCORAN

**City Council Meeting Minutes
January 14, 2021 - 7:00 pm**

The Corcoran City Council met on January 14, 2021, in Corcoran, Minnesota. Pursuant to Minnesota Statute Section 13D.021 and due to the COVID-19 pandemic, the City Council meeting was held remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee was present at City Hall and present via telephonic or other electronic means were Councilor Bottema, Councilor Nichols, Councilor Schultz, Councilor Thomas.

Also present were City Administrator Martens and Administrative Services Director Beise. Director of Public Safety Gottschalk, Public Works Director Mattson, and City Planner Lindahl were present via telephonic or other electronic means.

1. Pledge of Allegiance

Mayor McKee invited all in attendance to rise and join in the Pledge of Allegiance.

2. Call to Order / Roll Call

Mayor McKee called the meeting to order at 7:00 pm.

3. Oath of Office

a. Tom McKee

Tom McKee read the Oath of Office for Mayor of Corcoran and Administrative Services Director Beise acknowledged Mr. McKee was duly sworn in. Staff and Council congratulated Mayor McKee.

b. Manoj Thomas

Manoj Thomas read the Oath of Office for City Council and Administrative Services Director Beise acknowledged Mr. Thomas was duly sworn in. Staff and Council congratulated Councilmember Thomas.

4. Agenda Approval

City Administrator Martens reviewed the Public Comment Opportunities and noted a Public Hearing prior to Council discussion of item 9a. Easement Vacation for the Kariniemi Addition. City Administrator Martens requested Item 11f. Planning Position be added to the agenda.

MOTION: made by Bottema, seconded by Schultz to approve the agenda as modified.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee

(Motion carried 5:0)

5. Commission Representatives

Mayor McKee noted Planning Commissioner Wu and Parks and Trails Commissioner Strehler were present via telephonic or other electronic means. Mayor McKee invited Commissioner Wu and Commission Strehler to speak on relevant agenda items.

6. Open Forum (Public Comment Opportunity)

Mayor McKee invited residents to communicate telephonically during the Open Forum discussion for items not included on the agenda. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer.

De Sicora, 6410 Elm Street, addressed Council and requested information on expenses utilized under the federally funded CARES Act, and an update on the Hackamore Road project and communications with the City of Medina. Ms. Sicora asked Council to review local merchant shopping into Corcoran. Council reviewed response process by Council during Open Forum noting staff follow up process. Ms. Sicora acknowledged the communications from City Administrator Martens following Council meetings. Council indicated the Medina Council did not reach an agreement regarding the project

costs of the Hackamore Road project, a shared street. Council stated the Council agenda packet from September 10, 2020, item 10c., contains a breakdown for CARES Act funding expenditures by the City.

7. Presentations/Recognitions

No presentations or recognitions were heard.

8. Consent Agenda

- a. Draft Minutes of December 21, 2020 Council Meeting
- b. Financial Claims
- c. Resolution to Execute Closing Documents
- d. Resignations – Josh Hunter and Cody Vojacek
- e. Audit Engagement Letter – Abdo Eick & Meyers LLP
- f. Southeast Corcoran 2020 Trunk Watermain Improvements – Pay Request 2

Council requested item 8e. Audit Engagement Letter – Abdo Eick & Meyers LLP be removed from the consent agenda for review

MOTION: made by Bottema, seconded by Thomas to approve the consent agenda items 8a., 8b., 8c., 8d., and 8f.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee
(Motion carried 5:0)

Council reviewed item 8e., and audit review of expenses relating to CARES Act compliance. City Administrator Martens noted the threshold is \$750,000, and the City was well under the threshold. Administrative Services Director Beise noted the auditors will be completing checks to ensure compliance with the CARES Act and general requirements. City Administrator Martens stated auditors will review Resolution 2020-83 which recorded Council approval of the CARES Act expenditures in 2020.

MOTION: made by Schultz, seconded by Nichols to approve the consent agenda item 8e. Audit Engagement Letter – Abdo Eick & Meyers LLP.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee
(Motion carried 5:0)

9. Planning Business

- a. Easement Vacation for Kariniemi Addition

City Planner Lindahl noted the final plat was approved on December 21, 2020, and vacation easement normally runs with approval of plat, however, the Public Hearing notice deadline was missed for the Public Hearing. City Planner Lindahl presented the Kariniemi application requesting the new easement vacation, and the combined parcels for lot subdivision, along with deeded easements, and new dedicated easements with the final plat, noting the larger easements because of the watershed areas dedicated with the final plat.

Mayor McKee opened the Public Hearing. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. No residents participated in the Public Hearing.

MOTION: made by Nichols, seconded by Schultz to close the Public Hearing.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee
(Motion carried 5:0)

Council recapped the vacation of easements, with new easements dedicated at the final plat stage. City Planner Lindahl clarified approval of final plat occurred at the last Council meeting on December 21, 2020, and approval was contingent upon vacation occurring, and recording of final plat with larger vacated easements.

MOTION: made by Bottema, seconded by Schultz to approve Resolution 2021-03 Approving the Kariniemi Easement Vacation.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee
(Motion carried 5:0)

10. Unfinished Business

No Unfinished Business was heard.

11. New Business (Public Comment Opportunity)

Mayor McKee invited residents to communicate telephonically during the Public Comment Opportunity. Administrative Services Director Beise explained the instructions to participate in the meeting via the Zoom video format and reviewed instructions for participation in the meeting through telephone or computer. Mayor McKee noted the Public Comment Opportunity includes all items under New Business. No residents participated in the Public Comment Opportunity.

a. Annual Appointments

City Administrator Martens outlined Resolution 2021-01 and at will appointments, with no changes to appointments, and one rate increase. Mayor McKee nominated Councilmember Bottema for the acting mayor position. Council inquired about goal setting sessions and reviewing Requests for Proposals (RFP's) regarding vendors and suppliers and utilizing a backup supplier where needed to the main City vendors and suppliers. Council inquired about execution of RFP's. City Administrator Martens noted discussion of RFP's will be included within a future goal setting session and Council also has the option to request items on future Council agendas.

MOTION: made by Bottema, seconded by Schultz to approve Resolution 2020-01 Establishing Annual Appointments and Authorizing Mayor and City Administrator to Execute Engagement Letters as Required.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee.

(Motion carried 5:0)

b. Commission Liaison Schedule

City Administrator Martens reviewed the Commission liaison schedule past practices and noted the Commissions have voiced appreciation for having a Councilmember's attendance at scheduled Commission meetings. Council discussed a consistent Council liaison schedule for Commissions, with flexibility of the schedule, and roles of Councilmembers participating on each Commission.

Councilmember Nichols volunteered to be the liaison for the Planning Commission. Council discussed the Parks and Trails Commission and Mayor McKee volunteered to be the liaison for the Parks and Trails Commission. Councilmember Bottema volunteered as liaison for the Elm Creek Watershed Management Commission meetings. Council discussed a Charter Commission liaison. Council discussed including Councilmember Thomas as a co-councilmember liaison with Councilmember Bottema on the Elm Creek Watershed Management Commission due to the importance of watershed information in the Corcoran community. Council agreed to schedule a Council liaison at the time of Charter Commission meetings. Council discussed having a Councilmember actively sit on the Charter Commission while also maintaining a seat as an elected Councilmember. Council discussed impacts of having a Councilmember sit on the Council and the Charter Commission during the same terms, and what past practice has been. Council discussed the responsibilities of the Charter Commission regarding Council actions and Council accountability, and the perceived conflicts of interest the public may assume, with an individual serving terms on Council and Commission in tandem. Council and staff discussed past practice regarding Commission and Council seats noting the resignation of Commission seat, while serving on the City Council. Council noted the Charter Commission has open seats and strongly encouraged residents to apply.

c. 2021 City Calendar

City Administrator Martens reviewed the 2021 City Calendar and the recommended Council meeting date change to November 22 and noted the December holiday dates. Council consensus was to reschedule the second Council meeting in December to Wednesday, December 22, 2021.

MOTION: made by Nichols, seconded by Schultz to approve 2021 City Calendar as amended.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee

(Motion carried 5:0)

d. Staffing Transition – Construction Services Coordinator

City Administrator Martens reviewed the planner position, and the transition of duties to the construction services coordinator position, and recommended appointment of current employee Mike Pritchard to the position. City Administrator Martens noted the position is one pay grade above the

code compliance official. City Administrator Martens noted the position will move under the Public Works Department and will report to Public Works Director Mattson. Council asked if the code compliance position will be filled. City Administrator Martens noted the remaining duties not assigned to the construction services coordinator position will be reassigned to another role within the organization. Council inquired about the need for city inspectors in the future and the management of the position or vendor. City Administrator Martens explained the process in appointing and transitioning the new duties to the construction services coordinator position.

MOTION: made by Schultz, seconded by Nichols to approve Resolution 2021-04 Reorganizing City Structure and appointing Mike Pritchard to the construction services coordinator position.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee

(Motion carried 5:0)

e. City Council Goal Setting Work Session

City Administrator Martens reviewed the proposed City Council goal setting sessions include a proposal for two, three-hour sessions, and authorization for Phil Kern to facilitate. City Administrator Martens reviewed meeting attendance options which include virtually or in-person, discussed who should be in attendance, and noted the meeting will be open to the public to attend in some capacity, and the work session could include boxed meals for invited in-person attendees due to the meeting time. Council discussed options for the meeting, providing an in-person option, and a virtual meeting option. Council discussed the advantages of meeting in-person with social distancing, noting new Councilmembers may have new goals and initiatives to discuss. Council discussed having the first meeting scheduled for a smaller in-person group, with the second meeting to include attendance of Commission co-chairs. Council inquired about holding a hybrid virtual meeting at City Hall and the Public Works Building. Staff noted the internet is unreliable at the Public Works Building and would not suffice to efficiently operate a hybrid meeting and noted a virtual meeting at City Hall would be the recommended option. Council and staff discussed the hybrid option, and a virtual meeting option at City Hall for Council in the Council Chambers with other attendees attending virtually. City Administrator Martens noted a Council in-person meeting is acceptable at City Hall with social distancing, masks in separate rooms, with a virtual component only for other attendees, along with a virtual meeting for Council in the case of Council needing to quarantine.

MOTION: made by Bottema, seconded by Schultz to approve and schedule January 20, and February 3, as City Council goal setting sessions at City Hall, and enter into an agreement with facilitator Phil Kern; goal setting work session meetings will include Council in-person with masks at City Hall at 4:00 pm, with virtual options available to Council as necessary, and a virtual component only for other attendees.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee

(Motion carried 5:0)

Council requested the strategic, long-term, and short-term goal lists from prior year and staff noted goal lists will be sent to Council.

f. Planner Position

City Administrator Martens noted the previous strong applicant list from the original job posting, and noted an interview was held with a potential candidate. Staff discussed next steps and creating an offer, noting the hiring process will begin again if candidate does not accept.

MOTION: made by Schultz, seconded by Bottema to authorize the Mayor and City Administrator to extend a job offer for the planner position and proceed with the hiring process.

Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee

(Motion carried 5:0)

12. Staff Reports

a. Sergeant Appointment Update

Director of Public Safety Gottschalk reviewed the process for hiring the sergeant position that began on October 8, 2020. Director of Public Safety Gottschalk reviewed the team interview process and announced Officer Pete Ekenberg was selected for the sergeant position with a start date of February 8, 2021. Council congratulated Officer Ekenberg to his new position.

b. Pandemic Response Update

Director of Public Safety Gottschalk presented the total positive cases and noted the vaccine dashboard announced by the Minnesota Department of Health. Director of Public Safety Gottschalk noted first responders have been selected to receive first vaccine shots and benefits the community due to limited staffing in the police department. Director of Public Safety Gottschalk indicated the City is maintaining personal protective equipment levels and continues to operate to keep community and staff safe. Director of Public Safety Gottschalk stated staff is continually adapting and working together to support community and staff. City Administrator Martens reviewed staff operations and scheduling COVID shifts, the remodeling challenge with prepping for moving, and potentially closing City Hall the very end of January during moving days and will inform the Council when a schedule is available. City Administrator Martens noted leadership team meeting discussion including COVID leave time for 2021, and the 10 days/80 hours of approved time in 2020 and extending COVID leave into 2021. City Administrator Martens noted in lieu of the pandemic situation, staff will be reviewing the COVID leave discussion, and presenting options to Council at the January 28 Council meeting. City Administrator Martens outlined COVID pay benefits allow staff to continue to quarantine as the pandemic continues. Council inquired about vaccines and if there have been concerns with side effects with law enforcement staff. Director of Public Safety Gottschalk noted the Moderna vaccine side effects included stiff shoulders, occasional headaches, and a few other minor side effects. Council inquired about the number of COVID hours utilized by staff in 2020. Administrative Services Director Beise noted there were 4 employees who utilized COVID leave benefits. Council indicated a lack of a COVID leave benefits causes people to come to work when they are sick and is not an effective Human Resource practice.

13. Closed Session – Non-Public Health and Medical Data

Mayor McKee stated “Under the authority of Minn. Stat. 13D.05 subd. 2(a), 3 and 4; the City is permitted to close a meeting to review non-public health and medical data.”

Mayor McKee recessed the Council meeting at 8:28 pm.

Mayor McKee reconvened the Council meeting at 8:40 pm.

Mayor McKee stated, “In the closed session the City Council reviewed and discussed non-public health and medical data and staff was provided direction.”

14. 2021 City Council Schedule

City Administrator Martens reviewed upcoming Council schedule. Council inquired about the Nelson International site plan amendment and Planning Commission review. City Administrator Martens indicated typically if the amendment revision reflects a 10 percent change or less, staff is able to approve the changes without Council approval, however with high public interest in the project, it was determined the revision would be submitted to Council for review.

15. Adjournment

MOTION: made by Thomas, seconded by Nichols to authorize Mayor and City Administrator Voting Aye by Roll Call Vote: Bottema, Nichols, Schultz, Thomas, and McKee (Motion carried 5:0) Meeting adjourned at 8:48 pm.

Michelle Friedrich – Deputy Clerk

Agenda Item 7b.
Council Meeting Date: 1/28/2021
Prepared By: jrotz

FINANCIAL CLAIMS

CHECK RANGE

Agenda Item:

7b.

FUND #500 ESCROW CLAIMS

Paid to	Amount	Project name
500-20445	\$69.50	LANDFORM - Ravinia 9th FP and PUD 17-042
500-20482	\$387.75	LANDFORM - Nelson Trucking CUP, SP, VAR 20-022
500-20488	\$34.75	LANDFORM - Rush Creek Reserve FP and FPUD 20-030
500-20471	\$69.50	LANDFORM - St. Therese Wetland/Topo Waiver 20-032
500-20469	\$104.25	LANDFORM - Ravinia 15th FP, PUD, FPUD 20-033
500-20497	\$4,199.50	LANDFORM - Karineimi FP 20-036
500-20307	\$139.00	LANDFORM - Scherber Rezoning - 23240 CR 30 20-040
500-20471	\$172.50	LANDFORM - St. Therese Minor Subdivision 20-041
500-20332	\$1,824.00	LANDFORM - Tavera FP and FPUD 20-042
500-20485	\$490.50	LANDFORM - Tessmer FP 20-043
500-20215	\$1,116.25	LANDFORM - Henn ADU IUP 20-045
500-20216	\$687.50	LANDFORM - Kariniemi Variance 20-046
500-20490	\$775.00	LANDFORM - Cook Lake Highlands RZ PP PUD
500-20217	\$491.75	LANDFORM - Wright Hennepin Substation 20-048
500-20436	\$139.00	LANDFORM - Pulte PUD Concept 20-049
500-20204	\$1,472.90	WENCK ASSOCIATES, INC. - APPALOOSA WOODS ENGINEER'S REPORT
500-20454	\$283.50	WENCK ASSOCIATES, INC. - EDGEWATER WCA
500-20471	\$360.00	WENCK ASSOCIATES, INC. - ST THERESE WCA
500-20211	\$180.00	WENCK ASSOCIATES, INC. - NOR-SON WCA
500-20212	\$348.00	WENCK ASSOCIATES, INC. - GONYEA 19800 HACKAMORE RD WCA
500-20213	\$337.50	WENCK ASSOCIATES, INC. - VAN BLARICOM WCA
500-20214	\$405.00	WENCK ASSOCIATES, INC. - M/I HOMES WCA
500-20217	\$624.00	WENCK ASSOCIATES, INC. - Wright-Hennepin Substation
500-20218	\$751.50	WENCK ASSOCIATES, INC. - 10500 Maple Lane
500-20335	\$3,562.89	WENCK ASSOCIATES, INC. - LENNAR - ENGINEERING
500-20438	\$500.19	WENCK ASSOCIATES, INC. - Bass Lake Crossing M/I Home 17-012 Engineering
500-20423	\$364.66	WENCK ASSOCIATES, INC. - Bass Lake Estates Sketch PUD 17-015
500-20423	\$33.36	WENCK ASSOCIATES, INC. - Cold Storage Crossings
500-20459	\$67.50	WENCK ASSOCIATES, INC. - Refuge of Rush Creek FP 18-028
500-20497	\$931.50	WENCK ASSOCIATES, INC. - Kariniemi PP 20-016
500-20436	\$4,866.90	WENCK ASSOCIATES, INC. - Pulte Development Infrastructure
500-20471	\$2,043.00	WENCK ASSOCIATES, INC. - St. Therese Sketch Plan 19-006
500-20332	\$310.50	WENCK ASSOCIATES, INC. - Wessel Project Offsite Utilities
500-20490	\$369.50	WENCK ASSOCIATES, INC. - Cook Lake - Schommer
500-20332	\$13,177.60	WENCK ASSOCIATES, INC. - Lennar Tavera Development
500-20482	\$537.81	WENCK ASSOCIATES, INC. - Nelson Sketch Plan 19-023
500-20488	\$639.50	WENCK ASSOCIATES, INC. - Rush Creek Reserve
500-20390	\$933.55	WRIGHT HENNEPIN - Ravinia Street Lights
500-20420	\$260.35	WRIGHT HENNEPIN - Bass Lake Crossing Street Lights
500-20436	\$128.82	WRIGHT HENNEPIN - Pulte Bellwether Street Lights

Total \$44,190.78

Total Fund #500 = \$ 44,190.78
(See attached Payments Detail)

Agenda Item:

7b.

ALL OTHER FINANCIAL CLAIMS \$ 294,410.93 \$ 338,601.71 Total Checks

(See attached Check Detail Register)

Total of Auto Deductions \$ 97,231.29

TOTAL EXPENDITURES FOR APPROVAL \$ **435,833.00**

Auto Deductions / Electronic Fund Transfer / Other Disbursements

Date	Paid to	Amount	
1/11/2021	GALLS	\$ 548.38	PD Supplies
1/12/2021	Fleetio.com - Birmingham, AL	\$ 6.44	PD Supplies
1/12/2021	Zagg Inc - Salt Lake City, UT	\$ 7.99	PW Supplies
1/13/2021	VistaPrint.com	\$ 4.83	PD Supplies
1/14/2021	VistaPrint.com	\$ 190.12	PD Supplies
1/14/2021	MN PERA, PERA	\$ 15,349.51	Pension plan
1/14/2021	Payroll Taxes	\$ 20,371.57	Payroll taxes
1/14/2021	Net Payroll PP01	\$ 52,530.74	Net payroll PP01
1/15/2021	State of MN - Roth	\$ 2,233.41	Deferred compensation payment to State of MN
1/15/2021	State of MN - MSRS	\$ 2,453.86	State of MN healthcare savings plan
1/19/2021	Optum - H S A	\$ 3,534.44	Health savings account

Total \$ 97,231.29

CITY OF CORCORAN

01/22/21 2:33 PM

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***Check Detail Register©**

January 2021

Check Amt Invoice Comment

10100 Farmers State Bank

Unpaid **ABDO, EICK & MEYERS, LLP**

E 100-41540-300	Professional Svcs (GENERAL)	\$7,000.00	438738	AUDIT SERVICES
Total ABDO, EICK & MEYERS, LLP		\$7,000.00		

Unpaid **ACME TOOLS**

E 100-43100-210	Operating Supplies (GENERAL)	\$13.59	8321907	SUPPLIES
E 100-41941-210	Operating Supplies (GENERAL)	\$239.00	8349467	SUPPLIES
E 100-41941-210	Operating Supplies (GENERAL)	\$201.94	8350185	SUPPLIES
Total ACME TOOLS		\$454.53		

Unpaid **ADP, LLC**

E 100-41941-300	Professional Svcs (GENERAL)	\$258.45	571977526	WORKFORCE NOW PAYROLL SOLUTIONS BUNDLE
Total ADP, LLC		\$258.45		

Unpaid **AMAZON CAPITAL SERVICES**

E 400-41941-210	Operating Supplies (GENERAL)	\$29.90	11NF-MXXY-G	REMODEL SUPPLIES
E 100-42100-210	Operating Supplies (GENERAL)	\$190.94	1LJW-6YNC-3	SUPPLIES
E 400-41941-210	Operating Supplies (GENERAL)	\$157.92	1NN9-1L4L-XL	REMODEL SUPPLIES
E 100-43100-210	Operating Supplies (GENERAL)	\$27.97	1PQR-9Y9Y-3	SUPPLIES
E 100-41941-210	Operating Supplies (GENERAL)	\$29.97	1PYR-LYNY-W	EVIDENCE ROOM SUPPLIES
Total AMAZON CAPITAL SERVICES		\$436.70		

Unpaid **BEAUDRY OIL COMPANY**

E 100-43100-212	Motor Fuels	\$1,497.02	1745761	DIESEL
E 100-42100-212	Motor Fuels	\$939.53	1745762	SQUAD FUEL
E 100-43100-212	Motor Fuels	\$56.04	1745762	GASOLINE
Total BEAUDRY OIL COMPANY		\$2,492.59		

Unpaid **BERGAN KDV**

E 416-41951-580	Other Equipment	\$1,237.50	1114843	SOFTWARE CONVERSION PROJECT
Total BERGAN KDV		\$1,237.50		

Unpaid **BOYER TRUCKS**

E 100-43100-220	Repair/Maint Supply (GENERAL)	\$136.25	485385	PARTS
E 100-43100-220	Repair/Maint Supply (GENERAL)	(\$20.88)	CM89060R	PARTS
Total BOYER TRUCKS		\$115.37		

Unpaid **CENTERPOINT ENERGY HOUSTON**

E 100-45200-380	Utility & Services (GENERAL)	\$67.05	8000014143-4	NATURAL GAS - 5754177-3
E 100-41941-380	Utility & Services (GENERAL)	\$7.53	8000014143-4	NATURAL GAS - 5754460-3
E 100-43100-380	Utility & Services (GENERAL)	\$1,699.12	9884559-7 12-	NATURAL GAS BASIC 9100 CO RD 19
Total CENTERPOINT ENERGY HOUSTON		\$1,773.70		

Unpaid **CINTAS - 470**

E 100-43100-210	Operating Supplies (GENERAL)	\$46.73	4072914990	PUBLIC WORKS
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4072915017	CITY HALL
E 100-42100-223	Building Repair Supplies	\$24.10	4072915038	FLOOR MATS - POLICE

CITY OF CORCORAN

***Check Detail Register©**

January 2021

		Check Amt	Invoice	Comment
E 100-43100-417	Uniforms	\$138.60	4072915177	UNIFORMS
E 100-43100-210	Operating Supplies (GENERAL)	\$72.28	4073510181	TOWELS
E 100-42100-223	Building Repair Supplies	\$24.10	4073510242	FLOOR MATS - POLICE
E 100-41941-210	Operating Supplies (GENERAL)	\$121.33	4073510254	CITY HALL
E 100-43100-210	Operating Supplies (GENERAL)	\$91.40	4073510273	PUBLIC WORKS
E 100-43100-417	Uniforms	\$138.60	4073510403	UNIFORMS
Total CINTAS - 470		\$778.47		
Unpaid COMCAST-INTERNET				
E 100-41941-321	Telephone	\$139.17	011121	CITY HALL INTERNET
E 100-42100-321	Telephone	\$139.18	011121	PD INTERNET
Total COMCAST-INTERNET		\$278.35		
Unpaid COMPUTER INTEGRATION TECH				
E 100-41951-300	Professional Srvs (GENERAL)	\$69.00	303342	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$792.00	303447	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$595.00	303646	IT MANAGED SERVICE - MTH
E 100-41951-300	Professional Srvs (GENERAL)	\$4,215.00	303956	IT MANAGED SERVICE - MTH
Total COMPUTER INTEGRATION TECH		\$5,671.00		
Unpaid CORCORAN PET CARE CENTER, LLC				
E 202-42100-213	Police K9	\$311.87	26980	K9 VET CARE
E 202-42100-213	Police K9	\$343.40	8417	K9 VET CARE
Total CORCORAN PET CARE CENTER, LLC		\$655.27		
Unpaid CULLIGAN BOTTLED WATER				
E 100-41941-210	Operating Supplies (GENERAL)	\$25.45	114X78509003	OFFICE WATER
Total CULLIGAN BOTTLED WATER		\$25.45		
Unpaid DELTA DENTAL				
E 100-41400-131	Employer Paid Health	\$132.05	RIS000329097	DENTAL INSURANCE
E 100-42100-131	Employer Paid Health	\$245.60	RIS000329097	DENTAL INSURANCE
E 100-42102-131	Employer Paid Health	\$101.35	RIS000329097	DENTAL INSURANCE
E 100-43100-131	Employer Paid Health	\$126.00	RIS000329097	DENTAL INSURANCE
E 100-41300-131	Employer Paid Health	\$30.70	RIS000329097	DENTAL INSURANCE
E 100-45200-131	Employer Paid Health	\$30.70	RIS000329097	DENTAL INSURANCE - HAMILTON
G 100-20205	Reimbursements	\$63.00	RIS000329097	DENTAL INSURANCE - HAMILTON
Total DELTA DENTAL		\$729.40		
Unpaid DIAMOND MOWERS				
E 100-43100-225	Landscape/Ditch Materials	\$939.15	0190354-IN	SUPPLIES
Total DIAMOND MOWERS		\$939.15		
Unpaid DVS				
E 100-42100-220	Repair/Maint Supply (GENERAL)	\$14.25	686UAH 2016	VEHICLE REGISTRATION - 1FM5K8AR6GGB35895
Total DVS		\$14.25		
Unpaid ECM PUBLISHERS INC				
E 100-41910-210	Operating Supplies (GENERAL)	\$31.66	814770	JAN 28 PH - NELSON INTL LEASE

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Total ECM PUBLISHERS INC		\$31.66		
Unpaid ENFORCEMENT LIGHTING, LLC				
E 416-42100-210	Operating Supplies (GENERAL)	\$4,740.00	011521	SQUAD #562, #565, AND #566
Total ENFORCEMENT LIGHTING, LLC		\$4,740.00		
Unpaid FEHN COMPANIES				
E 100-43100-232	Gravel	\$229.45	6006	GRAVEL
Total FEHN COMPANIES		\$229.45		
Unpaid GOPHER STATE ONE CALL				
E 601-49400-380	Utility & Services (GENERAL)	\$25.00	1000312	SERVICE
E 602-49450-380	Utility & Services (GENERAL)	\$25.00	1000312	SERVICE
Total GOPHER STATE ONE CALL		\$50.00		
Unpaid HENN CO SHERIFF-MC131				
E 100-42100-323	Radio Units	\$1,187.81	1000157139	Radio Fees / MDC - (Inv.)
E 100-43100-210	Operating Supplies (GENERAL)	\$206.91	1000157206	Radio Fees - Public Works
Total HENN CO SHERIFF-MC131		\$1,394.72		
Unpaid ISC COMPANIES INC				
E 100-43100-220	Repair/Maint Supply (GENERAL)	\$17.98	1476919	OIL SEAL
Total ISC COMPANIES INC		\$17.98		
Unpaid LANDFORM				
G 500-20445	Ravinia 9th FP and PUD 17-042	\$69.50	31285	Ravinia 9th FP and PUD 17-042
G 500-20482	Nelson Sketch Plan 19-023	\$387.75	31286	Nelson Trucking CUP, SP, VAR 20-022
G 500-20488	Rush Creek Reserve	\$34.75	31286	Rush Creek Reserve FP and FPUD 20-030
G 500-20471	St. Therese Sketch Plan 19-006	\$69.50	31286	St. Therese Wetland/Topo Waiver 20-032
G 500-20469	Rav 11-13 18-040, 19-002 & 012	\$104.25	31286	Ravinia 15th FP, PUD, FPUD 20-033
G 500-20497	Kariniemi PP 20-016	\$4,199.50	31286	Karineimi FP 20-036
G 500-20307	Linda Kohonen 23240 CR 30 WCA	\$139.00	31286	Scherber Rezoning - 23240 CR 30 20-040
G 500-20471	St. Therese Sketch Plan 19-006	\$172.50	31286	St. Therese Minor Subdivision 20-041
G 500-20332	Lennar Tavera Development	\$1,824.00	31286	Tavera FP and FPUD 20-042
G 500-20485	Tessmer -Topo Exemption 20-007	\$490.50	31286	Tessmer FP 20-043
E 100-41910-300	Professional Srvs (GENERAL)	\$838.25	31286	Hunters Place 2nd Addition PP and FP 20-044
G 500-20215	Henn ADU IUP 20-045	\$1,116.25	31286	Henn ADU IUP 20-045
G 500-20216	Kariniemi Variance 20-046	\$687.50	31286	Kariniemi Variance 20-046
G 500-20490	Cook Lake - Schommer	\$775.00	31286	Cook Lake Highlands RZ PP PUD
G 500-20217	Wright Henn Substation 20-048	\$491.75	31286	Wright Hennepin Substation 20-048
G 500-20436	Pulte Encore - PUD Skch 17-029	\$139.00	31286	Pulte PUD Concept 20-049
E 100-41910-300	Professional Srvs (GENERAL)	\$6,519.75	31286	Corcoran Planning
E 100-41910-300	Professional Srvs (GENERAL)	\$318.00	31286	2020 codification
E 100-41920-300	Professional Srvs (GENERAL)	\$3,603.25	31286	Code Enforcement
E 100-41910-300	Professional Srvs (GENERAL)	\$100.00	31286	City Meetings
Total LANDFORM		\$22,080.00		
Unpaid MENARDS MAPLE GROVE				
E 100-41941-210	Operating Supplies (GENERAL)	\$13.98	77206	SUPPLIES

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E 100-43100-210	Operating Supplies (GENERAL)	\$17.48	77251	SUPPLIES
Total MENARDS MAPLE GROVE		\$31.46		
Unpaid METRO CITIES				
E 100-41900-433	Dues and Memberships	\$2,565.00	727	2021 MEMBERSHIP DUES
Total METRO CITIES		\$2,565.00		
Unpaid METRO SALES INC				
E 100-41951-207	Computer Supplies	\$96.00	INV1735683	SUPPLIES
E 100-41130-351	Newsletter Expenses	\$1,508.07	INV1737812	NEWSLETTER
E 100-41941-200	Office Supplies (GENERAL)	\$1,104.75	INV1737812	CONTRACT
Total METRO SALES INC		\$2,708.82		
Unpaid METRO WEST INSPECTION SERVICES				
E 100-42400-300	Professional Srvs (GENERAL)	\$42,741.79	2687	FINALIZED INSPECTIONS
Total METRO WEST INSPECTION SERVICES		\$42,741.79		
Unpaid METROPOLITAN AREA MGRS ASSOC				
E 100-41300-433	Dues and Memberships	\$45.00	2021	ANNUAL DUES
Total METROPOLITAN AREA MGRS ASSOC		\$45.00		
Unpaid MIDWEST MACHINERY CO.				
E 100-45200-210	Operating Supplies (GENERAL)	\$963.30	2315985	REPAIR PARTS
Total MIDWEST MACHINERY CO.		\$963.30		
Unpaid NORTHLAND SECURITIES INC				
E 100-41900-300	Professional Srvs (GENERAL)	\$1,125.00	6396	ANNUAL CONTINUING DISCLOSURE REPORT FOR FYE 12-31-2019
Total NORTHLAND SECURITIES INC		\$1,125.00		
Unpaid NUSS TRUCK & EQUIPMENT				
E 416-43100-550	Motor Vehicles	\$124,068.00	20905	MACK 2021 GR64F
E 100-43100-220	Repair/Maint Supply (GENERAL)	\$1,120.77	4026263	MACK GU713
Total NUSS TRUCK & EQUIPMENT		\$125,188.77		
Unpaid RITEWAY BUSINESS FORMS				
E 601-49400-210	Operating Supplies (GENERAL)	\$176.15	20-33324	SUPPLIES (UTILITY BILLING FORMS)
E 602-49450-210	Operating Supplies (GENERAL)	\$176.15	20-33324	SUPPLIES (UTILITY BILLING FORMS)
Total RITEWAY BUSINESS FORMS		\$352.30		
Unpaid STREICHER S POLICE EQUIPMENT				
E 100-42100-210	Operating Supplies (GENERAL)	\$100.00	11475354	BATON HOLDER
Total STREICHER S POLICE EQUIPMENT		\$100.00		
Unpaid TEGRETE				
E 100-41941-400	Repairs & Maint Cont (GENERAL)	\$380.00	94005	MONTHLY CITY HALL CLEANING
Total TEGRETE		\$380.00		
Unpaid TERMINAL SUPPLY CO				

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E 100-43100-210	Operating Supplies (GENERAL)	\$66.37	98750-00	SUPPLIES
E 100-43100-210	Operating Supplies (GENERAL)	\$38.63	98797-00	SUPPLIES
Total TERMINAL SUPPLY CO		\$105.00		

Unpaid		TRAFFIC CONTROL CORP		
E 416-42100-331	Vehicle Expense	\$1,031.00	126182	794H EMITTER
Total TRAFFIC CONTROL CORP		\$1,031.00		

Unpaid		WEBER, INC.		
E 400-41941-520	Buildings and Structures	\$51,919.07	PAY 2	PAY REQUEST #2 30% COMPLETE
Total WEBER, INC.		\$51,919.07		

Unpaid		WENCK ASSOCIATES, INC.		
E 100-43170-300	Professional Srvs (GENERAL)	\$586.50	011921	General Eng Services
G 500-20204	Appaloosa Woods Feasibility	\$1,472.90	011921	APPALOOSA WOODS ENGINEER'S REPORT
E 601-49400-303	Engineering Fees	\$8,760.65	011921	2020 SE CORCORAN TRUNK WATERMAIN
E 100-43170-300	Professional Srvs (GENERAL)	\$1,561.50	011921	Transportation
E 100-43170-300	Professional Srvs (GENERAL)	\$158.60	011921	Storm Water - Engineering
E 100-43170-299	Watershed LGU	\$1,189.50	011921	RESIDENT WCA ITEMS
E 100-43170-299	Watershed LGU	\$742.50	011921	WCA VIOLATION - E. MAYERS
G 500-20454	Edgewater Corcoran Skch 18-018	\$283.50	011921	EDGEWATER WCA
G 500-20471	St. Therese Sketch Plan 19-006	\$360.00	011921	ST THERESE WCA
G 500-20211	Nor-Son WCA	\$180.00	011921	NOR-SON WCA
E 601-49400-303	Engineering Fees	\$348.00	011921	CITY OF CORCORAN TEST WELL SITE
E 100-43170-300	Professional Srvs (GENERAL)	\$384.00	011921	CITY OF CORCORAN BRIDGE REPLACEMENT
G 500-20212	Gonyea 19800 Hackamore Rd WCA	\$348.00	011921	GONYEA 19800 HACKAMORE RD WCA
G 500-20213	Van Blaricom WCA	\$337.50	011921	VAN BLARICOM WCA
G 500-20214	M/I Homes WCA	\$405.00	011921	M/I HOMES WCA
G 500-20217	Wright Henn Substation 20-048	\$624.00	011921	Wright-Hennepin Substation
G 500-20218	10500 Maple Lane WCA	\$751.50	011921	10500 Maple Lane
E 601-49400-303	Engineering Fees	\$3,156.70	011921	NE Water Supply
E 601-49400-234	Inspections	\$232.50	011921	PULTE
E 602-49450-234	Inspections	\$232.50	011921	PULTE
E 601-49400-234	Inspections	\$564.66	011921	RAVINIA
E 602-49450-234	Inspections	\$564.66	011921	RAVINIA
E 601-49400-234	Inspections	\$756.55	011921	BASS LAKE CROSSING
E 602-49450-234	Inspections	\$756.55	011921	BASS LAKE CROSSING
E 100-43170-300	Professional Srvs (GENERAL)	\$2,946.68	011921	BRIDGE FEASIBILITY STUDY
G 500-20335	Lennar Eng Plan Review/Modific	\$3,562.89	011921	LENNAR - ENGINEERING
G 500-20438	Bass Lk CR M/I HomeEngineering	\$500.19	011921	Bass Lake Crossing M/I Home 17-012 Engineering
G 500-20423	Bass Lake Est Skch PUD 17-015	\$364.66	011921	Bass Lake Estates Sketch PUD 17-015
G 500-20423	Bass Lake Est Skch PUD 17-015	\$33.36	011921	Cold Storage Crossings
G 500-20459	Refuge of Rush Creek FP 18-028	\$67.50	011921	Refuge of Rush Creek FP 18-028
G 500-20497	Kariniemi PP 20-016	\$931.50	011921	Kariniemi PP 20-016
G 500-20436	Pulte Encore - PUD Skch 17-029	\$4,866.90	011921	Pulte Development Infrastructure
G 500-20471	St. Therese Sketch Plan 19-006	\$2,043.00	011921	St. Therese Sketch Plan 19-006
E 425-43100-530	Improvements Other Than Bldgs	\$137.00	011921	Stieg Road Design and Construction
G 500-20332	Lennar Tavera Development	\$310.50	011921	Wessel Project Offsite Utilities

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G 500-20490	Cook Lake - Schommer	\$369.50	011921	Cook Lake - Schommer
G 500-20332	Lennar Tavera Development	\$13,177.60	011921	Lennar Tavera Development
G 500-20482	Nelson Sketch Plan 19-023	\$537.81	011921	Nelson Sketch Plan 19-023
G 500-20488	Rush Creek Reserve	\$639.50	011921	Rush Creek Reserve
	Total WENCK ASSOCIATES, INC.	\$55,246.36		

Unpaid	WRIGHT HENNEPIN COOP ELECT			
G 500-20390	Ravinia Street Lights	\$15.46	011921	Bridle/Paddock: 150-1690-5135
G 500-20390	Ravinia Street Lights	\$14.98	011921	Paddock Ln 150-1690-5137
G 500-20390	Ravinia Street Lights	\$15.46	011921	Bridle Path: 150-1690-5146
G 500-20390	Ravinia Street Lights	\$15.46	011921	Paddock/Bridle: 150-1690-5158
G 500-20390	Ravinia Street Lights	\$15.46	011921	6471 Carriage: 150-1691-0155
G 500-20390	Ravinia Street Lights	\$15.46	011921	Bridle/Steeple: 150-1691-0158
G 500-20390	Ravinia Street Lights	\$15.46	011921	Bridle/Bluestem: 150-1691-0168
G 500-20390	Ravinia Street Lights	\$15.46	011921	Prairie/Bridle: 150-1691-0174
G 500-20390	Ravinia Street Lights	\$15.46	011921	Bridle Path: 150-1691-0177
G 500-20390	Ravinia Street Lights	\$15.46	011921	Elderberry Ct: 150-1691-0178
G 500-20390	Ravinia Street Lights	\$14.98	011921	19301 Annabelle: 150-1691-8063
G 500-20390	Ravinia Street Lights	\$14.98	011921	6675 Carriage: 150-1691-8064
G 500-20390	Ravinia Street Lights	\$14.98	011921	6681 Bridle: 150-1691-8066
G 500-20390	Ravinia Street Lights	\$14.98	011921	6657 Bridle: 150-1691-8079
G 500-20390	Ravinia Street Lights	\$14.98	011921	19130 Galloway: 150-1691-8080
G 500-20390	Ravinia Street Lights	\$14.98	011921	19065 Galloway: 150-1691-8082
G 500-20390	Ravinia Street Lights	\$30.43	011921	6485 Larkspur: 150-1692-0907
G 500-20390	Ravinia Street Lights	\$14.98	011921	6398 Larkspur: 150-1692-0908
G 500-20390	Ravinia Street Lights	\$14.98	011921	66TH/CEDAR: 150-1692-8373
G 500-20390	Ravinia Street Lights	\$14.98	011921	Bridle/66th Ave: 150-1692-8374
G 500-20390	Ravinia Street Lights	\$14.98	011921	19437 Lupine LN: 150-1693-0197
G 500-20390	Ravinia Street Lights	\$14.98	011921	19389 Lupine LN: 150-1693-0199
G 500-20390	Ravinia Street Lights	\$14.98	011921	19345 Golden TR: 150-1693-0200
G 500-20390	Ravinia Street Lights	\$14.98	011921	6310 Steeple LN: 150-1693-0201
G 500-20390	Ravinia Street Lights	\$14.98	011921	6370 Steeple LN: 150-1693-0202
G 500-20390	Ravinia Street Lights	\$14.98	011921	19367 Annabelle: 150-1693-5724
G 500-20390	Ravinia Street Lights	\$14.98	011921	19343 Annabelle: 150-1693-5726
G 500-20390	Ravinia Street Lights	\$14.98	011921	19315 Primrose: 150-1693-5731
G 500-20390	Ravinia Street Lights	\$14.98	011921	19399 Primrose: 150-1693-5732
G 500-20390	Ravinia Street Lights	\$14.98	011921	Primrose/Wildfl: 150-1693-5733
G 500-20390	Ravinia Street Lights	\$14.98	011921	Wildflo/Gleason: 150-1693-5734
G 500-20390	Ravinia Street Lights	\$14.98	011921	Gleason/Wildflo: 150-1693-5986
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN/75TH AVE: 150-1693-7072
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN N: 150-1693-7074
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN/74TH AVE: 150-1693-7075
G 500-20420	Bass Lake Cross MI Home 17-012	\$23.67	011921	FIR LN N/CR 10: 150-1693-7076
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	74TH AVE N: 150-1693-7077
G 500-20420	Bass Lake Cross MI Home 17-012	\$23.67	011921	FIR LN N/CR 10: 150-1694-0076
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN N: 150-1694-0078
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN N/LOT #8: 150-1694-0079
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN N/72ND N: 150-1694-0080

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G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	72ND AVE N: 150-1694-0081
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	FIR LN N/LOT #5: 150-1694-0082
G 500-20390	Ravinia Street Lights	\$14.98	011921	ANNABELLE LOT 5 150-1694-0821
G 500-20390	Ravinia Street Lights	\$14.98	011921	PRIMROSE COURT 150-1694-4502
G 500-20390	Ravinia Street Lights	\$14.98	011921	SUNFLOWER COURT 150-1694-4503
G 500-20390	Ravinia Street Lights	\$14.98	011921	WILDFLOWER TRL 150-1694-4505
G 500-20390	Ravinia Street Lights	\$14.98	011921	WILDFLOWER TRL 150-1694-4506
G 500-20420	Bass Lake Cross MI Home 17-012	\$18.27	011921	74TH PL & MAPLE 150-1694-6889
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	JACK PINE LN N 150-1694-6891
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	74TH AVE N 150-1694-6892
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	75TH AVE N 150-1694-6893
G 500-20420	Bass Lake Cross MI Home 17-012	\$14.98	011921	HICKORY LN N 150-1694-6894
G 500-20390	Ravinia Street Lights	\$14.98	011921	MEADOW RUE CT 150-1694-7911
G 500-20390	Ravinia Street Lights	\$14.98	011921	STEEPLE CHASE LN 150-1694-7917
G 500-20390	Ravinia Street Lights	\$14.98	011921	SNOWBERRY CT 150-1694-7918
G 500-20390	Ravinia Street Lights	\$14.98	011921	MEADOW RUE CT 150-1694-7919
G 500-20390	Ravinia Street Lights	\$14.98	011921	STEEPLE CHASE LN 150-1694-7920
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	011921	102ND PLACE/ 103RD AVENUE 150-1694-7926
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	011921	STIEG ROAD 150-1694-8543
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	011921	STIEG ROAD 150-1694-8544
G 500-20390	Ravinia Street Lights	\$14.98	011921	LARKSPUR LN/63RD 150-1694-9986
G 500-20390	Ravinia Street Lights	\$14.98	011921	63RD AVE N 150-1694-9987
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	011921	IRONWOOD LN 150-1695-5954
G 500-20436	Pulte Encore - PUD Skch 17-029	\$14.98	011921	IRONWOOD LN/10ND PLACE 150-1695-5955
G 500-20436	Pulte Encore - PUD Skch 17-029	\$13.48	011921	JACKPINE LN/IRONWOOD CT 150-1695-5957
G 500-20436	Pulte Encore - PUD Skch 17-029	\$13.48	011921	102ND AVE 150-1695-5961
G 500-20436	Pulte Encore - PUD Skch 17-029	\$13.48	011921	102ND AVE/JACKPINE LN 150-1695-5963
G 500-20436	Pulte Encore - PUD Skch 17-029	\$13.48	011921	102ND PL/JACK PINE LN 150-1695-5964
G 500-20390	Ravinia Street Lights	\$14.98	011921	COACH HOUSE LN 150-1695-6350
G 500-20390	Ravinia Street Lights	\$14.98	011921	COACH HOUSE LN/ANNABELLE 150-1695-6351
G 500-20390	Ravinia Street Lights	\$14.98	011921	ANNABELLE LN/BLACK OAK LN 150-1695-6352
G 500-20390	Ravinia Street Lights	\$14.98	011921	ANNABELLE CT 150-1695-6359
G 500-20390	Ravinia Street Lights	\$14.98	011921	COACH HOUSE LN LOT #1 150-1695-6365
G 500-20390	Ravinia Street Lights	\$14.98	011921	BLACK OAK CT 150-1695-6367
G 500-20390	Ravinia Street Lights	\$14.98	011921	BLACK OAK LN/BLACK OAK CT 150-1695-6371
G 500-20390	Ravinia Street Lights	\$14.98	011921	BLACK OAK LN 150-1695-7149
G 500-20390	Ravinia Street Lights	\$14.98	011921	GLEASON PARKWAY/BRIDLE 150-1695-8428
G 500-20390	Ravinia Street Lights	\$14.98	011921	BRIDLE PATH 150-1695-8431
G 500-20390	Ravinia Street Lights	\$14.98	011921	PRAIRIE SAGE LN 150-1695-8432
G 500-20390	Ravinia Street Lights	\$14.98	011921	PRAIRIE SAGE LN 150-1695-8435
G 500-20390	Ravinia Street Lights	\$14.98	011921	PRAIRIE SAGE LN 150-1695-8436
G 500-20390	Ravinia Street Lights	\$14.98	011921	PRAIRIE SAGE LN/BRIDLE PATH 150-1695-8438
G 500-20390	Ravinia Street Lights	\$14.98	011921	GLEASON PKWY 150-1695-9395
G 500-20390	Ravinia Street Lights	\$14.98	011921	GLEASON PKWY 150-1695-9396
G 500-20390	Ravinia Street Lights	\$14.98	011921	GLEASON PKWY 150-1695-9398
E 100-43100-381	Street/Signal Lights	\$41.63	011921	CTY RD10/116 000-0100-1469
E 100-45200-380	Utility & Services (GENERAL)	\$65.70	011921	Ballpark: 120-1246-7200
E 100-41941-380	Utility & Services (GENERAL)	\$15.06	011921	School Property: 120-1247-9600

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E 100-41941-380	Utility & Services (GENERAL)	\$651.62	011921	8200 Cty Rd 116: 120-1255-6300
E 100-43100-380	Utility & Services (GENERAL)	\$38.47	011921	9525 Cain Rd: 150-1689-5230
E 602-49450-380	Utility & Services (GENERAL)	\$231.25	011921	Brockton Ln: 150-1689-6871
E 602-49450-380	Utility & Services (GENERAL)	\$22.39	011921	20120 CTY 10 LIF:150-1691-6661
E 100-41941-380	Utility & Services (GENERAL)	\$21.99	011921	8200 CR116/SIGN: 150-1693-6612
E 100-41941-380	Utility & Services (GENERAL)	\$135.40	011921	8200 Cty Rd 116: 150-1684-2033
E 100-43100-380	Utility & Services (GENERAL)	\$11.80	011921	9100 Cty Rd 19: 150-1688-8463
Total WRIGHT HENNEPIN COOP ELECT		\$2,558.03		
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Unpaid	XCEL ENERGY			
E 100-43100-381	Street/Signal Lights	\$136.82	714515136	STREET LIGHTING 9525 CAIN ROAD
	Total XCEL ENERGY	\$136.82		
	10100 Farmers State Bank	\$338,601.71		

Fund Summary

10100 Farmers State Bank	
100 GENERAL FUND	\$94,406.56
202 POLICE DONATION FUND	\$655.27
400 CITY HALL REMODEL 2020-2021	\$52,106.89
416 CAPITAL-EQUIPMENT CERTS	\$131,076.50
425 PULTE ENCORE/BELLWETHER PROJEC	\$137.00
500 ESCROW HOLDING FUND	\$44,190.78
601 WATER	\$14,020.21
602 SEWER	\$2,008.50
	\$338,601.71

**City of Corcoran
Consultant Summary
1/28/2021**

<u>Name</u>	<u>Invoice Date</u>	<u>Amount Due</u>
Carson, Clelland & Schreder		
Landform	01/11/21	22,080.00
Metro West Inspection	01/21/21	42,741.79
Rolf Erickson Enterprises		
Wenck Associates	01/19/21	55,246.36
Total		\$ 120,068.15

Select Entry or Add Entry(F5) Print Entry Delete Entry Copy Entry Allocate Entry Fixed Assets	Search Name DIAMOND MOWE FEHN COMPANIE HENN CO SHERIF LANDFORM	Refer 36402 36403 36404 36405	Invoice 0190354-IN 6006	Comments SUPPLIES GRAVEL	Erro ^	Reset Screen Turn ON help window
Pay To LANDFORM Vendor Customer Copy Recur See Transactions Copy Invoice/Date to below Invoice Total Invoice Date 1/11/2021	Ref/Claim# 36405 Claim Type Direct Terms					
Comment Copy Comments to entries below Copy Project to entries below						
Bank or AP/Accounts Payable Due 12/31/2020 Transaction Date 1/21/2021						
Balcs fields are copied when lines are added below.						
:31286 Fixed Format						
Account	Amount	Comments	Invoice	Inv Date	PO	Final Proj Nbr
G 500-20445	\$69.50	Ravinia 9th FP and	31285	1/11/2021	0	21
G 500-20482	\$387.75	Nelson Sketch Plan Nelson Trucking CUP	31286	1/11/2021	0	21
G 500-20488	\$34.75	Rush Creek Reserv Rush Creek Reserve F	31286	1/11/2021	0	21
G 500-20471	\$69.50	St. Therese Sketch St. Therese Wetland/1	31286	1/11/2021	0	21
G 500-20469	\$104.25	Rav 11-13 18-040 Ravinia 15th FP, PUD	31286	1/11/2021	0	21
G 500-20497	\$4,199.50	Kariniemi PP 20-016 Karineimi FP 20-036	31286	1/11/2021	0	21
G 500-20307	\$139.00	Linda Kohnen 2324 Scherber Rezoning - 2	31286	1/11/2021	0	21
G 500-20471	\$172.50	St. Therese Sketch St. Therese Minor Sub	31286	1/11/2021	0	21
G 500-20332	\$1,824.00	Lennar Tavera Dev Tavera FP and FPUUD	31286	1/11/2021	0	21
G 500-20485	\$490.50	Tesmer - Topo Exe Tesmer FP 20-043	31286	1/11/2021	0	21
E 100-41910-300	\$838.25	Professional Svcs (G) Hunters Place 2nd Adc	31286	1/11/2021	0	21
G 500-20215	\$1,116.25	Henn ADU IUP 20- Henn ADU IUP 20-045	31286	1/11/2021	0	21
G 500-20216	\$687.50	Kariniemi Variance Kariniemi Variance 20-	31286	1/11/2021	0	21
G 500-20490	\$775.00	Cook Lake - Schom Cook Lake Highlands	31286	1/11/2021	0	21
G 500-20217	\$491.75	Wright Henn Substa Wright Hennepin Subs	31286	1/11/2021	0	21
G 500-20436	\$139.00	Pulte Encore - PUD Pulte PUD Concept 20	31286	1/11/2021	0	21
E 100-41910-300	\$6,519.75	Professional Svcs (G) Corcoran Planning	31286	1/11/2021	0	21
E 100-41910-300	\$318.00	Professional Svcs (G) 2020 codification	31286	1/11/2021	0	21
E 100-41920-300	\$3,603.25	Professional Svcs (G) Code Enforcement	31286	1/11/2021	0	21
E 100-41910-300	\$100.00	Professional Svcs (G) City Meetings	31286	1/11/2021	0	21
*E						
\$22,080.00 Page Total Batch Entered So Far \$27,795.34 Your Total Zero						

Date: 1/22/2021
 Code to Acct # 100
 Amount to Pay _____
 Comments: _____

 Approval Initials: [Signature] Dept. Head
 City Admin
 Treasurer



2020

RECEIVED
JAN 11 2021



City of Corcoran
8200 County Road 116
Corcoran, MN 55340

BY: _____

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

INVOICE

No. 31285
01/08/2021

Corcoran Planning Services
COR17015.GEN
Contract/PO#:
For Services Rendered Through 12/31/2020

.042 - Ravinia 9th FP and Final PUD (city file 17-042)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.50	139.00	\$69.50
Total Professional Services for .042			\$69.50
Total Charges for .042			\$69.50
		Invoice Amount	\$69.50

500-20445 -

Please remit to: Landform, 105 South Fifth Avenue, Suite 513, Minneapolis, MN 55401
Please include invoice number on remittance. We now accept credit cards.

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31285

Invoice Date: 1/8/2021

Transaction ID: 15842

Labor Transactions

P/E Date	Employee	Labor Code	Work Date	Hrs	Effort
COR17015.GEN..042 Ravinia 9th FP and Final PUD (city file 17-042)					
12/31/2020	Lindahl, Kendra S.		12/23/2020	0.50	69.50
<i>final plans with lot line adjustment</i>					
Total for COR17015.GEN..042				<u>0.50</u>	<u>69.50</u>
Total labor				0.50	69.50

2020



RECEIVED
JAN 1 1 2021



City of Corcoran

8200 County Road 116
Corcoran, MN 55340

BY: _____

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

INVOICE

No. 31286
01/08/2021

Corcoran Planning Services - Corcoran, MN
COR20021.GEN
Contract/PO#:
For Services Rendered Through 12/31/2020

.022 - Nelson Trucking CUP, SP, VAR (city file 20-022)

Professional Services

Employee	Hours	Rate	Amount
Hofer, Tanner J	1.00	75.00	\$75.00
Lindahl, Kendra S.	2.25	139.00	\$312.75
Total Professional Services for .022			\$387.75

Total Charges for .022

500-20482 **\$387.75**

.030 - Rush Creek Reserve FP and FPUD (city file 20-030)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.25	139.00	\$34.75

Total Professional Services for .030

\$34.75

Total Charges for .030

500-20488 **\$34.75**

.032 - St. Therese Wetland/Topo Waiver (city file 20-032)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.50	139.00	\$69.50

Total Professional Services for .032

\$69.50

Total Charges for .032

500-20471 - **\$69.50**

.033 - Ravinia 15th FP, PUD Amendment and Final PUD (city file 20-033)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.75	139.00	\$104.25
Total Professional Services for .033			\$104.25
Total Charges for .033			\$104.25

500-20469

.036 - Karineimi Final Plat (city file 20-036)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	6.50	139.00	\$903.50
Shay, Kevin M.	32.00	103.00	\$3,296.00
Total Professional Services for .036			\$4,199.50
Total Charges for .036			\$4,199.50

500-20497

.040 - Scherber Rezoning - 23240 CR 30 (city file 20-040)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	1.00	139.00	\$139.00
Total Professional Services for .040			\$139.00
Total Charges for .040			\$139.00

500-20307

.041 - St. Therese Minor Subdivision (city file 20-041)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.50	139.00	\$69.50
Shay, Kevin M.	1.00	103.00	\$103.00
Total Professional Services for .041			\$172.50
Total Charges for .041			\$172.50

500-20471

.042 - Tavera FP and FPUD (city file 20-042)

Professional Services

Employee	Hours	Rate	Amount
Hofer, Tanner J	9.75	75.00	\$731.25
Lindahl, Kendra S.	6.75	139.00	\$938.25
Shay, Kevin M.	1.50	103.00	\$154.50
Total Professional Services for .042			\$1,824.00
Total Charges for .042			\$1,824.00

500-20332

.043 - Tessmer FP (city file 20-043)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.75	139.00	\$104.25

Shay, Kevin M. 3.75 103.00 \$386.25

Total Professional Services for .043 \$490.50

Total Charges for .043 \$490.50 *500-20485*

.044 - Hunters Place 2nd Addition PP and FP (city file 20-044)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	1.75	139.00	\$243.25
Osthus, Emily T.	7.00	85.00	\$595.00

Total Professional Services for .044 \$838.25

Total Charges for .044 \$838.25 *100-41910-300*

.045 - Henn ADU IUP (city file 20-045)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.25	139.00	\$34.75
Shay, Kevin M.	10.50	103.00	\$1,081.50

Total Professional Services for .045 \$1,116.25

Total Charges for .045 \$1,116.25 *500-20215*

.046 - Kariniemi Variance (city file 20-046)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.50	139.00	\$69.50
Shay, Kevin M.	6.00	103.00	\$618.00

Total Professional Services for .046 \$687.50

Total Charges for .046 \$687.50 *500-20216*

.047 - Cook Lake Highlands RZ PP PUD (city file 20-047)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.50	139.00	\$69.50
Lindahl, Kendra S.	.50	175.00	\$87.50
Shay, Kevin M.	6.00	103.00	\$618.00

Total Professional Services for .047 \$775.00

Total Charges for .047 \$775.00 *500-20490*

.048 - Wright Hennepin Substation (City file 20-048)

Professional Services

Employee	Hours	Rate	Amount
Hofer, Tanner J	4.00	75.00	\$300.00
Lindahl, Kendra S.	.75	139.00	\$104.25

Lindahl, Kendra S. .50 175.00 \$87.50

Total Professional Services for .048 *500-20217* **\$491.75**

Total Charges for .048 **\$491.75**

.050 - Pulte PUD Concept (city file 20-049)

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	1.00	139.00	\$139.00

Total Professional Services for .050 **\$139.00**

Total Charges for .050 *500-20436* **\$139.00**

.90 - City Business

Professional Services

Employee	Hours	Rate	Amount
Hofer, Tanner J	9.00	75.00	\$675.00
Lindahl, Kendra S.	35.75	139.00	\$4,969.25
Shay, Kevin M.	8.50	103.00	\$875.50

Total Professional Services for .90 **\$6,519.75**

Total Charges for .90 *100-41910-300* **\$6,519.75**

.CODE - 2020 codification

Professional Services

Employee	Hours	Rate	Amount
Lindahl, Kendra S.	.25	139.00	\$34.75
Shay, Kevin M.	2.75	103.00	\$283.25

Total Professional Services for .CODE **\$318.00**

Total Charges for .CODE *100-41910-300* **\$318.00**

COD - Code Enforcement

Professional Services

Employee	Hours	Rate	Amount
Hofer, Tanner J	50.75	71.00	\$3,603.25

Total Professional Services for COD **\$3,603.25**

Total Charges for COD *100-41920-300* **\$3,603.25**

MTG - City Meetings

Professional Services

Employee	Amount
Lindahl, Kendra S.	\$100.00

Total Professional Services for MTG **\$100.00**

Total Charges for MTG *100-41910-300* **\$100.00**

Invoice Amount **\$22,010.50**

**Please remit to: Landform, 105 South Fifth Avenue, Suite 513, Minneapolis, MN 55401
Please include invoice number on remittance. We now accept credit cards.**

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

Labor Transactions

P/E Date	Employee	Labor Code	Work Date	Hrs	Effort
COR20021.GEN..022 Nelson Trucking CUP, SP, VAR (city file 20-022)					
12/15/2020	Hofer, Tanner J		12/14/2020	1.00	75.00
<i>Reviewing new plans.</i>					
12/31/2020	Lindahl, Kendra S.		12/16/2020	0.50	69.50
<i>DRC discussion and follow up with applicant on minor site plan amendment</i>					
12/31/2020	Lindahl, Kendra S.		12/17/2020	0.50	69.50
<i>conference call on SPA</i>					
12/31/2020	Lindahl, Kendra S.		12/23/2020	0.25	34.75
<i>follow up with city engineer</i>					
12/15/2020	Lindahl, Kendra S.		12/1/2020	0.50	69.50
<i>follow on outstanding issues</i>					
12/15/2020	Lindahl, Kendra S.		12/8/2020	0.25	34.75
<i>request for landscape plan from neighbor</i>					
12/15/2020	Lindahl, Kendra S.		12/9/2020	0.25	34.75
<i>call from Ryan on a possible amendment</i>					
Total for COR20021.GEN..022				3.25	387.75
COR20021.GEN..030 Rush Creek Reserve FP and FPUd (city file 20-030)					
12/15/2020	Lindahl, Kendra S.		12/8/2020	0.25	34.75
<i>questions from county</i>					
Total for COR20021.GEN..030				0.25	34.75
COR20021.GEN..032 St. Therese Wetland/Topo Waiver (city file 20-032)					
12/15/2020	Lindahl, Kendra S.		12/1/2020	0.25	34.75
<i>follow up questions from applicant</i>					
12/15/2020	Lindahl, Kendra S.		12/7/2020	0.25	34.75
<i>review ghost plat goals</i>					
Total for COR20021.GEN..032				0.50	69.50
COR20021.GEN..033 Ravinia 15th FP, PUD Amendment and Final PUD (city file 20-033)					
12/31/2020	Lindahl, Kendra S.		12/17/2020	0.25	34.75
<i>follow up on mylar</i>					
12/31/2020	Lindahl, Kendra S.		12/23/2020	0.50	69.50
<i>review LOC and send questions to city attorney</i>					
Total for COR20021.GEN..033				0.75	104.25
COR20021.GEN..036 Karineimi Final Plat (city file 20-036)					
12/31/2020	Lindahl, Kendra S.		12/16/2020	2.00	278.00
<i>CC packet/DRC/coordinate with engineering</i>					
12/31/2020	Lindahl, Kendra S.		12/21/2020	1.00	139.00
<i>prep for Council/discuss Public Safety memo with the Chief/follow up with Brad</i>					
12/31/2020	Lindahl, Kendra S.		12/22/2020	0.25	34.75
<i>follow up with applicant after CC</i>					
12/15/2020	Shay, Kevin M.		12/9/2020	4.00	412.00
<i>Revise and finalize easement vacation materials.</i>					
12/15/2020	Shay, Kevin M.		12/15/2020	2.00	206.00
<i>Review engineering comments and revise staff materials.</i>					

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

Date	Client/Description	Invoice Date	Rate	Amount
12/15/2020	Shay, Kevin M. <i>Work on staff report and resolution.</i>	12/1/2020	4.50	463.50
12/15/2020	Shay, Kevin M. <i>Work on SIPA, staff report and resolution.</i>	12/3/2020	2.00	206.00
12/15/2020	Shay, Kevin M. <i>Work on staff report and resolution.</i>	12/4/2020	6.50	669.50
12/15/2020	Shay, Kevin M. <i>Revise staff report, resolution and SIPA. Work on easement vacation materials.</i>	12/8/2020	6.00	618.00
12/15/2020	Lindahl, Kendra S. <i>Council packet</i>	12/8/2020	1.00	139.00
12/15/2020	Lindahl, Kendra S. <i>council packet/follow up with Nate on Vacation</i>	12/9/2020	1.00	139.00
12/15/2020	Lindahl, Kendra S. <i>coordinate with city attorney and applicant</i>	12/10/2020	1.00	139.00
12/15/2020	Lindahl, Kendra S. <i>coordinate with engineering</i>	12/15/2020	0.25	34.75
12/31/2020	Shay, Kevin M. <i>Work on staff report, resolution and SIPA. Pull together packet.</i>	12/16/2020	5.00	515.00
12/31/2020	Shay, Kevin M. <i>Put together PowerPoint for Council.</i>	12/21/2020	1.00	103.00
12/31/2020	Shay, Kevin M. <i>Draft public hearing notice for easement vacation.</i>	12/22/2020	1.00	103.00
Total for COR20021.GEN..036			38.50	4,199.50
COR20021.GEN..040 Scherber Rezoning - 23240 CR 30 (city file 20-040)				
12/31/2020	Lindahl, Kendra S. <i>follow up with applicant after CC</i>	12/22/2020	0.25	34.75
12/15/2020	Lindahl, Kendra S. <i>PC meeting prep with Paul</i>	12/3/2020	0.50	69.50
12/15/2020	Lindahl, Kendra S. <i>edit council resolution and ordinance</i>	12/15/2020	0.25	34.75
Total for COR20021.GEN..040			1.00	139.00
COR20021.GEN..041 St. Therese Minor Subdivision (city file 20-041)				
12/31/2020	Shay, Kevin M. <i>Review minor subdivision documents and provide comments.</i>	12/17/2020	1.00	103.00
12/31/2020	Lindahl, Kendra S. <i>follow up on mylar</i>	12/17/2020	0.25	34.75
12/31/2020	Lindahl, Kendra S. <i>talk to surveyor about next steps</i>	12/21/2020	0.25	34.75
Total for COR20021.GEN..041			1.50	172.50
COR20021.GEN..042 Tavera FP and FPUD (city file 20-042)				
12/15/2020	Lindahl, Kendra S. <i>additional information</i>	12/1/2020	0.25	34.75
12/15/2020	Lindahl, Kendra S. <i>review for completeness</i>	12/8/2020	1.00	139.00
12/15/2020	Lindahl, Kendra S.	12/9/2020	1.00	139.00

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

<i>send incomplete letter</i>				
12/15/2020	Lindahl, Kendra S.	12/10/2020	0.50	69.50
<i>review exempt subdivision materials and coordinate with Mike</i>				
12/31/2020	Lindahl, Kendra S.	12/17/2020	2.00	278.00
<i>team call</i>				
12/31/2020	Lindahl, Kendra S.	12/23/2020	2.00	278.00
<i>download house plans</i>				
12/15/2020	Shay, Kevin M.	12/2/2020	1.50	154.50
<i>Update staging map with Tavera change.</i>				
12/15/2020	Hofer, Tanner J	12/3/2020	1.00	75.00
<i>Beginning review of submitted materials.</i>				
12/15/2020	Hofer, Tanner J	12/4/2020	1.00	75.00
<i>Reviewing submitted materials.</i>				
12/15/2020	Hofer, Tanner J	12/7/2020	3.00	225.00
<i>Reviewing submittal.</i>				
<i>Drafting incomplete letter.</i>				
12/15/2020	Hofer, Tanner J	12/8/2020	2.75	206.25
<i>Reviewing incomplete items and letter with Kendra.</i>				
<i>Finalizing incomplete letter.</i>				
12/15/2020	Hofer, Tanner J	12/9/2020	2.00	150.00
<i>Finalizing incomplete letter.</i>				
Total for COR20021.GEN..042			18.00	1,824.00
COR20021.GEN..043 Tessmer FP (city file 20-043)				
12/15/2020	Shay, Kevin M.	12/8/2020	2.00	206.00
<i>Draft Tessmer incomplete letter and send out.</i>				
12/15/2020	Shay, Kevin M.	12/15/2020	0.75	77.25
<i>Review submitted materials.</i>				
12/31/2020	Shay, Kevin M.	12/24/2020	1.00	103.00
<i>Send out revised incomplete letter.</i>				
12/15/2020	Lindahl, Kendra S.	12/8/2020	0.25	34.75
<i>incomplete letter</i>				
12/15/2020	Lindahl, Kendra S.	12/9/2020	0.50	69.50
<i>coordination calls with Rachel</i>				
Total for COR20021.GEN..043			4.50	490.50
COR20021.GEN..044 Hunters Place 2nd Addition PP and FP (city file 20-044)				
12/15/2020	Lindahl, Kendra S.	12/1/2020	0.25	34.75
<i>application</i>				
12/15/2020	Lindahl, Kendra S.	12/9/2020	0.50	69.50
<i>ghost plan and send application form to Brad for signature</i>				
12/15/2020	Lindahl, Kendra S.	12/10/2020	1.00	139.00
<i>ghost plan/discussion with Emily, Steve and Kevin</i>				
12/15/2020	Osthus, Emily T.	12/7/2020	2.25	191.25
<i>Lother well site ghost plat - coordination and begin drafting</i>				
12/15/2020	Osthus, Emily T.	12/8/2020	2.00	170.00
<i>Lother well site ghost plat - finish drafting and format file to plot correctly</i>				

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

Date	Client/Project	Description	Rate	Amount
12/15/2020	Osthus, Emily T.	finalize exhibit	2.75	233.75
Total for COR20021.GEN..044			8.75	838.25
COR20021.GEN..045 Henn ADU IUP (city file 20-045)				
12/15/2020	Shay, Kevin M.	Review application materials for completeness.	2.00	206.00
12/15/2020	Lindah, Kendra S.	project set up	0.25	34.75
12/31/2020	Shay, Kevin M.	Review application materials. Draft complete letter and send out.	3.50	360.50
12/31/2020	Shay, Kevin M.	Work on staff report and resolution.	5.00	515.00
Total for COR20021.GEN..045			10.75	1,116.25
COR20021.GEN..046 Kariniemi Variance (city file 20-046)				
12/31/2020	Shay, Kevin M.	Review Kariniemi variance materials.	1.50	154.50
12/31/2020	Shay, Kevin M.	Review materials and draft complete letter and send out.	1.50	154.50
12/15/2020	Shay, Kevin M.	Review Kariniemi new home permit and send emails	2.00	206.00
12/15/2020	Shay, Kevin M.	sketch on Kariniemi survey to show setback limits.	1.00	103.00
12/15/2020	Lindah, Kendra S.	project set up	0.25	34.75
12/31/2020	Lindah, Kendra S.	complete letter	0.25	34.75
Total for COR20021.GEN..046			6.50	687.50
COR20021.GEN..047 Cook Lake Highlands RZ PP PUD (city file 20-047)				
12/31/2020	Shay, Kevin M.	Review submittal materials for completeness. Phone call with Kendra to discuss project. Draft incomplete letter.	5.00	515.00
12/31/2020	Shay, Kevin M.	Finalize incomplete letter and send out.	1.00	103.00
12/31/2020	Lindah, Kendra S.	project set up	0.25	34.75
12/31/2020	Lindah, Kendra S.	send incomplete letter	0.25	34.75
12/15/2020	Lindah, Kendra S.	cook lake engineer questions	0.50	87.50
Total for COR20021.GEN..047			7.00	775.00
COR20021.GEN..048 Wright Hennepin Substation (City file 20-048)				
12/15/2020	Lindah, Kendra S.	call with Dale at GRE about WH substation application	0.50	87.50
12/31/2020	Lindah, Kendra S.	project set up/incomplete letter	0.50	69.50
12/31/2020	Lindah, Kendra S.		0.25	34.75

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

talk to Jason at Hennepin County

12/31/2020	Hofer, Tanner J	12/18/2020	4.00	300.00
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Reviewing project for completeness and writing incomplete letter.

Total for COR20021.GEN..048	5.25	491.75
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COR20021.GEN..050 Pulte PUD Concept (city file 20-049)

12/31/2020	Lindahl, Kendra S.	12/22/2020	1.00	139.00
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project set up. review for completeness

Total for COR20021.GEN..050	1.00	139.00
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COR20021.GEN..90 City Business

12/15/2020	Lindahl, Kendra S.	12/1/2020	0.50	69.50
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zoning calls and emails

12/15/2020	Lindahl, Kendra S.	12/2/2020	3.00	417.00
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DRC meeting, follow with WH substation

12/15/2020	Lindahl, Kendra S.	12/3/2020	1.00	139.00
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zoning calls and emails

12/15/2020	Lindahl, Kendra S.	12/4/2020	1.00	139.00
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zoning calls and emails

12/15/2020	Lindahl, Kendra S.	12/14/2020	3.00	417.00
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zoning calls and emails/drc agenda

12/15/2020	Lindahl, Kendra S.	12/15/2020	1.00	139.00
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zoning calls and emails

12/15/2020	Lindahl, Kendra S.	12/7/2020	1.50	208.50
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zoning calls and emails/DRC agenda

12/15/2020	Lindahl, Kendra S.	12/8/2020	1.00	139.00
------------	--------------------	-----------	------	--------

zoning calls and emails

12/15/2020	Lindahl, Kendra S.	12/9/2020	2.75	382.25
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DRC meeting / zoning calls and emails/planning project update

12/15/2020	Lindahl, Kendra S.	12/10/2020	1.00	139.00
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zoning calls and emails

12/15/2020	Lindahl, Kendra S.	12/11/2020	2.00	278.00
------------	--------------------	------------	------	--------

zoning calls and emails/transition email

12/31/2020	Lindahl, Kendra S.	12/17/2020	4.50	625.50
------------	--------------------	------------	------	--------

annual schedule/zoning calls and emails/update process and application process/forms

12/31/2020	Lindahl, Kendra S.	12/18/2020	3.50	486.50
------------	--------------------	------------	------	--------

updating city materials for 2021 & transition/zoning calls and emails

12/31/2020	Lindahl, Kendra S.	12/21/2020	3.00	417.00
------------	--------------------	------------	------	--------

zoning calls and emails/DRC agenda

12/31/2020	Lindahl, Kendra S.	12/22/2020	2.00	278.00
------------	--------------------	------------	------	--------

calls and emails/update forms

12/31/2020	Lindahl, Kendra S.	12/23/2020	1.00	139.00
------------	--------------------	------------	------	--------

zoning calls and emails

12/31/2020	Lindahl, Kendra S.	12/16/2020	4.00	556.00
------------	--------------------	------------	------	--------

DRC meeting, planning transition meeting, template updates for 2021

12/15/2020	Shay, Kevin M.	12/2/2020	0.50	51.50
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Research annexation 60-day rule.

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

12/31/2020	Shay, Kevin M.	12/18/2020	0.50	51.50
<i>Corcoran project check-in.</i>				
12/31/2020	Shay, Kevin M.	12/22/2020	1.50	154.50
<i>Update city checklist as a fillable form.</i>				
12/31/2020	Shay, Kevin M.	12/23/2020	6.00	618.00
<i>Work on city checklists.</i>				
12/31/2020	Hofer, Tanner J	12/16/2020	3.00	225.00
<i>Putting together planning schedule for 2021.</i>				
12/31/2020	Hofer, Tanner J	12/17/2020	3.00	225.00
<i>Putting together planning schedule for 2021. Working on land use application template.</i>				
12/31/2020	Hofer, Tanner J	12/22/2020	3.00	225.00
<i>Working on application and project tracking templates.</i>				
			Total for COR20021.GEN..90	53.25 6,519.75
COR20021.GEN..CODE 2020 codification				
12/15/2020	Lindahl, Kendra S.	12/9/2020	0.25	34.75
<i>reach out to Jess on annual codification</i>				
12/15/2020	Shay, Kevin M.	12/10/2020	1.50	154.50
<i>Set up files for annual codification and pull adopted ordinances.</i>				
12/31/2020	Shay, Kevin M.	12/18/2020	1.25	128.75
<i>Make updates for park dedication ordinance change.</i>				
			Total for COR20021.GEN..CODE	3.00 318.00
COR20021.GEN.COD Code Enforcement				
12/15/2020	Hofer, Tanner J	12/2/2020	4.00	284.00
<i>Preparing for day in City. Returning voicemails and emails.</i>				
12/31/2020	Hofer, Tanner J	12/18/2020	2.00	142.00
<i>Prepping for day in City.</i>				
12/31/2020	Hofer, Tanner J	12/21/2020	8.00	568.00
<i>Code enforcement in City.</i>				
12/31/2020	Hofer, Tanner J	12/22/2020	5.00	355.00
<i>Follow up work from code enforcement in City.</i>				
12/15/2020	Hofer, Tanner J	12/3/2020	6.00	426.00
<i>Code enforcement in the City.</i>				
12/15/2020	Hofer, Tanner J	12/4/2020	3.00	213.00
<i>Follow up from day in City. responding to emails and voicemails.</i>				
12/15/2020	Hofer, Tanner J	12/7/2020	1.25	88.75
<i>Responding to voicemails and emails. Coordinating time in City with Mike.</i>				
12/15/2020	Hofer, Tanner J	12/8/2020	1.50	106.50
<i>Responding to voicemails and emails. Coordinating time in City with Mike.</i>				
12/15/2020	Hofer, Tanner J	12/9/2020	6.00	426.00
<i>Preparing for Code Enforcement in City. Getting information on issues related to code enforcement. Looking into DNR enforcement of animals for code enforcement issue.</i>				

Linked Invoice Transactions - Landform Professional Services, LLC

Invoice No.: 31286

Invoice Date: 1/8/2021

Transaction ID: 15843

12/15/2020	Hofer, Tanner J	12/10/2020	8.00	568.00
<i>Code enforcement in City.</i>				
12/15/2020	Hofer, Tanner J	12/11/2020	3.00	213.00
<i>Follow up from Thursday in City.</i>				
12/15/2020	Hofer, Tanner J	12/14/2020	2.00	142.00
<i>Responding to voicemails and emails.</i>				
12/15/2020	Hofer, Tanner J	12/15/2020	1.00	71.00
<i>Responding to voicemails and emails.</i>				
Total for COR20021.GEN.COD			50.75	3,603.25
COR20021.GEN.MTG City Meetings				
12/31/2020	Lindahl, Kendra S.	12/21/2020	1.00	100.00
<i>council meeting</i>				
Total for COR20021.GEN.MTG			1.00	100.00
Total labor			215.50	22,010.50

Select Entry or Add Entry(F5)	Search Name	Refer	Invoice	Comments	Error	Reset Screen	Turn ON help window
Print Entry	HENN CO SHERIF	36404					
Delete Entry	LANDFORM	36405					
Copy Entry	METRO SALES IN	36406	INV1737812				
Allocate Entry	METRO WEST INS	36408	2687	FINALIZED INSPECTIONS			
Fixed Assets							
Pay To	METRO WEST INSPECTION SERVICES	VR117	Invoice 2687	Inv Date 1/21/2021			
Vendor Customer	Copy Recur	See Transactions	Copy Invoice/Date to below	Invoice Total	Optional		
Ref/Claim#	36408	Claim Type	Direct	Terms			
Comment	FINALIZED INSPECTIONS	Project					
	Copy Comments to entries below	Copy Project to entries below					
Bank or AP	Accounts Payable	Due	12/31/2020	Transaction Date	1/21/2021		
	<i>Italics fields are copied when lines are added below.</i>					2687	Fixed Format
Account	Am	Comments	Invoice	Inv Date	PO	Final	Proj Nbr
PE 100-42400-300		Professional Svcs (\$42,741.79 FINALIZED INSPECTI	2687	1/21/2021	0		21
ME							

Date: 1/22/2021

Code to Acct # 100-

Amount to Pay _____

Comments: _____

Approval Initials: OP Dept. Head
City Admin
Treasurer

\$42,741.79 Page Total
Batch Entered So Far \$72,045.20 Your Total Zero

Metro West Inspection Services, Inc.
689 Medina St, Suite 250
Loretto, MN 55357 US

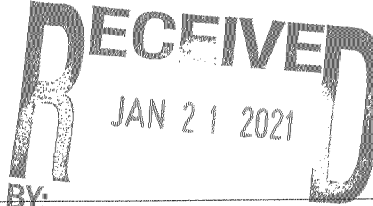
2020



INVOICE

BILL TO
City of Corcoran
8200 County Rd 116
Corcoran, MN 55340

INVOICE # 2687
DATE 01/06/2021



BY: _____

ACTIVITY	HOURS	RATE	AMOUNT
Finaled Permits Finaled permits December 2020	1	42,741.79	42,741.79

BALANCE DUE

\$42,741.79

METRO WEST INSPECTION SERVICES, INC.

BOX 248
 LORETTO, MN 55357
 PH. 763-479-1720
 FAX 763-479-3090
 BILLED TO:

City of Corcoran

8200 County Rd 116
 Corcoran, MN 55340

Invoice Date
 January 6, 2021

Permit #	Permit Address	35% Eligible Fees, Mechanical, Plumbing, Plan Check, SEC	100% Investigation Copies	Total Fees
2019-00637	6697 Primrose Ct	\$5,738.97		\$2,008.64
2019-00413	7325 Rolling Hills Rd	\$7,400.21		\$2,590.07
2019-00054	20840 70th Ave N	\$150.00		\$52.50
2020-00072	6645 Trail LN	\$180.00		\$63.00
2020-00092	6672 Carriage Way	\$572.84		\$200.49
2020-00389	19222 72nd Ave N	\$3,895.66		\$1,363.48
2020-00387	19267 102nd Pl	\$4,241.49		\$1,484.52
2020-00383	19230 72nd Ave N	\$4,286.85		\$1,500.40
2020-00378	10390 Elm Ln	\$3,901.56		\$1,365.55
2020-00377	10393 Elm Ln	\$3,686.11		\$1,290.14
2020-00376	10399 Elm Ln	\$4,203.71		\$1,471.30
2020-00375	10402 Elm Ln	\$3,963.81		\$1,387.33
2020-00371	19268 102nd Pl	\$3,608.97		\$1,263.14
2020-00364	19438 Primrose Ln	\$4,662.88	\$64.00	\$1,696.01
2020-00354	19283 102nd Pl	\$3,124.56		\$1,093.60
2020-00353	19275 102nd Pl	\$3,776.21		\$1,321.67
2020-00351	19259 102nd Pl	\$4,081.15		\$1,428.40
2020-00350	19243 102nd Pl	\$3,124.56		\$1,093.60
2020-00333	6478 Bridle Path	\$5,993.04	\$56.00	\$2,153.56
2020-00304	7474 Fir Ln	\$714.53		\$250.09
2020-00489	10405 Elm Ln	\$318.04		\$111.31
2020-00484	19119 66TH Ave N	\$90.00		\$31.50
2020-00483	6672 Carriage Way	\$90.00		\$31.50
2020-00480	7263 Fir Ln	\$3,880.66		\$1,358.23
2020-00479	19190 72nd Ave N	\$3,576.50		\$1,251.78
2020-00477	20940 Hidden Ponds Dr	\$90.00		\$31.50
2020-00471	19214 72nd Ave N	\$3,885.66		\$1,359.98
2020-00464	21525 Treeline Dr	\$90.00		\$31.50
2020-00456	10277 Elm Ln	\$2,427.56		\$849.65
2020-00455	10250 Elm Ln	\$2,480.56		\$868.20
2020-00450	19136 63rd Ave N	\$3,476.08		\$1,216.63
2020-00449	6631 Wildflower Trl	\$4,672.44	\$132.00	\$1,767.35
2020-00447	6663 Carriage Way	\$90.00		\$31.50
2020-00431	19344 74th Ave N	\$3,700.86		\$1,295.30
2020-00414	7451 Hickory Ln	\$4,408.85		\$1,543.10
2020-00413	10396 Elm Ln	\$3,963.81		\$1,387.33
2020-00412	19284 102nd Pl	\$2,762.56		\$966.90
2020-00401	10210 Heather ln	\$1,419.91		\$496.97
2020-00591	6523 Bluestem Rd N	\$100.00		\$35.00
2020-00562	7800 Corcoran Tr E	\$90.00		\$31.50

Page Total \$39,774.21

Invoice Total \$42,741.79

METRO WEST INSPECTION SERVICES, INC.

BOX 248
 LORETTO, MN 55357
 PH. 763-479-1720
 FAX 763-479-3090

BILLED TO:

City of Corcoran
 8200 County Rd 116
 Corcoran, MN 55340

Invoice Date

January 6, 2021

Permit #	Permit Address	35% Eligible Fees, Mechanical, Plumbing, Plan Check	100 % Eligible Fees	Total Fees
2020-00549	7475 Hickory Ln	\$248.74		\$87.06
2020-00532	7424 Hickory Ln	\$364.24		\$127.48
2020-00526	19398 Elderberry Ct	\$433.54		\$151.74
2020-00505	19260 102nd Pl	\$3,078.56		\$1,077.50
2020-00699	9980 High Bluff LA	\$90.00		\$31.50
2020-00695	20125 Co Rd 117	\$90.00		\$31.50
2020-00694	9732 Garden LA	\$90.00		\$31.50
2020-00693	22218 Chaoarral LN	\$90.00		\$31.50
2020-00692	23360 Oakdale Dr	\$90.00		\$31.50
2020-00690	10635 Maple LA E	\$90.00		\$31.50
2020-00687	6645 Bridle Path	\$90.00		\$31.50
2020-00683	23820 Meadow Creek Dr	\$90.00		\$31.50
2020-00681	9037 Foxline Dr	\$90.00		\$31.50
2020-00679	7909 Co Rd 116	\$90.00		\$31.50
2020-00674	22631 Co Rd 10	\$90.00		\$31.50
2020-00673	9712 Lilypond LA	\$90.00		\$31.50
2020-00672	9913 Lily Pond	\$90.00		\$31.50
2020-00671	9740 Rush Creek Blvd	\$90.00		\$31.50
2020-00670	9800 Sundance Rd	\$90.00		\$31.50
2020-00669	8925 Co Rd 101	\$90.00		\$31.50
2020-00668	91100 93rd Ave N	\$90.00		\$31.50
2020-00667	6702 Olde Sturbridge Dr	\$90.00		\$31.50
2020-00660	20815 Hidden Ponds Dr	\$90.00		\$31.50
2020-00659	20565 Co Rd 30	\$90.00		\$31.50
2020-00655	10227 Hage Dr	\$90.00		\$31.50
2020-00649	6497 Larkspur Ct	\$595.24		\$208.33
2020-00646	6528 Hunter Rd	\$90.00		\$31.50
2020-00615	9065 Schutte La	\$90.00		\$31.50
2020-00799	19453 Meadow Rue Ct	\$156.34		\$54.72
2020-00795	22939 Co Rd 30	\$90.00		\$31.50
2020-00791	9730 Sundance Rd	\$90.00		\$31.50
2020-00790	9720 Sundance Rd	\$90.00		\$31.50
2020-00782	22630 Co Rd 50	\$90.00		\$31.50
2020-00780	22420 Co Rd 30	\$90.00		\$31.50
2020-00779	9840 Sundance Rd	\$90.00		\$31.50
2020-00798	6481 Bridle Path	\$572.14		\$200.25
2020-00776	6310 Rolling Hill Rd	\$90.00		\$31.50
2020-00772	10409 Co Rd 101	\$150.00		\$52.50
2020-00771	6502 Trail LA	\$90.00		\$31.50
2020-00770	23805 Co Rd 10	\$90.00		\$31.50

Page Total \$2,967.58

Invoice Total \$42,741.79

Select Entry or Add Entry(F9) Search Name Refer Invoice Comments Entry Reset Screen Turn ON help window
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 Delete Entry NORTHLAND SEC 36409 6396 ANNUAL CONTINUING DISC E# 23770
 Copy Entry WEBER, INC. 36410 PAY 2 PAY REQUEST #2 30% COM
 Allocate Entry WENCK ASSOCIA 36411 011921

Pay To WENCK ASSOCIATES, INC. V#1700 Invoice 011921 Inv Date 1/19/2021
 Vendor Customer Copy Recur See Transactions Copy Invoice/Date to below Invoice Total Optional

Ref/Claim# 36411 Claim Type Direct Terms
 Comment Project
 Copy Comments to entries below Copy Project to entries below

Bank or AP/Accounts Payable Due 12/31/2020 Transaction Date 1/21/2021
 Italic fields are copied when lines are added below. 011921 Fixed Format

Account	Account	Avnt	Comments	Invoice	Inv Date	PO	Final	Proj Nbr
E 100-43170-300	Professional Svcs (G)	\$586.50	General Eng Services	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20204	Appaloosa Woods F	\$1,472.90	APPALOOSA WOODS	011921	1/19/2021	0	<input type="checkbox"/>	21
E 601-49400-303	Engineering Fees	\$8,760.65	2020 SE CORCORAN	011921	1/19/2021	0	<input type="checkbox"/>	21
E 100-43170-300	Professional Svcs (G)	\$1,561.50	Transportation	011921	1/19/2021	0	<input type="checkbox"/>	21
E 100-43170-300	Professional Svcs (G)	\$158.60	Storm Water - Enginee	011921	1/19/2021	0	<input type="checkbox"/>	21
E 100-43170-299	Watershed LGU	\$1,257.60	RESIDENT WCA ITEM	011921	1/19/2021	0	<input type="checkbox"/>	21
E 100-43170-299	Watershed LGU	\$742.50	WCA VIOLATION - E	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20454	Edgewater Corcoran	\$283.50	EDGEWATER WCA	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20471	St. Therese Sketch	\$360.00	ST THERESE WCA	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20211	Nor-Son WCA	\$180.00	NOR-SON WCA	011921	1/19/2021	0	<input type="checkbox"/>	21
E 601-49400-303	Engineering Fees	\$348.00	CITY OF CORCORAN	011921	1/19/2021	0	<input type="checkbox"/>	21
E 100-43170-300	Professional Svcs (G)	\$384.00	CITY OF CORCORAN	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20212	Gonyea 19800 Hac	\$348.00	GONYEA 19800 HACH	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20213	Van Blaricom WCA	\$337.50	VAN BLARICOM WCA	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20214	M/I Homes WCA	\$405.00	M/I HOMES WCA	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20217	Wright Henn Subste	\$624.00	Wright-Hennepin Subs	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20218	10500 Maple Lane	\$684.60	10500 Maple Lane	011921	1/19/2021	0	<input type="checkbox"/>	21
E 601-49400-303	Engineering Fees	\$3,156.70	NE Water Supply	011921	1/19/2021	0	<input type="checkbox"/>	21
E 601-49400-234	Inspections	\$232.50	PULTE	011921	1/19/2021	0	<input type="checkbox"/>	21
E 602-49450-234	Inspections	\$232.50	PULTE	011921	1/19/2021	0	<input type="checkbox"/>	21
E 601-49400-234	Inspections	\$564.66	RAVINIA	011921	1/19/2021	0	<input type="checkbox"/>	21
E 602-49450-234	Inspections	\$564.66	RAVINIA	011921	1/19/2021	0	<input type="checkbox"/>	21
E 601-49400-234	Inspections	\$756.55	BASS LAKE CROSSIN	011921	1/19/2021	0	<input type="checkbox"/>	21
E 602-49450-234	Inspections	\$756.55	BASS LAKE CROSSIN	011921	1/19/2021	0	<input type="checkbox"/>	21
E 100-43170-300	Professional Svcs (G)	\$2,946.68	BRIDGE FEASIBILITY	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20335	Lennar Eng Plan Fe	\$3,562.89	LENNAR - ENGINEEF	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20438	Bass Lk CR M/I Ho	\$500.19	Bass Lake Crossing M	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20423	Bass Lake Est Skch	\$364.66	Bass Lake Estates Skc	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20423	Bass Lake Est Skch	\$33.36	Cold Storage Crossings	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20459	Refuge of Rush Cre	\$67.50	Refuge of Rush Creek	011921	1/19/2021	0	<input type="checkbox"/>	21
G 500-20497	Kariniemi PP 20-016	\$931.50	Kariniemi PP 20-016	011921	1/19/2021	0	<input type="checkbox"/>	21

\$1,189.50
 changes
 in Bank

\$751.50

2020

G	500-20436	Pulte Encore - PUD	\$4,866.90	Pulte Development Infr	011921	1/19/2021	0	<input type="checkbox"/>	21
G	500-20471	St. Therese Sketch	\$2,043.00	St. Therese Sketch Plc	011921	1/19/2021	0	<input type="checkbox"/>	21
E	425-43100-530	Improvements Other	\$137.00	Stieg Road Design and	011921	1/19/2021	0	<input type="checkbox"/>	21
G	500-20332	Lennar Tavera Dev	\$310.50	Wessel Project Offsite	011921	1/19/2021	0	<input type="checkbox"/>	21
G	500-20490	Cook Lake - Schom	\$369.50	Cook Lake - Schomme	011921	1/19/2021	0	<input type="checkbox"/>	21
G	500-20332	Lennar Tavera Dev	\$13,177.60	Lennar Tavera Develo	011921	1/19/2021	0	<input type="checkbox"/>	21
G	500-20482	Nelson Sketch Plan	\$537.81	Nelson Sketch Plan 15	011921	1/19/2021	0	<input type="checkbox"/>	21
G	500-20488	Rush Creek Reserv	\$639.50	Rush Creek Reserve	011921	1/19/2021	0	<input type="checkbox"/>	21
*E								<input type="checkbox"/>	

Date: 1-21-21
Code to Acct # 100-
Amount to Pay _____
Comments: _____

KBM

Approval Initials: _____
Dept. Head
City Admin
Treasurer

2020



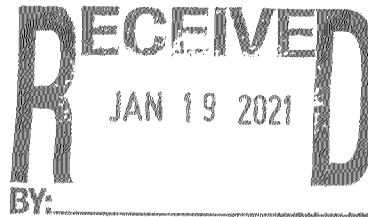
now part of



Stantec Consulting Services Inc.
1800 Pioneer Creek Center, Maple Plain MN 55359

January 15, 2020

Attention:
City Administrator
City of Corcoran
8200 County Road 116
Corcoran, MN 55340



Dear Brad,

Reference: Wenck's December Invoices

Enclosed are the December invoices for engineering services with City/developer workload breakdown at 50%/50% of the total. The City projects included reaching substantial completion on the SE Corcoran Trunk Watermain, a major milestone for the City's water supply. Wetland LGU activity continued to be high.

Lennar (Tavera) was the major effort on development work.

We appreciate your business and please contact me at 763-479-4209, or ktorve@wenck.com.

Sincerely,

Stantec Consulting Services Inc.

Kent Torve
P.E., LEED AP
Phone: 763-479-4209
ktorve@wenck.com

Attachment:
December 2020 Invoices

		Total City Projects		\$ 27,704.45
Escrow Projects				
Invoice no.	Project nos.	Project name	Amount	City Fund #
12009069	B002294-13-017	Lennar Development		500-20335
	200	Construction Plan Reviews and Approvals	\$ 818.60	
	300	Construction Inspection	\$ 2,609.29	
	350	LOMR and Stormwater Modeling	\$ 135.00	
		Total	\$ 3,562.89	
12009071	B002294-17-032	Escrow Projects		
	Phase 02	Bass Lake Crossings	\$ 500.19	500-20438
	Phase 04	Bass Lake Estates	\$ 364.66	500-20423
	Phase 14	Cold Storage Crossings	\$ 33.36	500-20423
	Phase 19	Refuge at Rush Creek Wetland Bank	\$ 67.50	500-20459
	Phase 24	Kariniemi Lot Split	\$ 931.50	500-20497
		Total	\$ 1,897.21	
12009073	B002294-17-033	Pulte Development Infrastructure		500-20436
	Phase 200	Plan Review	\$ 144.50	
	Phase 400	Construction Observation	\$ 4,722.40	
		Total	\$ 4,866.90	
12009085	B002294-19-050	St. Therese Feasibility Study		500-20471
	Phase 100	Transportation	\$ 339.50	
	Phase 200	Sewer	\$ 1,276.50	
	Phase 500	Report	\$ 427.00	
		Total	\$ 2,043.00	
12009086	B002294-19-051	Stieg Road Design and Construction		425-43100-530
	Phase 200	Surveying	\$ 137.00	
		Total	\$ 137.00	
12009089	B002294-19-053	Wessel Project Offsite Utilities		500-20332
	Phase 300	Design	\$ 310.50	
		Total	\$ 310.50	
12009090	B002294-20-055	Cook Lake - Schommer		500-20490
	Phase 100	Plan Review and Coordination	\$ 64.50	
	Phase 300	Sewer and Water	\$ 305.00	
		Total	\$ 369.50	
12009093	B002294-20-500	Tavera_Lennar		500-20332
	Phase 100	General Engineering and Project Coordination	\$ 810.00	
	Phase 200	Plan Review	\$ 6,497.20	
	Phase 300	Stormwater	\$ 3,914.40	
	Phase 800	WCA Review	\$ 1,956.00	
		Total	\$ 13,177.60	
12009095	B002294-20-501	Nelson Trucking		500-20482
	Phase 100	Plan Review and Coordination	\$ 532.05	
	Phase 500	Construction Observation	\$ 5.76	
		Total	\$ 537.81	
12009097	B002294-20-502	Rush Creek Reserve		
	Phase 100	General Engineering and Project Coordination	\$ 32.00	
	Phase 200	Plan Review	\$ 175.50	
	Phase 300	Stormwater	\$ 432.00	
		Total	\$ 639.50	
		Total Escrow Projects	\$ 27,541.91	

Invoice Total \$ 55,246.36

City of Corcoran December 2020 Invoices

City Projects				
Invoice no.	Project nos.	Project name	Amount	City Fund #
12009068	B002294-09-001	Corcoran General Engineering Services		
	500-01	General	\$ 586.50	100-43170-300
	500-06	Appaloosa Woods Engineer's Report	\$ 1,472.90	500-20204
		Total	\$ 2,059.40	
12009077	B002294-18-040	2020 SE Corcoran Trunk Watermain		601-49400-303
	Phase 050	Project Administration/Legal/Property	\$ 138.00	
	Phase 200	Surveying	\$ 716.25	
	Phase 500	Construction	\$ 7,906.40	
		Total	\$ 8,760.65	
12009081	B002294-19-044	Transportation		100-43170-300
	Phase 100	MnDOT State Aid	\$ 1,280.00	
	Phase 300	City Traffic Items	\$ 160.00	
	Phase 500	Bridges	\$ 121.50	
		Total	\$ 1,561.50	
12009082	B002294-19-045	Stormwater		100-43170-300
	Phase 300	MS4	\$ 158.60	
		Total	\$ 158.60	
12009088	B002294-19-046	WCA		100-43170-299
	Phase 100	Resident Items	\$ 1,257.00	Escrow
	Phase 101	Ernie Mayers WCA Violation	\$ 742.50	100-43170-299
	Phase 1500	Edgewater	\$ 283.50	Escrow
	Phase 2100	St. Therese Property	\$ 360.00	Escrow
	Phase 2300	Nor-Son	\$ 180.00	Escrow
	Phase 2400	City of Corcoran Well Site	\$ 348.00	Water Fund
	Phase 2500	City of Corcoran Bridge Replacement	\$ 384.00	Bridge FS Project
	Phase 2800	Gonyea 19800 Hackamore Road	\$ 348.00	Escrow
	Phase 2900	Van Blairicom	\$ 337.50	Escrow
	Phase 3000	M/I Homes	\$ 405.00	Escrow
	Phase 3100	Wright-Hennepin Substation	\$ 624.00	Escrow
	Phase 3200	10500 Maple Lane	\$ 684.00	Escrow
		Total	\$ 5,953.50	
12009083	B002294-19-048	Water Utility		601-49400-303
	Phase 300	NE Water Supply	\$ 496.00	
	Phase 350	NE Feasibility Study	\$ 320.00	
	Phase 500	Site Plan Development	\$ 2,340.70	
		Total	\$ 3,156.70	
12009091	B002294-20-060	New Construction Inspection		
	Phase 01 Task 001	Pulte Utility Connection	\$ 276.00	50% to 601-49400-234 and 50% to 602-49450-234
	Phase 01 Task 004	Pulte Building Permit Survey Review	\$ 189.00	
	Phase 02 Task 001	Ravinia Utility Connection	\$ 646.32	50% to 601-49400-234 and 50% to 602-49450-234
	Phase 02 Task 004	Ravinia Building Permit Survey Review	\$ 483.00	
	Phase 03 Task 001	Bass Lake Crossing Utility Connection	\$ 467.60	50% to 601-49400-234 and 50% to 602-49450-234
	Phase 03 Task 004	Bass Lake Crossing Building Permit Surv Review	\$ 31.50	
	Phase 07 Task 001	Utility Connection	\$ 1,014.00	
		Total	\$ 3,107.42	
12009099	B002294-20-505	Bridge Feasibility Study		Project
	Phase 100	Project Coordination and Funding	\$ 368.00	
	Phase 150	Wetlands and Surveying	\$ 1,442.68	
	Phase 200	Hydraulics	\$ 121.00	
	Phase 300	Design	\$ 1,015.00	
	Phase 500	Report		
		Total	\$ 2,946.68	

Invoice

January 6, 2021
 Invoice No: 12009068

City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-09-001 Corcoran General Engineering Services

Professional Services Through December 31, 2020

Phase 500-01 General
 General

Professional Personnel

	Hours	Rate	Amount	
Shuck, Jordan	3.50	129.00	451.50	
Torve, Kent	1.00	135.00	135.00	
Totals	4.50		586.50	
Total Labor				586.50
				Phase Total
				\$586.50

Phase 500-06 Appaloosa Woods Engineer's Report
 Appaloosa Woods Engineer's Report

Professional Personnel

	Hours	Rate	Amount	
Hegland, Steven	6.70	122.00	817.40	
Morgan, Gage	3.40	105.00	357.00	
Schmidt, Rowdy	1.50	129.00	193.50	
Wyers, Nicholas	1.00	105.00	105.00	
Totals	12.60		1,472.90	
Total Labor				1,472.90
				Phase Total
				\$1,472.90

Total Invoice Amount \$2,059.40

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc.

Invoice 12009068 Dated 1/6/2021

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Project	B002294-09-001	Corcoran General Engineering Services		
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Phase	500-01	General		
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General

Professional Personnel

			Hours	Rate		Amount
243	933 - Shuck, Jordan	12/3/2020	1.00	129.00		129.00
	updated street map for Pritch, Police Department. Wyers getting me additional parcel data to add					
243	933 - Shuck, Jordan	12/11/2020	1.50	129.00		193.50
	mapping, police department street map updating missing parcels from CAD for M Pritch					
243	933 - Shuck, Jordan	12/23/2020	1.00	129.00		129.00
	Finsih updating street map police departmentreview data for utilities					
063	962 - Torve, Kent	12/9/2020	1.00	135.00		135.00
	DRC					
	Totals		4.50			586.50
	Total Labor					586.50

Phase Total \$586.50

Phase	500-06	Appaloosa Woods Engineer's Report		
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Appaloosa Woods Engineer's Report

Professional Personnel

			Hours	Rate		Amount
418	941 - Hegland, Steven	12/1/2020	2.00	122.00		244.00
	Cost estimate and prelim assessment					
418	941 - Hegland, Steven	12/9/2020	1.00	122.00		122.00
	review cost estimate and assessment roll					
418	941 - Hegland, Steven	12/14/2020	.50	122.00		61.00
	assessment roll					
418	941 - Hegland, Steven	12/22/2020	1.20	122.00		146.40
	finalize cost estimate and assessment roll					
418	941 - Hegland, Steven	12/23/2020	2.00	122.00		244.00
	feasibility study					
1232	931 - Morgan, Gage	12/1/2020	3.10	105.00		325.50
	Appaloosa Feasibility Study & Figure Edits					
1232	931 - Morgan, Gage	12/23/2020	.30	105.00		31.50
	Edits to Figure 1 per Steve					
394	942 - Schmidt, Rowdy	12/9/2020	1.00	129.00		129.00
	Plans/Estimate					
394	942 - Schmidt, Rowdy	12/14/2020	.50	129.00		64.50
	Estimate					
706	923 - Wyers, Nicholas	12/2/2020	1.00	105.00		105.00
	site visit, data collection					
	Totals		12.60			1,472.90
	Total Labor					1,472.90

Phase Total \$1,472.90

Project Total \$2,059.40

Project	B002294-09-001	Corcoran General Engineering Services	Invoice	12009068
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Total this Report			\$2,059.40
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Invoice

January 6, 2021
 Invoice No: 12009077

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-18-040 2020 SE Corcoran Trunk Watermain

Professional Services Through December 31, 2020

Phase 050 Project Administration/Legal/Property
 Project Administration/Legal/Property

Professional Personnel

	Hours	Rate	Amount	
Spree, Kyle	1.50	92.00	138.00	
Totals	1.50		138.00	
Total Labor				138.00
				Phase Total \$138.00

Phase 200 Surveying
 Surveying

Professional Personnel

	Hours	Rate	Amount	
Halls, Matthew	4.50	100.00	450.00	
Totals	4.50		450.00	
Total Labor				450.00

Reimbursable Expenses

Permits/Bonds/Insurance-Reimbursable			150.00	
Total Reimbursables			150.00	150.00

Unit Billing

00-WAI Vehicle Maple Plain				
01-Survey Supplies/Equipment				116.25
				Phase Total \$716.25

Phase 500 Construction
 Construction

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	12.90	92.00	1,186.80	
Schmidt, Rowdy	8.40	129.00	1,083.60	
Spree, Kyle	43.00	92.00	3,956.00	
Wyers, Nicholas	16.00	105.00	1,680.00	
Totals	80.30		7,906.40	
Total Labor				7,906.40

Phase Total \$7,906.40

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Project	B002294-18-040	2020 SE Corcoran Trunk Watermain	Invoice	12009077
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Total Invoice Amount	\$8,760.65
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	Current	Prior	Total
Billing Summary	8,760.65	80,763.88	89,524.53

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc. Invoice 12009077 Dated 1/6/2021 2:19:08 PM

Project	B002294-18-040	2020 SE Corcoran Trunk Watermain		
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Phase	050	Project Administration/Legal/Property		
Project Administration/Legal/Property				

Professional Personnel

			Hours	Rate	Amount	
931	922 - Spree, Kyle	12/22/2020	1.50	92.00	138.00	
	Quantity Tracking and Reporting					
	Totals		1.50		138.00	
	Total Labor					138.00

Phase Total \$138.00

Phase	200	Surveying		
Surveying				

Professional Personnel

			Hours	Rate	Amount	
588	922 - Halls, Matthew	12/1/2020	4.50	100.00	450.00	
	asbuilt hydrants, stake WM on park trail, restake some WM on 66th					
	Totals		4.50		450.00	
	Total Labor					450.00

Reimbursable Expenses

Permits/Bonds/Insurance-Reimbursable						
EX	00000043965	12/21/2020		Wyers, Nicholas / Watermain Easements / Easements for 2020 trunk watermain nbsp;	150.00	
	Total Reimbursables				150.00	150.00

Unit Billing

	00-WAI Vehicle Maple Plain		35.0 Miles @ 0.75		26.25	
	01-Survey Supplies/Equipment		4.5 Hours @ 20.00		90.00	
						116.25
	Phase Total					\$716.25

Phase	500	Construction		
Construction				

Professional Personnel

			Hours	Rate	Amount	
895	921 - Butler, Samuel	12/1/2020	1.20	92.00	110.40	
	trunk water main weekly meeting. pay app quantity review					
895	921 - Butler, Samuel	12/2/2020	.70	92.00	64.40	
	Quantity conversation with kyle, testing review, park trail road traffic conversation					
895	921 - Butler, Samuel	12/3/2020	2.00	92.00	184.00	
	ties to gate valves, construction observation, filled line gleason parkway 12th addition					
895	921 - Butler, Samuel	12/4/2020	3.50	92.00	322.00	
	construction observation, hydrant extensions, pressure testing					

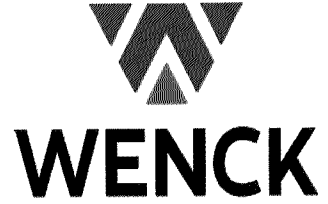
Project	B002294-18-040	2020 SE Corcoran Trunk Watermain			Invoice	12009077
895	921 - Butler, Samuel	12/7/2020	5.00	92.00	460.00	
	Pressure testing, bacteria testing/flushing coordination					
895	921 - Butler, Samuel	12/10/2020	.50	92.00	46.00	
	Turned valves on after passing bacteria test					
394	942 - Schmidt, Rowdy	12/1/2020	1.00	129.00	129.00	
	Construction: WM					
394	942 - Schmidt, Rowdy	12/2/2020	1.00	129.00	129.00	
	Construction: WM					
394	942 - Schmidt, Rowdy	12/4/2020	1.00	129.00	129.00	
	Construction: WM					
394	942 - Schmidt, Rowdy	12/7/2020	1.00	129.00	129.00	
	WM Testing					
394	942 - Schmidt, Rowdy	12/10/2020	1.50	129.00	193.50	
	Site review					
394	942 - Schmidt, Rowdy	12/15/2020	1.50	129.00	193.50	
	Site review /Punchlist					
394	942 - Schmidt, Rowdy	12/16/2020	1.00	129.00	129.00	
	Construction Coordination					
394	942 - Schmidt, Rowdy	12/23/2020	.40	129.00	51.60	
	pay app					
931	922 - Spree, Kyle	12/1/2020	8.50	92.00	782.00	
	Watermain Install- 2 Crews					
931	922 - Spree, Kyle	12/2/2020	10.00	92.00	920.00	
	Watermain Install- 2 Crews Watermain Testing					
931	922 - Spree, Kyle	12/3/2020	8.50	92.00	782.00	
	Watermain Install- 2 Crews Watermain Testing					
931	922 - Spree, Kyle	12/8/2020	7.50	92.00	690.00	
	Testing of WM and Flushing					
931	922 - Spree, Kyle	12/9/2020	4.50	92.00	414.00	
	Testing and Punch Listing					
931	922 - Spree, Kyle	12/17/2020	4.00	92.00	368.00	
	Temp Storm Repair Oversight					
706	923 - Wyers, Nicholas	12/1/2020	2.50	105.00	262.50	
	construction observation and documentation, weekly construction meeting, pay app coordination					
706	923 - Wyers, Nicholas	12/2/2020	2.50	105.00	262.50	
	pay app coordination, change order coordination, hydrant extension coordination					
706	923 - Wyers, Nicholas	12/3/2020	2.00	105.00	210.00	
	pay app coordination, site visit, hydrant staking and adjustment coordination					
706	923 - Wyers, Nicholas	12/4/2020	1.30	105.00	136.50	
	construction coordination					
706	923 - Wyers, Nicholas	12/7/2020	1.00	105.00	105.00	
	construction coordination					
706	923 - Wyers, Nicholas	12/8/2020	1.00	105.00	105.00	
	construction coordination					
706	923 - Wyers, Nicholas	12/10/2020	2.00	105.00	210.00	
	construction observation and documentation, site cleanup					
706	923 - Wyers, Nicholas	12/15/2020	.50	105.00	52.50	
	contractor coordination					
706	923 - Wyers, Nicholas	12/17/2020	.50	105.00	52.50	
	construction coordination, contractor coordination					
706	923 - Wyers, Nicholas	12/22/2020	1.70	105.00	178.50	
	contractor coordination, pay app coordination					
706	923 - Wyers, Nicholas	12/23/2020	1.00	105.00	105.00	

Project	B002294-18-040	2020 SE Corcoran Trunk Watermain	Invoice	12009077
	pay app coordination			
	Totals	80.30	7,906.40	
	Total Labor			7,906.40
			Phase Total	\$7,906.40
			Project Total	\$8,760.65
			Total this Report	\$8,760.65

Invoice

January 6, 2021
 Invoice No: 12009081

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-044 Transportation
Professional Services Through December 31, 2020

Phase 100 MnDOT State Aid
 MnDOT State Aid

Professional Personnel

	Hours	Rate	Amount	
Terhaar, Edward	8.00	160.00	1,280.00	
Totals	8.00		1,280.00	
Total Labor				1,280.00
				Phase Total
				\$1,280.00

Phase 300 City Traffic Items
 City Traffic Items

Professional Personnel

	Hours	Rate	Amount	
Terhaar, Edward	1.00	160.00	160.00	
Totals	1.00		160.00	
Total Labor				160.00
				Phase Total
				\$160.00

Phase 500 Bridges
 Bridges

Professional Personnel

	Hours	Rate	Amount	
Torve, Kent	.90	135.00	121.50	
Totals	.90		121.50	
Total Labor				121.50
				Phase Total
				\$121.50

Total Invoice Amount \$1,561.50

	Current	Prior	Total
Billing Summary	1,561.50	21,392.70	22,954.20

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc.

Invoice 12009081 Dated 1/6/2021

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Project	B002294-19-044	Transportation		
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Phase	100	MnDOT State Aid		
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MnDOT State Aid

Professional Personnel

				Hours	Rate	Amount	
293	951 - Terhaar, Edward	12/8/2020		1.00	160.00	160.00	
	state aid funding review						
293	951 - Terhaar, Edward	12/9/2020		1.00	160.00	160.00	
	mileage certification						
293	951 - Terhaar, Edward	12/10/2020		1.00	160.00	160.00	
	bridge inspection information						
293	951 - Terhaar, Edward	12/14/2020		2.00	160.00	320.00	
	underwater bridge reports						
293	951 - Terhaar, Edward	12/15/2020		1.00	160.00	160.00	
	underwater bridge reports						
293	951 - Terhaar, Edward	12/22/2020		1.00	160.00	160.00	
	bridge reporting						
293	951 - Terhaar, Edward	12/28/2020		1.00	160.00	160.00	
	mileage certification						
	Totals			8.00		1,280.00	
	Total Labor						1,280.00
	Phase Total						\$1,280.00

Phase	300	City Traffic Items		
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City Traffic Items

Professional Personnel

				Hours	Rate	Amount	
293	951 - Terhaar, Edward	12/2/2020		1.00	160.00	160.00	
	CR 19/CR 30 discussion						
	Totals			1.00		160.00	
	Total Labor						160.00
	Phase Total						\$160.00

Phase	500	Bridges		
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Bridges

Professional Personnel

				Hours	Rate	Amount	
063	962 - Torve, Kent	12/23/2020		.90	135.00	121.50	
	Bridge load rating review and submittal to MnDOT						
	Totals			.90		121.50	
	Total Labor						121.50
	Phase Total						\$121.50
	Project Total						\$1,561.50

Project	B002294-19-044	Transportation	Invoice	12009081
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Total this Report	\$1,561.50
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Invoice

January 6, 2021
Invoice No: 12009082

Kevin Mattson
City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340



Responsive partner.
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-045 Stormwater

Professional Services Through December 31, 2020

Phase 300 MS4
MS4

Professional Personnel

	Hours	Rate	Amount	
Cantarero, Nicolas	1.30	122.00	158.60	
Totals	1.30		158.60	
Total Labor				158.60
				Phase Total
				\$158.60
				Total Invoice Amount
				\$158.60

	Current	Prior	Total
Billing Summary	158.60	28,234.24	28,392.84

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc.

Invoice 12009082 Dated 1/6/2021

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Project B002294-19-045 Stormwater

Phase 300 MS4
MS4

Professional Personnel

			Hours	Rate	Amount	
1082	932 - Cantarero, Nicolas	12/7/2020	1.00	122.00	122.00	
	MS4 Monthly Meeting + prep/follow up					
1082	932 - Cantarero, Nicolas	12/9/2020	.30	122.00	36.60	
	MS4 follow up					
	Totals		1.30		158.60	
	Total Labor					158.60
					Phase Total	\$158.60
					Project Total	\$158.60
					Total this Report	\$158.60

Invoice

January 6, 2021
Invoice No: 12009088

Kevin Mattson
City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340



Responsive partner.
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-046 WCA
Professional Services Through December 31, 2020

Phase 100 Resident Items
Resident Items

Professional Personnel

	Hours	Rate	Amount
Boll, Wesley	3.00	135.00	405.00
Mueller, Lucas	7.10	120.00	852.00
Totals	10.10		1,257.00
Total Labor			

~~1,257.00~~

\$1,189.50

Phase Total

\$1,257.00

Phase 101 Ernie Mayers WCA Violation
Ernie Mayers WCA Violation

Professional Personnel

	Hours	Rate	Amount
Boll, Wesley	5.50	135.00	742.50
Totals	5.50		742.50
Total Labor			

742.50

Phase Total

\$742.50

Phase 1500 Edgewater
Edgewater

Professional Personnel

	Hours	Rate	Amount
Boll, Wesley	.50	135.00	67.50
Mueller, Lucas	1.80	120.00	216.00
Totals	2.30		283.50
Total Labor			

283.50

Phase Total

\$283.50

Phase 2100 St. Therese Property
St. Therese Property

Professional Personnel

	Hours	Rate	Amount
Mueller, Lucas	3.00	120.00	360.00
Totals	3.00		360.00
Total Labor			

360.00

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Phase Total \$360.00

Phase 2300 Nor-Son
Nor-Son

Professional Personnel

	Hours	Rate	Amount	
Mueller, Lucas	1.50	120.00	180.00	
Totals	1.50		180.00	
Total Labor				180.00

Phase Total \$180.00

Phase 2400 City of Corcoran Well Site
City of Corcoran Well Site

Professional Personnel

	Hours	Rate	Amount	
Mueller, Lucas	2.90	120.00	348.00	
Totals	2.90		348.00	
Total Labor				348.00

Phase Total \$348.00

Phase 2500 City of Corcoran Bridge Replacement
City of Corcoran Bridge Replacement

Professional Personnel

	Hours	Rate	Amount	
Mueller, Lucas	3.20	120.00	384.00	
Totals	3.20		384.00	
Total Labor				384.00

Phase Total \$384.00

Phase 2800 Gonyea 19800 Hackamore Road
Gonyea 19800 Hackamore Road

Professional Personnel

	Hours	Rate	Amount	
Mueller, Lucas	2.90	120.00	348.00	
Totals	2.90		348.00	
Total Labor				348.00

Phase Total \$348.00

Phase 2900 Van Blairicom
Van Blairicom

Professional Personnel

	Hours	Rate	Amount	
Boll, Wesley	2.50	135.00	337.50	
Totals	2.50		337.50	
Total Labor				337.50

Phase Total \$337.50

Phase 3000 M/I Homes
M/I Homes

Professional Personnel

	Hours	Rate	Amount	
Boll, Wesley	3.00	135.00	405.00	
Totals	3.00		405.00	
Total Labor				405.00
Phase Total				\$405.00

Phase 3100 Wright-Hennepin Substation
Wright-Hennepin Substation

Professional Personnel

	Hours	Rate	Amount	
Mueller, Lucas	5.20	120.00	624.00	
Totals	5.20		624.00	
Total Labor				624.00
Phase Total				\$624.00

Phase 3200 10500 Maple Lane
10500 Maple Lane

Professional Personnel

	Hours	Rate	Amount	
Mueller, Lucas	5.70	120.00	684.00	
Totals	5.70		684.00	
Total Labor				684.00
Phase Total				\$684.00

+ \$167.50
~~684.00~~
\$751.50

Total Invoice Amount \$5,953.50

Billing Summary	Current	Prior	Total
	5,953.50	61,907.60	67,861.10

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc.

Invoice 12009088 Dated 1/6/2021

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Project B002294-19-046 WCA

Phase 100 Resident Items

Resident Items

Professional Personnel

			Hours	Rate	Amount
186	933 - Boll, Wesley	12/10/2020	.50	135.00	67.50
	10500 Maple Lane Wetland Review				
186	933 - Boll, Wesley	12/14/2020	.50	135.00	67.50
	10500 Maple, Cook Lake WCA Application				
186	933 - Boll, Wesley	12/22/2020	1.00	135.00	135.00
	WCA Application Correspondence				
186	933 - Boll, Wesley	12/28/2020	1.00	135.00	135.00
	WCA Application Coordination/Review, Spreadsheet Update				
1073	931 - Mueller, Lucas	12/10/2020	1.00	120.00	120.00
	Potential violation drive-by. Review of google earth aerials				
1073	931 - Mueller, Lucas	12/16/2020	2.10	120.00	252.00
	review of spreadsheet and NOAs and NODs for end of 2020				
1073	931 - Mueller, Lucas	12/21/2020	2.20	120.00	264.00
	NODs				
1073	931 - Mueller, Lucas	12/29/2020	1.80	120.00	216.00
	Updated project timesheet and varified dates				
	Totals		10.10		1,257.00
	Total Labor				1,257.00
				Phase Total	\$1,257.00

67.50 → Phase 3200

\$1,189.50

Phase 101 Ernie Mayers WCA Violation

Ernie Mayers WCA Violation

Professional Personnel

			Hours	Rate	Amount
186	933 - Boll, Wesley	12/3/2020	2.00	135.00	270.00
	Phone call with BWSR/Applicant, Request Appeal Extension from BWSR				
186	933 - Boll, Wesley	12/7/2020	2.50	135.00	337.50
	TEP Site Visit				
186	933 - Boll, Wesley	12/29/2020	1.00	135.00	135.00
	Phone Call with Applicant				
	Totals		5.50		742.50
	Total Labor				742.50
				Phase Total	\$742.50

Phase 1500 Edgewater

Edgewater

Professional Personnel

			Hours	Rate	Amount
186	933 - Boll, Wesley	12/4/2020	.50	135.00	67.50
	REview WCA NOD				
1073	931 - Mueller, Lucas	12/4/2020	1.80	120.00	216.00

Drafted and submitted NOD and NOD summary to TEP/Client

Totals	2.30	283.50	
Total Labor			283.50
Phase Total			\$283.50

Phase 2100 St. Therese Property
St. Therese Property

Professional Personnel

			Hours	Rate	Amount	
1073	931 - Mueller, Lucas	12/23/2020	1.50	120.00	180.00	
	NOD					
1073	931 - Mueller, Lucas	12/29/2020	1.50	120.00	180.00	
	NOD					
	Totals		3.00		360.00	
	Total Labor					360.00
Phase Total						\$360.00

Phase 2300 Nor-Son
Nor-Son

Professional Personnel

			Hours	Rate	Amount	
1073	931 - Mueller, Lucas	12/7/2020	1.50	120.00	180.00	
	NOD issued					
	Totals		1.50		180.00	
	Total Labor					180.00
Phase Total						\$180.00

Phase 2400 City of Corcoran Well Site
City of Corcoran Well Site

Professional Personnel

			Hours	Rate	Amount	
1073	931 - Mueller, Lucas	12/23/2020	1.40	120.00	168.00	
	NOD					
1073	931 - Mueller, Lucas	12/29/2020	1.50	120.00	180.00	
	NOD					
	Totals		2.90		348.00	
	Total Labor					348.00
Phase Total						\$348.00

Phase 2500 City of Corcoran Bridge Replacement
City of Corcoran Bridge Replacement

Professional Personnel

			Hours	Rate	Amount	
1073	931 - Mueller, Lucas	12/23/2020	1.70	120.00	204.00	

1073	NOD 931 - Mueller, Lucas	12/29/2020	1.50	120.00	180.00
	NOD				
	Totals		3.20		384.00
	Total Labor				384.00
Phase Total					\$384.00

Phase 2800 Gonyea 19800 Hackamore Road
Gonyea 19800 Hackamore Road

Professional Personnel

			Hours	Rate	Amount
1073	931 - Mueller, Lucas	12/4/2020	1.40	120.00	168.00
	NOA sent				
1073	931 - Mueller, Lucas	12/16/2020	1.50	120.00	180.00
	Review of new submittal from Kjoelog (post TEP)				
	Totals		2.90		348.00
	Total Labor				348.00
Phase Total					\$348.00

Phase 2900 Van Blairicom
Van Blairicom

Professional Personnel

			Hours	Rate	Amount
186	933 - Boll, Wesley	12/2/2020	2.50	135.00	337.50
	Site REVIEW				
	Totals		2.50		337.50
	Total Labor				337.50
Phase Total					\$337.50

Phase 3000 M/I Homes
M/I Homes

Professional Personnel

			Hours	Rate	Amount
186	933 - Boll, Wesley	12/2/2020	3.00	135.00	405.00
	Site REVIEW				
	Totals		3.00		405.00
	Total Labor				405.00
Phase Total					\$405.00

Phase 3100 Wright-Hennepin Substation
Wright-Hennepin Substation

Professional Personnel

			Hours	Rate	Amount
1073	931 - Mueller, Lucas	12/22/2020	3.60	120.00	432.00

1073	Report review. Aerial review. TEP visit 931 - Mueller, Lucas	12/30/2020	1.60	120.00	192.00
	NOA				
	Totals		5.20		624.00
	Total Labor				624.00
				Phase Total	\$624.00

Phase 3200 10500 Maple Lane
10500 Maple Lane

Professional Personnel

			Hours	Rate	Amount
1073	931 - Mueller, Lucas	12/21/2020	1.40	120.00	168.00
	Delineation report review and TEP setup				
1073	931 - Mueller, Lucas	12/22/2020	2.50	120.00	300.00
	Field review. Report review				
1073	931 - Mueller, Lucas	12/30/2020	1.80	120.00	216.00
	NOA and discussion with Applicant about No Loss				
	Totals		5.70		684.00
	Total Labor				684.00
				Phase Total	\$684.00
				Project Total	\$5,953.50
				Total this Report	\$5,953.50

+ \$67.50
\$751.50

Invoice

January 6, 2021
 Invoice No: 12009083

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-048 Water Utility

Professional Services Through December 31, 2020

Phase 300 NE Water Supply

NE Water Supply

Professional Personnel

	Hours	Rate	Amount	
Bowers, Matthew	.60	160.00	96.00	
Waterman, Shane	2.50	160.00	400.00	
Totals	3.10		496.00	
Total Labor				496.00
		Phase Total		\$496.00

Phase 350 NE Feasibility Study

NE Feasibility Study

Professional Personnel

	Hours	Rate	Amount	
Bowers, Matthew	1.00	160.00	160.00	
Munson, Anna	1.00	160.00	160.00	
Totals	2.00		320.00	
Total Labor				320.00
		Phase Total		\$320.00

Phase 500 Site Plan Development

Site Plan Development

Professional Personnel

	Hours	Rate	Amount	
Bjorklund, Gary	5.80	137.00	794.60	
Hegland, Steven	4.40	122.00	536.80	
Pierce, Lauren	10.40	92.00	956.80	
Wyers, Nicholas	.50	105.00	52.50	
Totals	21.10		2,340.70	
Total Labor				2,340.70
		Phase Total		\$2,340.70

Total Invoice Amount \$3,156.70

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc.

Invoice 12009083 Dated 1/6/2021

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Project	B002294-19-048	Water Utility		
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Phase	300	NE Water Supply		
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NE Water Supply

Professional Personnel

			Hours	Rate	Amount	
030C	952 - Bowers, Matthew	12/4/2020	.60	160.00	96.00	
	Municipal Well Permitting					
180	952 - Waterman, Shane	12/2/2020	.50	160.00	80.00	
	Test well pump test and geologic data review					
180	952 - Waterman, Shane	12/4/2020	2.00	160.00	320.00	
	Pump test data review and call with Matt Bowers					
	Totals		3.10		496.00	
	Total Labor					496.00

Phase Total \$496.00

Phase	350	NE Feasibility Study		
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NE Feasibility Study

Professional Personnel

			Hours	Rate	Amount	
030C	952 - Bowers, Matthew	12/1/2020	.30	160.00	48.00	
	Technical Review					
030C	952 - Bowers, Matthew	12/14/2020	.30	160.00	48.00	
	Technical Review - Site Layout					
030C	952 - Bowers, Matthew	12/23/2020	.40	160.00	64.00	
	Technical Review / Communication					
1104	942 - Munson, Anna	12/14/2020	1.00	160.00	160.00	
	Review and comment to site plan					
	Totals		2.00		320.00	
	Total Labor					320.00

Phase Total \$320.00

Phase	500	Site Plan Development		
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Site Plan Development

Professional Personnel

			Hours	Rate	Amount	
806	932 - Bjorklund, Gary	12/10/2020	.60	137.00	82.20	
	consult with Lauren and review pre plat Hunters Ridge					
806	932 - Bjorklund, Gary	12/11/2020	2.20	137.00	301.40	
	draft final plat					
806	932 - Bjorklund, Gary	12/14/2020	3.00	137.00	411.00	
	FINISH PLAT AND SEND					
418	941 - Hegland, Steven	12/2/2020	1.00	122.00	122.00	
	concept plan and prelim plat for water treatment site					
418	941 - Hegland, Steven	12/4/2020	.70	122.00	85.40	
	water treatment site concept layouts					

Project	B002294-19-048	Water Utility			Invoice	12009083
418	941 - Hegland, Steven	12/7/2020	.70	122.00	85.40	
	water site review					
418	941 - Hegland, Steven	12/10/2020	1.00	122.00	122.00	
	Site plan for Lothar Lot Split					
418	941 - Hegland, Steven	12/14/2020	1.00	122.00	122.00	
	Lothar Lot Split Documents					
1015	921 - Pierce, Lauren	12/2/2020	1.00	92.00	92.00	
	Preliminary plat and site plan					
1015	921 - Pierce, Lauren	12/3/2020	1.90	92.00	174.80	
	Preliminary plat and site plan					
1015	921 - Pierce, Lauren	12/4/2020	3.60	92.00	331.20	
	Preliminary plat and site plan					
1015	921 - Pierce, Lauren	12/8/2020	.50	92.00	46.00	
	Site plan updates					
1015	921 - Pierce, Lauren	12/10/2020	1.00	92.00	92.00	
	Preliminary plat updates					
1015	921 - Pierce, Lauren	12/11/2020	1.70	92.00	156.40	
	Site plan update					
1015	921 - Pierce, Lauren	12/14/2020	.70	92.00	64.40	
	Site plan changes - well location					
706	923 - Wyers, Nicholas	12/7/2020	.50	105.00	52.50	
	site plan review and coordination					
	Totals		21.10		2,340.70	
	Total Labor					2,340.70
				Phase Total		\$2,340.70
				Project Total		\$3,156.70
				Total this Report		\$3,156.70

Invoice

January 6, 2021
 Invoice No: 12009091

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-060 New Construction Inspection

Professional Services Through December 31, 2020

Phase 01 Pulte

Pulte

Task 001 Utility Connection

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	1.00	92.00	92.00	
Spree, Kyle	2.00	92.00	184.00	
Totals	3.00		276.00	
Total Labor				276.00
				Task Total
				\$276.00

Task 004 Building Permit Survey Review

Professional Personnel

	Hours	Rate	Amount	
Wyers, Nicholas	1.80	105.00	189.00	
Totals	1.80		189.00	
Total Labor				189.00
				Task Total
				\$189.00
				Phase Total
				\$465.00

Phase 02 Ravinia

Ravinia

Task 001 Utility Connection

Professional Personnel

	Hours	Rate	Amount	
Spree, Kyle	4.00	92.00	368.00	
Wyers, Nicholas	2.30	105.00	241.50	
Totals	6.30		609.50	
Total Labor				609.50

Reimbursable Expenses

Mileage - Reimbursable			36.82	
Total Reimbursables			36.82	36.82
				Task Total
				\$646.32

Task 004 Building Permit Survey Review

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Professional Personnel

	Hours	Rate	Amount	
Wyers, Nicholas	4.60	105.00	483.00	
Totals	4.60		483.00	
Total Labor				483.00
				Task Total
				\$483.00
				Phase Total
				\$1,129.32

Phase 03 Bass Lake Crossing
Bass Lake Crossing

Task 001 Utility Connection

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	2.00	92.00	184.00	
Spree, Kyle	.50	92.00	46.00	
Wyers, Nicholas	2.00	105.00	210.00	
Totals	4.50		440.00	
Total Labor				440.00

Reimbursable Expenses

Mileage - Reimbursable			27.60	
Total Reimbursables			27.60	27.60
				Task Total
				\$467.60

Task 004 Building Permit Survey Review

Professional Personnel

	Hours	Rate	Amount	
Wyers, Nicholas	.30	105.00	31.50	
Totals	.30		31.50	
Total Labor				31.50
				Task Total
				\$31.50
				Phase Total
				\$499.10

Phase 07 Other
Other

Task 001 Utility Connection

Professional Personnel

	Hours	Rate	Amount	
Schmidt, Rowdy	1.00	129.00	129.00	
Spree, Kyle	3.00	92.00	276.00	
Wyers, Nicholas	5.80	105.00	609.00	
Totals	9.80		1,014.00	
Total Labor				1,014.00
				Task Total
				\$1,014.00
				Phase Total
				\$1,014.00

Total Invoice Amount \$3,107.42

Project	B002294-20-060	New Construction Inspection	Invoice	12009091
Billing Summary		Current	Prior	Total
		3,107.42	9,010.98	12,118.40

Invoice

January 6, 2021
 Invoice No: 12009069

Mr. Brad Martens
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-13-017 Lennar Development

Professional Services Through December 31, 2020

Phase 200 Construction Plan Reviews and Approvals
 Construction Plan Reviews and Approvals

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	2.80	92.00	257.60	
Shuck, Jordan	1.50	129.00	193.50	
Wyers, Nicholas	3.50	105.00	367.50	
Totals	7.80		818.60	
Total Labor				818.60
				Phase Total
				\$818.60

Phase 300 Construction Inspection
 Construction Inspection

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	12.40	92.00	1,140.80	
Schmidt, Rowdy	8.00	129.00	1,032.00	
Spree, Kyle	2.50	92.00	230.00	
Wyers, Nicholas	.80	105.00	84.00	
Totals	23.70		2,486.80	
Total Labor				2,486.80

Reimbursable Expenses

Mileage - Reimbursable			122.49	
Total Reimbursables			122.49	
				Phase Total
				\$2,609.29

Phase 350 LOMR and Stormwater Modeling
 LOMR and Stormwater Modeling

Professional Personnel

	Hours	Rate	Amount	
Torve, Kent	1.00	135.00	135.00	
Totals	1.00		135.00	
Total Labor				135.00
				Phase Total
				\$135.00

Total Invoice Amount \$3,562.89

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Invoice

January 6, 2021
 Invoice No: 12009071

Mr. Brad Martens
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-17-032 Escrow Projects

Professional Services Through December 31, 2020

Phase 02 Bass Lake Crossings

Bass Lake Crossings

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	1.10	92.00	101.20	
Schmidt, Rowdy	2.50	129.00	322.50	
Spree, Kyle	.50	92.00	46.00	
Totals	4.10		469.70	
Total Labor				469.70

Reimbursable Expenses

Mileage - Reimbursable			30.49	
Total Reimbursables			30.49	30.49

Phase Total \$500.19

Phase 04 Bass Lake Estates

Bass Lake Estates and Storage

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	2.00	92.00	184.00	
Schmidt, Rowdy	.50	129.00	64.50	
Spree, Kyle	1.00	92.00	92.00	
Totals	3.50		340.50	
Total Labor				340.50

Reimbursable Expenses

Mileage - Reimbursable			24.16	
Total Reimbursables			24.16	24.16

Phase Total \$364.66

Phase 14 Cold Storage Crossings

Cold Storage Crossings

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	.30	92.00	27.60	
Totals	.30		27.60	
Total Labor				27.60

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Reimbursable Expenses

Mileage - Reimbursable	5.76		
Total Reimbursables	5.76	5.76	
	Phase Total		\$33.36

Phase 19 Refuge at Rush Creek Wetland Bank
Refuge at Rush Creek Wetland Bank

Professional Personnel

	Hours	Rate	Amount
Boll, Wesley	.50	135.00	67.50
Totals	.50		67.50
Total Labor			67.50
		Phase Total	\$67.50

Phase 24 Kariniemi Lot Split
Kariniemi Lot Split

Professional Personnel

	Hours	Rate	Amount
Torve, Kent	6.90	135.00	931.50
Totals	6.90		931.50
Total Labor			931.50
		Phase Total	\$931.50

Total Invoice Amount \$1,897.21

Billing Summary	Current	Prior	Total
	1,897.21	268,948.51	270,845.72

Invoice



January 6, 2021
 Invoice No: 12009073

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340

Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-17-033 Pulte Development Infrastructure

Professional Services Through December 31, 2020

Phase 200 Plan Review

Plan Review

Professional Personnel

	Hours	Rate	Amount	
Spree, Kyle	1.00	92.00	92.00	
Wyers, Nicholas	.50	105.00	52.50	
Totals	1.50		144.50	
Total Labor				144.50
				Phase Total
				\$144.50

Phase 400 Construction Observation

Construction Observation

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	13.50	92.00	1,242.00	
Schmidt, Rowdy	12.00	129.00	1,548.00	
Spree, Kyle	9.00	92.00	828.00	
Wyers, Nicholas	8.30	105.00	871.50	
Totals	42.80		4,489.50	
Total Labor				4,489.50

Reimbursable Expenses

Mileage - Reimbursable			232.90	
Total Reimbursables			232.90	232.90
				Phase Total
				\$4,722.40

Total Invoice Amount \$4,866.90

	Current	Prior	Total
Billing Summary	4,866.90	437,779.62	442,646.52

Invoice

January 6, 2021
 Invoice No: 12009085

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-050 St. Therese Feasibility Study

Professional Services Through December 31, 2020

Phase 100 Transportation
 Transportation

Professional Personnel

	Hours	Rate	Amount	
Bjorklund, Gary	1.00	137.00	137.00	
Torve, Kent	1.50	135.00	202.50	
Totals	2.50		339.50	
Total Labor				339.50
				Phase Total \$339.50

Phase 200 Sewer
 Sewer

Professional Personnel

	Hours	Rate	Amount	
Bowers, Matthew	5.20	160.00	832.00	
Hegland, Steven	1.00	122.00	122.00	
Shuck, Jordan	2.50	129.00	322.50	
Totals	8.70		1,276.50	
Total Labor				1,276.50
				Phase Total \$1,276.50

Phase 500 Report
 Report

Professional Personnel

	Hours	Rate	Amount	
Hegland, Steven	3.50	122.00	427.00	
Totals	3.50		427.00	
Total Labor				427.00
				Phase Total \$427.00

Total Invoice Amount \$2,043.00

Billing Summary	Current	Prior	Total
	2,043.00	30,553.15	32,596.15

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Billing Backup

Wednesday, January 6, 2021

WAI - Wenck Associates, Inc.

Invoice 12009085 Dated 1/6/2021

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Project B002294-19-050 St. Therese Feasibility Study

Phase 100 Transportation

Transportation

Professional Personnel

			Hours	Rate	Amount
806	932 - Bjorklund, Gary	12/17/2020	1.00	137.00	137.00
	minor subdivision plat checking				
063	962 - Torve, Kent	12/29/2020	1.50	135.00	202.50
	Plan review and Staff meeting				
	Totals		2.50		339.50
	Total Labor				339.50

Phase Total \$339.50

Phase 200 Sewer

Sewer

Professional Personnel

			Hours	Rate	Amount
030C	952 - Bowers, Matthew	12/2/2020	2.70	160.00	432.00
	Technical Review				
030C	952 - Bowers, Matthew	12/3/2020	.20	160.00	32.00
	Technical Review				
030C	952 - Bowers, Matthew	12/8/2020	1.40	160.00	224.00
	Technical Review				
030C	952 - Bowers, Matthew	12/10/2020	.70	160.00	112.00
	Technical Review				
030C	952 - Bowers, Matthew	12/23/2020	.20	160.00	32.00
	Technical Review				
418	941 - Hegland, Steven	12/3/2020	1.00	122.00	122.00
	Trunk utility investigation				
243	933 - Shuck, Jordan	12/10/2020	2.50	129.00	322.50
	Sewer Diversion				
	Totals		8.70		1,276.50
	Total Labor				1,276.50

Phase Total \$1,276.50

Phase 500 Report

Report

Professional Personnel

			Hours	Rate	Amount
418	941 - Hegland, Steven	12/4/2020	1.50	122.00	183.00
	Utility comment review				
418	941 - Hegland, Steven	12/8/2020	.50	122.00	61.00
	utility questions				
418	941 - Hegland, Steven	12/10/2020	.50	122.00	61.00
	review revised lot split documents				
418	941 - Hegland, Steven	12/14/2020	.50	122.00	61.00
	Sewer analysis				

Project	B002294-19-050	St. Therese Feasibility Study			Invoice	12009085
418	941 - Hegland, Steven plat review	12/17/2020	.50	122.00	61.00	
	Totals		3.50		427.00	
	Total Labor					427.00
					Phase Total	\$427.00
					Project Total	\$2,043.00
					Total this Report	\$2,043.00

Invoice

January 6, 2021
Invoice No: 12009086

Kevin Mattson
City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340



Responsive partner.
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-051 Stieg Road Design and Construction

Professional Services Through December 31, 2020

Phase 200 Surveying

Surveying

Professional Personnel

	Hours	Rate	Amount	
McDonald, Joshua	1.00	137.00	137.00	
Totals	1.00		137.00	
Total Labor				137.00
		Phase Total		\$137.00
		Total Invoice Amount		\$137.00

	Current	Prior	Total
Billing Summary	137.00	117,717.39	117,854.39

Invoice

January 6, 2021
Invoice No: 12009089

Kevin Mattson
City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340



Responsive partner.
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-19-053 Wessel Project Offsite Utilities

Professional Services Through December 31, 2020

Phase 300 Design
Design

Professional Personnel

	Hours	Rate	Amount	
Schmidt, Rowdy	2.00	129.00	258.00	
Wyers, Nicholas	.50	105.00	52.50	
Totals	2.50		310.50	
Total Labor				310.50

Phase Total \$310.50

Total Invoice Amount \$310.50

	Current	Prior	Total
Billing Summary	310.50	29,343.38	29,653.88

Invoice

January 6, 2021
Invoice No: 12009090

Kevin Mattson
City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340



Responsive partner.
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-055 Cook Lake - Schommer

Professional Services Through December 31, 2020

Phase 100 Plan Review and Coordination

Plan Review and Coordination

Professional Personnel

	Hours	Rate	Amount	
Schmidt, Rowdy	.50	129.00	64.50	
Totals	.50		64.50	
Total Labor				64.50
				Phase Total
				\$64.50

Phase 300 Sewer and Water

Sewer and Water

Professional Personnel

	Hours	Rate	Amount	
Hegland, Steven	2.50	122.00	305.00	
Totals	2.50		305.00	
Total Labor				305.00
				Phase Total
				\$305.00

Total Invoice Amount \$369.50

	Current	Prior	Total
Billing Summary	369.50	17,355.60	17,725.10

Invoice

January 6, 2021

Invoice No: 12009093

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-500 Tavera_Lennar

Professional Services Through December 31, 2020

Phase 100 General Engineering and Project Coordina
 General Engineering and Project Coordination

Professional Personnel

	Hours	Rate	Amount	
Torve, Kent	6.00	135.00	810.00	
Totals	6.00		810.00	
Total Labor				810.00
				Phase Total
				\$810.00

Phase 200 Plan Review
 Plan Review

Professional Personnel

	Hours	Rate	Amount	
Bowers, Matthew	1.70	160.00	272.00	
Butler, Samuel	13.80	92.00	1,269.60	
Hegland, Steven	20.80	122.00	2,537.60	
Schmidt, Rowdy	7.50	129.00	967.50	
Torve, Kent	8.80	135.00	1,188.00	
Wyers, Nicholas	2.50	105.00	262.50	
Totals	55.10		6,497.20	
Total Labor				6,497.20
				Phase Total
				\$6,497.20

Phase 300 Stormwater
 Stormwater

Professional Personnel

	Hours	Rate	Amount	
Shoemaker, Todd	3.60	160.00	576.00	
Zhang, Lu	31.20	107.00	3,338.40	
Totals	34.80		3,914.40	
Total Labor				3,914.40
				Phase Total
				\$3,914.40

Phase 800 WCA Review
 WCA Review

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Professional Personnel

	Hours	Rate	Amount
Kaster, Anthony	16.30	120.00	1,956.00
Totals	16.30		1,956.00
Total Labor			1,956.00
		Phase Total	\$1,956.00
		Total Invoice Amount	\$13,177.60

	Current	Prior	Total
Billing Summary	13,177.60	33,736.48	46,914.08

Invoice

January 6, 2021
Invoice No: 12009095

Kevin Mattson
City of Corcoran, MN
8200 County Road 116
Corcoran, MN 55340



Responsive partner.
Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-501 Nelson Trucking

Professional Services Through December 31, 2020

Phase 100 Plan Review and Coordination

Plan Review and Coordination

Professional Personnel

	Hours	Rate	Amount	
Hegland, Steven	.50	122.00	61.00	
Schmidt, Rowdy	3.50	129.00	451.50	
Totals	4.00		512.50	
Total Labor				512.50

Reimbursable Expenses

Mileage - Reimbursable			19.55	
Total Reimbursables			19.55	19.55

Phase Total \$532.05

Phase 500 Construction Observation

Construction Observation

Reimbursable Expenses

Mileage - Reimbursable			5.76	
Total Reimbursables			5.76	5.76

Phase Total \$5.76

Total Invoice Amount \$537.81

	Current	Prior	Total
Billing Summary	537.81	33,676.06	34,213.87

Invoice

January 6, 2021
 Invoice No: 12009097

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-502 Rush Creek Reserve

Professional Services Through December 31, 2020

Phase 100 General Engineering and Project Coordina
 General Engineering and Project Coordination

Professional Personnel

	Hours	Rate	Amount	
Bowers, Matthew	.20	160.00	32.00	
Totals	.20		32.00	
Total Labor				32.00
				Phase Total
				\$32.00

Phase 200 Plan Review
 Plan Review

Professional Personnel

	Hours	Rate	Amount	
Torve, Kent	1.30	135.00	175.50	
Totals	1.30		175.50	
Total Labor				175.50
				Phase Total
				\$175.50

Phase 300 Stormwater
 Stormwater

Professional Personnel

	Hours	Rate	Amount	
Torve, Kent	3.20	135.00	432.00	
Totals	3.20		432.00	
Total Labor				432.00
				Phase Total
				\$432.00

Total Invoice Amount \$639.50

	Current	Prior	Total
Billing Summary	639.50	30,691.55	31,331.05

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Invoice

January 6, 2021

Invoice No: 12009099

Kevin Mattson
 City of Corcoran, MN
 8200 County Road 116
 Corcoran, MN 55340



Responsive partner.
 Exceptional outcomes.

Project Manager Kent Torve

Project B002294-20-505 Bridge Feasibility Study

Professional Services Through December 31, 2020

Phase 100 Project Coordination and Funding

Project Coordination and Funding

Professional Personnel

	Hours	Rate	Amount	
Butler, Samuel	4.00	92.00	368.00	
Totals	4.00		368.00	
Total Labor				368.00
		Phase Total		\$368.00

Phase 150 Wetlands and Surveying

Wetlands and Surveying

Professional Personnel

	Hours	Rate	Amount	
Duerr, Greg	11.00	100.00	1,100.00	
Halls, Matthew	1.00	100.00	100.00	
Totals	12.00		1,200.00	
Total Labor				1,200.00

Unit Billing

00-WAI Vehicle Maple Plain

01-Survey Supplies/Equipment

242.68
Phase Total \$1,442.68

Phase 200 Hydraulics

Hydraulics

Professional Personnel

	Hours	Rate	Amount	
Osterdyk, Eric	1.10	110.00	121.00	
Totals	1.10		121.00	
Total Labor				121.00
		Phase Total		\$121.00

Phase 300 Design

Design

INVOICES ARE DUE UPON PRESENTATION. Subject to 1-1/2% 18% Annum interest/finance charge. Please reference the invoice number when sending payment. Federal Tax ID #41-1520095 -Wenck Associates, Inc.-1800 Pioneer Creek Center PO Box 249- Maple Plain, MN 55359-0249 Toll Free:800-472-2232 Main:763-479-4200 E-mail:accounting@wenck.com Web www.wenck.com

Professional Personnel

	Hours	Rate	Amount	
Berglund, Katherine	1.00	65.00	65.00	
Butler, Samuel	9.00	92.00	828.00	
Hegland, Steven	1.00	122.00	122.00	
Totals	11.00		1,015.00	
Total Labor				1,015.00
		Phase Total		\$1,015.00
		Total Invoice Amount		\$2,946.68

	Current	Prior	Total
Billing Summary	2,946.68	4,601.80	7,548.48

STAFF REPORT

Agenda Item 7c.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: Pay Equity Reporting	Action Required: Approval

Summary:

State law requires all public jurisdictions to complete pay equity reporting once every three years. The City of Corcoran last reported in 2018 and is required to do so again by January 31, 2021.

According to the Minnesota Office of Management and Budget, "Pay Equity is a method of eliminating discrimination against women who are paid less than men for jobs requiring comparable levels of expertise.

The data show the City to be in compliance. The next step is to receive City Council approval of the report, post a notice for 90 days, and submit the information to the Office of Management and Budget prior to January 31, 2021.

Financial/Budget:

The reporting found the City to be in compliance which means that it is anticipated that no changes in compensation will be required by the Office of Management and Budget.

Council Action:

Approve the pay equity reports as presented, authorize the Mayor to sign the Pay Equity Implementation Report, and direct staff to post the required notices.

Attachments:

1. Compliance Report
2. Job Class Data Entry Verification List
3. Predicted Pay Report
4. Notice to Report

Compliance Report

Jurisdiction: Corcoran
8200 County Road 116

Report Year: 2021
Case: 1 - 2021 Data (Private (Jur
Only))

Corcoran, MN 55340

Contact: Brad Martens

Phone: (763) 420-7030

E-Mail: bmartens@ci.corcoran.
mn.us

The statistical analysis, salary range and exceptional service pay test results are shown below. Part I is general information from your pay equity report data. Parts II, III and IV give you the test results.

For more detail on each test, refer to the Guide to Pay Equity Compliance and Computer Reports.

I. GENERAL JOB CLASS INFORMATION

	Male Classes	Female Classes	Balanced Classes	All Job Classes
# Job Classes	12	5	0	17
# Employees	22	5	0	27
Avg. Max Monthly Pay per employee	6444.36	5570.60		6282.56

II. STATISTICAL ANALYSIS TEST

A. Underpayment Ratio = 125 *

	Male Classes	Female Classes
a. # At or above Predicted Pay	6	3
b. # Below Predicted Pay	6	2
c. TOTAL	12	5
d. % Below Predicted Pay (b divided by c = d)	50.00	40.00

*(Result is % of male classes below predicted pay divided by % of female classes below predicted pay.)

B. T-test Results

Degrees of Freedom (DF) = 25	Value of T = -2.759
------------------------------	---------------------

a. Avg. diff. in pay from predicted pay for male jobs = -3

b. Avg. diff. in pay from predicted pay for female jobs = 222

III. SALARY RANGE TEST = 96.67 (Result is A divided by B)

A. Avg. # of years to max salary for male jobs = 4.83

B. Avg. # of years to max salary for female jobs = 5.00

IV. EXCEPTIONAL SERVICE PAY TEST = 0.00 (Result is B divided by A)

A. % of male classes receiving ESP = 0.00 *

B. % of female classes receiving ESP = 0.00

*(If 20% or less, test result will be 0.00)

Job Class Data Entry Verification List

Case: 2021 Data

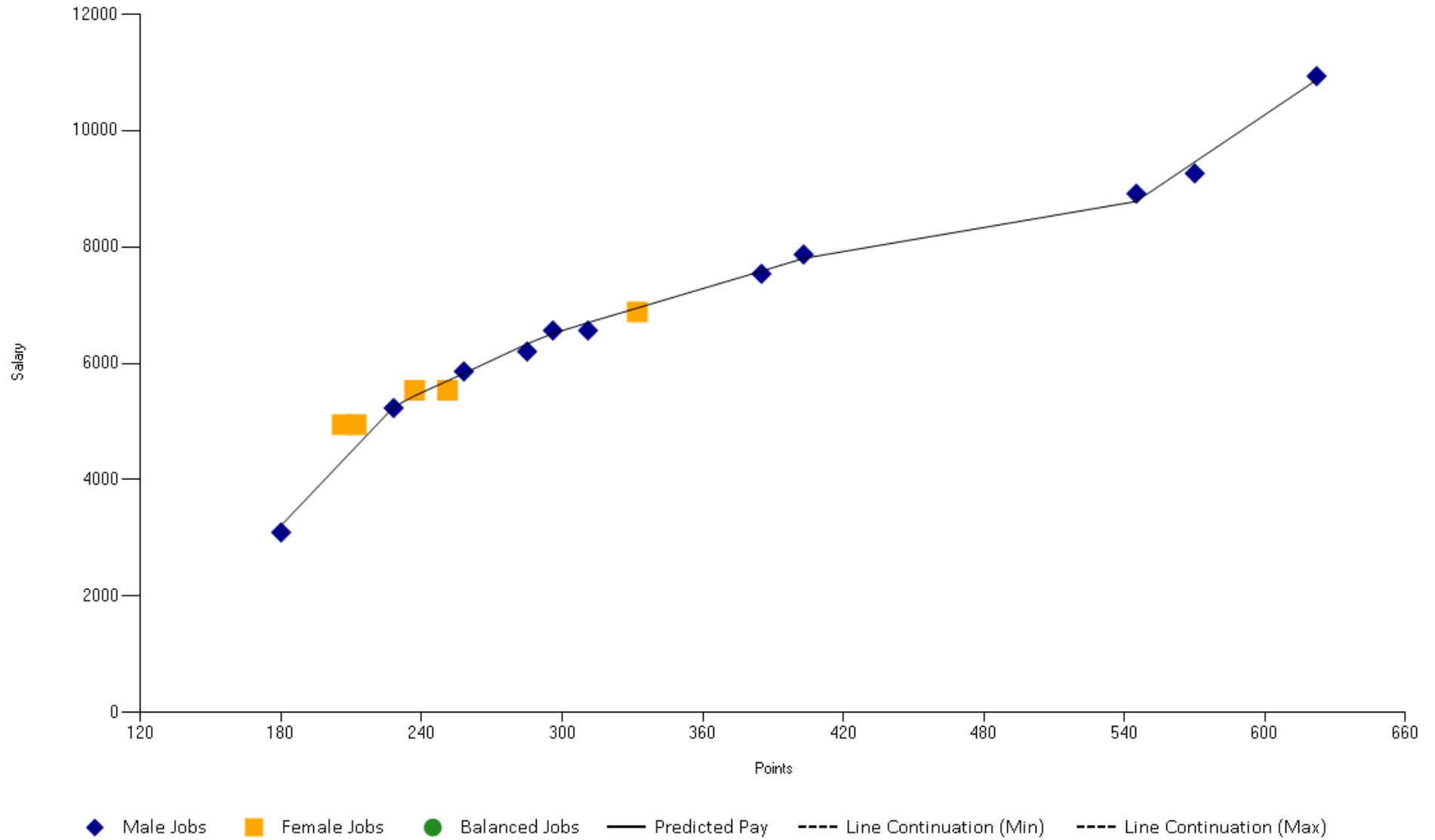
Corcoran

LGID: 655

Job Nbr	Class Title	Nbr Males	Nbr Females	Non- Binary	Class Type	Jobs Points	Min Mo Salary	Max Mo Salary	Yrs to Max Salary	Yrs of Service	Exceptional Service Pay
1	Seasonal Maint. Worker 1	2	0	0	M	180	2785.00	3095.00	3.00	0.00	
3	Administrative Assistant	0	1	0	F	206	4055.00	4945.00	5.00	0.00	
2	Public Safety Admin Asst	0	1	0	F	212	4055.00	4945.00	5.00	0.00	
4	Maintenance Worker	4	0	0	M	228	4291.00	5233.00	5.00	0.00	
5	Accountant	1	0	0	M	237	4542.00	5539.00	5.00	0.00	
6	Deputy Clerk	0	1	0	F	237	4542.00	5539.00	5.00	0.00	
7	Recreation Coordinator	0	1	0	F	251	4542.00	5539.00	5.00	0.00	
8	Compliance Official	1	0	0	M	258	4806.00	5861.00	5.00	0.00	
9	Public Works Crew Leader	1	0	0	M	285	5087.00	6203.00	5.00	0.00	
10	Police Officer	7	0	0	M	296	5383.00	6565.00	5.00	0.00	
11	Planner	1	0	0	M	311	5383.00	6565.00	5.00	0.00	
12	Administrative Services Direct	0	1	0	F	332	5646.00	6885.00	5.00	0.00	
13	PW Superintendant	1	0	0	M	385	6182.00	7539.00	5.00	0.00	
14	Police Lieutenant	1	0	0	M	403	6455.00	7871.00	5.00	0.00	
15	Public Works Director	1	0	0	M	545	7312.00	8917.00	5.00	0.00	
16	Director Of Public Safety	1	0	0	M	570	7598.00	9266.00	5.00	0.00	
17	Administrator	1	0	0	M	622	7896.00	10938.00	5.00	0.00	

Job Number Count: 17

Predicted Pay Report for: Corcoran Case: 2021 Data



Predicted Pay Report for: Corcoran

Case: 2021 Data

Job Nbr	Job Title	Nbr Males	Nbr Females	Non-Binary	Total Nbr	Job Type	Job Points	Max Mo Salary	Predicted Pay	Pay Difference
1	Seasonal Maint. Worker 1	2	0	0	2	Male	180	3095.0000	3214.2723	-119.2723
3	Administrative Assistant	0	1	0	1	Female	206	4945.0000	4232.5253	712.4747
2	Public Safety Admin Asst	0	1	0	1	Female	212	4945.0000	4467.1737	477.8263
4	Maintenance Worker	4	0	0	4	Male	228	5233.0000	5249.9209	-16.9209
6	Deputy Clerk	0	1	0	1	Female	237	5539.0000	5442.2480	96.7520
5	Accountant	1	0	0	1	Male	237	5539.0000	5442.2480	96.7520
7	Recreation Coordinator	0	1	0	1	Female	251	5539.0000	5666.7676	-127.7676
8	Compliance Official	1	0	0	1	Male	258	5861.0000	5828.1650	32.8350
9	Public Works Crew Leader	1	0	0	1	Male	285	6203.0000	6335.5526	-132.5526
10	Police Officer	7	0	0	7	Male	296	6565.0000	6513.4004	51.5996
11	Planner	1	0	0	1	Male	311	6565.0000	6699.8931	-134.8931
12	Administrative Services Direct	0	1	0	1	Female	332	6885.0000	6932.6166	-47.6166
13	PW Superintendent	1	0	0	1	Male	385	7539.0000	7584.4699	-45.4699
14	Police Lieutenant	1	0	0	1	Male	403	7871.0000	7804.4626	66.5374
15	Public Works Director	1	0	0	1	Male	545	8917.0000	8784.0452	132.9548
16	Director Of Public Safety	1	0	0	1	Male	570	9266.0000	9462.9177	-196.9177
17	Administrator	1	0	0	1	Male	622	10938.0000	10874.0370	63.9630

Job Number Count: 17

Posting date:

Jurisdiction Name:

NOTICE TO POST

2021 Pay Equity Report

This jurisdiction is submitting a pay equity implementation report to Minnesota Management & Budget as required by the Local Government Pay Equity Act, Minnesota Statutes 471.991 to 471.999. The report must be submitted by January 31, 2021.

The report is public data under the Minnesota Government Data Practices Act, Minnesota Statutes, Chapter 13. That means that the report is available to anyone requesting this information.

This notice is being sent to all union representatives (if any) in this jurisdiction. In addition, this notice must remain posted in a prominent location for at least 90 days from the date the report was submitted.

For more information about this jurisdiction's pay equity program, or to request a copy of the implementation report, please contact:

(local contact person's name, address, telephone)

For more information about the state pay equity law, you may contact the Pay Equity Office at:

pay.equity@state.mn.us

Pay Equity Office
Minnesota Management & Budget
400 Centennial Office Building
658 Cedar Street
St. Paul, MN 55155

STAFF REPORT

Agenda Item 7d.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: Pay Request #2; Change Order #2 – City Hall Remodel	Action Required: Approval

Summary:

Work continues on the City Hall remodel project. Two action items are requested from the City Council as outlined below:

1. Pay request #2
 - a. The attached pay request is for \$51,919.07. This is for work completed thus far. Items have been reviewed by the architect for accuracy.
2. Change order #2
 - a. This second change order is to increase the overall contract by \$2,688.53 as outlined below:
 - i. Removal of wall grill and wall repair: \$372.75
 1. Ductwork was able to be removed which allowed for more space in the new conference room.
 - ii. Added power and data in conference room: \$496.65
 1. Staff requested addition of power and data in the new conference room.
 - iii. Hand dryer: \$721.88
 1. Required replacement hand dryer; not included in plans as it should have been
 - iv. Thermostat changes: \$425.25
 1. Thermostat adjustments required after learning about unknown conditions behind an existing wall.
 - v. Painting: \$672.00
 1. Painting of vestibule which was not included in plans

Financial/Budget:

The soft costs allocation included funds for potential project cost increases. The below budget is updated reducing soft costs and increasing the construction costs. The project is still anticipated to be on budget at this time.

Budget Category	Approved Amount	Projected Amount 1/22/21
Construction	\$396,500	\$408,284
Technology	\$120,000	\$88,500
Furniture	\$120,000	\$151,500
Soft Costs	\$90,000	\$78,216
Total	\$726,500	\$726,500

Council Action:

Approve Pay Request #2 and Change Order #2 for the City Hall remodel project.

Attachments:

1. Pay Request #2
2. Change Order #2

APPLICATION AND CERTIFICATE FOR PAYMENT AIA DOCUMENT G702

TO OWNER: City of Corcoran
8200 County Road 116
Corcoran, MN 55340

PROJECT: CORCORAN CITY HALL AND PO
8200 County Road 116
Corcoran MN

APPLICATION NO: 00002
PERIOD TO: 12/31/2020
PROJECT NOS.: 20-001

Distribution to:
 OWNER
 ARCHITECT
 CONTRACTOR

FROM CONTRACTOR: Weber, Inc.
2497 7th Avenue East
North St. Paul, MN 55109

VIA ARCHITECT: Wold Architects & Engineers
332 Minnesota Street
St. Paul, MN 55101

CONTRACT DATE: 8/27/2020

CONTRACT FOR: General Contractor/Construction Manager

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM	\$396,500.00
2. Net change by Change Orders	\$9,095.03
3. CONTRACT SUM TO DATE (Line 1 + 2)	\$405,595.03
4. TOTAL COMPLETED & STORED TO DATE	\$120,452.48
(Column G on G703)	
5. RETAINAGE:	
a. 5.000 % of Completed Work	\$6,022.62
(Columns D + E on G703)	
b. 5.000 % of Stored Material	\$0.00
(Columns F on G703)	
Total Retainage (Line 5a + 5b or Total in Columns I on G703)	\$6,022.62
6. TOTAL EARNED LESS RETAINAGE	\$114,429.86
(Line 4 less Line 5 Total)	
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$62,510.79
8. CURRENT PAYMENT DUE	\$51,919.07
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	\$291,165.17

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$0.00	\$0.00
Total approved this Month	\$9,095.03	\$0.00
TOTALS	\$9,095.03	\$0.00
NET CHANGES by Change Order		\$9,095.03

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

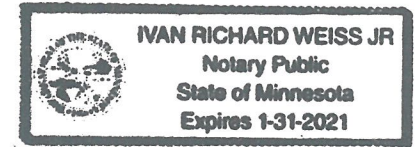
CONTRACTOR: Weber, Inc.

By:  Date: 12/29/2020

State of: Minnesota
County of: Ramsey

Subscribed and sworn to before me this 29th day of December, 2020

Notary Public: 
My Commission expires: 01-31-2021




ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$51,919.07

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT: Wold Architects & Engineers

By:  Date: 1/8/2021

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.



CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO.: 00002

APPLICATION DATE:

PERIOD TO: 12/31/2020

ARCHITECT'S PROJECT NO.: 20-001

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE) RATE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G ÷ C)		
024119	Selective Demolition	\$16,400.00	\$8,200.00	\$0.00	\$0.00	\$8,200.00	50.000	\$8,200.00	\$410.00
042000-L	Non-Bearing Unit Masonry - Labor	\$4,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$4,300.00	\$0.00
042000-M	Non-Bearing Unit Masonry - Mate	\$700.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$700.00	\$0.00
055000-L	Metal Fabrications - Labor	\$300.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$300.00	\$0.00
055000-M	Metal Fabrications - Material	\$3,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$3,300.00	\$0.00
061000-L	Carpentry - Labor	\$10,600.00	\$1,000.00	\$3,000.00	\$0.00	\$4,000.00	37.736	\$6,600.00	\$200.00
073113-L	Asphalt Shingles - Labor	\$1,200.00	\$0.00	\$1,200.00	\$0.00	\$1,200.00	100.000	\$0.00	\$60.00
073113-M	Asphalt Shingles - Material	\$250.00	\$0.00	\$250.00	\$0.00	\$250.00	100.000	\$0.00	\$12.50
079200-L	Sealants - Labor	\$300.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$300.00	\$0.00
079200-M	Sealants - Material	\$100.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$100.00	\$0.00
081000-M	Steel Doors & Frames - Material	\$7,863.00	\$1,909.99	\$0.00	\$0.00	\$1,909.99	24.291	\$5,953.01	\$95.50
081400-M	Wood Doors - Material	\$5,995.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,995.00	\$0.00
087100-M	Finish Hardware - Material	\$28,102.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$28,102.00	\$0.00
088000-L	Glazing - Labor	\$4,689.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$4,689.00	\$0.00
088000-M	Glazing - Material	\$5,886.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,886.00	\$0.00
089100-L	Louvers - Labor	\$300.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$300.00	\$0.00
089100-M	Louvers - Material	\$640.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$640.00	\$0.00
092116-L	Gypsum Board - Labor	\$17,850.00	\$5,355.00	\$5,355.00	\$0.00	\$10,710.00	60.000	\$7,140.00	\$535.50
092116-M	Gypsum Board - Material	\$7,650.00	\$4,590.00	\$0.00	\$0.00	\$4,590.00	60.000	\$3,060.00	\$229.50
093000-L	Tile - Labor	\$5,430.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,430.00	\$0.00
093000-M	Tile - Material	\$3,570.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$3,570.00	\$0.00
095100-L	Acoustical Ceiling - Labor	\$2,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,100.00	\$0.00
095100-M	Acoustical Ceiling - Material	\$5,058.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,058.00	\$0.00
096000-L	Soft Flooring - Labor	\$9,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$9,000.00	\$0.00
096000-M	Soft Flooring - Material	\$34,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$34,100.00	\$0.00
099100-L	Painting - Labor	\$8,370.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$8,370.00	\$0.00
099100-M	Painting - Material	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,000.00	\$0.00
101100-M	Visual Display Boards - Material	\$1,645.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,645.00	\$0.00
101413-L	Dimensional Characters - Labor	\$225.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$225.00	\$0.00
101413-M	Dimensional Characters - Material	\$560.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$560.00	\$0.00
102113-M	Solid Plastic Toilet Partitions - Mate	\$4,038.00	\$0.00	\$4,038.00	\$0.00	\$4,038.00	100.000	\$0.00	\$201.90
102813-M	Toilet Accessories - Material	\$1,458.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,458.00	\$0.00
123000-L	Cabinets & Solid Surfaces-Labor	\$2,160.00	\$0.00	\$830.00	\$0.00	\$830.00	38.426	\$1,330.00	\$41.50
123000-M	Cabinets & Solid Surfaces-Material	\$7,863.00	\$0.00	\$4,181.50	\$0.00	\$4,181.50	53.179	\$3,681.50	\$209.08

CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached. In tabulations below, amounts are stated to the nearest dollar. Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO.: 00002
 APPLICATION DATE:
 PERIOD TO: 12/31/2020
 ARCHITECT'S PROJECT NO.: 20-001

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D E		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE) RATE
			WORK COMPLETED			TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G÷C)		
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
220000-L	Plumbing - Labor	\$6,800.00	\$1,800.00	\$1,500.00	\$0.00	\$3,300.00	48.529	\$3,500.00	\$165.00
220000-M	Plumbing - Material	\$6,900.00	\$1,500.00	\$700.00	\$0.00	\$2,200.00	31.884	\$4,700.00	\$110.00
230000-C	Controls	\$1,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,400.00	\$0.00
230000-L	HVAC - Labor	\$18,700.00	\$4,900.00	\$3,500.00	\$0.00	\$8,400.00	44.920	\$10,300.00	\$420.00
230000-M	HVAC - Material	\$17,200.00	\$1,800.00	\$4,300.00	\$0.00	\$6,100.00	35.465	\$11,100.00	\$305.00
230000-T	Test & Balance	\$4,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$4,800.00	\$0.00
260000-L	Electrical - Labor	\$25,000.00	\$6,250.00	\$3,750.00	\$0.00	\$10,000.00	40.000	\$15,000.00	\$500.00
260000-M	Electrical - Material	\$43,500.00	\$12,000.00	\$5,400.00	\$0.00	\$17,400.00	40.000	\$26,100.00	\$870.00
270000-L	Communications - Labor	\$2,000.00	\$500.00	\$300.00	\$0.00	\$800.00	40.000	\$1,200.00	\$40.00
270000-M	Communications	\$3,000.00	\$750.00	\$450.00	\$0.00	\$1,200.00	40.000	\$1,800.00	\$60.00
280000-L	Electrical Safety & Security - Labor	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,000.00	\$0.00
280000-M	Electrical Safety & Security - Materi	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,000.00	\$0.00
350000	General Conditions	\$28,534.00	\$4,565.44	\$3,709.42	\$0.00	\$8,274.86	29.000	\$20,259.14	\$413.74
350001	Bond Costs	\$4,400.00	\$4,400.00	\$0.00	\$0.00	\$4,400.00	100.000	\$0.00	\$220.00
350002	Insurance Costs	\$2,474.00	\$2,474.00	\$0.00	\$0.00	\$2,474.00	100.000	\$0.00	\$123.70
350003	Contractors Fee	\$23,790.00	\$3,806.40	\$3,092.70	\$0.00	\$6,899.10	29.000	\$16,890.90	\$344.96
C00001	CHANGE ORDER NO. 001	\$9,095.03	\$0.00	\$9,095.03	\$0.00	\$9,095.03	100.000	\$0.00	\$454.75
		\$405,595.03	\$65,800.83	\$54,651.65	\$0.00	\$120,452.48	29.70%	\$285,142.55	\$6,022.63





AIA Document G701™ – 2017

Change Order

PROJECT: *(Name and address)*
 Corcoran City Hall and Police Remodel
 (182292)
 8200 County Road 116
 Corcoran, Minnesota 55340

CONTRACT INFORMATION:
 Contract For: General Construction
 Date: August 3, 2020

CHANGE ORDER INFORMATION:
 Change Order Number: Two (2)
 Date: January 20, 2021

OWNER: *(Name and address)*
 City of Corcoran
 8200 County Road 116
 Corcoran, Minnesota 55340

ARCHITECT: *(Name and address)*
 Wold Architects and Engineers
 332 Minnesota Street, Suite W2000
 Saint Paul, Minnesota 55101

CONTRACTOR: *(Name and address)*
 Weber, Inc.
 2497 Seventh Avenue East, #110
 North Saint Paul, Minnesota 55109

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

- PR #05 – Room A103 Ductwork and Soffits Add \$372.75
- PR #06 – Room A103 Monitor Add \$496.65
- PR #07 – Hand Dryer Add \$721.88
- PCO #003 – Thermostat Rewiring (RFI #006) Add \$425.25
- PCO #005 – Additional Painting Add \$672.00

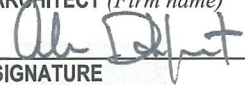
TOTAL CHANGE ORDER NO. 2 ADD \$2,688.53

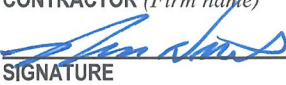
The original Contract Sum was	\$ 396,500.00
The net change by previously authorized Change Orders	\$ 9,095.03
The Contract Sum prior to this Change Order was	\$ 405,595.03
The Contract Sum will be increased by this Change Order in the amount of	\$ 2,688.53
The new Contract Sum including this Change Order will be	\$ 408,283.56

The Contract Time will be unchanged by Zero (0) days.
 The date of Substantial Completion will be May 7, 2021

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Wold Architects and Engineers
 ARCHITECT *(Firm name)*

 SIGNATURE
 Andrew Dahlquist, PM
 PRINTED NAME AND TITLE
 1/19/2021
 DATE

Weber, Inc.
 CONTRACTOR *(Firm name)*

 SIGNATURE
 Ivan Weiss - Vice President
 PRINTED NAME AND TITLE
 01/20/2021
 DATE

City of Corcoran
 OWNER *(Firm name)*

 SIGNATURE

 PRINTED NAME AND TITLE

 DATE

Date: 12-15-2020

Proposal Request #005

Project # 20-001



Corcoran City Hall & Police Remodel
8200 County Road 116
Corcoran, MN 55340

DESCRIPTION: Add: Remove indicated wall grille located in north wall in room A100 connected to ductwork in room A103. In response to RFI-8, remove linear supply diffuser in soffit and balance diffusers to revised values. Refer to attached sheet M1.0. Omit installation of 48"x 12" ductwork & associated hangers & insulation in room A103. Refer to sheet M3.0. Add: Cap louver in room A103 with blank-off panel such that cap is water tight and insulated. Refer to detail on attached sheet M3.0. Add: Infill at abandoned louver in exterior wall per attached architectural drawings.

Proposal Request #005

Mechanical - Labor & Material		-\$45.00 Foster
Drywall - Labor & Material		\$400.00 SA Jordan
<hr/>		
Subtotal		\$355.00
Commission	5.00%	\$17.75 Weber
<hr/>		
Total For Proposed Change		\$372.75

If you have any questions, please call.

Sincerely,

WEBER, INC.

George Sinn

George Sinn
Project Manager



7373 – 120TH STREET NORTH
WHITE BEAR LAKE, MN 55110
PHONE/FAX: 651-305-0256
Small Business Enterprise (SBE)
WOMEN OWNED (W)



CHANGE ORDER PROPOSAL #2020-4-365

DATE: 12/11/2020
TO: WEBER INC.
PROJECT: CORCORAN CITY HALL
REFERENCE: PR#5

DESCRIPTION: CREDIT FOR NO BULKHEADS IN ROOM A103
4 TOTAL MAN HOUR @ \$90 PER HOUR = (\$360)
MATERIAL CREDIT = \$(110)

ADD FOR NEW GYPSUM TAPED & SANDED TO PATCH HOLES AND
INFILL METAL FRAMING FOR DUCT THAT WILL NOT BE IN WALLS.
ADD FOR OPENINGS CUT INTO WALLS IN ROOMS A103 AND A110
OPENINGS ARE 40" X 16".
8 TOTAL MAN HOURS @ \$90 PER HOUR = \$720
MATERIAL = \$150

LABOR: \$720
MATERIAL: \$150
TOTAL: \$870

CREDIT LABOR: (\$360)
CREDIT MATERIAL: (\$110)
CREDIT TOTAL: (\$470)

TOTAL ADD: \$400

PLEASE PROVIDE S.A. JORDAN CONSTRUCTION WITH WRITTEN AND SIGNED APPROVAL IF YOU
WISH TO PROCEED WITH THIS WORK.

Please call if you have any questions.

Dave Gelhar

Project Manager

Cell: 651-491-5051

dave@sajordanconstruction.com

Bids may be withdrawn if not accepted within 30 days.

FOSTER MECHANICAL

Phone: 320-587-4003 Fax: 320-587-4450
945 5th Ave. S.E. #12 Hutchinson, MN 55350

Foster Mechanical is a Minnesota Corporation

12/14/2020

PR# 5

Submitted to: Weber, Inc.

Project: City of Corcoran – City Hall and Police Remodel

Pricing for PR# 5 as listed out by Wold Architects and Engineers

5.1

Add: Remove indicated wall grille located in north wall in room A100 connected to ductwork in room A103. In response to RFI-8, remove linear supply diffuser in soffit and balance diffusers to revised values. Refer to attached sheet M1.0.

Labor – 2 hours – add **\$170.00 – for 5.1**

5.2 Deduct: Omit installation of 48”x12” ductwork and associated hangers and insulation in room A103. Refer to sheet M3.0.

Labor savings – 5 hours \$425.00, materials savings \$75.00 Duct was already made per the plan. Insulation and hanger cost in the materials. Cost to fabricate cap with insulation **\$90.00**, 2 hours labor for install - **\$170.00**

Total deduct - \$500.00 – for 5.2

5.3 Add: Cap louver in room A103 with blank-off panel such that cap is water tight and insulated. Refer to detail on attached sheet M3.0.

Cost to fabricate cap with insulation **\$115.00**, 2 hours labor for install - **\$170.00**

Add cost \$285.00 – for 5.3

PR# 5 total – deduct - **\$45.00**

Extras not yet discussed – No room for slot diffuser in Room A103 – **see attached**

HP6 and HP7 are twined together and will need to have a remote sensor added and the thermostats will need to be rewired to HP6 and HP7. **Sensor cost is 65.00 Wiring - \$340.00**

Seth Neumann
Foster Mechanical, Inc.
945 5th Ave S.E. # 12
Hutchinson, MN 55350
Cell 320-583-2551
seth@fostermech.com



PROPOSAL REQUEST

City of Corcoran	City Hall & Police Remodel
Weber Construction	Attn: George Sinn
2497 7 th Avenue East, Suite 110	
North Saint Paul, MN 55109	
Phone: 651.770.5350	Mobile: 651.755.0268
Email: gsinn@webercompanies.com	

Submit an itemized (labor and material) quotation for the proposed modifications to the contract documents as described herein within 21 days of receipt. If a cost is not submitted within 21 days, this Proposal Request can be accepted at no additional cost. Written approval is required prior to proceeding with this change. COST EXPECTATIONS: <input checked="" type="checkbox"/> DEDUCT <input type="checkbox"/> NO COST <input type="checkbox"/> ADD	PR: #5
	Comm: #182292
	Const. Pkg: #

Distribution:

- Brad Martens, City of Corcoran
- George Sinn, Weber
- Ivan Weiss, Weber
- Reide Weber, Weber
- Magnus Carlsson, BKBM
- Pat Jansen, Wold
- John Maust, Wold
- Steve Skarvan, Wold
- Jared Frazier, Wold
- Michelle Klein, Wold
- Andrew Dahlquist, Wold
- Derek Gallagher, Wold

Item	Description
5	A101 Ductwork
5.1	Add: Remove indicated wall grille located in north wall in room A100 connected to ductwork in room A103. In response to RFI-8, remove linear supply diffuser in soffit and balance diffusers to revised values. Refer to attached sheet M1.0.
5.2	Deduct: Omit installation of 48"x12" ductwork and associated hangers and insulation in room A103. Refer to sheet M3.0.
5.3	Add: Cap louver in room A103 with blank-off panel such that cap is water tight and insulated. Refer to detail on attached sheet M3.0.
5.4	Add: Infill at abandoned louver in exterior wall per attached architectural drawings. Provide exterior batt insulation as indicated on drawings: <ol style="list-style-type: none"> 1. Exterior batt insulation: Unfaced insulation as manufactured by Roxul, or ThermaFiber produced by combining thermosetting resins with mineral fibers manufactured from glass, slag, wool or rock wool. Fiberglass batts are not considered an equal. <ol style="list-style-type: none"> a. Thermal resistance: Minimum R-value of 4 per inch per ASTM C518. b. Conforming to property requirements of ASTM C665, type 1 and ASTM E136. c. Moisture resistance: Absorbs less than 1% by volume per ASTM C1104.
5.4	Add: Infill at demolished grill at interior wall of Room A103.
5.6	Add: Patch soffit at demolished grill in Room A100

Wold Architects and Engineers
 332 Minnesota Street, Suite W2000
 Saint Paul, MN 55101
 woldae.com | 651 227 7773

**PLANNERS
 ARCHITECTS
 ENGINEERS**

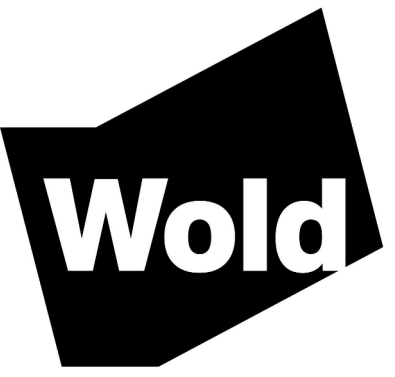


PROPOSAL REQUEST

Attachments: A2.0, A4.0, M1.0, M3.0

Issued By: Derek Gallagher Date: 12/07/2020

PR: #5
Comm: #182292
Const. Pkg: #
Page 2

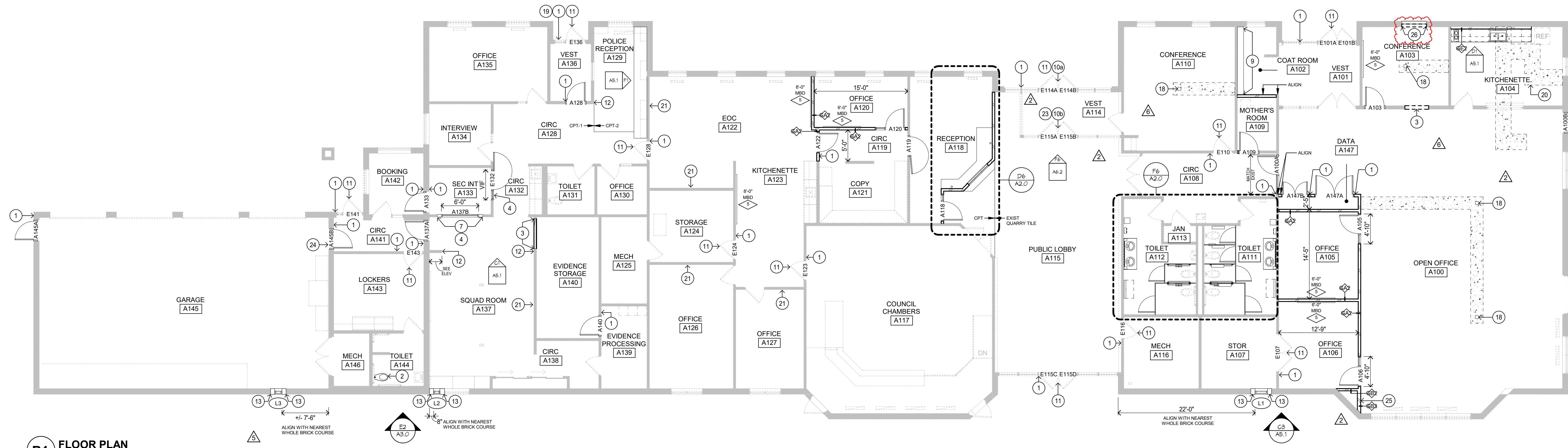


FLOOR PLAN GENERAL NOTES:

- REFER TO DETAILS OF CONSTRUCTION FOR:
 - A. ABBREVIATIONS, MATERIAL SYMBOLS
 - B. MOUNTING HEIGHTS
 - C. LINTEL SCHEDULE
 - D. MATERIAL FINISH/COLOR SCHEDULE
 - E. WALL TYPES
 - F. MARKER BD TYPES AND MOUNTING HTS
 THE ABOVE SECTIONS ARE LISTED FOR REFERENCE ONLY, AND ARE NOT EXCLUSIVE TO AREAS OF WORK. ALL DETAILS SHALL BE REVIEWED FOR SCOPE OF WORK.
- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL GYP WALLS ARE TO BE 5 INCHES THICK UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFOT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
- FIELD VERIFY ALL MILLWORK OPENINGS.
- SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOORS/DELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.

FLOOR PLAN KEY NOTES:

- CARD READER. SEE ELEC.
- SEE MECH FOR FIXTURE REPLACEMENT.
- INFILL EXISTING WOOD STUD AND GYP BD WALL TO MATCH EXISTING FRAME.
- PROVIDE LOUVER BLINDS AT BORROWED LIGHT.
- REINSTALL EXISTING CHANGING STATION.
- PATCH GYP BD REMOVED FOR MECHANICAL WORK.
- SEE STRUCTURAL FOR INSTALLATION OF WOOD POSTS AND STEEL BEAM.
- REPLACE GLAZING AT EXISTING HOLLOW METAL SIDELIGHT WITH SECURITY GLAZING. VERIFY DIMENSIONS IN FIELD.
- CUT DOWN EXISTING COAT RACK AND SHELF TO FIT NEW ROOM DIMENSIONS AND REINSTALL.
- REMOVE EXTERIOR DOOR PANELS AND REINSTALL IN INTERIOR FRAME.
- REMOVE INTERIOR DOOR PANELS AND REINSTALL IN EXTERIOR FRAME.
- REMOVE HARDWARE FROM EXISTING DOOR TO REMAIN AS REQUIRED AND INSTALL NEW HARDWARE PER DOOR/HARDWARE REPLACEMENT SCHEDULE.
- PATCH WALL AT REMOVED WALL ITEM.
- SEE STRUCTURAL FOR INSTALLATION OF WOOD POSTS AND STEEL BEAM.
- REPLACE GLAZING AT EXISTING HOLLOW METAL SIDELIGHT WITH SECURITY GLAZING. VERIFY DIMENSIONS IN FIELD.
- CUT DOWN EXISTING COAT RACK AND SHELF TO FIT NEW ROOM DIMENSIONS AND REINSTALL.
- REMOVE EXTERIOR DOOR PANELS AND REINSTALL IN INTERIOR FRAME.
- REMOVE INTERIOR DOOR PANELS AND REINSTALL IN EXTERIOR FRAME.
- REMOVE HARDWARE FROM EXISTING DOOR TO REMAIN AS REQUIRED AND INSTALL NEW HARDWARE PER DOOR/HARDWARE REPLACEMENT SCHEDULE.
- PATCH WALL AT REMOVED WALL ITEM.
- SEE STRUCTURAL FOR INSTALLATION OF WOOD POSTS AND STEEL BEAM.
- COORDINATE WITH LOUVER DETAILS.
- REINSTALL EXISTING PAPER TOWEL DISPENSER.
- REINSTALL EXISTING HAND DRYER. SEE ELEC.
- PROVIDE P TILE BASE AS SCHED.
- REINSTALL EXISTING GRAB BARS. SEE TYPICAL MOUNTING DETAILS FOR LOCATIONS.
- FLOOR BOX. SEE ELECTRICAL. COORDINATE EXACT LOCATION WITH OWNER'S FURNITURE VENDOR.
- DOOR ACTUATOR. SEE ELEC.
- PATCH SLAB AT LOCATIONS SAW-CUT FOR MECHANICAL OR ELECTRICAL WORK. APPROXIMATE EXTENTS INDICATED BY CONCRETE HATCH PATTERN. COORDINATE WITH MECHANICAL WORK.
- MONITOR LOCATION. SEE ELEC. PROVIDE 3/4" PLYWOOD BLOCKING ATTACHED TO THREE STUDS MINIMUM AND PAINT TO MATCH WALL. PROVIDE BLOCKING FOR 60" MONITOR. COORDINATE EXACT DIMENSIONS/ MOUNTING HEIGHT WITH OWNER AND ARCHITECT.
- PROVIDE NEW TOILET PARTITIONS THROUGHOUT PER LAYOUT INDICATED ON PLAN.
- REMOVE HARDWARE FROM THE EXISTING DOOR AND SALVAGE FOR REINSTALLATION IN THE DOOR PANEL BEING INSTALLED IN THIS ALUMINUM FRAME.
- REMOVE PORTION OF EXISTING CONC BLOCK BEARING WALL ABOVE DOOR. REMOVE ONLY AS MUCH BLOCK AS IS REQUIRED FOR NEW DUCTWORK. SEE MECH DRAWINGS.
- ELECTRICAL PANEL. SEE ELEC.
- INFILL WALL AT ABANDONED LOUVER. SEE MECHANICAL FOR BLANK-OFF PANEL. SEE ALSO DETAIL F1A2.0



B1 FLOOR PLAN
1/8" = 1'-0"

ROOM NO	ROOM NAME	FLOOR	BASE	ROOM FINISH SCHEDULE						REMARKS			
				N WALL - TYP	E WALL	S WALL	W WALL	MATL	FIN				
A100	OPEN OFFICE	CPT-2	VB-1	EXIST	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	GYP BD	PT-6A		
A101	VEST	CPT-1	VB-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A102	COAT ROOM	CPT-1	VB-1	EXIST	EXIST	EXIST	EXIST	GYP BD	PT-6A	EXIST	EXIST		
A103	CONFERENCE	CPT-2	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A104	KITCHENETTE	VCT-1	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A105	OFFICE	CPT-2	VB-1	EXIST	GYP BD	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	EXIST		
A106	OFFICE	CPT-2	VB-1	EXIST	GYP BD	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	EXIST		
A107	STOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A108	CIRC	CPT-1	VB-1	EXIST / GYP BD	PT-6A	EXIST / GYP BD	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A109	MOTHERS ROOM	CPT-2	VB-1	EXIST	GYP BD	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	EXIST		
A110	CONFERENCE	CPT-2	VB-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A111	TOILET	EXIST / P TILE-4	EXIST / C TILE-2	EXIST	EXIST	GYP BD	C TILE-1, C TILE-2	EXIST	EXIST	EXIST	EXIST		1.5
A112	TOILET	EXIST / P TILE-4	EXIST / C TILE-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	GYP BD	C TILE-1, C TILE-2		1.5
A115	PUBLIC LOBBY	EXIST / CPT-1	EXIST / P TILE-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST / GYP BD	EXIST / PT-6A		2, 3, 4
A117	COUNCIL CHAMBERS	CPT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A118	RECEPTION	CPT-2	VB-1	EXIST	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A119	CIRC	CPT-2	VB-1	EXIST	GYP BD	PT-6A	EXIST	PT-6A	GYP BD	PT-6A	PT-6A		
A120	OFFICE	CPT-2	VB-1	EXIST	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	GYP BD	PT-6A		
A121	COPY	CPT-2	VB-2	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A122	EOC	CPT-2	VB-2	EXIST	EXIST	PT-6B	EXIST	EXIST	EXIST	EXIST	EXIST		
A123	KITCHENETTE	CPT-2	VB-1	EXIST	GYP BD	PT-6B	EXIST	EXIST	EXIST	EXIST	EXIST		
A126	OFFICE	CPT-2	VB-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A127	OFFICE	CPT-2	VB-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A128	CIRC	CPT-1	VB-2	EXIST	PT-6A	GYP BD	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A129	POLICE RECEPTION	CPT-2	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A130	OFFICE	CPT-2	VB-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A132	CIRC	CPT-1	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A133	SEC INT	VCT-1	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST / GYP BD	PT-6A	EXIST	PT-6A		
A134	INTERVIEW	CPT-2	VB-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A135	OFFICE	CPT-2	VB-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A137	SQUAD ROOM	CPT-1	VB-1	EXIST	PT-6A	EXIST / GYP BD	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A138	CIRC	CPT-1	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A139	EVIDENCE PROCESSING	VCT-1	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A140	EVIDENCE STORAGE	PT CONC	VB-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A141	CIRC	VCT-1	VB-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A142	BOOKING	VCT-1	VB-1	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A	EXIST	PT-6A		
A143	LOCKERS	CPT-1	VB-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
A147	DATA	PT CONC	VB-1	EXIST	PT-6A	GYP BD	PT-6A	GYP BD	GYP BD	GYP BD	PT-6A		

ROOM FINISH SCHEDULE GENERAL NOTES

- WALLS ARE SCHEDULED BASED ON PLAN NORTH.
- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE). CONCRETE BLOCK BEHIND MILLWORK AND MARKERS SHOULD BE TOOK.
- REFER TO MATERIAL FINISH/COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- SEE B5/A6.1 FOR CARPET INSTALLATION PATTERNS.

ROOM FINISH SCHEDULE REMARKS

- SEE INTERIOR ELEVATIONS FOR LOCATIONS AND EXTENT OF WALL TO RECEIVE MULTIPLE FINISHES.
- PROVIDE CARPET TO EXTENTS INDICATED ON FLOOR PLAN.
- PROVIDE FINISH AT NEW WALLS ONLY. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION.
- PROVIDE P TILE BASE AT NEW WALLS ONLY. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION.
- PROVIDE P TILE FLOOR TILE ONLY AS REQUIRED FOR FLOOR PATCHING RELATED TO MECHANICAL WORK. SEE FLOOR PLAN FOR APPROXIMATE EXTENTS, AND COORDINATE WITH MECHANICAL.

DOOR SCHEDULE GENERAL NOTES

- ALL DOORS ARE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- FOR FRAME DEPTH, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:
 - MASONRY PARTITIONS:
 - 4" WALL: 3 3/4" FRAME
 - 6" WALL: 3 3/4" FRAME
 - 8" AND GREATER WALL: 7 3/4" FRAME
 - FRAME DEPTHS ARE SCHEDULED IN NOMINAL DIMENSIONS. SEE FRAME/DOOR TYPES FOR CORRESPONDING ACTUAL DIMENSIONS.
- FOR GLASS TYPES, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:
 - INTERIOR NON RATED:
 - CLEAR (SAFETY WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)
 - INTERIOR AND EXTERIOR RATED:
 - FIRE RATED
 - EXTERIOR NON-RATED:
 - CLEAR INSULATED (SAFETY INSULATED WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)
- SEE SHEET A3.0 FOR FRAME AND DOOR TYPES.

DOOR SCHEDULE REMARKS

- PROVIDE SECURITY GLAZING.
- PROVIDE HORIZONTAL LOUVER BLINDS AT BORROWED LIGHT.
- REINSTALL SALVAGED DOOR PANEL IN NEW FRAME. VERIFY ALL DIMENSIONS IN FIELD AND COORDINATE NEW FRAME WITH EXISTING OPENING AND DOOR PANEL DIMENSIONS.
- VERIFY EXISTING OPENING DIMENSIONS.

DOOR/HARDWARE REPLACEMENT SCHEDULE GENERAL NOTES

- ALL FRAMES AND DOOR PANELS ARE EXISTING UNLESS NOTED SPECIFICALLY BY REMARKS.
- FRAMES AND PANEL MATERIAL AND DIMENSIONS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL EXISTING FRAMES AND PANELS TO BE VERIFIED IN FIELD BY CONTRACTOR.

DOOR/HARDWARE REPLACEMENT SCHEDULE REMARKS

- REINSTALL EXISTING HARDWARE.
- REINSTALL EXISTING HOLLOW METAL FRAME AND WOOD DOOR SALVAGED FROM ROOM A140 IN EXISTING OPENING. REPLACE EXISTING GLAZING WITH SECURITY GLAZING. SEE ELEVATION C4/A3.0 FOR MORE INFORMATION. INSTALL HARDWARE PER SCHEDULE.
- REINSTALL THE EXISTING HARDWARE REMOVED FROM THE DOOR PREVIOUSLY MOUNTED IN THIS INTERIOR ALUMINUM FRAME.

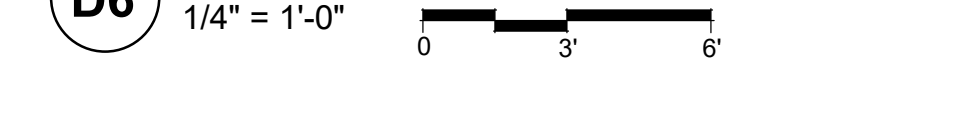
ROOM FINISH SCHEDULE GENERAL NOTES

- WALLS ARE SCHEDULED BASED ON PLAN NORTH.
- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE). CONCRETE BLOCK BEHIND MILLWORK AND MARKERS SHOULD BE TOOK.
- REFER TO MATERIAL FINISH/COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- SEE B5/A6.1 FOR CARPET INSTALLATION PATTERNS.

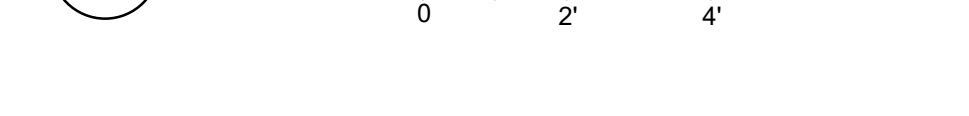
ROOM FINISH SCHEDULE REMARKS

- SEE INTERIOR ELEVATIONS FOR LOCATIONS AND EXTENT OF WALL TO RECEIVE MULTIPLE FINISHES.
- PROVIDE CARPET TO EXTENTS INDICATED ON FLOOR PLAN.
- PROVIDE FINISH AT NEW WALLS ONLY. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION.
- PROVIDE P TILE BASE AT NEW WALLS ONLY. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION.
- PROVIDE P TILE FLOOR TILE ONLY AS REQUIRED FOR FLOOR PATCHING RELATED TO MECHANICAL WORK. SEE FLOOR PLAN FOR APPROXIMATE EXTENTS, AND COORDINATE WITH MECHANICAL.

D6 ENLARGED RECEPTION COUNTER PLAN
1/4" = 1'-0"



F6 ENLARGED TOILET ROOM PLAN
3/8" = 1'-0"

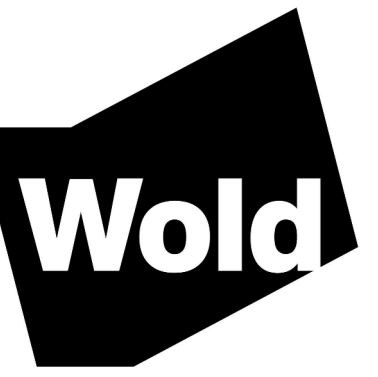


DOOR / OPENING SCHEDULE

DOOR NO	DOOR / OPENING				FRAME				MOUNTING CONDITIONS				REMARKS		
	TYPE	QTY	WIDTH	HEIGHT	TYPE	DEPTH	MATL	GL	HEAD	JAMB	SILL	HDW GRP			
A100A	F	1	3'-0"	7'-0"	WD	--	FR 3A	--	HM	--	B3/A6.3	B3/A6.3	09		
A100B	EXIST	1	3'-0"	7'-0"	HM	--	FR 1	--	HM	--	B3/A6.3	B3/A6.3	08	3, 4	
A103	N	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B3/A6.3	B3/A6.3	08	4	
A105	F	1	3'-0"	7'-0"	WD	--	FR 3A	--	HM	--	F7/A6.3	F7/A6.3	08	2	
A106	F	1	3'-0"	7'-0"	WD	--	FR 3A	--	HM	--	F7/A6.3	F7/A6.3	08	2	
A109	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	F7/A6.3	F7/A6.3	07		
A118	F	1	3'-0"	7'-0"	WD	--	FR 3A	--	HM	--	F7/A6.3	F7/A6.3	11		
A119	G	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B3/A6.3	B3/A6.3	06	4	
A120	F	1	3'-0"	7'-0"	WD	--	FR 3A	--	HM	--	F7/A6.3	F7/A6.3	08	2	
A122	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	F7/A6.3	F7/A6.3	09		
A128	N	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B3/A6.3	B3/A6.3	05	4	
A133	F	1	3'-0"	7'-0"	WD	--	FR 1B	--	HM	--	E4/A6.3	E5/A6.3	25	3, 4	
A137A	EXIST	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	E4/A6.3	E5/A6.3	04		
A137B	--	0	6'-0"	7'-2"	--	--	FR 5A	--	HM	--	SEC GL	E1/A6.3	E2/A6.3	--	1, 2
A140	F	1	3'-0"	7'-0"	HM	--	FR 1	--	HM	--	B3/A6.3	B3/A6.3	09		
A145A	EXIST	1	3'-0"	7'-0"	HM	--	FR 1B	--	HM	--	B5/A6.3	E7/A6.3	B1/A6.3	04	3, 4
A145B	F	1	3'-0"	7'-0"	HM	--	FR 1	--	HM	--	E4/A6.3	E5/A6.3	10	4	
A147A	F	2	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	F7/A6.3	F7/A6.3	22		
A147B	F	2	2'-0"	7'-0"	WD	--	FR 1	--	HM	--	F7/A6.3	F7/A6.3	22		

DOOR/HARDWARE REPLACEMENT SCHEDULE

DOOR NO	DOOR / OPENING		FRAME		HDW GRP	REMARKS
	TYPE	QTY	MATL	LABEL		
E101A	AL	1	AL	--	AL	02
E101B	AL	1	AL	--	AL	15
E107	F	2	WD	--	HM	20
E110	F	1	WD	--	HM	18
E114A	AL	1	AL	--	AL	01
E114B	AL	1	AL	--	AL	14
E115A	AL	1	AL	--	AL	--
E115B	AL	1	AL	--	AL	--
E115C	AL	1	AL	--	AL	19
E11						

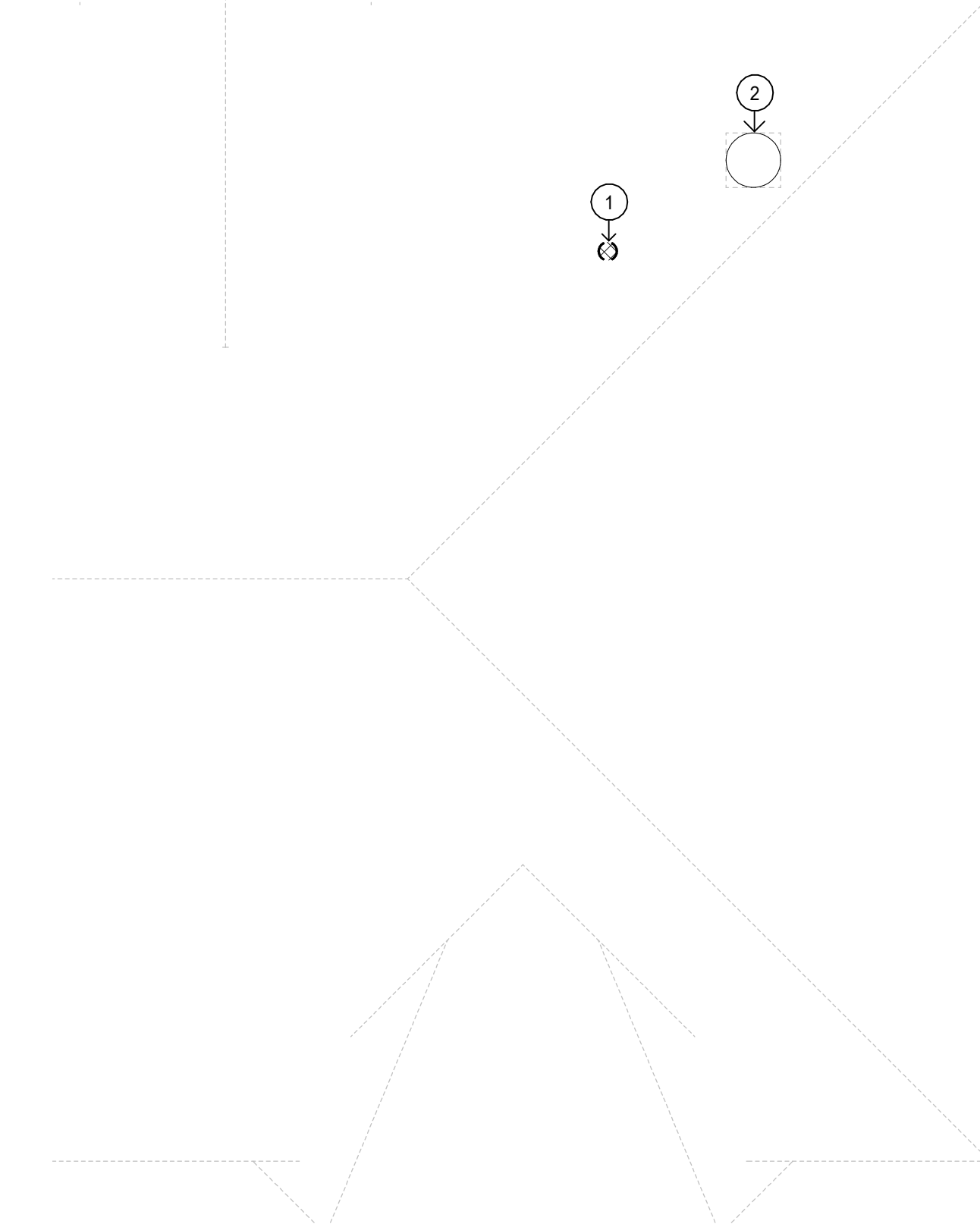


- RCP LEGEND**
- CANLIGHT
 - 1 X 4 LIGHT FIXTURE
 - 4' STRIP LIGHT FIXTURE
 - 8' STRIP LIGHT FIXTURE
 - 2 X 2 LIGHT FIXTURE
(IN CEILING GRID)
 - 2 X 4 LIGHT FIXTURE
(IN CEILING GRID)
 - CEILING MOUNTED
LIGHT FIXTURE
 - SPEAKER
 - AIR DIFFUSER
(IN CEILING GRID)
 - RETURN AIR GRILLE
(IN CEILING GRID)
 - AIR DIFFUSER
 - EXHAUST GRILLE
 - ACCESS PANEL
 - LINEAR DIFFUSER
(IN CEILING GRID)
 - PTD GYPSUM BOARD
CEILING / SOFFIT
 - PENDANT LIGHT
FIXTURE

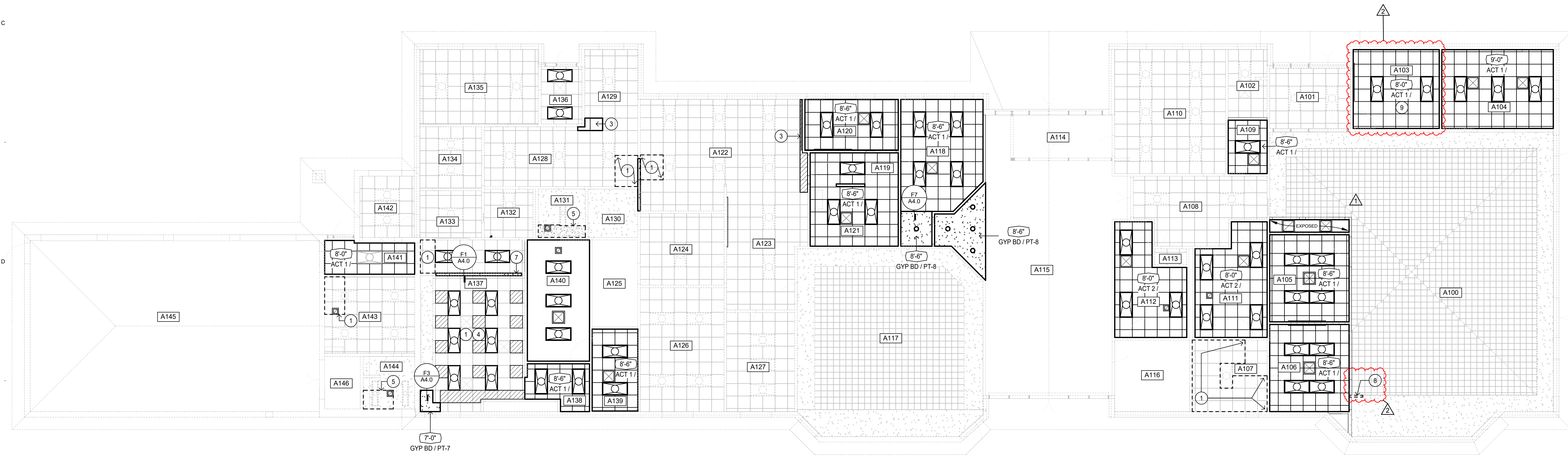
- RCP GENERAL NOTES**
1. FOR WALLS THAT PENETRATE CEILINGS SEE WALL TYPES SHOWN ON THE FLOOR PLAN.
 2. FOR DIFFUSER AND RETURN GRILL SIZES, SEE MECHANICAL PLANS.
 3. FOR LIGHT FIXTURE TYPES, SEE ELECTRICAL LIGHTING PLANS.
 4. CEILING HEIGHTS INDICATED ON PLAN (E.G. 9'-0") ARE FROM FINISHED FLOOR OF LEVEL OF PLAN SHOWN OR INDICATED AS 10'-0".
 5. ACOUSTICAL TILE CEILING GRID IS TO BE CENTERED IN RECTANGULAR ROOM OR CENTERED BETWEEN LONGEST WALLS OF IRREGULARLY SHAPED ROOMS UNLESS OTHERWISE NOTED.
 6. VERIFY GYP. BD. CONTROL JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

- REFLECTED CEILING PLAN KEY NOTES:**
- 1 REMOVE AND REPLACE EXISTING CEILING TILES AS REQUIRED FOR MECHANICAL WORK.
 - 2 SEE ELECTRICAL FOR CEILING MOUNTED MICROPHONE.
 - 3 AT HATCHED AREA, PATCH ACT CEILING WITH NEW GRID AND INSTALL SALVAGED CEILING TILE.
 - 4 AT HATCHED AREA, REINSTALL SALVAGED ACT IN EXISTING GRID.
 - 5 REMOVE AND PATCH PORTION OF GYP BD CEILING AS REQUIRED FOR NEW MECHANICAL WORK. PAINT TO MATCH EXISTING.
 - 6 PAINT BULKHEAD PT-7.
 - 7 PAINT BULKHEAD TO MATCH WALL AS SCHEDULED.
 - 8 PATCH GYPSUM BOARD SOFFIT AT DEMOLISHED DIFFUSER AND PAINT TO MATCH ADJACENT.
 - 9 INSTALL CEILING AS HIGH AS POSSIBLE. COORDINATE WITH DUCTWORK.

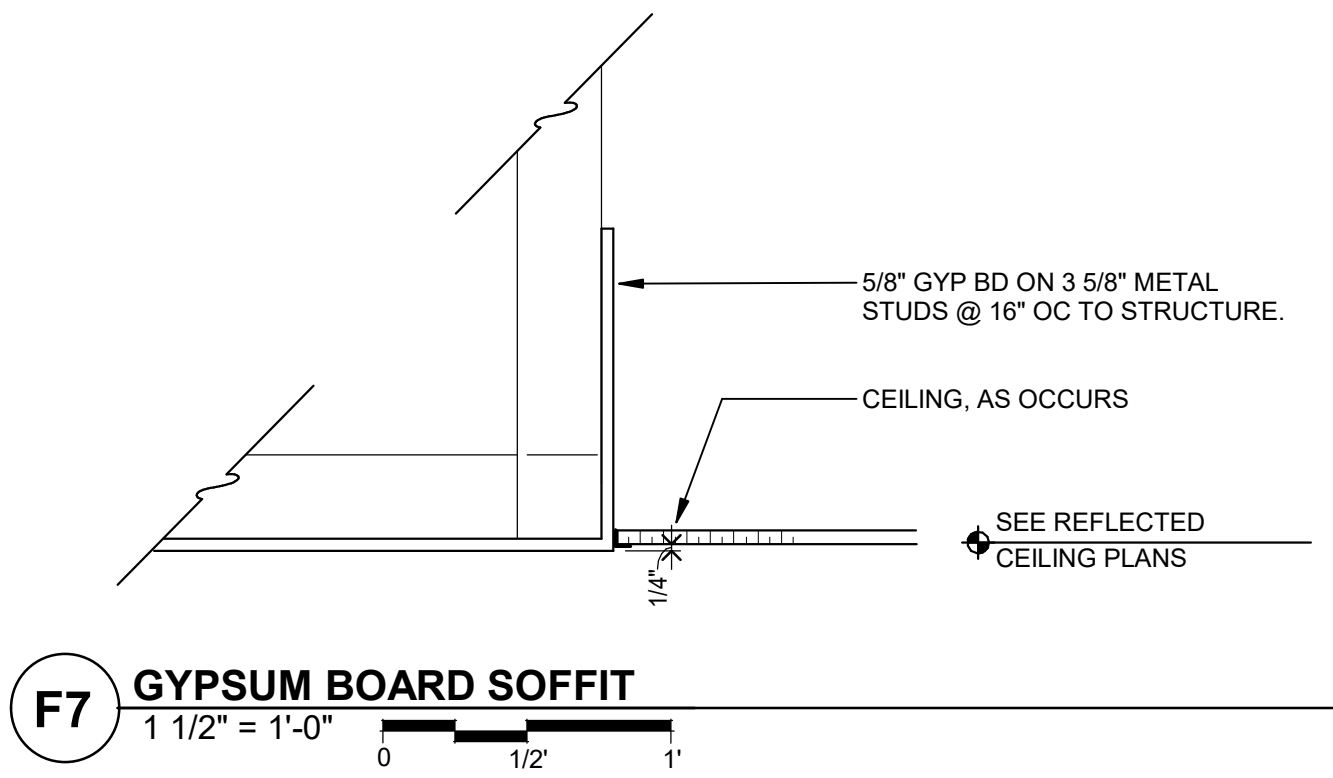
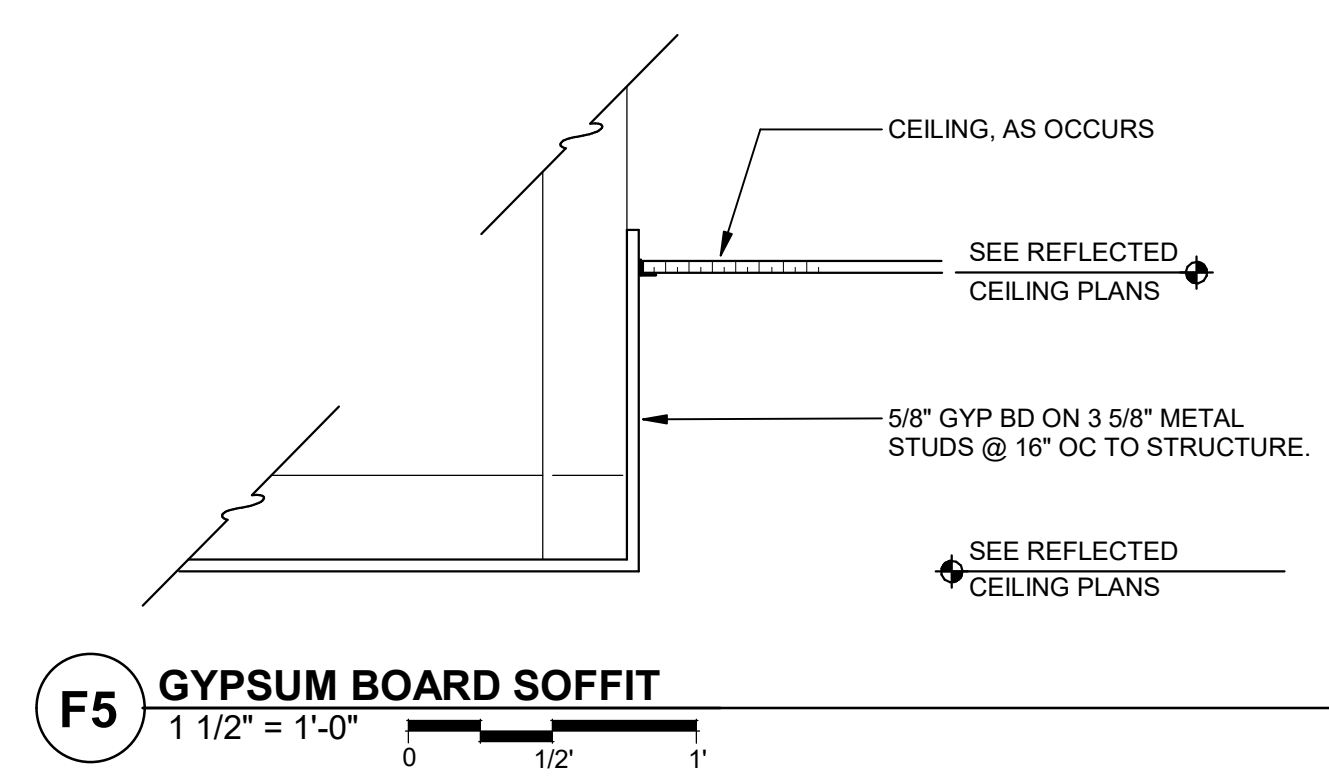
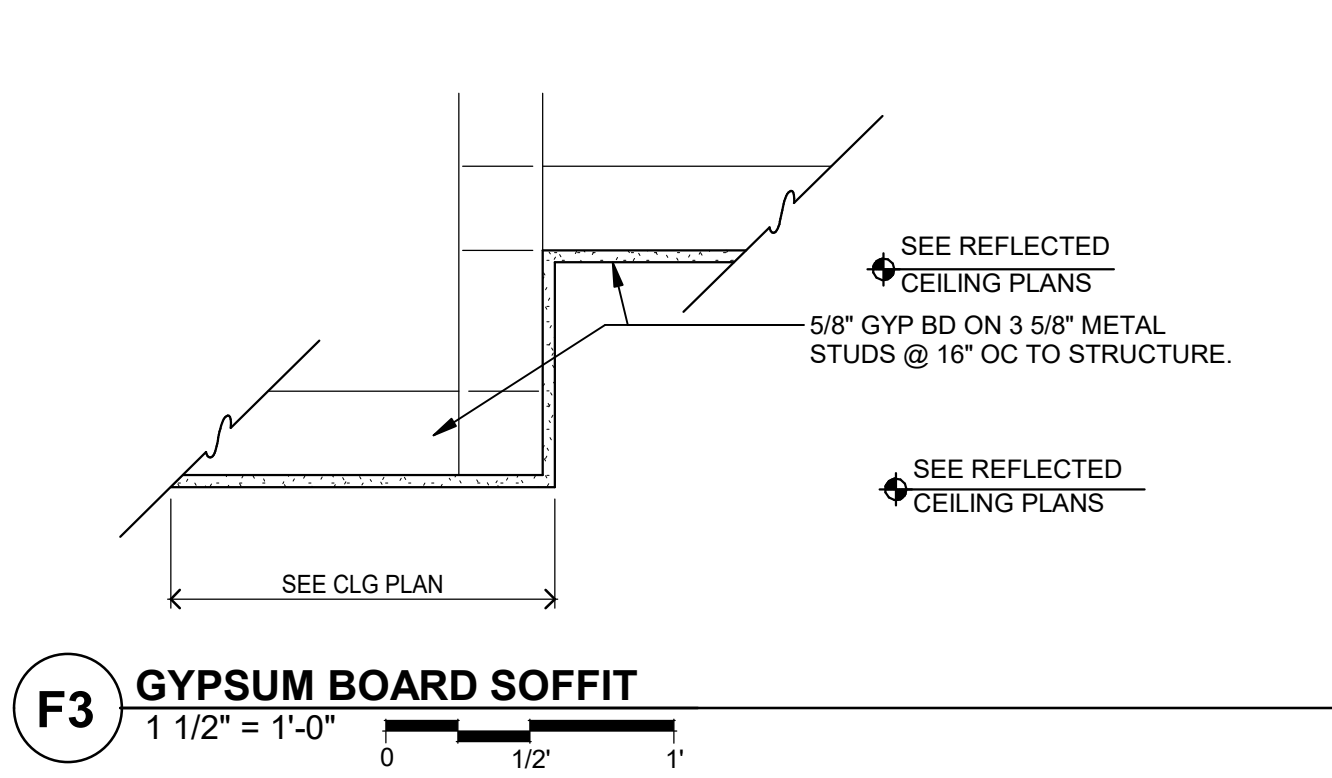
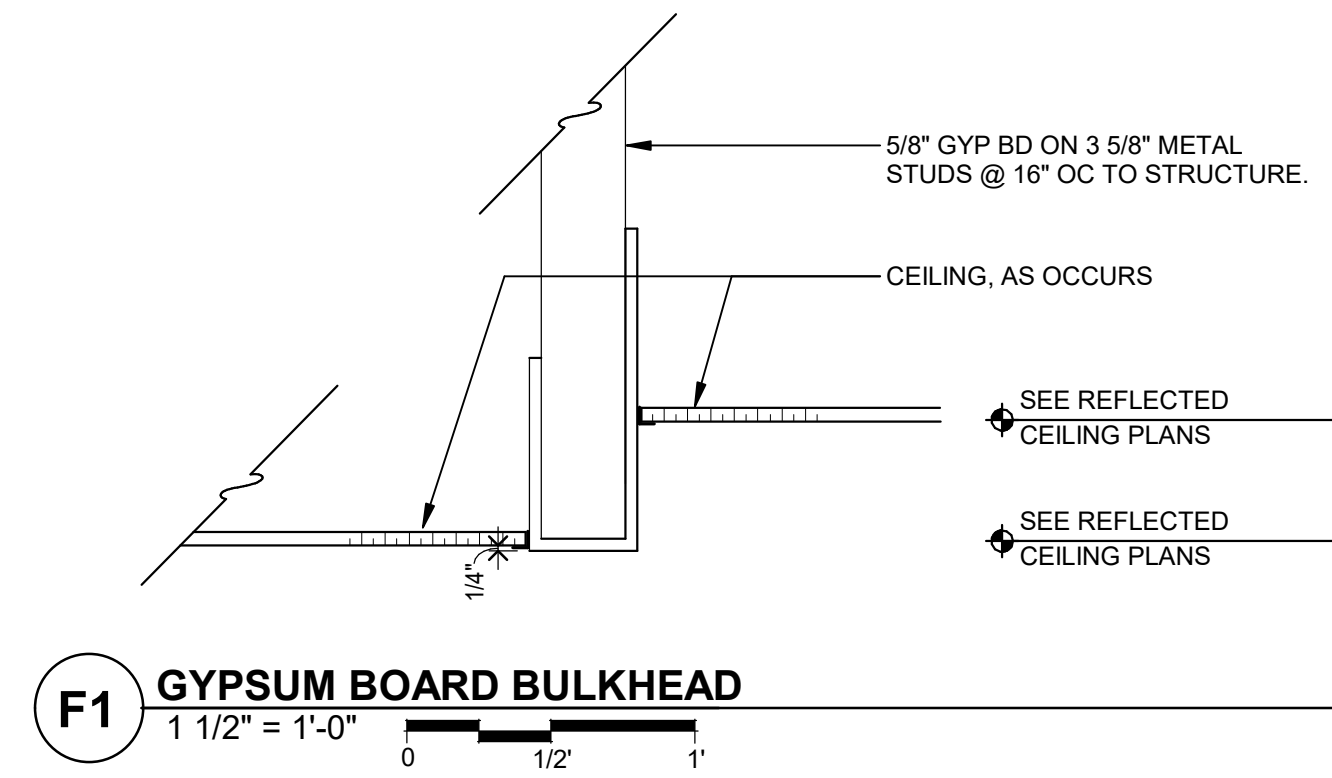
- ROOF PLAN KEY NOTES:**
- 1 PATCH PLYWOOD AND ASPHALT SHINGLE ROOF AT REMOVED PLUMBING VENT.
 - 2 PROVIDE AND INSTALL SHEET METAL FLASHING AND BASE FLASH AT NEW EXHAUST FAN TO BE INSTALLED AT EXISTING MECHANICAL CURB. SEE MECH FOR MORE INFORMATION.



C6 PARTIAL ROOF PLAN
1/8" = 1'-0" 0 6 12'



E1 REFLECTED CEILING PLAN
1/8" = 1'-0" 0 6 12'



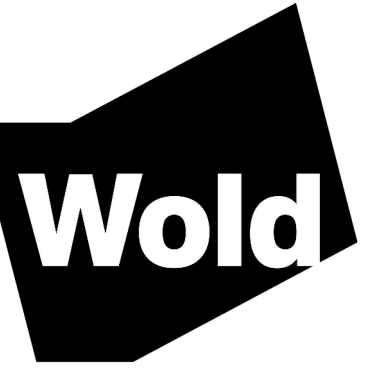
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA.

Joel Dunning
JOEL DUNNING
41467 DME NA

Description	Revisions	
	Date	Num
Addendum #01	06/09/2020	1
PR #05	12/07/2020	2

Comm: 182292
Date: 05/22/2020
Drawn: DG
Check: AD
North

ROOF PLAN & REFLECTED CEILING PLAN

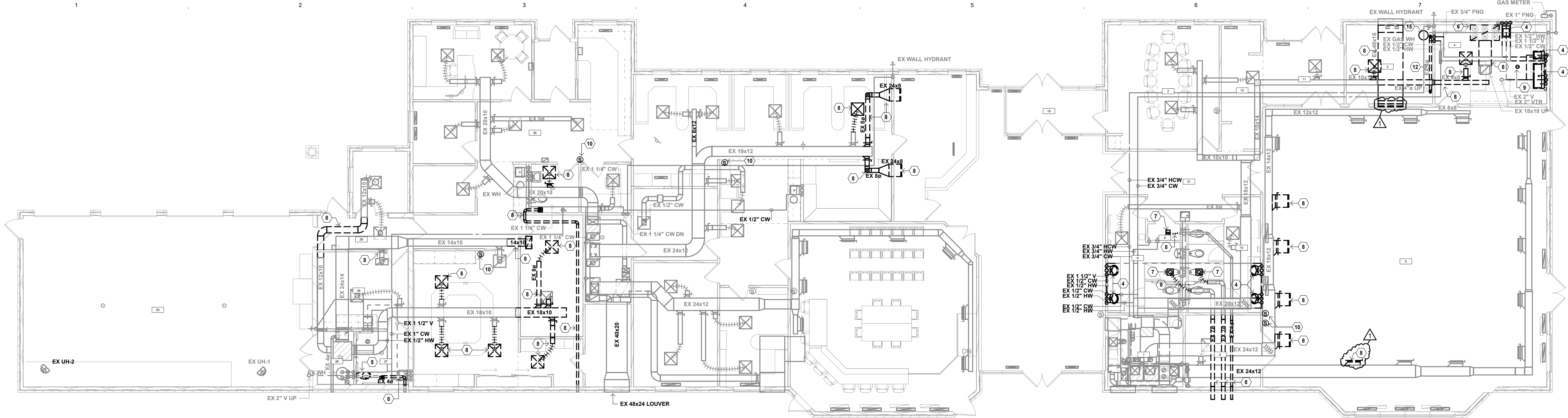


DEMOLITION PLAN GENERAL NOTES:

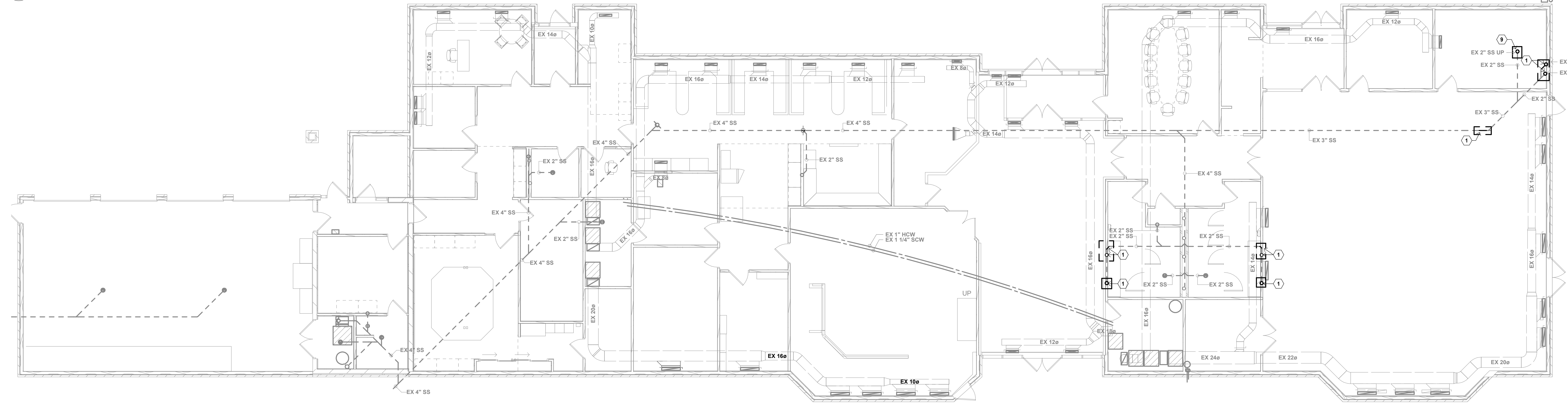
- MECHANICAL CONTRACTOR SHALL DETERMINE LIMITATIONS AND/OR CONFLICTS RELATIVE TO THE EXECUTION OF HIS WORK PRIOR TO BID. VERIFY EXACT DETAIL OF INSTALLATION REQUIRED TO PROVIDE SYSTEMS SHOWN WITHIN SPACE INTENDED.
- ALL EXISTING SERVICES SHALL BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE INDICATED ON THE PLANS. COORDINATE DISRUPTION OF SERVICES WITH OWNER TO PROVIDE AN ACCEPTABLE TIME FOR DOWNTIME.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED ON PLANS. NO CUTTING OF STRUCTURAL MEMBERS OR STRUCTURE WHICH WILL DETERIORATE THE INTEGRITY AND STRENGTH OF THE BUILDING WILL BE ALLOWED WITH OUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- THE MECHANICAL CONTRACTOR SHALL REMOVE ALL EXISTING CEILING TILES AND GRIDS AS REQUIRED FOR INSTALLATION OF NEW WORK. ANY DAMAGED TILES AND OR GRIDS SHALL BE REPLACED WITH NEW TO MATCH AT THE CONTRACTORS EXPENSE.
- THE MECHANICAL CONTRACTOR SHALL REMOVE ALL SYSTEMS SHOWN BOLD AND DASHED. ALL SYSTEMS NOT SHOWN BOLD AND DASHED SHALL REMAIN.
- PATCH AND REPAIR OPENINGS THROUGH WALLS AND FLOORS WHERE MECHANICAL SYSTEMS WERE REMOVED TO MATCH EXISTING AND TO MAINTAIN FIRE RATING, WALL FINISHED BY OTHERS.

DEMOLITION PLAN KEYED NOTES:

- REMOVE EXISTING UNDERGROUND PIPING SHOWN. FLOOR SAW CUTTING AND PATCHING BY OTHERS. CAP PIPING BELOW FLOOR IF NOT TO BE REUSED.
- REMOVE EXISTING WASTE/VENT SHOWN AND ALL ASSOCIATED HANGERS AND SUPPORTS. CAP PIPING AT MAIN IF NOT TO BE REUSED.
- REMOVE EXISTING DOMESTIC COLD AND HOT WATER PIPING SHOWN AND ALL ASSOCIATED HANGERS AND SUPPORTS. CAP PIPING AT MAIN IF NOT TO BE REUSED. CAPPED PIPING SHALL BE NO LONGER THAN 3 TIMES THE PIPE DIAMETER.
- REMOVE EXISTING PLUMBING FIXTURE INDICATED AND ALL ASSOCIATED SUPPLY, WASTE, AND VENT PIPING AND HANGERS AND SUPPORTS.
- REMOVE EXISTING PLUMBING FIXTURE. PIPING TO REMAIN FOR REINSTALLATION OF NEW FIXTURE. REFER TO NEW WORK PLAN.
- REMOVE EXISTING RANGE HOOD AND ALL ASSOCIATED HANGERS, SUPPORTS, WIRING AND CONTROLS. DUCT RISE THROUGH ROOF SHALL REMAIN FOR INSTALLATION OF NEW EXHAUST FAN AND DUCTWORK. REFER TO NEW WORK PLAN.
- REMOVE EXISTING EXHAUST FAN AND ALL ASSOCIATED CONTROLS, HANGERS, AND SUPPORTS.
- REMOVE EXISTING DUCTWORK INDICATED AND ALL ASSOCIATED GRILLES/OFFUSERS, DAMPERS, HANGERS AND SUPPORTS.
- REMOVE EXISTING FLOOR DRAIN AND PIPING TO BELOW FLOOR. FLOOR REMOVAL AND PATCH BY OTHERS.
- SALVAGE EXISTING THERMOSTAT AND REMOVE ALL ASSOCIATED WIRING. PROVIDE STAINLESS COVER PLATE TO CONCEAL ALL OPENINGS IF OPENING IS NOT TO BE REUSED OR WALL IS NOT SHOWN TO BE PATCHED BY OTHERS. REFER TO NEW WORK PLAN FOR REINSTALLATION LOCATION.
- CAP EXISTING EXHAUST DUCT THROUGH WALL.
- REMOVE WATER HEATER VENTING UP THROUGH ROOF. ROOF PATCH BY OTHERS.
- REMOVE EXISTING WALL HYDRANT AND INDICATED HARD COLD WATER PIPING AND SUPPORTS. WALL PATCH BY OTHERS.
- REMOVE EXISTING KITCHEN HOOD AND ASSOCIATED EXHAUST FAN, DUCTWORK, CONTROLS, WIRING, CURBS, AND SUPPORTS. ROOF PATCHING BY OTHERS.
- REMOVE GAS WATER HEATER AND ALL ASSOCIATED PIPING, SUPPORTS, VENTING AND WIRING.



B1 DEMOLITION PLAN - MAIN LEVEL
1/8" = 1'-0"



D1 DEMOLITION PLAN - UNDERGROUND LEVEL
1/8" = 1'-0"

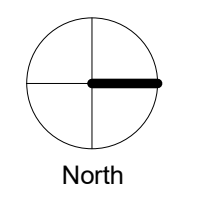
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER MINNESOTA

Kevin Marshall
KEVIN MARSHALL

License Number: 23989 Date: 06/26/2020

Description	Revisions	
	Date	Num
PR #05	12/03/2020	1

Comm: 182292
Date: 05/22/2020
Drawn: JM
Check: PJ



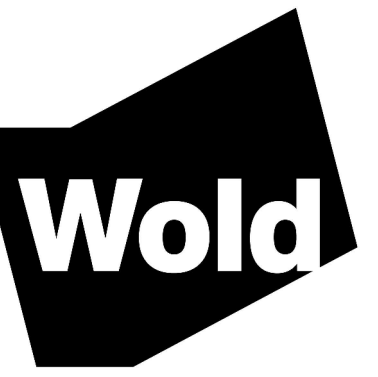
**UNDERGROUND
AND MAIN LEVEL
DEMOLITION
PLANS**

Scale: 1/8" = 1'-0"

M1.0

MN

M

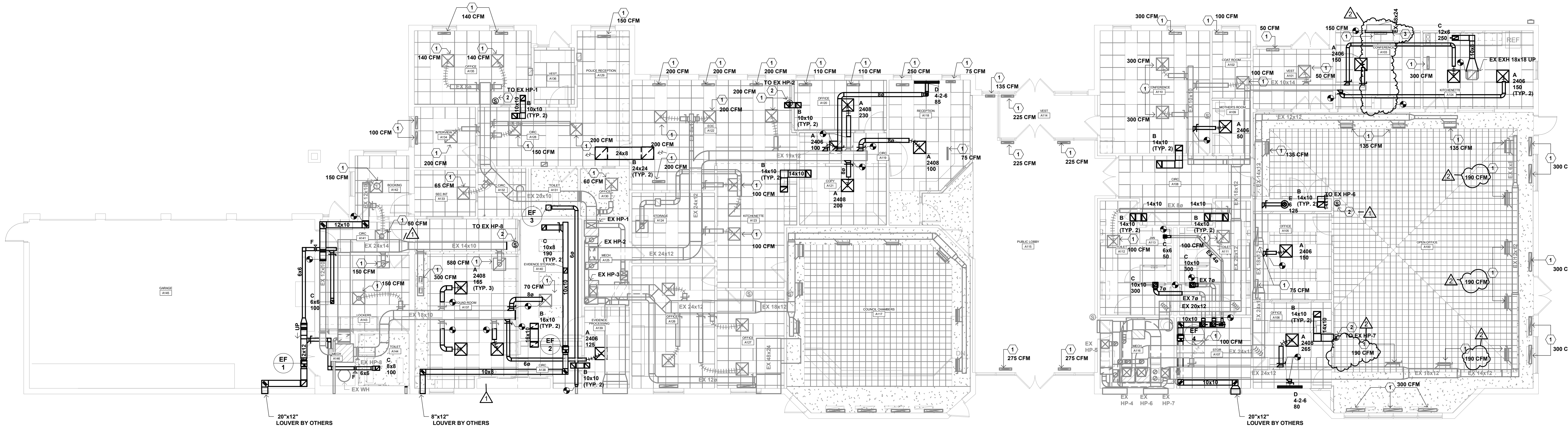


HVAC PLAN GENERAL NOTES:

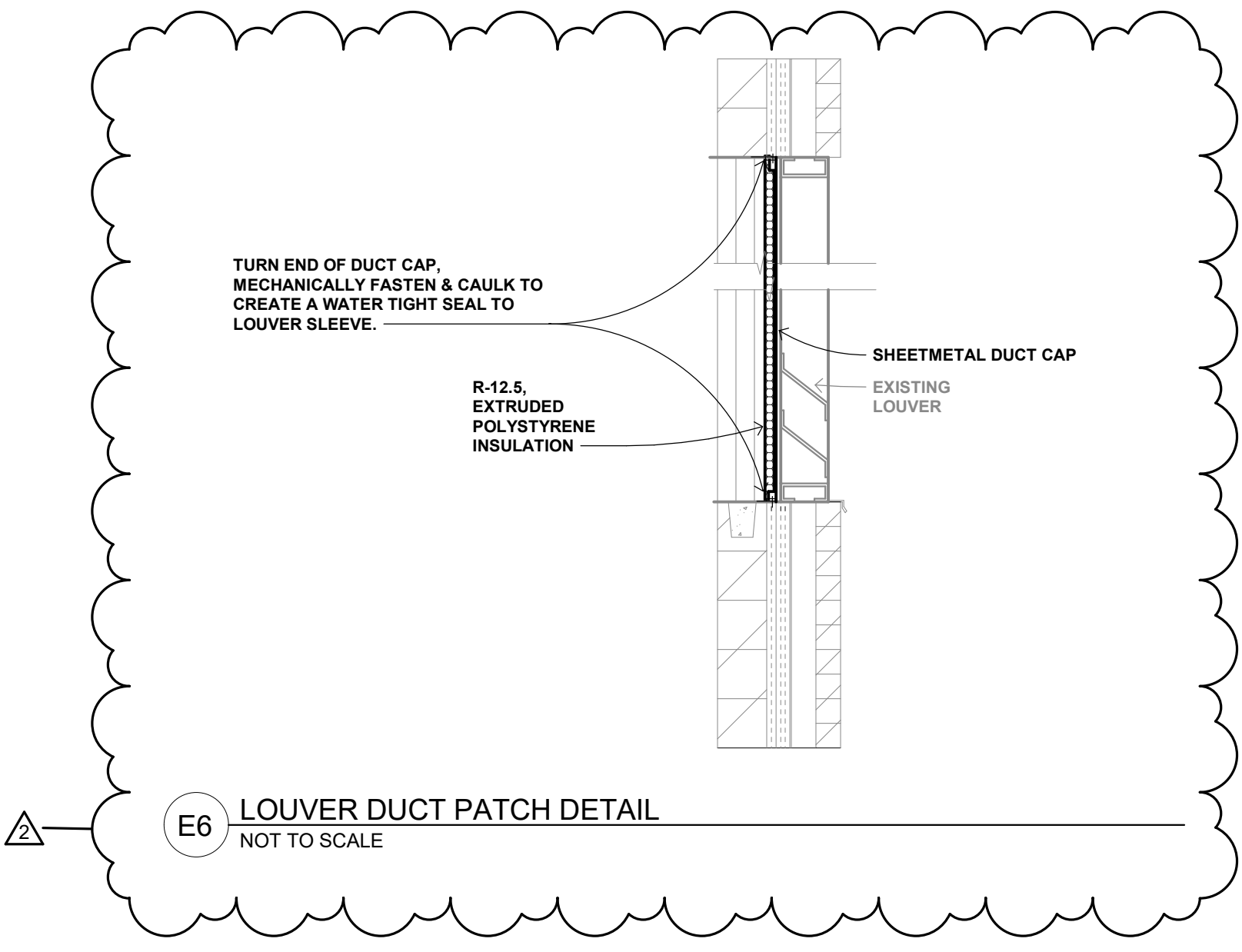
- TRANSFER DUCTS AND DUCTS CONNECTED TO TRANSFER FANS SHALL HAVE 1" INTERNAL SOUND ATTENUATING LINER
- DO NOT INSTALL FLEXIBLE DUCT CONNECTIONS ABOVE INACCESSIBLE CEILINGS
- DIFFUSER DUCT RUNOUTS AND FLEXIBLE DUCT CONNECTIONS SHALL BE THE SAME SIZE AS THE DIFFUSER NECK.
- LOCATE BALANCING DAMPERS ABOVE ACCESSIBLE CEILINGS WHERE POSSIBLE.
- COORDINATE LOCATIONS OF ANY ACCESS PANELS REQUIRED IN WALLS OR CEILINGS WITH GENERAL CONTRACTOR.
- ROUTE DUCTS BETWEEN JOISTS AND THROUGH JOIST WEBS WHERE REQUIRED TO COORDINATE WITH THE INSTALLATION OF OTHER TRADES AND TO MAINTAIN CEILING HEIGHTS. COORDINATE LOCATIONS PRIOR TO CROSS BRACING TO ENSURE THERE ARE NO CONFLICTS. AREAS KEYNOTED ARE MINIMUM REQUIRED.
- DIFFUSER AND REGISTER LOCATIONS SHALL BE COORDINATED WITH LIGHT FIXTURE LOCATIONS AND SHALL BE IN ACCORDANCE WITH CEILING PATTERNS AS SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS.
- ALL RISES AND DROPS IN DUCTWORK ARE NOT NECESSARILY SHOWN. LAYOUT ROUTING AND COORDINATE WORK WITH OTHER TRADES BEFORE CONSTRUCTION.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF CONSTRUCTION UNLESS OTHERWISE NOTED ON THE PLANS. NO CUTTING OF STRUCTURAL MEMBERS OR STRUCTURE WHICH WILL DETERIORATE THE INTEGRITY AND STRENGTH OF THE BUILDING WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- MECHANICAL CONTRACTOR SHALL DETERMINE LIMITATIONS AND/OR CONFLICTS RELATIVE TO THE EXECUTION OF HIS WORK PRIOR TO BID. VERIFY EXACT DETAIL OF INSTALLATION REQUIRED TO PROVIDE SYSTEMS SHOWN WITHIN SPACE INTENDED.
- THE MECHANICAL CONTRACTOR SHALL REMOVE ALL EXISTING CEILING TILES AND GRIDS AS REQUIRED FOR INSTALLATION OF NEW WORK. ANY DAMAGED TILES AND OR GRIDS SHALL BE REPLACED WITH NEW TO MATCH AT THE CONTRACTORS EXPENSE.

HVAC PLAN KEYED NOTES:

- BALANCE INDICATED DIFFUSER TO NOTED CFM.
- REINSTALL SALVAGED THERMOSTAT AT LOCATION INDICATED. PROVIDE NEW CONTROL WIRING TO UNIT AS REQUIRED.
- CAP DUCT/LOUVER PER DETAIL E6 / M3.0 AND SEAL TO BE WATER TIGHT AND INSULATE.



D1 HVAC PLAN - MAIN LEVEL
1/8" = 1'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER MINNESOTA

Kevin Marshall
KEVIN MARSHALL
License Number: 23989 Date: 06/26/2020

Description	Revisions	
	Date	Num
ADDENDUM #2	06/12/2020	1
PR #05	12/03/2020	2

Comm: 182292
Date: 05/22/2020
Drawn: JM
Check: PJ
North

MAIN LEVEL HVAC PLAN

Date: 12-15-2020

Proposal Request #006

Project # 20-001



Corcoran City Hall & Police Remodel
8200 County Road 116
Corcoran, MN 55340

DESCRIPTION: Added power, data, and an HDMI connection to the plan East wall in Room A103. See E2.0. Modified the feeder for the floor box in Room A103 to come from the plan East wall instead of the plan South wall. See E2.0.

Proposal Request #006

Electrical Labor & Material		\$473.00 Liberty
<hr/>		
Subtotal		\$473.00
Commission	5.00%	\$23.65 Weber
<hr/>		
Total For Proposed Change		\$496.65

If you have any questions, please call.

Sincerely,

WEBER, INC.

George Sinn

George Sinn
Project Manager

Liberty Electric Co. Inc.

27582 246th Avenue
Albany, MN 56307
Phone: 320.548.3775
Fax: 320.548.3776

E-mail: libertyelectric@hotmail.com

To: Weber Construction
Attn: George Sinn
Subject: PR: #06

Quote includes the following:

Item # 6.1- Added power, data, HDMI connection to Room A103

Material:

15' 12-2 MC AP
2-MC AP connectors
1-20A Receptacle
1-P-8 Wall Plate
1-Ground Tail
3- Remodel Metal boxes
6' 1" metal flex
2- 1" metal flex connectors
3- sets of F straps
1-Data plate

Material=\$210.00
2 Hours LaborX\$110/hour=\$220.00
10 % Mark up=\$43.00
TOTAL=\$473.00

Liberty Electric Co. Inc.
Josh Linn 12/10/2020



PROPOSAL REQUEST

Corcoran	City Hall & Police Remodel
Weber Construction	Attn: George Sinn
2497 7 th Avenue East, Suite 110	
North Saint Paul, MN 55109	
Phone: 651.770.5350	Mobile: 651-755-0268
Email: gsinn@webercompanies.com	

Submit an itemized (labor and material) quotation for the proposed modifications to the contract documents as described herein within 21 days of receipt. If a cost is not submitted within 21 days, this Proposal Request can be accepted at no additional cost. Written approval is required prior to proceeding with this change. COST EXPECTATIONS: <input type="checkbox"/> DEDUCT <input type="checkbox"/> NO COST <input checked="" type="checkbox"/> ADD	PR: #06
	Comm: 182018
	Const. Pkg: # N/A

Distribution:

- Brad Martens, City of Corcoran
- George Sinn, Weber
- Ivan Weiss, Weber
- Reide Weber, Weber
- Magnus Carlsson, BKBM
- Pat Jansen, Wold
- John Maust, Wold
- Steve Skarvan, Wold
- Jared Frazier, Wold
- Michelle Klein, Wold
- Andrew Dahlquist, Wold
- Derek Gallagher, Wold

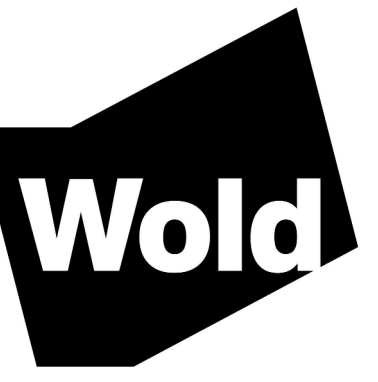
Item	Description
	Provide a detailed cost breakdown for labor (rates and hours) and material (quantities and unit cost) for each item listed below:
6.1	Added power, data, and an HDMI connection to the plan east wall in Room A103. See E2.0.
6.2	Modified the feeder for the floor box in Room A103 to come from the plan east wall instead of the plan south wall. See E2.0.

Attachments: SECTION:
DRAWINGS: E2.0

Issued By: Jared Frazier Date: 12/3/2020

Wold Architects and Engineers
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101
woldae.com | 651 227 7773

**PLANNERS
ARCHITECTS
ENGINEERS**



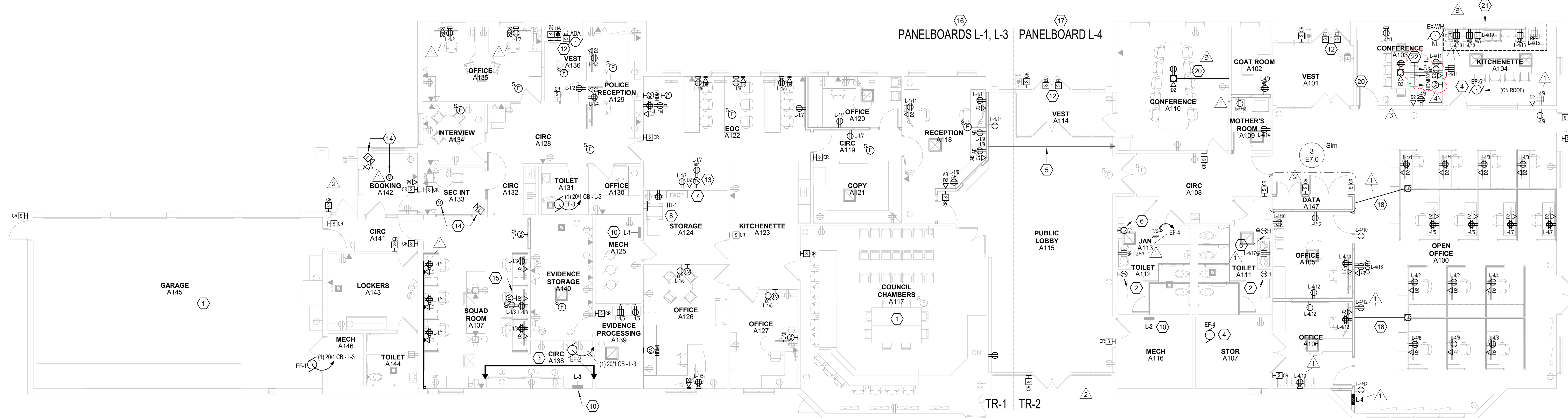
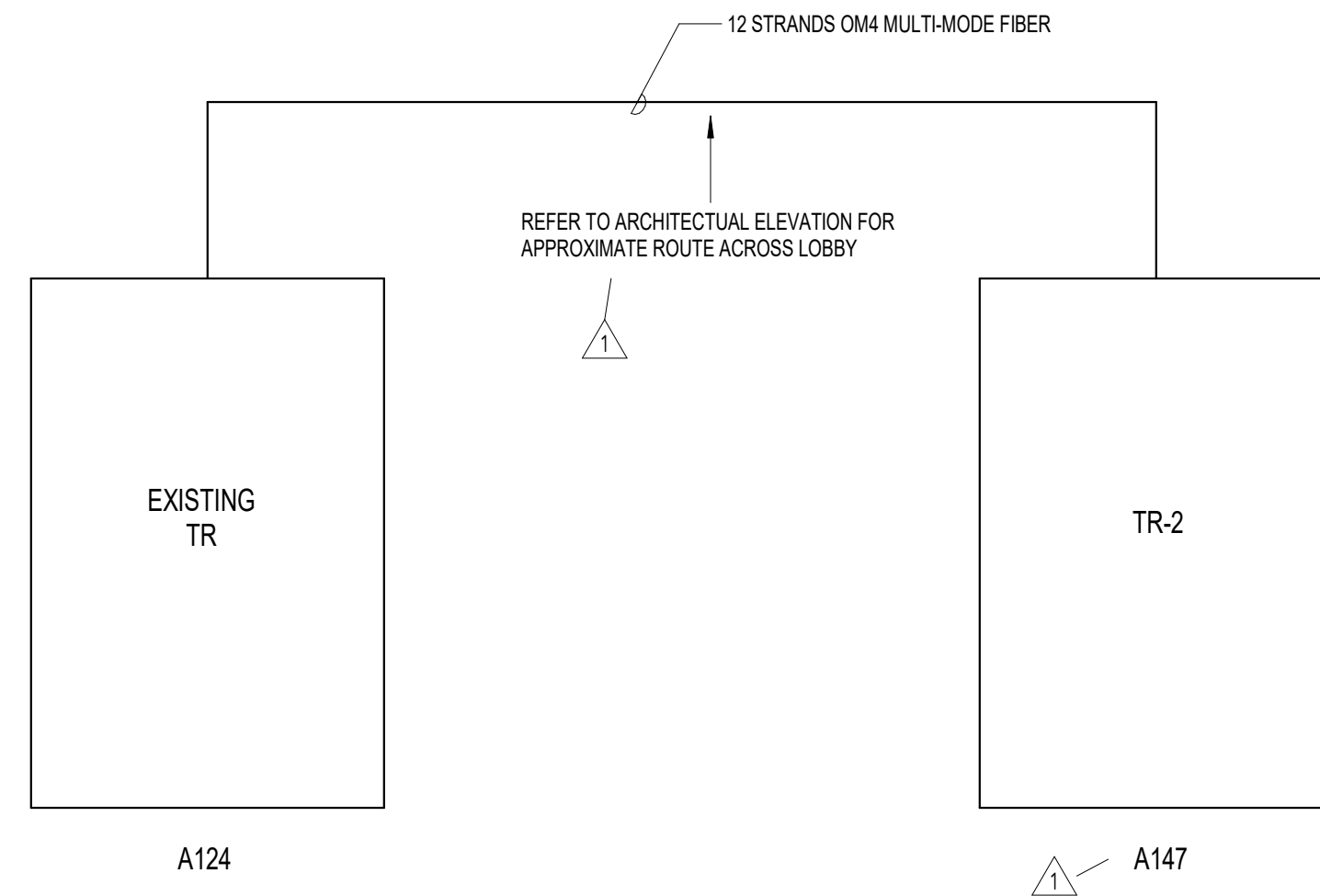
KEYED SHEET NOTES

1. ROOM TO REMAIN AS IS. NO WORK REQUIRED UNLESS NOTED OTHERWISE.
2. PROVIDE 120V CONNECTION FROM NEAREST CIRCUIT WITH AMPLE CAPACITY.
3. ELECTRICAL SERVICE - SEE ELEVATION ON SHEET E6.0.
4. PROVIDE EXTENSION OF EXISTING CIRCUITRY AND CONNECTION TO REPLACEMENT EXHAUST FAN.
5. ROUTE NEW FEEDER AND FIBER OPTIC IN SMR (SIZE AS REQUIRED) AND FOLLOW THE CEILING BEAM STRUCTURE MOUNTING ON THE EAST SIDE OF THE BEAM. SEE ARCHITECTURAL ELEVATION DETAIL FOR DEFINITION.
6. PROVIDE 120V CIRCUIT TO HAND DRYER.
7. EXISTING FIRE ALARM PANEL - TO REMAIN. PROVIDE ALL NEW CONNECTIONS AND MISCELLANEOUS EQUIPMENT FOR A COMPLETE INSTALLATION.
8. EXISTING TR - ROUTE CABLES AS SHOWN ON PLANS. PROVIDE ADDITIONAL PLYWOOD FOR SECURITY INTEGRATOR'S EQUIPMENT. COORDINATE WITH THE OWNER'S SECURITY INTEGRATOR.
9. PROVIDE PRIMARY GROUND BAR. SEE DETAIL. CONNECT NEW CIRCUITS. MODIFY EXISTING CIRCUITS DEMOLISHED TO POWER NEW. PROVIDE NEW TYPEWRITER DIRECTORY.
11. CABLING ROUTING - NEW CABLING SHALL BE ROUTED TO ASSOCIATED RACK.
12. SEE DETAIL DRAWING E6.0 FOR ROUGH-IN AND CONNECTION REQUIREMENTS.
13. TV LOCATION DOES NOT REQUIRE HDMI INTERCONNECT. PROVIDE (2) DATA ROUTED TO NEAREST TELECOMMUNICATIONS ROOM.
14. DEVICES SHOWN FOR REFERENCE AND TO BE INSTALLED BY OTHERS.
15. COORDINATE ELEVATION OF TV WITH OWNER PRIOR TO ROUGH-IN.
16. CIRCUIT NEW RECEPTACLES TO EXISTING CIRCUITS RENDERED "SPARE" DURING DEMOLITION. PROVIDE NEW CIRCUIT BREAKERS IN EXISTING PANELBOARDS IF NECESSARY TO ACHIEVE THE CIRCUIT DENSITY SHOWN. CIRCUIT NUMBERS SHOWN ARE FOR REFERENCE ONLY AND INDICATE DESIRED CIRCUIT DENSITY.
17. CIRCUIT NEW LOADS TO THIS NEW PANELBOARD AS SHOWN.
18. PROVIDE 1-1/4" FOR TECHNOLOGY AND 3/4" FOR CONDUCTORS FOR POWER. STUB TO ABOVE ADJACENT ACCESSIBLE CEILING. FLOORBOX SHALL BE WIREMOLD RFB-4 WITH FURNITURE FEED(S). PROVIDE ALL FINAL CONNECTIONS TO FURNITURE AS REQUIRED BY THE MANUFACTURER.
19. PROVIDE WIREMOLD 4000 WITH DIVIDER FOR NEW DEVICES. ROUTE VERTICAL TO ABOVE ACCESSIBLE FINISHED CEILING TIGHT TO CORNER OF ROOM.
20. PROVIDE 1-1/4" WITH CABLES FOR TECHNOLOGY AND 3/4" FOR CONDUCTORS FOR POWER. STUB TO ABOVE NEAREST ACCESSIBLE CEILING. FLOORBOX SHALL BE WIREMOLD RFB-4 OR APPROVED EQUAL.
21. SEE ARCHITECTURAL ELEVATION ON A5.1 FOR MOUNTING INFORMATION.
22. FIELD VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.

GENERAL SHEET NOTES

- A. SOME NOTES MAY NOT APPLY TO THIS SHEET.
- B. SOME NOTES MAY NOT APPLY TO THIS SHEETS.
- C. ALL BOXES, CONDUIT AND WIRING TO BE CONCEALED. NO EXPOSED BOXES, CONDUIT AND WIRING SHALL BE ALLOWED UNLESS NOTED OTHERWISE.
- D. COORDINATE DEVICE LOCATIONS WITH OTHER TRADES INCLUDING HVAC EQUIPMENT, DUCTWORK, SPRINKLER PIPING AND BUILDING STRUCTURAL MEMBERS.
- E. VERIFY LOCATIONS AND ROUGH-IN REQUIREMENTS OF ALL OWNER FURNISHED EQUIPMENT PRIOR TO ROUGH-IN.
- F. CIRCUIT WIRING IS NOT SHOWN EXCEPT FOR SWITCHING INTENT OF FIXTURES AND CONTROL OF DEVICES.
- G. GFCI RECEPTACLES SHALL BE WIRED TO PROTECT ONLY THE DEVICES IN THAT OUTLET BOX. DOWNSTREAM DEVICES SHALL NOT BE PROTECTED BY GFCI.
- H. CIRCUIT NUMBERS SHOWN ARE FOR SCHEMATIC PURPOSES AND ARE FOR DISTINGUISHING CIRCUITS. RECORD AS-BUILT CIRCUITS IN A TYPED AND DATED PANELBOARD SCHEDULE.
- I. PROVIDE SEPARATED CONDUITS FOR ALL EMERGENCY CIRCUITS. DO NOT COMBINE WITH NORMAL BUILDING WIRING.
- J. COORDINATE HEIGHTS OF ALL DEVICES WITH MILLWORK AND MODULAR FURNITURE SHOP DRAWINGS PRIOR TO ROUGH-IN.
- K. OFFSET BACK TO BACK BOXES AT LEAST 12 INCHES EXCEPT IN RESIDENT ROOMS WHERE PUTTY PADS SHALL BE PROVIDED (3M MPP+ OR EQUIVALENT).
- L. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR WIRING ALL ELECTRICAL ITEMS SHOWN ON THE DRAWINGS, EXCEPT ITEMS LISTED ON SHEET E0.01 GENERAL ELECTRICAL NOTES.
- M. SEE FIRE ALARM ZONE SCHEDULE FOR INITIATING ZONES AND SIGNAL CIRCUITS.
- N. COORDINATE WITH OTHER TRADES AND REFER TO DIV 27 & 28 SPECIFICATIONS FOR FULL REQUIREMENTS.
- O. INSTALL DATA SYSTEMS CONDUIT WITH NO MORE THAN (2) 90° BENDS BETWEEN PULL BOXES, AND NO MORE THAN 100'-0" BETWEEN PULL BOXES. PULL BOXES SHALL BE INSTALLED FOR STRAIGHT THRU PULLS ONLY.
- P. ALL COMMUNICATIONS CABLES SHALL BE INSTALLED IN CONDUIT, CABLE TRAY, OR SUPPORTED BY CABLE HOOKS. PROVIDE BUSHINGS AT THE ENDS OF ALL CONDUIT WHERE STUBBED ABOVE ACCESSIBLE CEILINGS OR WHERE DROPPED INTO CABLE TRAY. PROVIDE CABLE HOOKS ABOVE ACCESSIBLE CEILINGS FOR CABLE INSTALLATION WHERE NOT INSTALLED IN CONDUIT OR CABLE TRAY.
- Q. COORDINATE RECESSED CASEWORK DEVICES AND ABOVE COUNTER (AB) DEVICES WITH ARCHITECTURAL ELEVATION DRAWINGS AND DETAILS. MATCH ELEVATIONS WITH DIVISION 26 DEVICES UNLESS NOTED OTHERWISE.

1 TECHNOLOGY RISER NTS



E1 MAIN LEVEL POWER AND SYSTEMS PLAN
1/8" = 1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER MINNESOTA under the laws of the State of MINNESOTA.

Bradley R. Johannsen

License Number: **BRADLEY R. JOHANNSEN**
43936 Date: 5/26/2020

Description	Revisions	
	Date	Num
Addendum #2	6/12/2020	1
PR #1	10/12/2020	2
PR #4	11/18/2020	3
PR #6	12/3/2020	4

Comm: 182292
Date: 5/26/2020
Drawn: J. FRAZIER
Check: S. SKARVAN

North

MAIN LEVEL POWER AND SYSTEMS PLANS

Scale: NTS

E2.0

Date: 01/07/2021

Proposal Request #007 Revised

Project # 20-001



Corcoran City Hall & Police Remodel
8200 County Road 116
Corcoran, MN 55340

DESCRIPTION: Provide And Install One (1) Hand Dryer In Room A112.

Proposal Request #007 Revised

Electrical Material		\$687.50 Liberty
<hr/>		
Subtotal		\$687.50
Commission	5.00%	\$34.38 Weber
<hr/>		
Total For Proposed Change		\$721.88

If you have any questions, please call.

Sincerely,

WEBER, INC.

George Sinn

George Sinn
Project Manager

Liberty Electric Co. Inc.

27582 246th Avenue
Albany, MN 56307
Phone: 320.548.3775
Fax: 320.548.3776
E-mail: libertyelectric@hotmail.com

To: Weber Construction
Attn: George Sinn
Subject: Corcoran PR: #07(Updated)

Quote includes the following:

Item # 1.1- Provide and Install (1) hand dryer in Room A112 to replace existing

Material:

1-Model XL-W Xlerator Hand Dryer

Material=\$625.00
10 % markup=\$62.50
TOTAL=\$687.50

Liberty Electric Co. Inc.
Josh Linn 1/5/2021
(Updated 1/7/2021)

Date: 12-15-2020

Proposed Change Order #003

Project # 20-001



Corcoran City Hall & Police Remodel
8200 County Road 116
Corcoran, MN 55340

DESCRIPTION: RFI #006 Fix - HP6 & HP7 Are Twined Together & Require A Remote Sensor & Thermostats Need To Be Rewired.

Proposed Change Order #003

Mechanical Changes - Labor & Material		\$405.00 Foster
Subtotal		\$405.00
Commission	5.00%	\$20.25 Weber
Total For Proposed Change		\$425.25

If you have any questions, please call.

Sincerely,

WEBER, INC.

George Sinn

George Sinn
Project Manager

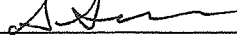
Weber, Inc.2497 7th Avenue East
Suite 110
North St. Paul, MN 55109**Phone:** 651-770-5350
Fax: 651-770-5385**REQUEST FOR INFORMATION****No. 00006**

TITLE: RM A100**DATE:** 11/13/2020**PROJECT:** CORCORAN CITY HALL AND POLICE REMO**JOB:** 20-001**TO:** Attn: Derek Gallagher
Wold Architects & Engineers
332 Minnesota Street
Suite W2000
St. Paul, MN 55101
Phone: 651-227-7773

cc: _____

STARTED:**COMPLETED:****REQUIRED:** 10/30/2020**REQUEST:**

Room A100 There are 2 thermostats on the new office wall in this room. One to be placed on the closet end and one between the office doors. The location between the doors is directly above where the copier will be placed. Should this be relocated or will 1 stat work in this room?

Requested By: Weber, Inc.**Date:** Nov 15 2020**Signed:**  _____

George

ANSWER:

Response:

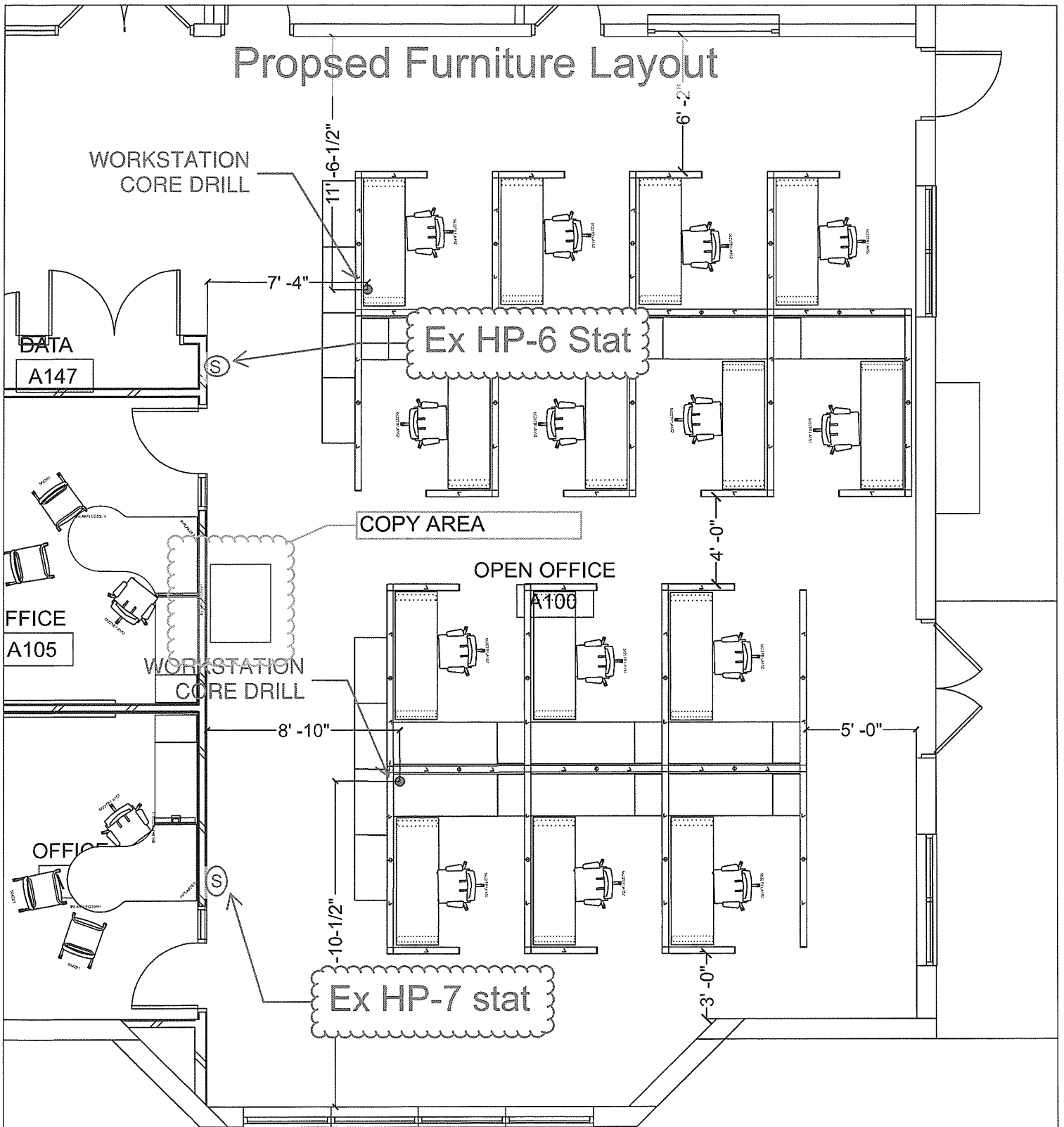
Refer to attached for stat locations. Separate stats are necessary. One for interior type exposure for HP-6 and one for exterior type exposure for HP-7.

John Maust, Wold Architects and Engineers

Date: 11.16.2020

Answered By: Weber, Inc.**Date:** _____**Signed:** Derek Gallagher

Proposed Furniture Layout



CORE DRILL FOR WORKSTATIONS

NOT TO SCALE



2635 University Ave. W.
Suite 120
St. Paul, MN 55114

Phone: (651) 645-2055
Fax: (651) 647-0297
www.prevolv.com

CITY OF CORCORAN

DRAWN BY: KNO

DATE: 11.5.20

All information contained or displayed within this drawing, copy, or print is the sole property of Prevolv, Inc. Written permission must be obtained from Prevolv for any use or duplication and is subject to copyright law.

CET City of Corcoran furniture plan 08.27.20.crdw

FOSTER MECHANICAL

Phone: 320-587-4003 Fax: 320-587-4450
945 5th Ave. S.E. #12 Hutchinson, MN 55350

Foster Mechanical is a Minnesota Corporation

12/14/2020

PR# 5

Submitted to: Weber, Inc.

Project: City of Corcoran – City Hall and Police Remodel

Pricing for PR# 5 as listed out by Wold Architects and Engineers

5.1

Add: Remove indicated wall grille located in north wall in room A100 connected to ductwork in room A103. In response to RFI-8, remove linear supply diffuser in soffit and balance diffusers to revised values. Refer to attached sheet M1.0.

Labor – 2 hours – add **\$170.00 – for 5.1**

5.2 Deduct: Omit installation of 48"x12" ductwork and associated hangers and insulation in room A103. Refer to sheet M3.0.

Labor savings – 5 hours \$425.00, materials savings \$75.00 Duct was already made per the plan. Insulation and hanger cost in the materials. Cost to fabricate cap with insulation **\$90.00**, 2 hours labor for install - **\$170.00**

Total deduct - \$500.00 – for 5.2

5.3 Add: Cap louver in room A103 with blank-off panel such that cap is water tight and insulated. Refer to detail on attached sheet M3.0.

Cost to fabricate cap with insulation **\$115.00**, 2 hours labor for install - **\$170.00**

Add cost \$285.00 – for 5.3

PR# 5 total – deduct - **\$45.00**

~~Extras not yet discussed – No room for slot diffuser in Room A103 – see attached~~

HP6 and HP7 are twined together and will need to have a remote sensor added and the thermostats will need to be rewired to HP6 and HP7. **Sensor cost is 65.00 Wiring - \$340.00**

Date: 01/06/2021

Proposed Change Order #005

Project # 20-001



Corcoran City Hall & Police Remodel
8200 County Road 116
Corcoran, MN 55340

DESCRIPTION: Extra Painting - Painting For Rooms Where Paint Was Not Listed & Drywall Repaired At Additional Electrical Work Related to PR #04.

Proposed Change Order #005

Extra Painting - Labor & Material		\$640.00 Reinhardt
=====		
Subtotal		\$640.00
Commission	5.00%	\$32.00 Weber

Total For Proposed Change		\$672.00

If you have any questions, please call.

Sincerely,

WEBER, INC.

George Sinn

George Sinn
Project Manager

REINHARDT & SONS *Painting, Inc.*

P.O. Box 270287
Minneapolis, MN 55427-0287
phone: 612-760-2868
fax: 763-432-9031
dreinhardtandsons.com

January 5, 2021

Weber, Inc.

Attn: George Sinn

Re: Corcoran City Hall & Police Remodel
Corcoran, MN

Please find the following as a breakdown of extra work for the above referenced project. We will not complete any of this work until authorized.

- | | |
|---|----------------|
| 1) Rooms A101 and A102 all walls paint
Labor: 4 hours x \$65 and \$35 materials | Add: \$ 295.00 |
| 2) Room A110 North and East walls paint
Labor: 2 hours x \$65 and \$15 materials | Add: \$ 145.00 |
| 3) Room 107 East wall paint
Labor: \$40 and \$10 | Add: \$ 50.00 |
| 4) Room A103 will need to be repainted due to the taping not
Being finished to ceiling grid
Labor 2 hours x \$65 and \$20 materials | Add: \$ 150.00 |

Please do not hesitate to contact me at 612-760-2868 with any questions you might have regarding this matter.

Respectfully Submitted,

Mr. Duwaine Reinhardt
President
Reinhardt & Sons Painting, Inc.

RESOLUTION NO. 2021-05

Motion By:
Seconded By:

**POLICE OFFICER DECLARATION OF PERA CONTRIBUTIONS
CAITLYN SANDSTAD**

WHEREAS, the policy of the State of Minnesota as declared in Minnesota Statutes 353.63 is to give special consideration to employees who perform hazardous work and devote their time and skills to protecting the property and personal safety of others; and

WHEREAS, Minnesota Statutes Section 353.64 permits governmental subdivisions to request coverage in the Public Employees Police and Fire plan for eligible employees of police departments whose position duties meet the requirements stated therein and listed below.

BE IT RESOLVED, that the City of Corcoran of Hennepin County, MN hereby declares that the position titled Police Officer, currently held by Caitlyn Sandstad, meets all of the following Police and Fire membership requirements:

1. Said position requires a license by Minnesota peace officer standards and training board under sections 626.84 to 626.863 and this employee is so licensed;
2. Said position's primary (over 50%) duty is to enforce the general criminal laws of the state;
3. Said position charges this employee with prevention and detection of crime;
4. Said position gives this employee the full power of arrest and
5. Said position is assigned to a designated police or sheriff's department.

BE IT FURTHER RESOLVED that this governing body hereby requests that the above-named employee be accepted as a member of the Public Employees Police and Fire Plan effective the date of this employee's initial Police and Fire salary deduction by governmental subdivision.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Thomas, Manoj

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Thomas, Manoj

Whereupon, said Resolution is hereby declared adopted on this 28th day of January 2021.

Tom McKee – Mayor

ATTEST:

Jessica Beise – Administrative Services Director

City Seal

STAFF REPORT

Agenda Item 7f.

Council Meeting: January 28, 2021	Prepared By: Director Matt Gottschalk
Topic: Dakota County Criminal Justice System Services Agreement	Action Required: Authorization

Summary:

The police department is making arrangements to participate in a county-wide law enforcement agency eBriefing system. The system will be administered by Dakota County for the agencies in Hennepin County. In order to participate in the sharing of criminal justice information on the system the City must enter into the attached agreement. The agreement has been vetted by the City Attorney.

Financial/Budget:

The eBriefing system will be used by our City's police officers at a cost of \$33 per officer per year after the 90-day free trial period. This will be for both full-time and part-time officers. The total annual cost will be approximately \$500 depending on staffing levels. This would be managed in the existing budget.

Council Action:

Authorize and direct the City Administrator to enter into the Criminal Justice System Services Agreement between Dakota County and the City of Corcoran.

Attachments:

1. Criminal Justice System Services Agreement between Dakota County and the City of Corcoran.

**Criminal Justice System Services Agreement
Between County of Dakota (Criminal Justice Network)
And City of Corcoran**

THIS CRIMINAL JUSTICE SYSTEM SERVICES AGREEMENT (the "Agreement") is made and entered into by and between the County of Dakota, Minnesota, through its Criminal Justice Network program ("CJN"), and the City of Corcoran, Minnesota, by and through the Corcoran Police Department, acting through its authorized representatives ("the Agency"). Dakota County/CJN and the Agency are each sometimes referred to herein as a "Party" and collectively as the "Parties."

The Parties enter into this Agreement pursuant to their authority under Minn. Stat. §471.59 to provide assistance to, and act in coordination with, other political subdivisions within the State of Minnesota as deemed necessary to benefit the public. Execution of this Agreement terminates and supersedes any and all previous criminal justice system services agreement between the Parties.

1. Definitions.

"System Software" means CJN's proprietary computer software program(s) set forth in Attachment A (the "System Overview"), in object code form only, including all Updates.

"CJN System" means the Internet site operated by Dakota County/CJN, accessible by the Agency through secure access points, with a specific Uniform Resource Locator to be provided to the Agency (or any successor URL).

"Agency Data" means the data that the Agency's Permitted Users enter into the CJN System.

"Equipment" means the minimum required hardware and operating environment used by the Agency to access the CJN System as detailed in **Attachment E** to this Agreement ("Hardware Requirements").

"Documentation" means any CJN user manuals, training or education materials, technical manuals, and specifications describing the System Software and Services created by CJN, and any Provider Content made available to the Agency in printed and/or electronic form, including all Updates.

"Permitted User" means the Agency's employees and agents who are provided access to the System Software in accordance with the procedures in Section 10 of this Agreement.

"Provider Content" means CJN's reports, information, and data, other than the Agency's Data, made available to the Agency and its Permitted Users as part of the Services.

"Services" means the operation and maintenance of the System Software and utilities in CJN's host computer system, providing Provider Content to the Agency storing Agency Data, and making the System Software, Provider Content, and Agency Data available to Permitted Users via the CJN System, as more fully described in **Attachment A** to this Agreement (the "System Overview"). Services do not include integrating the CJN System or Agency Data with any application or computer system outside of the CJN Applications.

"Update" means, as applicable, any update, modification, or new release of the System Software, Documentation, or Provider Content that CJN makes generally available to the Agency.

2. Provision of On-line Services.

(a) The Agency hereby engages CJN, and CJN hereby agrees (subject to the terms and conditions herein) to provide the Services more fully described in this Agreement and in the System. CJN agrees to provide the Services to the Agency in accordance with the terms of this Agreement and grants to the Agency a non-exclusive, non-assignable and non-transferable license during the Term of this Agreement to enter Agency Data into the CJN System and access and use the System Software and Provider Content, only by Permitted Users, in accordance with all of the terms and conditions in this Agreement.

(b) CJN has agreed to provide the Agency with a free trial of its eBriefing Application, as described in Attachment A, for a period of 90 calendar days ("Free Trial"). During the Free Trial, CJN will make the eBriefing Application available to Agency at no cost for the Agency to test the application and consider paying for its use following the expiration of the Free Trial.

(c) The Agency acknowledges and agrees that CJN's provision and performance of the Services is dependent and conditioned upon the Agency's full performance of its duties, obligations and responsibilities hereunder.

(d) CJN acknowledges and agrees that the Agency is obligated to make payment for the Services on behalf of the Agency if this Agreement is not terminated during the Free Trial, as further described in Section 16(b), and that payment for the Services obligates CJN to perform its duties, obligations and responsibilities during the Term of this Agreement or any subsequent term.

(e) Each Party shall at all times during the Term of this Agreement designate an individual to serve as its CJN services manager who shall be the primary point of contact regarding the Services provided and the rights or obligations of each Party under this Agreement.

3. Additional CJN Responsibilities.

During the Term of this Agreement, CJN shall be responsible for the following:

(a) CJN shall provide all required hosting and operations support for the applications described in the System Overview in a centralized facility.

(b) CJN may from time to time, in its sole discretion, install Updates, modify the Services or any component thereof provided that such Updates shall perform and contain functionality that is equivalent to or better than the current version of the Services. CJN will complete such installations and modifications between the hours of 4 AM and 7 AM, when possible, to minimize any impact on the Agency's use of the System Software and Services. CJN will notify the Agency by standard methods of notification such as email, system generated messages on the System home page or similar communication methods, in advance of the installation of an Update or modification to the Services.

(c) CJN will provide support and System maintenance to the Agency as more fully described in this Agreement and the System Overview.

(d) Excluding the costs the Agency must pay CJN as described in this Agreement, CJN shall provide, at no additional cost to the Agency all communications equipment, telephone and communications lines, power, telephone service and other utilities at CJN's facilities up to the point of connection to the State optic fiber at the Dakota County Administration Center in Hastings, Minnesota, and to perform the Services and accomplish the purposes of this Agreement.

(e) Excluding the costs the Agency must pay CJN as described in this Agreement, CJN shall provide, at no additional cost to the Agency the necessary personnel, facilities, hardware, software, servers, routers and related equipment up to the point of connection to the State optic fiber at the Dakota County Administration Center in Hastings, Minnesota to meet CJN's responsibilities under this Agreement.

(f) CJN will install and maintain System security measures including password protection, firewall protection, data encryption, continuous monitoring of CJN's system, and will conduct regular security audits. If CJN learns that any person has breached the security implemented for CJN's System, or suspects that such security has been breached, CJN will promptly notify the Agency and take corrective action to prevent such breaches.

(g) CJN shall have in place during the Term of this Agreement a Business Continuity and Disaster Recovery Plan and will utilize industry standard back-up and archival procedures.

(h) CJN will configure and maintain the system to provide reasonable system response time for the Agency's Permitted Users, to the extent within the control of Dakota County/CJN.

- (i) If requested, CJN will provide best practices advice to the Agency for implementing the Services at the Agency's business locations.
- (j) CJN will provide training on the use of CJN's System for the Agency's Permitted Users as set forth in Section 9 of this Agreement.
- (k) CJN shall be responsible for ensuring that its Services and the performance of CJN's other obligations hereunder comply with all laws applicable to CJN, including the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13.

4. Agency Responsibilities.

During the Term of this Agreement, the Agency shall be responsible for the following:

- (a) The Agency shall provide, at no cost to CJN, all communications equipment, telephone and communication lines, power, telephone service and other utilities at the Agency's facilities as may be necessary or reasonably desirable to utilize the Services and accomplish the purposes of this Agreement.
- (b) The Agency shall provide, at no cost to CJN, the necessary personnel and facilities to meet the Agency's obligations hereunder.
- (c) The Agency shall follow the identity management procedures and provide the first-line support, maintenance and other services more fully described in this Agreement and the System Overview and such other procedures and services as the Parties may establish from time to time.
- (d) The Agency agrees that CJN's logos may appear on the pages of the Agency's web site or the Agency's internal criminal justice applications screens.
- (e) The Agency shall be responsible for ensuring that the Agency's use of the Services and the performance of its other obligations hereunder comply with this Agreement and all laws applicable to the Agency.
- (f) As between the Parties, the Agency shall be responsible for the accuracy and completeness of all records and data provided by the Agency in connection with this Agreement for use on CJN's System.
- (g) When accessing or using the CJN System, the Agency shall comply with the Minnesota Government Data Practices Act and other applicable data practices or privacy laws.

5. System Features and Configuration.

The Agency acknowledges and agrees that it will be using criminal justice applications that are also utilized by other criminal justice agencies in the State of Minnesota. The capabilities and functions of the System Software now and in the future will be determined primarily by direction from the CJN Steering Committee and available funding. When settings or features have been added to the System Software that are designed by CJN to be configurable for specific users of the System, the Parties shall work cooperatively to identify System features or functionality (common practices, processes, and procedures conducted by the Agency in day-to-day operations as they relate to utilizing the System Software and Provider Content) that are configurable to best fit the Agency's business practices. CJN shall set available configurations in the System Software for the Agency or shall train designated Agency staff how to configure the Services and System Software.

6. Ownership, Protection and Security.

- (a) The Agency acknowledges and agrees that nothing in this Agreement or any other agreement grants the Agency any licenses or other rights with respect to CJN's Software System (source code or object code) or Services other than the right to receive Services as expressly provided herein. CJN shall retain all ownership in the intellectual property and all other proprietary rights and interests associated with CJN's Software System and Services and all components thereof and associated documentation, except as expressly provided herein.

(b) Ownership of any Agency Data including text, graphics or other information or content materials and all records and databases supplied or furnished or entered into the System by the Agency hereunder for incorporation into or delivery through the application(s) described in the System Overview shall remain with the Agency and CJN shall cease use of all such material upon termination of this Agreement. Upon termination of this Agreement CJN shall return all Agency Data, text, graphics or other information to the Agency.

(c) CJN grants to the Agency a limited license during the term of this Agreement to use and reproduce CJN's trademarks and logos for purposes of including such trademarks and logos in Agency's materials and links solely as permitted hereunder. All uses of such trademarks and logos shall conform to the Agency's standard guidelines and requirements for use of such trademarks and logos.

(d) By storing Agency Data on CJN's equipment and System, CJN does not obtain any ownership interest in Agency's Data except to the extent that CJN is obligated to keep this data intact and secure and to regularly backup the data for redundancy and disaster recovery purposes. As between the Agency and CJN, Agency's Data is and shall remain the sole and exclusive property of the Agency, including all applicable rights to copyrights, trademarks or other proprietary or intellectual property rights thereto.

(e) The Agency shall be responsible for responding to any data practices requests related to any Agency Data that the Agency or its Permitted Users have entered into the System.

7. Implementation.

CJN and the Agency shall complete a mutually agreed-upon implementation plan that includes an access/installation schedule and a System training and testing schedule.

8. Acceptance Testing. Intentionally omitted.

9. Maintenance/Support/Training.

CJN shall provide the Agency and its Permitted Users with technical support and training regarding the use of the Services. The technical support shall include: (i) unlimited telephone, facsimile and e-mail "hot-line" support during CJN's business hours, and (ii) other support set forth in **Attachment B** to this Agreement. CJN shall provide eight (8) hours of user and administrator training to Permitted Users of the Agency on the use of the Services, with individual sessions of not more than two (2) hours in length. The training will occur virtually and be of sufficient detail for a "train the trainer" model of instruction. CJN will provide the Agency with any training materials and documentation it has created for this purpose for use by Permitted Users and the Agency's internal trainers.

10. Identity Management Responsibilities.

(a) User Access Restrictions

The Parties acknowledge and agree that access to the System Software and Services will be restricted to those employees or agents of the Agency having a business need to enter and view Agency Data or Provider Content. The Agency will restrict access to the System to Permitted Users with verified identities that have created a digital identity on the CJN System using the procedures in this Section 10 and **Attachment D** to this Agreement.

(b) Request for Access

The Agency commences the identity authentication process by completing and submitting a Request for CJN System Access Form and an Agency Identification Form electronically in the administration application. The Agency official or employee signing this Agreement cannot be the same person signing the Request for Access Form.

The Request for Access Form and the Agency Identification Form must be signed by two (2) Agency employees; the person initiating the request for access and another person approving the request for access. These signatures may be electronic signatures.

The Agency may authorize one (1) or more persons to initiate the Request for Access Form and one (1) or more persons to approve the Request for Access Form. These authorized persons can be identified by name or by position title. The Agency shall notify CJN of the authorized persons and the Agency shall provide notification of any changes to the list of authorized persons.

(c) Permitted Users Digital Identities

The Agency shall identify each employee or agent who will have access to the CJN Software System or Services by providing user profile data on each person on the Agency Identification Form. CJN staff will verify the identity of the persons signing the Request for Access Form and the Permitted Users listed on the Agency Identification Form. If the Request for Access Form is properly executed, the CJN program will notify verified Permitted Users of the procedures for creating a unique digital identity on the CJN system. After completing the digital identity process, each Permitted User shall be the owner of his or her own digital identity on the System consisting of a user name and password.

The Agency shall promptly notify the CJN program whenever a Permitted User ceases to be an employee or agent of the Agency or no longer holds a position that requires access to the System. Authorization to access the System by all Agency Permitted Users will expire on the date this Agreement terminates.

11. CJN Representations and Warranties.

(a) Dakota County/CJN shall cause the Services to be accessible to the Agency except for scheduled maintenance and required repairs, and except for any interruption due to causes beyond the reasonable control of Dakota County/CJN including, but not limited to, any Force Majeure Event (as defined in Section 19).

(b) Dakota County/CJN warrants that the System Software, Provider Content, and Services will conform in all material respects to the specifications, functions, descriptions, standards, and criteria set forth in this Agreement, its Schedules and attachments, and the applicable specifications and Documentation, not including any modifications or alterations to the Documentation which represent a material change to the functionality of the System Software, Service, or Provider Content; when used on the Equipment in accordance with the Documentation and all of the terms and conditions hereof.

(c) The System Software and Services are compatible with and will operate successfully on the Equipment and CJN will use reasonable efforts to make the System Software and Services function properly with Internet browsers approved by CJN.

(d) In the event that the Agency discovers a non-conformance with any of Dakota County/CJN's warranties or representations as stated in this Agreement, the Agency shall promptly inform CJN in writing and, upon receipt of such notice: (i) Dakota County/CJN shall correct the non-conformity within a reasonable period of time not to exceed 30 calendar days without any additional charge to the Agency, or (ii) in the event that Dakota County/CJN cannot effect such corrections within a reasonable time using best efforts, the Agency may terminate the Agreement and obtain a pro rata refund of the annual fees paid to CJN hereunder, allocable to the period after the termination of this Agreement.

(e) *Termination Option for Chronic Problems.* The Agency may terminate this Agreement during the Paid Term for cause and without penalty by notifying CJN within 10 calendar days following the end of a calendar month in the event either of the following occurs: (1) the Agency experiences more than 10 downtime periods resulting from five (5) or more downtime events during the calendar month; or (2) the Agency experiences more than 48 consecutive hours of downtime due to any single event. Such termination will be effective 30 calendar days after receipt of such notice by CJN. If the Agency terminates this Agreement for such chronic problems, within 30 calendar days CJN shall refund to the Agency on behalf of the Agency a prorated share of the annual fees paid by the Agency for the current year. Downtime as used in this section does not include periods that the System is unavailable due to routine or scheduled maintenance or the installation of upgrades or patches.

(f) THE SERVICE LEVEL WARRANTY SET FORTH HEREIN SHALL ONLY APPLY TO THE SYSTEM PROVIDED BY DAKOTA COUNTY/CJN AND DOES NOT APPLY TO: (A) ANY PROFESSIONAL SERVICES;

(B) ANY SUPPLEMENTAL SERVICES; (C) ANY SERVICE(S) THAT EXPRESSLY EXCLUDE THIS SERVICE LEVEL WARRANTY (AS STATED IN THE SYSTEM OVERVIEW FOR SUCH SERVICES). THIS SECTION STATES THE AGENCY'S SOLE AND EXCLUSIVE REMEDY FOR ANY FAILURE BY DAKOTA COUNTY/CJN TO PROVIDE SERVICE(S).

(g) *Ownership of Services and System Software.* Dakota County/CJN warrants that it is the sole owner or otherwise has the right and authority to provide the System Software, Provider Content and Services to the Agency and Permitted Users as set forth in this Agreement. If Dakota County/CJN's ownership rights are successfully challenged to the extent that the Agency must cease using the Services, CJN shall refund a prorated portion of the annual fees paid by the Agency for the current term of this Agreement as measured from the date the Agency must cease using the Services.

(h) ***No Other Warranty.* EXCEPT FOR THE EXPRESS WARRANTIES SET FORTH IN THIS AGREEMENT, THE SERVICES ARE PROVIDED ON AN "AS IS" BASIS, AND THE AGENCY'S USE OF THE SERVICES IS AT ITS OWN RISK. DAKOTA COUNTY/CJN DOES NOT MAKE, AND HEREBY DISCLAIMS, ANY AND ALL OTHER EXPRESS AND/OR IMPLIED WARRANTIES, INCLUDING, BUT NOT LIMITED TO, WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, NONINFRINGEMENT AND TITLE, AND ANY WARRANTIES ARISING FROM A COURSE OF DEALING, USAGE, OR TRADE PRACTICE. CJN DOES NOT WARRANT THAT THE SERVICES WILL BE UNINTERRUPTED, ERROR-FREE, OR COMPLETELY SECURE.**

(i) ***Disclaimer of Actions Caused by and/or Under the Control of Third Parties.* DAKOTA COUNTY/CJN DOES NOT AND CANNOT CONTROL THE FLOW OF DATA BETWEEN THE POINT THAT THE CJN SYSTEM CONNECTS TO THE INTERNET (WHETHER SECURE OR NOT) AND THE AGENCY'S OFFICE'S FACILITIES AND EQUIPMENT. SUCH FLOW DEPENDS IN LARGE PART ON THE PERFORMANCE OF THE INTERNET SERVICES PROVIDED OR CONTROLLED BY THIRD PARTIES. ACTIONS OR INACTIONS OF SUCH THIRD PARTIES CAN IMPAIR OR DISRUPT THE AGENCY'S OFFICE'S CONNECTIONS TO CJN'S SYSTEM. ALTHOUGH CJN WILL USE REASONABLE EFFORTS IT DEEMS APPROPRIATE TO REMEDY AND AVOID SUCH EVENTS, CJN CANNOT GUARANTEE THAT SUCH EVENTS WILL NOT OCCUR. ACCORDINGLY, DAKOTA COUNTY/CJN DISCLAIMS ANY AND ALL LIABILITY RESULTING FROM OR RELATED TO SUCH EVENTS.**

12. Nondisclosure.

Through exercise of each Party's rights under this Agreement, each Party may be exposed to the other Party's technical and financial information and criminal justice data, in electronic, magnetic, photographic and other forms, that is confidential or private information ("Confidential Information"). In recognition of the other Party's need to protect its legitimate business interests and legal obligations, each Party agrees that it shall regard and treat each item of information or data constituting Confidential Information of the other Party as confidential or private and that, except as required by law including the Minnesota Government Data Practices Act, it will not redistribute or disclose to any other person, firm or entity, or use or modify for use, directly or indirectly in any way for any person or entity any of the other Party's Confidential Information. If Confidential Information is required by subpoena, court order or government requirement to be disclosed, each Party shall give the other Party prompt written notice of such subpoena, court order or government requirement to allow the other Party an opportunity to obtain a protective order to prohibit or restrict such disclosure.

13. Data Security.

During the term of this Agreement, CJN shall, at a minimum, implement the following procedures designed to protect the security of Agency Data:

- (a) User identification and access controls designed to limit access to Agency Data and the Agency's Confidential Information to the Agency's Permitted Users;
- (b) Industry standard firewalls regulating data entering CJN's internal data network from an external source, which will enforce valid secure connections between internal and external systems;

- (c) CJN and Dakota County will maintain and follow a disaster recovery plan designed to maintain access to the System Software and Services and to prevent the unintended destruction of Agency Data or Agency Confidential Information;
- (d) Regular CJN employee training regarding the security and data recovery programs referenced in this Section.

14. Liability Limitations.

(a) **OTHER THAN THOSE WARRANTIES EXPRESSLY SET FORTH IN THIS AGREEMENT, DAKOTA COUNTY/CJN DOES NOT MAKE ANY WARRANTIES TO THE AGENCY OR ANY OTHER PERSON OR ENTITY, EITHER EXPRESS OR IMPLIED (INCLUDING, WITHOUT LIMITATION, ANY WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE) WITH RESPECT TO THE SERVICES PROVIDED HEREUNDER. DAKOTA COUNTY/CJN SHALL NOT BE LIABLE TO THE AGENCY OR TO ANY OTHER PERSON OR ENTITY, UNDER ANY CIRCUMSTANCE OR DUE TO ANY EVENT WHATSOEVER, FOR CONSEQUENTIAL OR INDIRECT DAMAGES, INCLUDING, WITHOUT LIMITATION, LOSS OF PROFIT, LOSS OF USE OR BUSINESS STOPPAGE.**

(b) Under no circumstances shall Dakota County/CJN's total liability to the Agency or any other person or entity, related to the System Software, Provider Content, or performance of Services under this Agreement exceed the aggregate amount of fees and revenue received by CJN hereunder for the prior twelve (12) month period.

(c) Under no circumstances shall Dakota County/CJN, its officers, employees or agents have liability to the Agency, its officers, employees, agents, or any other person or entity, in connection with or related to the performance of transport services pursuant to the Mutual Aid Agreement.

15. Indemnity.

Each Party (the "Indemnifying Party") agrees to defend, indemnify, and hold harmless the other Party against any and all claims, liability, loss, damage or expenses arising under the provisions of this Agreement and caused by or resulting from negligent acts or omissions of the Indemnifying Party or those of the Indemnifying Party's officers, employees or agents. Under no circumstances will the Indemnifying Party be required to pay on behalf of itself and the other Party any amounts in excess of the limits of liability established in Minnesota Statutes Chapter 466 applicable to any one Party. The limits of liability for all Parties may not be added together to determine the maximum amount of liability for either Party. The intent of this paragraph is to impose on each Party a limited duty to defend and indemnify each other subject to the limits of liability under Minnesota law. The purpose of creating this duty to defend and indemnify is to simplify the defense of claims by eliminating conflicts among the Parties. Nothing in this Agreement will be construed as a waiver by either Party of any immunity defenses or other limitations on liability to which either Party is entitled by law. Notwithstanding the above, Dakota County shall indemnify, defend, and hold harmless the Agency and its officers, employees and agents with respect to claims, losses, damages, causes of action and liability of any kind, including court costs, attorneys' fees and expert witness fees ("Claims") to the extent that it is based upon any third party claim that the Services, System Software, Provider Content or Documentation infringes any copyright, patent, trademark, trade secret or other intellectual property right of any third party (an "Infringement Claim").

16. Term and Termination.

(a) Term. This Agreement shall commence on the date executed by both Parties and remain in effect until terminated by either Party as set forth herein ("Term").

(b) Termination.

- (1) Each Party reserves the right to terminate the Free Trial without cause upon 7 calendar days' written notice to the other Party during the 90-calendar-day Free Trial term. If neither Party terminates the Agreement during the Free Trial, the Agreement will automatically continue until terminated pursuant to Section 16(b)(2) or (3).

(2) Following the Free Trial, each Party shall have the right to terminate this Agreement without cause upon 90 calendar days' prior written notice to the other Party. Within 30 calendar days CJN shall refund to the Agency the unused portion of the annual fee paid by the Agency.

(3) Each Party reserves the right to terminate this Agreement immediately if the Services provided hereunder become illegal or contrary to any applicable law, rule, regulation or public policy.

(c) Within 60 calendar days of termination of this Agreement, CJN shall provide the Agency with a copy of all Agency Data contained in Dakota County/CJN's System. Within a reasonable time after providing the Agency Data, CJN shall delete and remove all of the Agency Data from Dakota County/CJN's servers and data storage facilities and shall verify to the Agency that this has been accomplished.

17. Fees and Payments.

(a) *Free Trial.* CJN will provide the eBriefing Application Services to Agency at no cost during the Free Trial, as defined in Section 2 (b).

(b) *Paid Term.* For the Services provided by CJN under this Agreement following the expiration of the Free Trial, as defined in Section 2 (b), the Agency shall pay CJN the fees set forth in **Attachment F** to this Agreement for the types of services it is utilizing. The amount of the Annual User fee will be prorated for the number of months in the current year that access to the application is provided to the Agency. CJN will continue to provide the Agency with the Services and will provide maintenance and support services as described herein, provided the Agency continues to meet its payment obligation in effect for the number of Agency Permitted Users. The Dakota County Board of Commissioners will set the fees for the Services provided herein each calendar year. All fees set by the Board are effective January 1. On or after January 1 of each year, agencies can contact CJN for updated fee information.

(d) Fees for any consulting services provided by CJN that are outside the services that CJN must provide under this Agreement shall be at the rates stated in **Attachment C** to this Agreement.

18. Participation on the CJN Steering Committee.

The CJN Steering Committee provides direction to CJN program staff and Dakota County on the use of CJN funds and upgrades and modifications to the CJN criminal justice applications and System. The Steering Committee consists of representatives from Dakota County and cities located within Dakota County that have committed staff time and financial resources to develop the CJN applications and System. During the Term of this Agreement, the Agency may participate in the CJN User Groups and provide input through those groups; however the Agency will not be a member of the Steering Committee. The Steering Committee will consider suggestions from the User's Group for modifications to or additional functionality of the System Software and Provider Content, although the final decision on changes and additions to the System will be made by the voting members of the Committee.

19. Force Majeure.

Neither Party shall be liable to the other Party for any damages, costs, expenses or other consequences incurred by a Party or by any other person or entity as a result of delay in or inability to deliver any Services or comply with other obligations and responsibilities under this Agreement due to circumstances or events beyond the Party's reasonable control, including, without limitation: (i) acts of God; (ii) changes in or in the interpretation of any law, rule, regulation or ordinance; (iii) strikes, lockouts or other labor problems; (iv) transportation delays; (v) unavailability of supplies or materials; (vi) fire or explosion; (vii) riot, military action or usurped power; or (viii) actions or failures to act on the part of a governmental authority.

20. Miscellaneous.

Assignment. The Parties shall not assign its rights or obligations under this Agreement without the prior written consent of the other party.

Severability. If any provision of this Agreement is held by a court of competent jurisdiction to be contrary to law, such provision shall be changed and interpreted so as to best accomplish the objectives of the original provision to the fullest extent allowed by law and the remaining provisions of this Agreement shall remain in full force and effect.

Waiver and Amendment. No modification, amendment or waiver of any provision of this Agreement shall be effective unless in writing and signed by the Parties. No failure or delay by either Party in exercising any right, power, or remedy under this Agreement shall operate as a waiver of any such right, power or remedy.

Governing Law. This Agreement shall be governed by the laws of the State of Minnesota, and the Parties hereby submit to exclusive jurisdiction in the federal and state courts located in Minnesota for all disputes in connection with this Agreement or the transaction contemplated hereby.

Notices. Except as provided otherwise in this Agreement, all notices and other communications required or permitted hereunder shall be in writing and shall be mailed by United States first class mail, postage prepaid, sent by facsimile or delivered personally by hand or nationally recognized courier. All such notices and other written communications shall be effective one business day after the date of mailing, receipt of confirmed facsimile transmittal or delivery. All notices shall be addressed to the applicable Party at its respective address first set forth above or such other address as may be designated on notice to the other Party pursuant hereto.

Independent Contractors. Dakota County/CJN and its personnel or agents, in performance of this Agreement, are acting as independent contractors and not as employees or agents of the Agency. Under no circumstances will either Party have the right or authority to enter into any contracts or assume any obligations for the other or to give any warranty to or make any representation on behalf of the other.

Electronic Signatures. The parties agree that this Agreement may be electronically signed and that they are bound by the terms and conditions of the Agreement through their electronic signatures. The parties further agree that the electronic signatures appearing on this Agreement are valid, enforceable, and admissible.

[signature page to follow- remainder of page intentionally left blank]

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their respective duly authorized representatives as of the date set forth. This Agreement shall be effective only when executed below by both Parties.

Approved by Corcoran City Council
Resolution No. _____

CITY OF CORCORAN

By _____
Its _____
Date of Signature _____

Approved by Dakota County Board
Resolution No. 07-233

COUNTY OF DAKOTA

By Jean Erickson
Its Deputy County Manager/OMB Division Director
Date of Signature _____

Dakota County Attorney's Office
Dakota County Judicial Center
1560 Highway 55
Hastings, MN 55033
651-438-4438

Approved as to Form:

/s/ Lucie O'Neill 1/13/2021
Assistant County Attorney/Date
#KS-20-451

Dakota Contract # C0033674

ATTACHMENT A

SYSTEM OVERVIEW

The CJN System includes the following applications:

eBriefing: eBriefing is a web application that enables the data entry, viewing, and tracking of police roll call briefing information. Nine categories of data are available and shared between law enforcement agencies. The application includes notifications of situational changes, various levels of security, and advanced auditing.

Search, Preference, Clipboard: The CJN Search application provides criminal justice users the ability to search local databases for briefing, forms, prisoner, warrant and arrest information. Configurable Preferences allow agencies to customize the CJN applications for their personal and agency use. The Clipboard application is the foundation for allowing personnel to enter information once, and then copy data to the CJN Clipboard to re-use that information throughout the criminal justice process.

eForms: eForms is CJN's field based reporting application for law enforcement. It is a web application that enables the data entry, viewing, and tracking of law enforcement forms. Currently, five form types are available to local agencies. The application includes notifications of situational changes, various levels of security, and advanced auditing.

Scheduling: CJN Scheduling provides criminal justice users the ability to electronically create, modify, view, and distribute staff work schedules. Scheduling includes the ability to set agency specific work patterns, work types, teams/groups, and assignment areas for all staff as well as set the agency's schedules for weeks, months, even years in advance.

CJN Integration Hub: The CJN Integration Hub is based on Microsoft's BizTalk integration middleware and is used for the routing of information among CJN partners. Fully deployed, the Integration Hub will link regional criminal justice information systems in Dakota County.

Sheriff's Jail Transportation Management System: The CJN Sheriff's Jail Transportation Management System provides Minnesota sheriff's offices with a software application that coordinates the scheduling of secure transports of persons subject to detention for a criminal offense and of other persons according to a lawful duty or obligation, all as defined and governed by the Mutual Aid Agreement by and between the participating sheriff's offices.

Gun Permit Application for Processing Applications and Renewals and Conducting Background Investigations: The CJN Gun Permit application allows easy processing of permit applications and renewals; including a supervisor work flow module for processing the application and renewal. In addition, CJN's integration hub electronically links criminal justice data of participating CJN partners to allow CJN partners secured, direct access to search and retrieve data in connection with gun permit background investigations as authorized by Minnesota law.

ATTACHMENT B
MAINTENANCE AND SUPPORT SERVICES

CJN shall maintain all CJN applications including related hardware and software hosted by Dakota County.

Support shall include:

1. Unlimited phone support, facsimile and email, including the use of the "CJNSUPPORT" email system available to all users during regular business hours.
2. Regular business hours will be 8:00 a.m. – 5:00 p.m., Monday – Friday.
3. 24x7x365 after hours support for major system failures will be available by contacting CJN Support at 651 438-8348 and following the emergency phone procedures.
4. CJN application staff shall support a 24x7 phone to respond to any and all emergencies.
5. All applications will include the ability to email "CJN SUPPORT" at any time. This email account will be monitored during regular business hours.
6. CJN staff will attend user group meetings that will be held at least annually, but not more than quarterly, to solicit user feedback on system improvements.

ATTACHMENT C
CONSULTING SERVICE HOURLY RATE*

On the effective date of this Agreement, CJN will charge \$150 per hour, including travel time, for consulting services that are outside the scope of this Agreement.

*Hourly rate is subject to increase January 1 of each calendar year as determined by the Dakota County Board of Commissioners.

ATTACHMENT D
TERMS AND CONDITIONS FOR USING THE CJN SYSTEM

When a Permitted User accesses the CJN System for the first time, the user will be presented the information reproduced below. To create a digital identity in CJN System and access the CJN Applications, the Permitted User must read and accept these Terms and Conditions. This language may be displayed to the Permitted User periodically to remind the user of the terms for using the CJN System and to confirm user acceptance of the terms and conditions.

Read this before clicking any buttons on the bottom of this page. You are agreeing to the following Terms and Conditions:

You are requesting access to the CJN System and specific CJN applications over a secure criminal justice network. By clicking on the "I Accept" button below, you are digitally signing this Agreement and creating a digital identity that you own and manage. You are also signifying your agreement with the following:

You will use the CJN System, Services and applications for legitimate business purposes only;

You will not disclose your system password or security question/answer to others;

You will comply with privacy and confidentiality provisions of the Minnesota Government Data Practices Act and other applicable data privacy laws;

You will not access the CJN System if you are no longer employed by or under contract with the criminal justice agency.

By submitting your personal information and clicking the "I Accept" button, you indicate that you have read, understand, and agree to these Terms and Conditions. Your submission of this form will constitute your consent to the collection and use of this information and to the transmission of this information to Dakota County/CJN staff as necessary to provide you with access to the System and Software Applications.

ATTACHMENT E

MINIMUM EQUIPMENT AND HARDWARE SPECIFICATIONS

A Secure Web Browser - Internet Explorer 10 or better or over a secure connection to the internet.

A CJDN Network IP is required to ensure that you are accessing Law Enforcement Data from a secure location.

1024 X 768 resolution or better will provide the best experience.

Keyboard and pointing device. Tabbing can be used to access most functionality, but a Mouse or other point and click device will help speed up navigation in certain instances.

Silverlight and .net Framework 4.0 (for scheduling).

ATTACHMENT F**2021 FEE SCHEDULE***

Fee Description	2021
eForms	
Sign On Fee (per user).....	\$150.00
Annual Fee (per user).....	\$57.00
Annual Hosting Fee.....	\$3,450.50
Countywide eForms Hosting Fee (per user).....	\$44.00
eBriefing (per user).....	\$33.00
Scheduling	
Per Bundle (1 bundle = up to 25 employees)	\$1,061.00
Annual Hosting Fee.....	\$1,061.00
Initial Set-Up Cost (per hour).....	\$106.00
Annual Maintenance Fee.....	20% of initial cost
Training and Consulting (per hour, not included expenses)	\$150.00
Sheriff's Jail Transportation Management System Annual Maintenance and Support Fee (to be paid by the Minnesota Sheriff's Association on behalf of the participating Agency)	
County-Wide Alternative Fee for Search, eBriefing and Gun Permit Applications**:	
Per valid permit to carry issued annually.....	\$1.70

**Under this county-wide alternative fee, a county sheriff's office agrees to subscribe/purchase Search for purposes of performing background checks for permits to carry to access multiple local records systems through CJN. The annual cost paid by the subscribing sheriff's office for Search/eBriefing/Gun Permit Applications is calculated based on the number of permits to carry it issues annually. All local law enforcement agencies within the jurisdiction of the subscribing sheriff's office are also entitled to receive the Search/eBriefing/Gun Permit Applications for no charge upon execution of all appropriate CJN agreements.

*Fees are subject to increase on January 1 of each calendar year as determined by the Dakota County Board of Commissioners.

Certificate Of Completion

Envelope Id: 71EC059911994E6EACB8F768B3BA37EF	Status: Sent
Subject: Please DocuSign: KS20-451 CJN Corcoran PD Services Agreement.pdf	
Source Envelope:	
Document Pages: 16	Signatures: 0
Certificate Pages: 5	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Lenny Schmitz
Time Zone: (UTC-06:00) Central Time (US & Canada)	1590 Highway 55
	Hastings, MN 55033
	lenny.schmitz@co.dakota.mn.us
	IP Address: 207.171.99.1

Record Tracking

Status: Original	Holder: Lenny Schmitz	Location: DocuSign
1/13/2021 3:03:02 PM	lenny.schmitz@co.dakota.mn.us	
Security Appliance Status: Connected	Pool: StateLocal	
Storage Appliance Status: Connected	Pool: Dakota County	Location: DocuSign

Signer Events

Signature

Timestamp

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Jean M. Erickson
jean.erickson@co.dakota.mn.us
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Matt Gottschalk	Sent: 1/13/2021 3:10:19 PM
mgottschalk@ci.corcoran.mn.us	Resent: 1/13/2021 3:44:44 PM
Security Level: Email, Account Authentication (None)	Viewed: 1/14/2021 3:57:31 PM

Electronic Record and Signature Disclosure:
Accepted: 1/14/2021 3:57:31 PM
ID: 7b5ef4e2-38e3-498b-8733-411573a886db

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

John Thames
john.thames@carsoncs.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Carbon Copy Events	Status	Timestamp
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Julie Riverness

Julie.Riveness@CO.DAKOTA.MN.US

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Mary Cervenik

Mary.Cerkvenik@CO.DAKOTA.MN.US

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Witness Events	Signature	Timestamp
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Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
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Envelope Sent

Hashed/Encrypted

1/13/2021 3:10:19 PM

Payment Events	Status	Timestamps
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Electronic Record and Signature Disclosure

ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, Dakota County (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through your DocuSign, Inc. (DocuSign) Express user account. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to these terms and conditions, please confirm your agreement by clicking the 'I agree' button at the bottom of this document.

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At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. For such copies, as long as you are an authorized user of the DocuSign system you will have the ability to download and print any documents we send to you through your DocuSign user account for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of your DocuSign account. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use your DocuSign Express user account to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through your DocuSign user account all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Dakota County:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: bruce.peters@co.dakota.mn.us

To advise Dakota County of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at bruce.peters@co.dakota.mn.us and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in DocuSign.

To request paper copies from Dakota County

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to bruce.peters@co.dakota.mn.us and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Dakota County

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign account, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to bruce.peters@co.dakota.mn.us and in the body of such request you must state your e-mail, full name, IS Postal Address, telephone number, and account number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows2000? or WindowsXP?
Browsers (for SENDERS):	Internet Explorer 6.0? or above
Browsers (for SIGNERS):	Internet Explorer 6.0?, Mozilla FireFox 1.0, NetScape 7.2 (or above)
Email:	Access to a valid email account
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	<ul style="list-style-type: none"> •Allow per session cookies •Users accessing the internet behind a Proxy Server must enable HTTP 1.1 settings via proxy connection

** These minimum requirements are subject to change. If these requirements change, we will provide you with an email message at the email address we have on file for you at that time providing you with the revised hardware and software requirements, at which time you will have the right to withdraw your consent.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

By checking the 'I Agree' box, I confirm that:

- I can access and read this Electronic CONSENT TO ELECTRONIC RECEIPT OF ELECTRONIC RECORD AND SIGNATURE DISCLOSURES document; and
- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify Dakota County as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by Dakota County during the course of my relationship with you.



TO: Corcoran City Council

FROM: T.J. Hofer through Kendra Lindahl, Landform

DATE: January 20, 2021 for the January 28, 2021 City Council Meeting

RE: Wright Hennepin Wetland Waiver at 19835 Larkin Road. (PID 25-119-23-32-0001) (city file 20-048)

REVIEW DEADLINE: March 5, 2021

1. Description of Request

The applicants are requesting a wetland waiver for the property located at 19843 Larkin Road. The application includes a submittal for preliminary plat, variance and administrative permit which is scheduled for a public hearing at the Planning Commission on February 4, 2021 and City Council action on February 25, 2021. The applicant intends to subdivide the existing parcel into one lot and one outlot. No development is planned for the outlot. The wetland waiver must be approved before these other submittals can be processed.

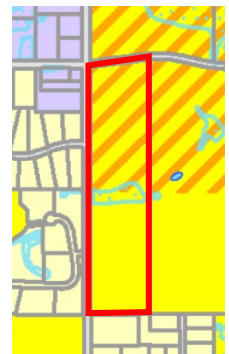
2. Context

Zoning and Land Use

The site is zoned UR (Urban Reserve) and the Comprehensive Plan designates the property as Mixed Residential on the north half and Low Density Residential on the south half.

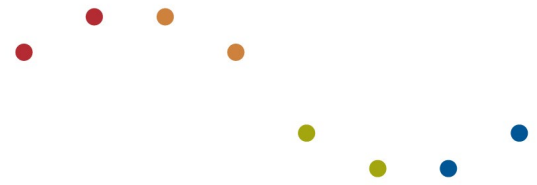
Surrounding Properties

All properties around the site are located within the MUSA (Metropolitan Urban Service Area). The site has numerous surrounding properties. The zoning and future land use are as follows:



Surrounding Properties	Zoning	Future Land Use
North	RMF-2 Mixed Residential	Mixed Residential
East	UR Urban Reserve	Mixed Residential Low Density Residential
South	UR Urban Reserve	Existing Residential
Northwest	UR Urban Reserve	Existing Residential
Southwest	I-1 Light Industrial	Light Industrial





Natural Characteristics of the Site

There are no natural resources identified on the Map 1-7 of the Comprehensive Plan, Natural Resource Inventory Areas. However, the Map 2-1 2040 Future Land Use of the Comprehensive Plan shows a wetland near the middle of the site.

3. Analysis

Staff has reviewed the application for consistency with Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

Wetland Waiver

The City Council has a high level of discretion when reviewing the request. The City has historically allowed wetland waivers for sites where no development is planned and simply deferred the delineation to a later date.

The applicant plans to subdivide the existing parcel into one lot (Lot 1, Block 1) that will be developed in the southeast corner and one outlot (Outlot A) that will remain farmland. The applicant received a notice of decision that there are no wetlands on the proposed Lot 1, Block 1. The applicant is seeking a wetland waiver for Outlot A which is not currently planned for development. A wetland delineation would be required for Outlot A prior to future subdivision or final plat for development.

Staff recommends approval of the wetland waiver on the proposed outlot because no new development is proposed at this time.

Next Steps

If the waiver request is approved, the applicant will proceed with a preliminary plat, variance and administrative permit.

4. Recommendation

Move to adopt Resolution 2021-06 to approve the wetland delineation waiver for Outlot A.

Attachments

1. Resolution 2021-06 approving the Wetland Delineation Waiver
2. Site Location Map
3. City Engineer's Memo dated January 15, 2021
4. Preliminary Plat received January 4, 2021

RESOLUTION NO. 2021-06

Motion By:
Seconded By:

**A RESOLUTION TO APPROVE A WETLAND DELINEATION WAIVER FOR 19835
LARKIN ROAD (PID 25-119-23-32-0001)(CITY FILE 20-048)**

WHEREAS, Wright-Hennepin Cooperative Electric Association (“the applicant”) has requested a waiver from the wetland delineation requirements for a subdivision as allowed in Section 930.020 Subd. 6(B)2 of the Corcoran Subdivision Ordinance for a portion of the property legally described as follows:

See Attachment A

NOW THEREFORE BE IT RESOLVED that the Corcoran City Council approves the wetland delineation waiver based on the following findings and conditions:

1. The applicant is proposing to purchase only the southeast corner of the site for development and the remainder (proposed Outlot A) will continue to be farmed.
2. A wetland delineation exemption for the proposed parcel is granted subject to the following:
 - a. No development is proposed on Outlot A.
 - b. A wetland delineation shall be required prior to issuance of a building permit or future subdivision on proposed Outlot A.
3. Granting the wetland delineation waiver neither grants nor implies approval of any plat or variance.

RESOLUTION NO. 2021-06

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 28th day of January 2021.

Tom McKee - Mayor

ATTEST:

Jessica Beise – Administrative Services Director

City Seal

RESOLUTION NO. 2021-06

Attachment A

The West Quarter of the Southwest Quarter and That Part of the West Half of the Southwest Quarter of the Northwest Quarter Lying South of Larkin Road, Section 25, Township 119, Range 23, Hennepin County, Minnesota.



Hennepin County Natural Resources Map

Date: 1/12/2021



Legend

FEMA Floodplains - 100 Year

- A
- AE FLOODPLAIN
- AH
- AO
- AE FLOODWAY

Wetlands

- Potential Wetland - HCWI
- Probable Wetland - HCWI
- Probable Wetland - NWI

PID: 2511923320001
 Address: 19835 LARKIN RD,
 CORCORAN
 Owner Name: SHAMROCK LAND LLC
 Acres: 38.87

Comments:

1 inch = 800 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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Technical Memo



To: Kendra Lindahl, AICP, City Planner
From: Kent Torve, P.E., City Engineer
Date: January 15, 2021
Subject: CSAH 116 Wright Hennepin Substation information waiver

Wright-Hennepin Cooperative Electric Association submitted plans for the Shamrock Substation along CSAH 116.

- Topography and wetland information will be limited to the area of development
- Drainage patterns are captured by the site information
- City process requires waiver approval by Council, and Engineering needs no information beyond site boundaries.

**CERTIFICATE OF SURVEY
AND
PRELIMINARY PLAT
OF
SHAMROCK ADDITION**

PROPERTY OWNER
Shamrock Land, LLC

DEVELOPER:
Wright Hennepin Cooperative Electric Association
Bryant Tower
P.O. BOX 330
ROCKFORD MN 55373

PROPERTY DESCRIPTION
The West Quarter of the Southwest Quarter and That Part of the West Half of the Southwest Quarter of the Northwest Quarter Lying South of Larkin Road, Section 25, Township 119, Range 23, Hennepin County, Minnesota.

EXISTING PID: 25-119-23-32-0001

PROPERTY ADDRESS: 19835 Larkin Road, Corcoran, MN 55340

PROPOSED AREAS:
Outlot A: 35.50 Acres
Lot 1 Block 1: 2.22 Acres
Road right-of-way: 4.16 Acres

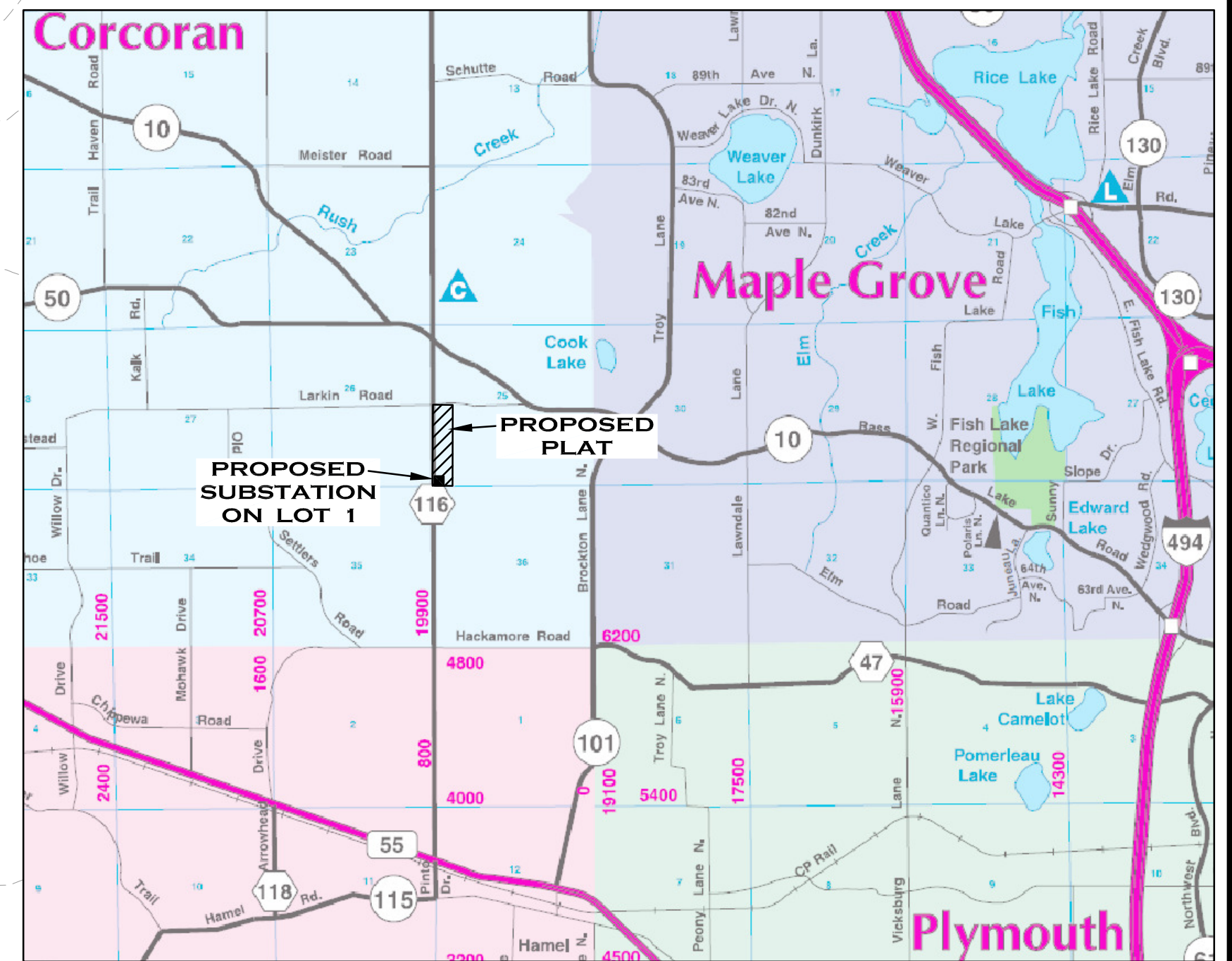
SURVEYOR'S NOTES:

- Matters of record are shown according to Commitment for Title Insurance issued by Stewart Title Guaranty Company, issuing agent Land Title, Inc., Commitment Number 616949, dated August 19, 2020.
- Existing watermain and "Permanent Easement" are shown according to civil construction plans titled "SE CORCORAN 2020 TRUNK WATERMAIN IMPROVEMENTS" by Wenck, Project No. 2294-0040, dated 4/17/2020, revised 09/29/2020. "Permanent Easement". The "Permanent Easement" is not mentioned in Commitment for Title Insurance referenced in Note #1.
- Centerline alignment and right-of-way for Larkin Road are shown according to a historical half-section map provided by the Hennepin County Surveyor's office.

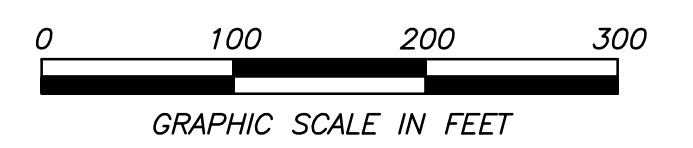
LEGEND

	OVERHEAD UTILITY LINE
	UNDERGROUND ELECTRIC
	UNDERGROUND TEL./COMM
	UNDERGROUND GAS
	UNDERGROUND FIBER OPTIC
	UTILITY POLE
	GUY WIRE
	TEL./COMM RISER
	SIGN
	WATERMAIN
	HYDRANT
	GATE VALVE
	EXISTING GROUND CONTOUR FROM MN DNR LIDAR DATA
	BITUMINOUS SURFACE

VICINITY MAP
NO SCALE



SOURCE: 2013 Hennepin County Highway Map

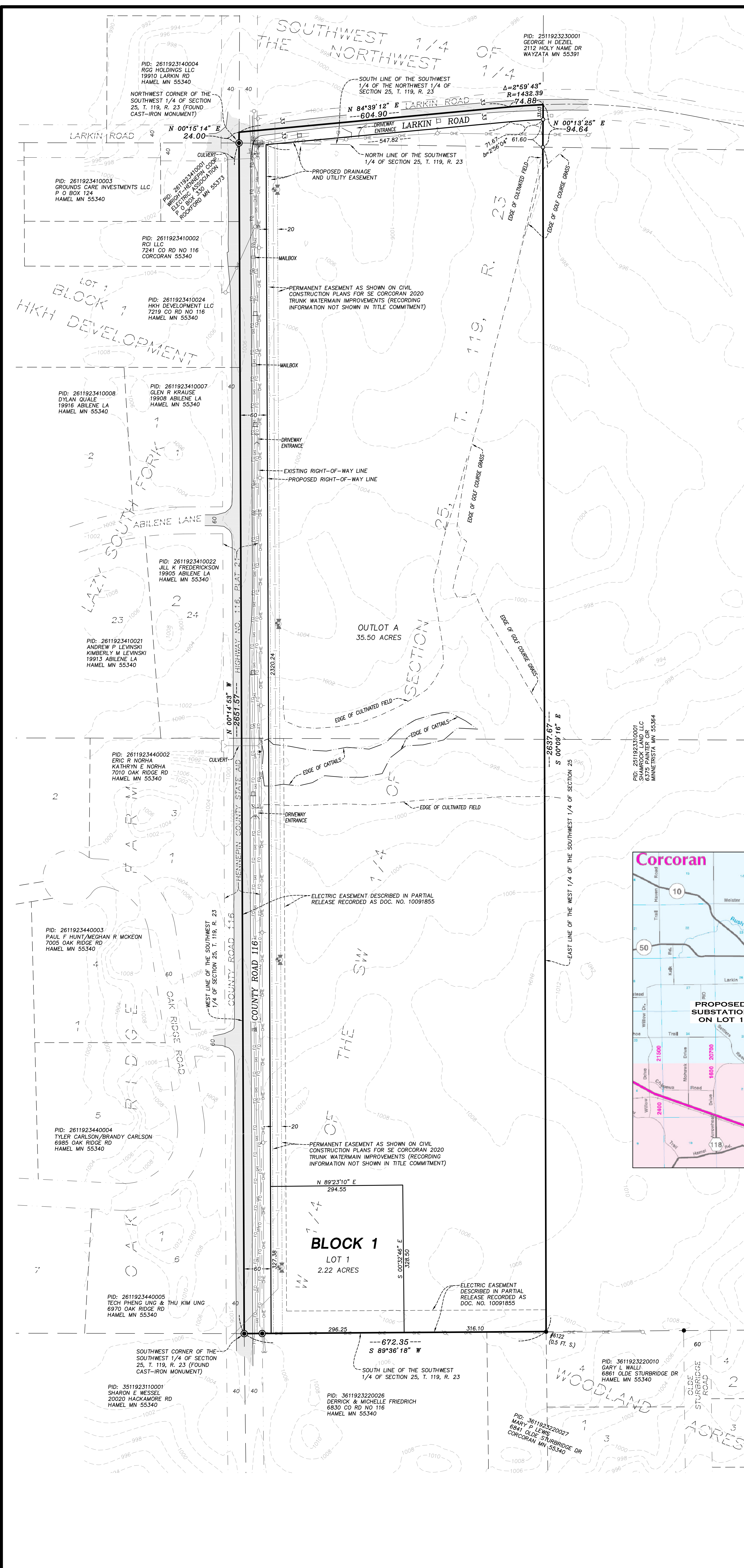


- DENOTES IRON MONUMENT SET
- DENOTES IRON MONUMENT FOUND
- ⊙ DENOTES CAST-IRON MONUMENT FOUND

REVISED 01/04/2020: ADDED SUBSTATION ON VICINITY MAP

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.
Date 12/15/2020 *Abram A. Niemela*
Abram A. Niemela
License No. 48664

 708 1ST AVENUE NE, #1 BUFFALO, MN 55313 PH. 763.682.1781 WWW.MEYERROHLIN.COM		REVISIONS 01/04/20 _____ _____	
		DATE 12/15/2020	
DRAWN BY AAN	BOOK 391 PAGE 74	SHEET 1 OF 1 SHEETS	FILE NO. 20466





TO: Corcoran City Council

FROM: Kevin Shay through Kendra Lindahl, Landform

DATE: January 21, 2021 for the January 28, 2021 City Council Meeting

RE: Request for Metropolitan Agricultural Preserve Expiration for 72.3 acres of land owned by Tom and Ann Schlangen (PID 13-119-23-21-0006) (City File 21-001)

1. Application Request

The landowner is requesting City approval to initiate expiration of the property from the Metropolitan Agricultural Preserves Program.

2. Background

The property is designated as Agricultural Preserve on the 2040 Future Land Use Map and zoned Rural Residential. The parcel is located outside the Metropolitan Urban Service Area (MUSA).

3. Analysis of Request

Recent legislative action was taken which adopted new rules for the Metropolitan Agricultural Preserve Program. A section in State Statute was adopted that allows landowners to request immediate expiration from the program as long as the property has been in the program for 8 years or greater.

The applicant does not want to initiate immediate expiration from the Metropolitan Agricultural Preserve Program with the request. The expiration date will be set 8 years from the date of Council action as January 28, 2029. The owner can initiate immediate expiration at a later date if desired.

4. Recommendation

Move to adopt Resolution 2021-07 approving Notice of Expiration





Attachments

1. Resolution 2021-07 approving Notice of Expiration
2. Aerial Location Map
3. 2040 Land Use Map

RESOLUTION NO. 2021-07

Motion By:
Seconded By:

A RESOLUTION APPROVING A REQUEST FOR METROPOLITAN AGRICULTURAL PRESERVE EXPIRATION FOR 72.3 ACRES OF LAND OWNED BY TOM R. AND ANN L. SCHLANGEN (PID 13-119-23-21-0006) (CITY FILE 21-001)

WHEREAS, Tom and Ann Schlangen are requesting approval of expiration for 72.3 acres of land in one parcel for property legally described as follows:

The east ½ of the northwest ¼ of Section 13, Township 119, Range 23, except the south 310.26 feet of the north 1393.26 feet of the west 800.00 feet thereof and except the west 300.00 feet of the south 370.44 ft of the north 1763.70 feet of said east ½ of the northwest ¼, also except road, Hennepin County, Minnesota

WHEREAS, the below described parcel is located outside of the Metropolitan Urban Service Area (MUSA);

WHEREAS, the owners have submitted notice of withdrawal, which would remove the property from Agricultural Preserve in 8 years;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the notice of withdrawal.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 28th day of January 2021.

Tom McKee - Mayor

ATTEST:

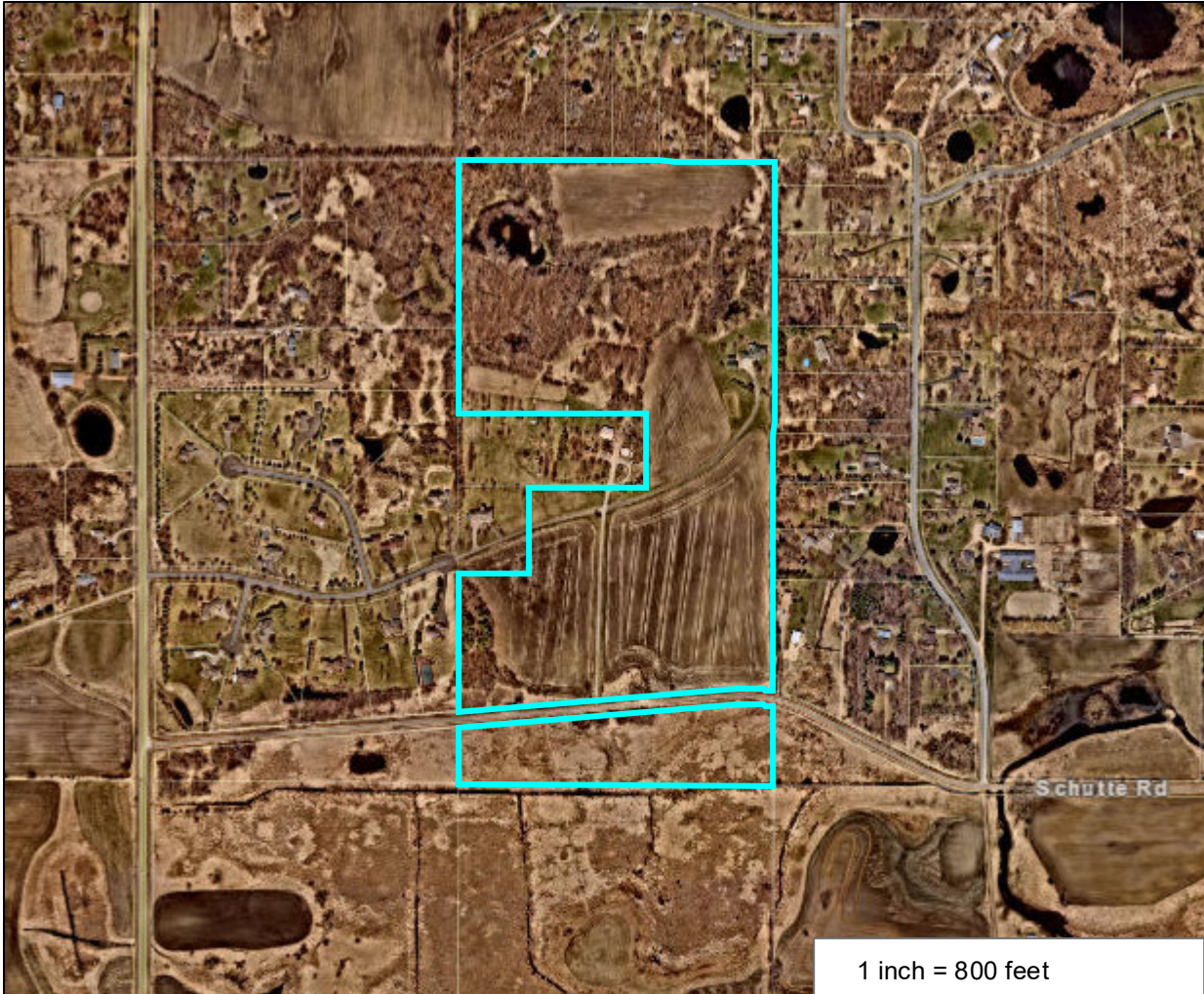
Jessica Beise – Administrative Services Director

City Seal



Hennepin County Property Map

Date: 1/21/2021



PARCEL ID: 1311923210006

OWNER NAME: Tom R Schlangen Et Al

PARCEL ADDRESS: 19550 Schutte Farm Rd,
Corcoran MN 55340

PARCEL AREA: 72.34 acres, 3,151,154 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Farm
HOMESTEAD: Homestead
MARKET VALUE: \$781,200
TAX TOTAL: \$7,553.60

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Farm
HOMESTEAD: Homestead
MARKET VALUE: \$785,000

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.
























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CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 2-1 2040 Future Land Use

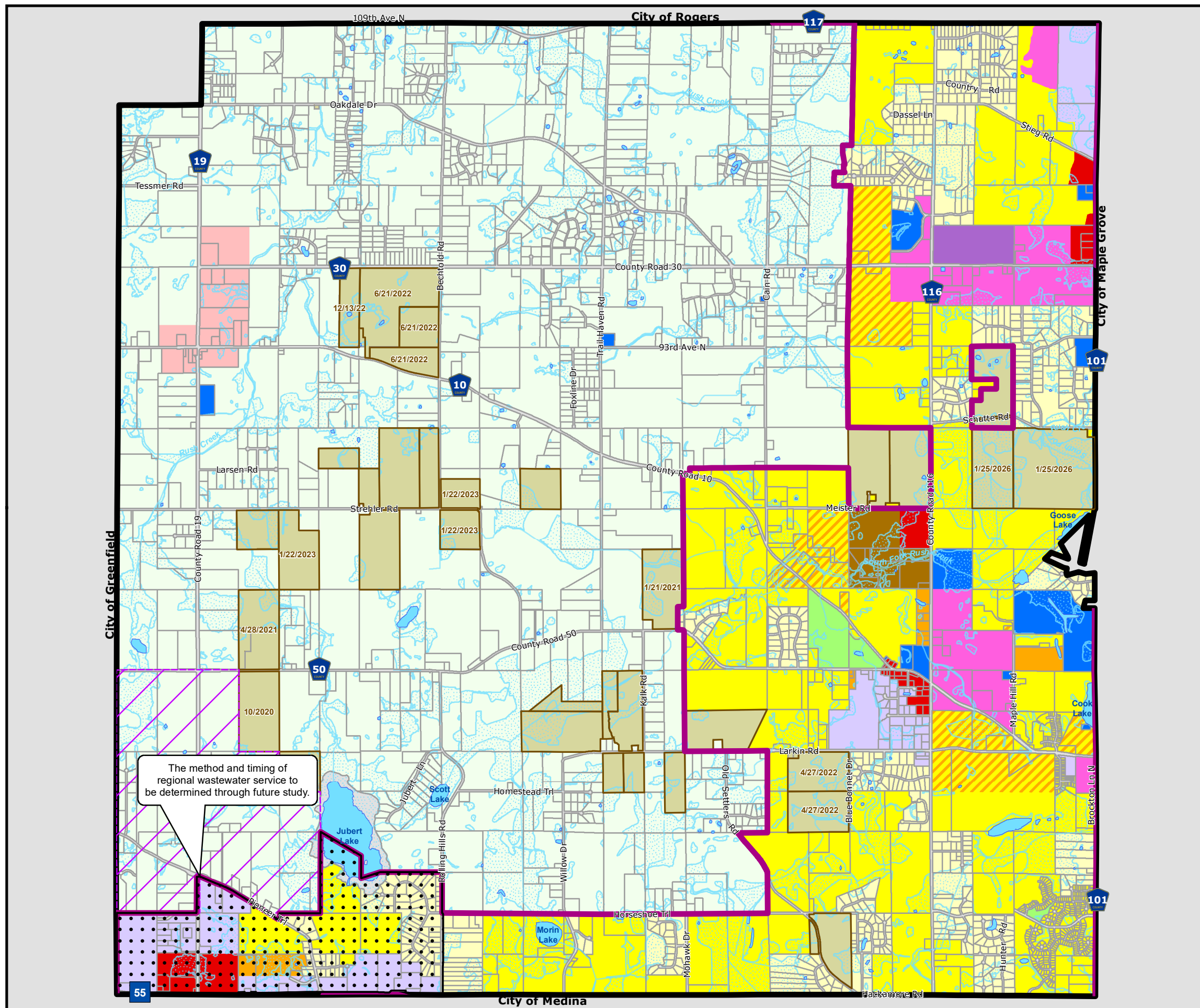
-  Rural/Ag Residential
-  Existing Residential
-  Low Density Residential
-  Medium Density Residential
-  Mixed Residential
-  High Density Residential
-  Rural Service/Commercial
-  Commercial
-  Mixed Use
-  Business Park
-  Light Industrial
-  Public/Semi-Public
-  Parks/Open Space
-  Agricultural Preserve (Date of Expiration)
-  Open Water
-  Municipal Boundary
-  2040 MUSA
-  Future MUSA Expansion Area
-  Future Study Area
-  Parcel Boundaries
-  Streams
-  Lake/Open Water
-  Wetlands

Source:
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



Feet



The method and timing of regional wastewater service to be determined through future study.



TO: Corcoran City Council

FROM: T.J. Hofer through Kendra Lindahl, Landform

DATE: January 20, 2021 for the January 28, 2021 City Council Meeting

RE: Site Plan Amendment and Conditional Use Permit Amendment for Nelson International (PID 01-119-23-41-0001) (city file no. 20-022)

REVIEW DEADLINE: February 20, 2021

1. Description of Request

The applicant, Ryan Nelson, on behalf of Nelson International, submitted a request for an amendment to the approved site plan and conditional use permit for Nelson International at 10409 County Road 101.

2. Background

On September 24, 2020, the City Council approved a site plan, conditional use permit and variance (Resolution 2020-75). The conditional use permit was required as the proposed use, motor vehicle, boat or equipment repair and sales, is a conditional use in the Light Industrial District. A variance was approved to allow for a 50-ft. curb cut where a 32-ft. curb cut is allowed, until the road to the north of the site is constructed.

If the City Council does not approve the Site Plan Amendment and Conditional Use Permit Amendment the applicant will be still able to develop the site consistent with the previous approvals.

3. Context

Zoning and Land Use

The site is guided Light Industrial and zoned I-1 (Light Industrial). The lot was created as part of Bellwether 2nd Addition.

Surrounding Properties

The property to the north is guided Industrial and is zoned I-1 (Light Industrial). The properties to the west and southwest are guided Low Density Residential and are currently zoned PUD (Planned Unit Development) as part of the Bellwether development. The property to the southeast is an outlot of the Bellwether development and is guided Light Industrial and is zoned I-1 (Light Industrial). The property to the east across County Road 101/Brockton Lane is in the City of Maple Grove.





Natural Characteristics of the Site

The property is largely wetlands with the majority of the western part of the lot indicated as “Shallow Open Water” and “Seasonally Flooded Basin or Flat” in the 2040 Comprehensive Plan. The southeast section of the parcel is also indicated as a “Seasonally Flooded Basin or Flat”. The property has trees located along the edge of the large wetland on the west side of the property.

The western part of the property has also been identified as a Cattail Marsh and Maple-basswood Forest on the 2040 Ecologically Significant Natural Areas.

The applicant applied for a wetland replacement plan with the Minnesota Wetland Conservation Act (MWCA) which was approved by the Elm Creek Watershed Management Commission (ECWMC) on November 4, 2020.

4. Analysis

Staff has reviewed the application for consistency with Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer’s comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

A. Level of City Discretion in Decision-Making

The City’s discretion in approving a site plan amendment is limited to whether or not the plan meets the standards outlined in the Zoning Ordinance. If it meets these standards, the City must approve the site plan amendment.

Section 1070.050, Subd.7 of the Zoning Ordinance classifies this amendment as a minor change that may be approved by the Zoning Administrator. However, because this is a significant project in northeast Corcoran staff is presenting it to the City Council for information and action.

B. Consistency with Ordinance Standards

Conditional Use Permit

The site was previously approved for a conditional use permit for a motor vehicle repair and sales use. The conditional use permit amendment would not change the use but would simply be modified to reflect the new site plan. Staff finds that nothing has changed on that would affect the conditional use permit requirements.

Site Plan Amendment

The new site plan has flipped the structure vertically meaning the service bays are now on the south side of the building and the retail area is on the north side of the building. The architectural elements of



the building have been altered slightly to reflect the change in orientation but remain consistent with the approved building plans. Customer parking has been moved to the north side of the site to support the new retail location and the mechanical and trash/recycling enclosures have been moved to the south side of the site. These areas continue to be screened by fencing as approved on the previous version.

The building has been lengthened by 25 feet, which brings the total footprint up to 37,000 sq. ft., where 34,000 sq. ft. was previously approved. The original approvals showed a potential future expansion and the applicant is requesting approval to include part of this expansion with the original approval. This is an approximately 8.8% expansion of the building area and, as noted previously, expansions of 10% or less may be administratively approved.

Lot Analysis

The lot standards that were originally approved have not been altered.

Outside Storage and Sale of Vehicles

The need for outside storage and sale of vehicles has not changed.

Off-Street Loading

The approved plans showed a loading area along the south side of the building. The current plans show the loading area on the northwest corner of the building now. This area still complies with the screening requirements of the Zoning Ordinance.

Fencing

The approved plans showed a 10 ft. privacy fence with 100% opacity along the west side of the parking lot. This provided screening to the residential lots to the west. The current plans still show this fence and have provided details that indicate that the fence will be made of vinyl and secured with concrete footers.

Any fence over seven feet tall requires a building permit. If the site plan amendment is approved, a building permit will still be required for the fence.

A new area on the north side of the building has been labeled, "Equipment." The applicant has indicated that this will be additional mechanical equipment that will be screened with fencing to match the other screening fence on site.

Signage

The original plans show a freestanding sign in the parking lot. The parking space that previously housed the freestanding sign has been converted to a landscaped area to house the freestanding sign. Landscaping has been added around the base of the sign to fill the landscaped area.



Parking

The approved plans provided 95 parking stalls and the proposed plans provide 127 total parking stalls for customer, company, service and overflow parking where a total of 87 parking stalls are required (58 for retail, 18 for warehousing and 11 for auto service).

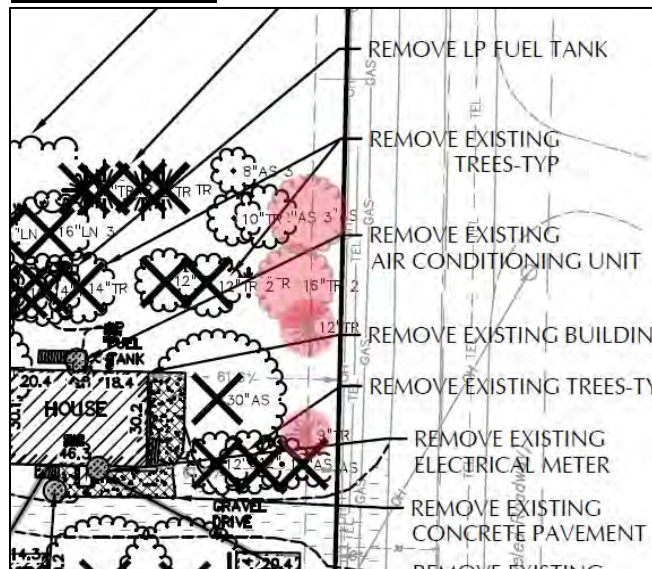
Landscaping

Landscaping remains the same on the site apart from an additional 10 shrubs that are now shown around the freestanding sign.

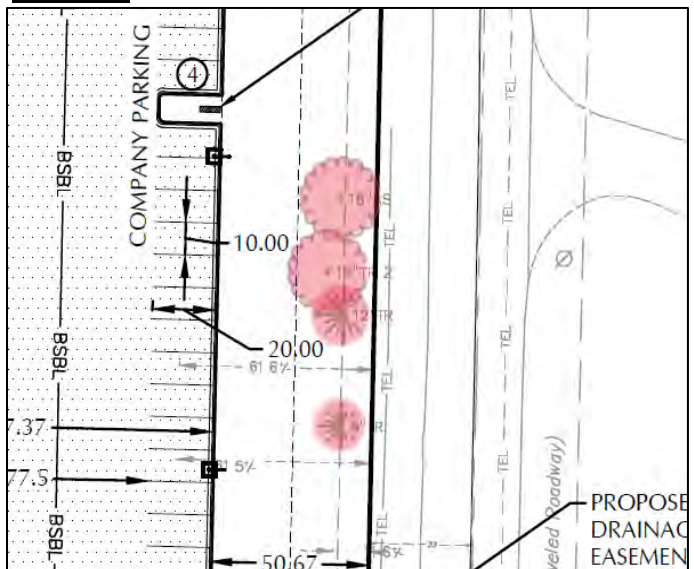
Screening to adjacent neighbors remains the same. No significant changes to the landscaping and fencing on the site has been made that would affect the screening.

The approved plans showed four trees near the existing structures that would be preserved along CR 101, but those trees were erroneously removed by the demolition contractor.

Demolition Plan



Site Plan

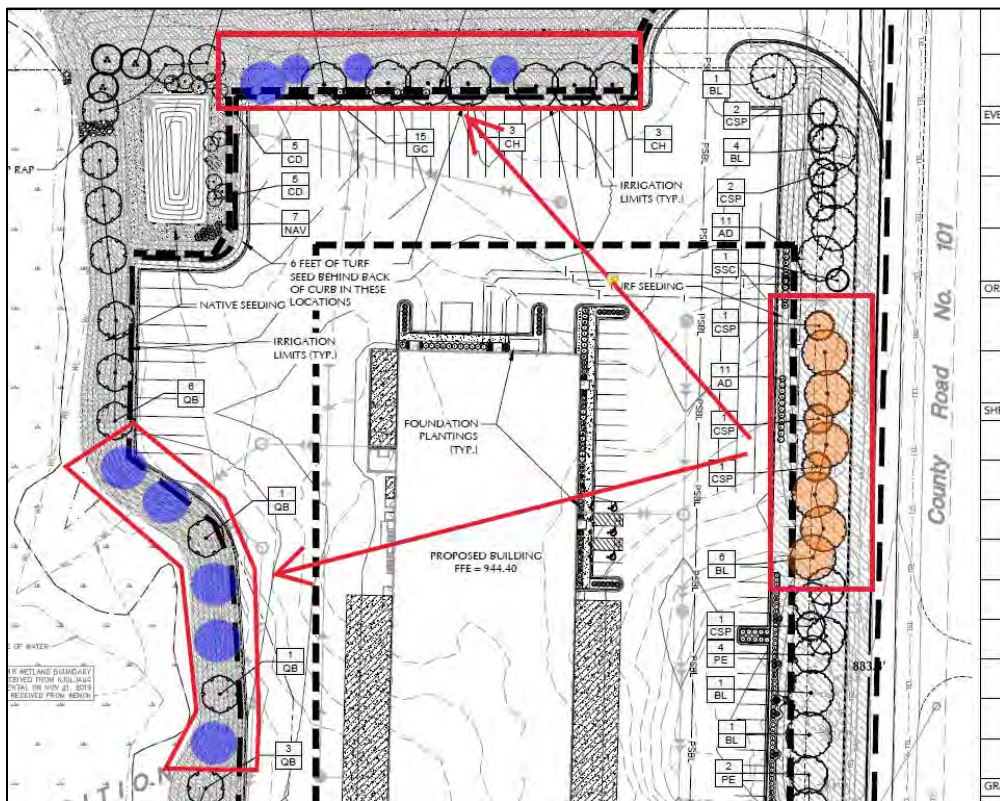


While the City does not have a tree preservation ordinance, when trees are shown to be preserved, they should be preserved. The four trees that were shown to be preserved were:

- 16 in. Ash
- 16 in. unidentified tree with two trunks
- 12 in. unidentified coniferous tree
- Nine in. unidentified coniferous tree

These trees would have provided significant screening of the building from CR 101 and the adjacent campground, especially the coniferous trees. The applicant is aware that these trees should not have been removed. Staff recommends some changes to the landscape plan to replace these larger existing trees with similar sized trees. In order to accomplish this, staff has included a condition in the draft resolution (condition #12) that the landscaping plan be revised in the following ways:

- Move the trees that are part of the landscaping requirement from the east side of the site to the west side of the site. The species of these trees may need to be changed in order to accommodate the new planting site. The exhibit below is meant to show an example of this, not to be a direct recommendation for final placement.



- Six new trees (three deciduous and three coniferous) will be required to be spaded in east of the customer parking in the area where the trees were removed. These trees must be a minimum of six inches diameter at breast height for deciduous trees and 15 to 20 feet tall for coniferous trees. They must be spaded with a 92 in. tree spade. The following tree species are acceptable as they are all species that can be spaded safely:
 - Deciduous
 - Red Maple (*Acer rubrum*)
 - Sugar Maple (*Acer saccharum*)



- Littleleaf Linden (*Tilia cordata*)
- Hackberry (*Celtis occidentalis*)
- Coniferous
 - Blue Hills Spruce (*Picea pungens*)
- The trees that will be spaded in will be adult trees and may not provide screening lower to the ground. A minimum of three understory plantings are required to be intermixed between the trees that are spaded in. These planting must be a minimum of three feet in height and can be of the following species:
 - Witch Hazel (*Hamamelis virginiana*)
 - Chokeberry (*Aronia melanocarpa*)
 - Nannyberry Viburnum (*Viburnum lentago*)

The trees that were removed were large and significant trees to the site. Transplanting trees the size of the trees that were removed would likely lead to the transplanted trees dying. The size of the trees that staff are recommending are more likely to take root and grow to be healthy trees in 10 years.

The Council should review staff's recommendation and modify the recommendation as desired.

Streets/Access

Streets around the site and access to the site have not changed. The City Engineer notes that the final design of the entrance site will be reviewed and approved by Hennepin County.

Utilities

The approved plan had two options to connect to water for the building. The applicant has not been able to come to an agreement with the City of Maple Grove to provide water. The applicant has submitted a watermain plan that shows a connection to an existing private well that ends with a stub for future City connection.

Lighting

The approved plan required the lighting plan to be revised. The plans showed 30 ft. tall lighting where 28 ft. was allowed because of the height of the building (28 ft.). Additional details were also required to show base details. Base descriptions have not been provided.

Parks and Trails

Park dedication was not required as the site was not subdivided.

Wetlands and Environment

There are significant wetlands on site. The wetland delineation has been approved and the plans must be revised to reflect the approved delineation.



The applicant has an approved wetland replacement plan approved by ECWMC for impacts shown on the plan.

The applicant is also applying for an easement vacation to remove the existing drainage and utility easements over the large wetland to the west and replace it with a new drainage and utility easement that covers the wetland, wetland buffer and stormwater ponds as required.

Stormwater Management

Stormwater management issues from the original submittal have been resolved.

Sound Source Plan

The sound source plan has not changed from the approved plans.

5. Conclusions

Staff has reviewed the plans with the applicable standards outlined in the Comprehensive Zoning Plan and Zoning Ordinance and finds that the standards for a site plan amendment and conditional use permit amendment to allow changes to the approved site plan for motor vehicle, boat or equipment repair and sales have been met. The proposed use is the type of use long envisioned for this industrial area of the City.

If the amendments are denied, the applicant would move forward with the previously approved plan.

6. Recommendation

Move to adopt Resolution 2021-09 approving the site plan amendment and conditional use permit amendment.

Attachments

1. Resolution 2021-09 approving Site Plan Amendment and Conditional Use Permit Amendment
2. Engineer's memo dated January 19, 2021
3. Site Location Map
4. Applicant's Narrative received December 22, 2021
5. Site Plans dated December 22, 2021
6. Landscaping Plan dated December 22, 2021
7. Building Plans dated December 22, 2021
8. Elevations dated December 22, 2021
9. Sign Plans dated August 9, 2020

RESOLUTION NO. 2021-09

Motion By:
Seconded By:

**APPROVAL OF SITE PLAN AND CONDITIONAL USE PERMIT AMENDMENT FOR
NELSON INTERNATIONAL (PID 01-119-23-41-0001) (CITY FILE NO. 20-022)**

WHEREAS, Ryan Nelson on behalf of Nelson International is requesting approval of a site plan and conditional use permit amendment for property legally described as follows:

Lot 1, Block 5, Bellwether 2nd Addition

WHEREAS, the City Council granted approval of a site plan, conditional use permit and variance on September 24, 2020 and;

WHEREAS, the building construction has not yet begun, and;

WHEREAS, the applicant is requesting approval of the site plan amendment to modify the approved site plan;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for a site plan and conditional use permit amendment, subject to the following findings and conditions:

1. A site plan amendment and conditional use permit amendment are approved to allow for the construction of a building as shown on application and plans received by the City on December 22, 2020, and additional information received January 25, 2021 and January 18, 2021, except as amended by this resolution.
2. The curb cut variance approved as part of Resolution 2020-75 shall remain. However, all site plan and conditional use permit conditions of approval shall be as outlined in this resolution.
3. Approval of the modification is contingent upon Council approval of the easement vacation and dedication of the new drainage and utility easements.
4. The applicant must comply with the Engineer's Memo dated January 19, 2021
5. No approvals are granted for the future expansion shown on the plans. A new application for a site plan/conditional use permit amendment would be required when the expansion is proposed.
6. A conditional use permit is approved to allow for motor vehicle, boat or equipment repair and sales subject to the following findings:
 - a. Motor vehicle repair and sales are a conditional use in the Industrial zoning district. The use is a conditional use as it requires specific conditions to be met. The applicant will be in compliance with the operations requirements.

RESOLUTION NO. 2021-09

- b. The proposed use will comply with the standards for Motor Vehicle Repair in Section 1040.125, Subd. 4 (C) of the Zoning Ordinance. Specifically:
 - i. All servicing of vehicles and equipment shall occur entirely within the principal structure.
 - ii. To the extent required by State law and regulations, painting shall be conducted in an approved paint booth, which thoroughly controls the emission of fumes, dust, or other particulated matter.
 - iii. Storage and use of all flammable materials, including liquid and rags, shall conform with applicable provisions of the Minnesota Uniform Fire Code.
 - iv. Parking, driveway, and circulation standards and requirements shall be subject to the review and approval of the City and shall be based upon the specific needs of the operation and shall accommodate large vehicle equipment and semi-trailer/tractor trucks.
 - v. The storage of damaged vehicles and vehicle parts and accessory equipment must be completely inside a principal or accessory building.
 - vi. The sale of products other than those specifically mentioned in this Section shall be subject to a separate conditional use permit.

- c. The proposed use will comply with the standards for Motor Vehicle Repair in Section 1040.125, Subd. 4 (D) of the Zoning Ordinance. Specifically:
 - i. All sales shall occur on one lot.
 - ii. Parking areas for the outside storage and sale of vehicles, boats and trailers, shall be on impervious surface, either bituminous, concrete, or approved equivalent.
 - iii. Interior concrete or asphalt curbs shall be constructed within the property to separate driving and parking areas from landscaped areas.
 - iv. All areas of the property not devoted to buildings or parking areas shall be landscaped in accordance with this Ordinance.
 - v. Off-street parking shall be provided for customers and employees in accordance with this Ordinance.
 - vi. Parking for a motor vehicle, boat, or trailer sales shall not be less than 9 feet wide by 18.5 feet in length..

- d. Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
 - i. The proposed building complies with the goals of the Comprehensive Plan. The project establishes the industrial corridor that is guided.
 - ii. The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The use is allowed within the I-1 district.
 - iii. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The subject property is separated from the other uses; however, additional screening is required in the southwest corner of the site to buffer overhead doors and parking from adjacent residential.

RESOLUTION NO. 2021-09

- iv. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - v. Through the private investment of the applicant, the public facilities and services can be reasonably provided.
 - vi. The conditional use conforms to the applicable regulations of the Light Industrial District. The applicant has stated painting will not be a service that is provided, parking, driveway and circulation have been designed to accommodate larger vehicles and all work done on the site and any damaged vehicles will be stored inside a principal or accessory building.
 - vii. Staff has analyzed the performance standards of this Chapter and finds that the building conforms to other standards specified in the Zoning Ordinance.
7. The applicant will install the public watermain, but water service will be provided by a private well until municipal water is available. The land owner will connect to municipal water when available.
 8. The applicant shall connect to municipal sanitary sewer.
 9. Final fence details for screening the equipment and trash or recycling must be submitted for review to show a similar material and color to the privacy fence along the west side of the parking lot and approval by staff.
 10. The applicant shall continue to work with city staff to coordinate landscaping to ensure no future conflict with the planned watermain along County Road 101.
 11. Trees, ponds and other private improvements shall be located outside of the public street easement.
 12. The applicant shall revise the landscaping plan to relocate trees and add trees as part of the restoration plan for the four trees that were approved as part of the tree preservation plan and erroneously removed as part of the demolition work:
 - a. Relocate the plantings to the east of the customer parking to the west and north side of the development as directed by staff.
 - b. Add three six-inch diameter at breast height deciduous trees, spaded with a 92-inch tree spade, east of the customer parking area. The trees must be of the following species:
 - i. Red Maple (*Acer rubrum*)
 - ii. Sugar Maple (*Acer saccharum*)
 - iii. Littleleaf Linden (*Tilia cordata*)
 - iv. Hackberry (*Celtis occidentalis*)
 - c. Add three 15- to 20-foot tall coniferous trees, spaded with a 92-inch tree spade, east of the customer parking area. The trees must be of the following species:
 - i. Blue Hills Spruce (*Picea pungens*)

RESOLUTION NO. 2021-09

- d. Add a minimum of three understory plantings east of the customer parking area. The trees must be of the following species:
 - i. Witch Hazel (*Hamamelis virginiana*)
 - ii. Chokeberry (*Aronia melanocarpa*)
 - iii. Nannyberry *Viburnum* (*Viburnum lentago*)
13. A 76-foot parking setback will be required from the existing north lot line.
14. A building permit is required prior to beginning any work.
15. All signage must comply with ordinance standards. All signs require a permit in order to be constructed and will be reviewed at the time of permit submittal.
16. Sign lighting shall comply with Section 84.04, Subd. 8 of the City Code. The wall sign shall not be lit outside of business hours.
17. Service bay doors must be closed between 9:00 pm and 7:00 am to mitigate noise.
18. The applicant must provide all required drainage and utility easements in recordable form.
19. The applicant must provide a wetland buffer plant maintenance plan for review and approval by staff.
20. The applicant must enter into a stormwater maintenance agreement. The applicant must prepare the document in recordable for review and approval by the City.
21. The developer shall enter into a development contract after plans are revised to address the conditions above and submit a financial guarantee for the proposed work as outlined in Section 1070.050, Subd. 9 of the Zoning Ordinance.
22. The developer shall enter into a license agreement to allow for the use of a private drive on City land along the north lot line. The document must be provided to the City in recordable form for review and approval by the City Attorney.
23. FURTHER, that the following conditions be met prior to issuance of building permits:
 - a. The applicant shall submit any and all necessary permits to Hennepin County for septic system abandonment on site and provide proof of application to the City.
 - b. The applicant shall submit any and all necessary permits to the State of Minnesota for the construction of a well and provide proof of application to the City.
 - c. The applicant shall submit any and all necessary permits to the watershed and receive approval and shall provide proof of permits to the City.
 - d. Record the approving resolution, required easements, development contract and license agreement at Hennepin County and provide proof of recording to the City.

RESOLUTION NO. 2021-09

24. FURTHER, any request to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project landscape architect. A letter signed by the project landscape architect verifying plantings have been corrected and is in compliance with the plans and specifications will suffice.
25. Prior to release of the remaining escrow, the applicant must:
- a. Record the approving resolution at Hennepin County and provide proof of recording to the City.
26. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Thomas, Manoj
- Nichols, Jeremy
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this 28th day of January 2021.

Tom McKee - Mayor

ATTEST:

Jessica Beise – Administrative Services Director

City Seal

Technical Memo



To: Kevin Mattson, PE, Director of Public Works,

From: Kent Torve, PE
Steve Hegland, PE

Date: January 19, 2021

Subject: Nelson International – Plan Review Comments

Exhibits:

Nelson International Plan Set, Revision Dated October 20, 2020, 14 Sheets

Nelson International Stormwater Management Report, Completed by Loucks revised 10-19-20

Comments:

Comments provided are based on a review of the current materials. Comments provided in previous plan reviews are still relevant and shall be incorporated into subsequent approval and offsite drawings.

0.0 General

- 0.1 Comments provided are based on a review of the current materials. The applicant shall provide a comment response letter addressing each of the items below. Additional comments may be provided on future applications.
- 0.2 The final design of the entrance into the site shall be determined at the time of the turn lane design and will be reviewed and approved by Hennepin County.
- 0.3 The details of the monument sign including a foundation plan should be provided to ensure it is outside of the easement and will not restrict access to the watermain.
- 0.4 Normal Water Levels labeled on the plans should be listed as the actual outlet elevation and not the filter elevation. The stormwater model started at the correct elevation but labeled NWL should match.
- 0.5 Internal shop drains outlet location to be verified with the city.
- 0.6 Show the drainage and utility easement for the trunk utilities on the site plan for reference purposes.
- 0.7 Move the EOF's closer to the outlet control structures to ensure they are more accessible via the access maintenance routes.

1.0 Water

- 1.1 Consider changing 3" water service valve to a 4" which is a more standard size.
- 1.2 Relocate GV near hydrant at STA 11+75 to approximately STA 14+50 (North of service connections)

2.0 Wetlands and Permits

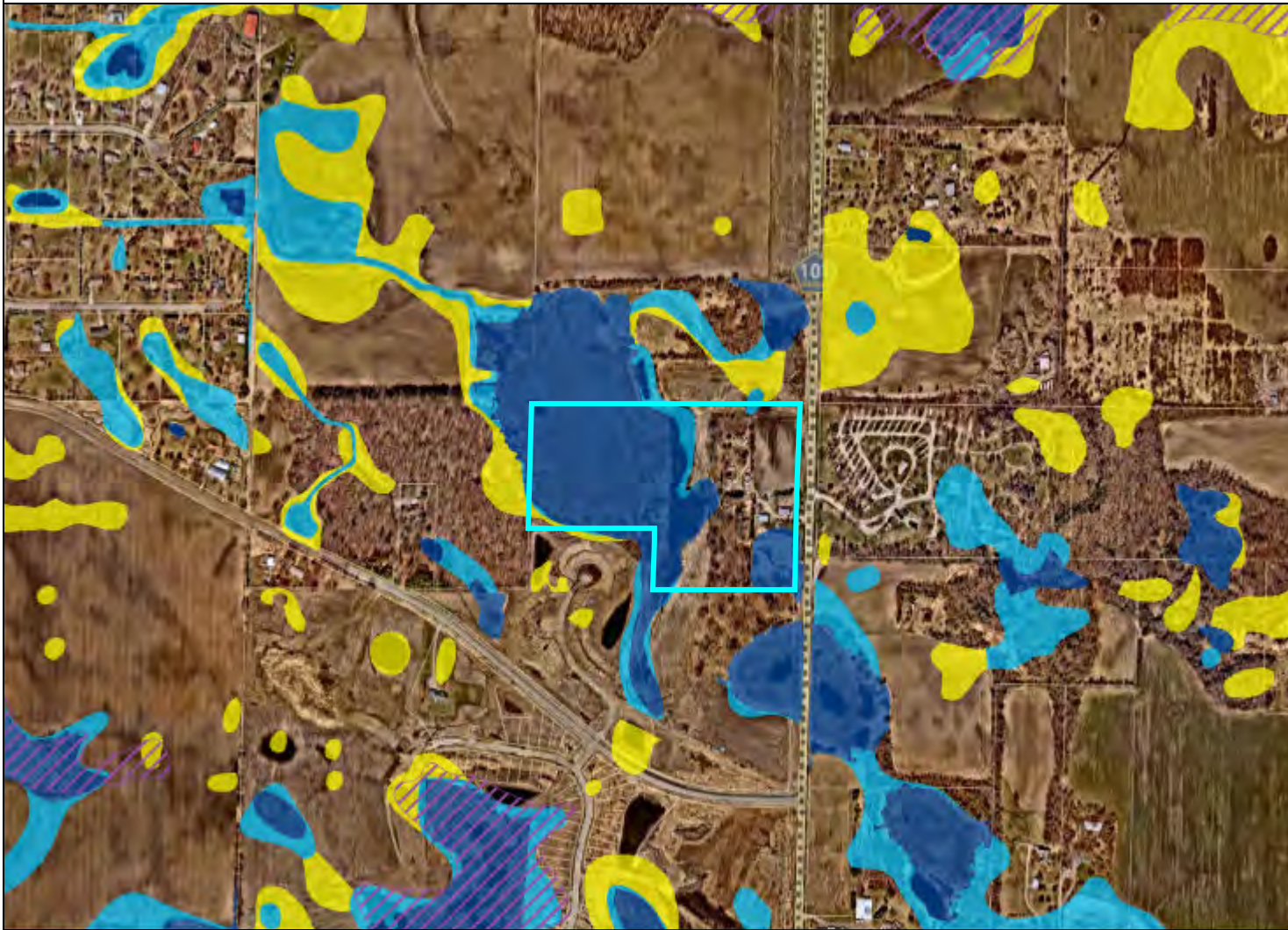
- 2.1 Applicant shall ensure that wetland permits are obtained for the watermain crossing in the SW corner of the site. This is a DNR regulated wetland so applicant shall ensure that this particular improvement is permitted along with any impacts.

End of Memo



Hennepin County Natural Resources Map

Date: 1/12/2021



Legend

FEMA Floodplains - 100 Year

- A
- AE FLOODPLAIN
- AH
- AO
- AE FLOODWAY

Wetlands

- Potential Wetland - HCWI
- Probable Wetland - HCWI
- Probable Wetland - NWI

PID: 0111923410014
 Address: 10405 ELM LA,
 CORCORAN
 Owner Name:
 Acres: 0.43

Comments:

1 inch = 800 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

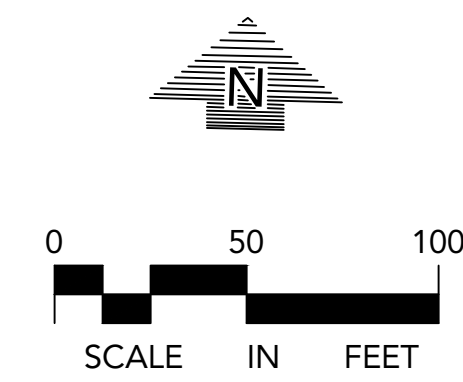
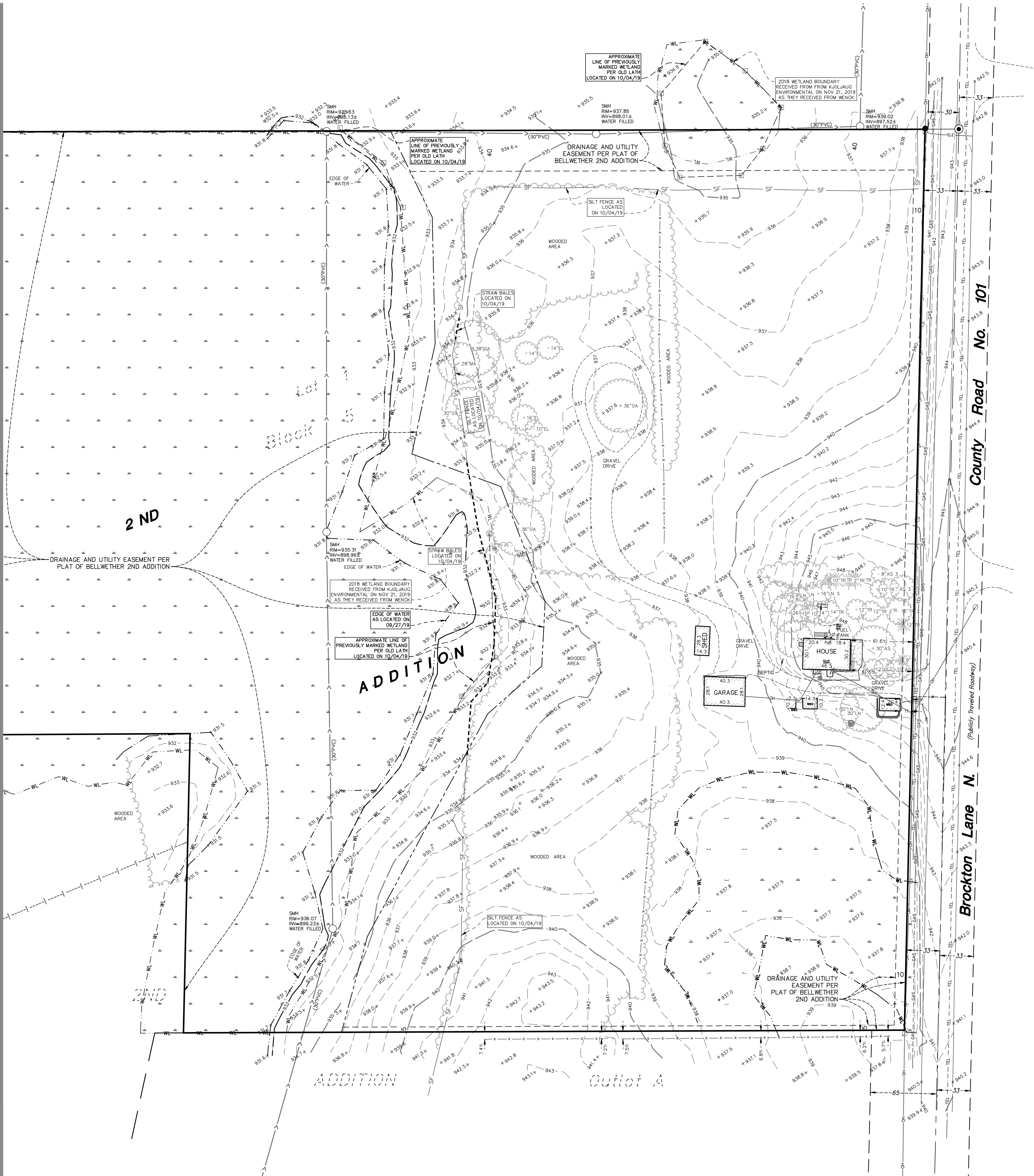
COPYRIGHT © HENNEPIN COUNTY 2021

Nelson International
Site Plan – Minor Amendment

Changes to plans approved on September 24th, 2020 Corcoran City Council meeting include:

- The building was rotated 180 degrees on site to improve site traffic flow.
- The length of the building has increased 25 feet.
 - Previous footprint area: 34,000 sf, New footprint area: 37,000 sf = 8.8% increase.
- The future expansion area decreased by 25 feet.
- Building interior layout was adjusted. Most notable is 25 feet added to office area.
- Exterior renderings included to help visualize the proposed landscaping.
- Parking lot curb adjusted to meet easement requirements.
- A parking stall has been converted to a landscape island for the freestanding sign.
- Retention ponds were modified to meet City Engineer Department requirements.
- Drainage and utility easements have been added to plans.
- Changes to Utility Plan in accordance with City Engineer Department notes.
- Two Watermain Plans have been added.
- Details added and modified to meet resolution items, including:
 - Retention pond and filtration bench
 - Site lighting base detail
 - 10-foot-tall screening fence
- Landscape plan has been updated.
- Additional fence details are included in this packet. It is understood that a sign permit will be required for signs over 7 feet in height.
- It is understood that the lighting plan will need to clearly show the foot-candle measurements across the entire property to the property line or centerline of a public street.

Plotted: 12/23/2020 2:24 PM W:\2019\19758\CADD DATA\CIVIL.dwg Sheet: File: C1-1 EXISTING CONDITIONS



NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS
FROM A BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED BY LOUCKS, DATED DECEMBER 13, 2019.

LEGEND

- | | | | |
|--|------------------------|--|-------------------------|
| | CATCH BASIN | | STORM SEWER |
| | STORM MANHOLE | | SANITARY SEWER |
| | SANITARY MANHOLE | | WATERMAIN |
| | SANITARY SERVICE | | UNDERGROUND ELECTRIC |
| | HYDRANT | | UNDERGROUND FIBER OPTIC |
| | GATE VALVE | | UNDERGROUND GAS |
| | FIRE CONNECTION | | CHAIN LINK FENCE |
| | BENCH | | CONCRETE CURB |
| | ELECTRIC OUTLET | | RETAINING WALL |
| | ELECTRIC METER | | CONCRETE |
| | ELECTRIC TRANSFORMER | | PAVERS |
| | FLAG POLE | | NO PARKING |
| | FLARED END SECTION | | EXISTING BUILDING |
| | GAS METER | | CONTOUR |
| | GUARDPOST | | SPOT ELEVATION |
| | HAND HOLE | | WETLAND |
| | LIGHT POLE | | CONIFEROUS TREE |
| | GAS METER | | PI PINE |
| | ROOF DRAIN | | SP SPRUCE |
| | SIGN | | DECIDUOUS TREE |
| | UTILITY MANHOLE | | AS ASH |
| | YARD LIGHT | | BI BIRCH |
| | DISABLED PARKING STALL | | FR MISC. FRUIT |
| | CATCH BASIN | | LO LOCUST |
| | SMH SANITARY MANHOLE | | MA MAPLE |
| | STMH STORM MANHOLE | | OA OAK |
| | TC TOP OF CURB | | TD TREE (GEN) |
| | THSD ELEV @ THRESHOLD | | |
| | TNH TOP NUT HYDRANT | | |

NOTE:
THIS PLAN IS A GRAPHICAL REPRESENTATION OF THE EXISTING CONDITIONS. THE FULL SURVEY IS
SHOWN ON THE BOUNDARY & TOPOGRAPHIC SURVEY DATED 12/13/2019.

**NELSON
INTERNATIONAL**

10409 CO RD NO 101
CORCORAN, MN 55311

**MARCUS
CONSTRUCTION**

2580 HWY 12 E
WILLMAR, MN 56201

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

05/19/2020	CITY SUBMITTAL
07/13/2020	REV. CITY SUBMITTAL
08/17/2020	REV. CITY SUBMITTAL
12/14/2020	REV. CITY SUBMITTAL
12/28/2020	REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE

QUALITY CONTROL

Locks Project No.	019758.OA
Project Lead	VJV
Drawn By	MJS
Checked By	VJV
Review Date	10/07/2020

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP DETAILS
C4-1	UTILITY PLAN
C4-2	WATERMAIN PLAN
C4-3	WATERMAIN PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

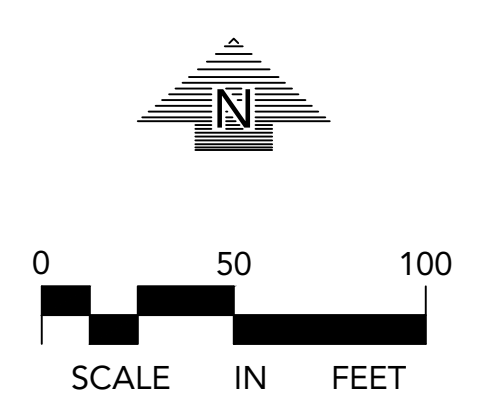
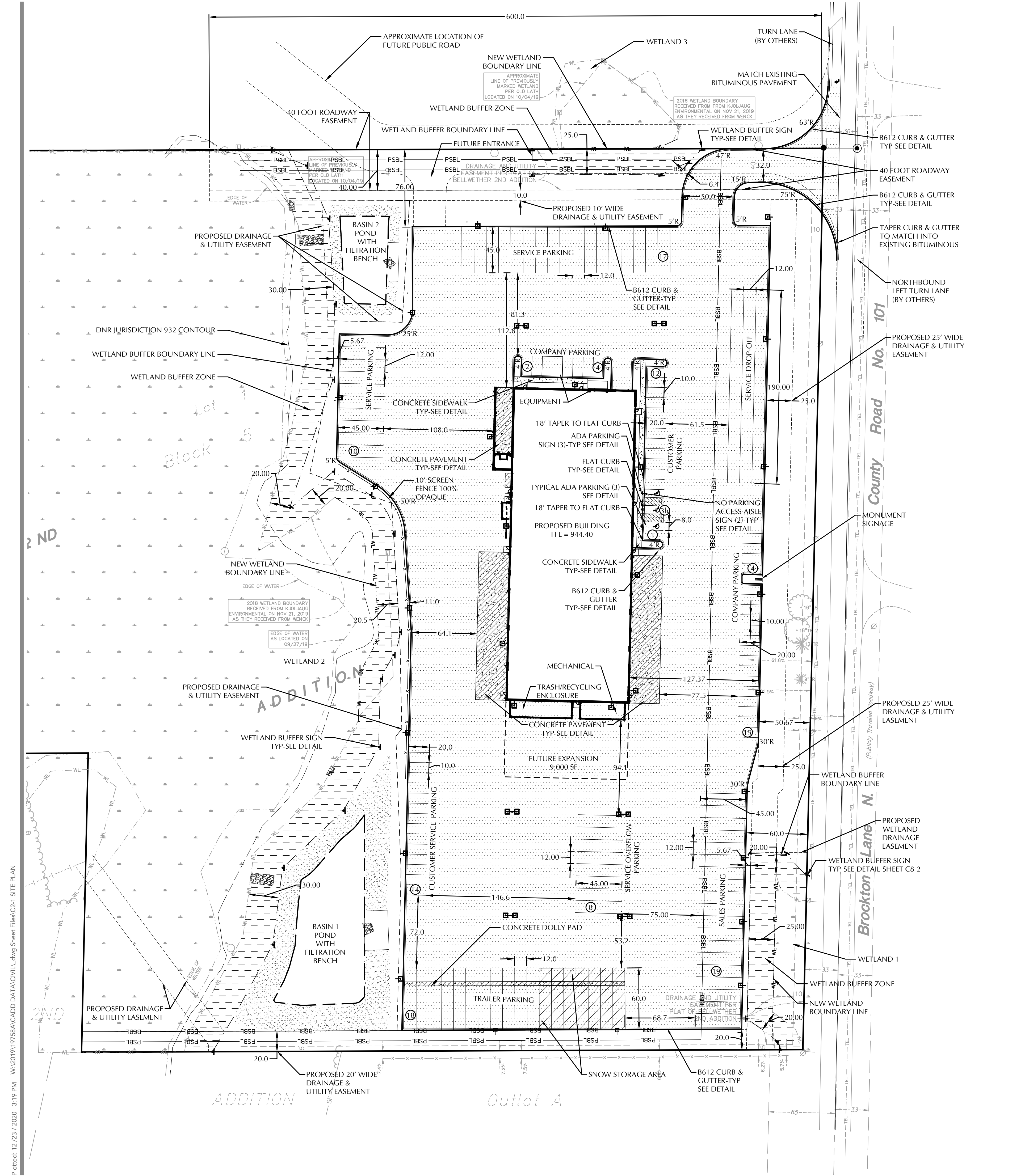
WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**EXISTING
CONDITIONS**

C1-1



NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS
FROM A BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED BY LOUCKS, DATED DECEMBER 13, 2019.

SITE DATA

TOTAL PROPERTY AREA:	22.42 AC
DISTURBED AREA:	9.48 AC
EXISTING IMPERVIOUS AREA:	0.38 AC
PROPOSED IMPERVIOUS AREA:	6.58 AC

BUILDING SETBACKS:	FRONT	100 FT MINIMUM
	SIDE	20 FT MINIMUM
	REAR	20 FT MINIMUM

PARKING SETBACKS:	FRONT	100 FT MINIMUM
	SIDE	20 FT MINIMUM
	REAR	20 FT MINIMUM

PARKING TOTAL:	87 COMPANY, CUSTOMER, SERVICE AND OVERFLOW STALLS
	37 SALES AND TRAILER PARKING
	3 ACCESSIBLE STALLS
	127 TOTAL STALLS

DEVELOPMENT SITE OPEN SPACE REQUIREMENT CALCULATION

TOTAL SITE	= 22.42 AC
OPEN SPACE REQUIRED FOR TOTAL SITE	= 6.73 AC
OPEN SPACE PROVIDED FOR TOTAL SITE	= 15.22 AC

SITE NOTES

- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- TYPICAL FULL SIZED PARKING STALL IS 10' X 20' UNLESS OTHERWISE NOTED.
- ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

SIGNAGE AND STRIPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SIGNAGE AND STRIPING AS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL PAINT ALL ACCESSIBLE STALLS, LOGOS AND CROSS HATCH LOADING AISLES WITH WHITE PAVEMENT MARKING PAINT, 4" IN WIDTH.
- CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS, AS SHOWN, IN WHITE PAINT.
- ALL SIGNAGE NOT PROTECTED BY CURB, LOCATED IN PARKING LOT OR OTHER PAVED AREAS TO BE PLACED IN STEEL CASING, FILLED WITH CONCRETE AND PAINTED YELLOW. REFER TO DETAIL.
- ANY/ALL STOP SIGNS TO INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT, PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK IF APPLICABLE. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO CURB.
- ALL SIGNS TO BE PLACED 12" BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

WETLAND DATA

WETLAND 1

25' WETLAND BUFFER REQUIRED:	5,675 SF
WETLAND BUFFER PROVIDED:	5,871 SF

WETLAND 2

25' WETLAND BUFFER REQUIRED:	28,321 SF
WETLAND BUFFER PROVIDED:	28,450 SF

WETLAND 3

25' WETLAND BUFFER REQUIRED:	3,725 SF
WETLAND BUFFER PROVIDED:	3,762 SF

WETLAND BUFFER

CIVIL LEGEND

EXISTING	PROPOSED

PAVEMENT TYPES

	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT

NOTE:
SEE PAVEMENT SECTIONS ON SHEET C8.1 FOR TYPE AND DEPTH INFORMATION.

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Vicki J. Van Dell - PE

QUALITY CONTROL

License No.	41352
Date	10/07/2020
Locks Project No.	019758.0A
Project Lead	VJV
Drawn By	MJS
Checked By	VJV
Review Date	10/07/2020

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP DETAILS
C4-1	UTILITY PLAN
C4-2	WATERMAIN PLAN
C4-3	WATERMAIN PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

SITE PLAN
C2-1

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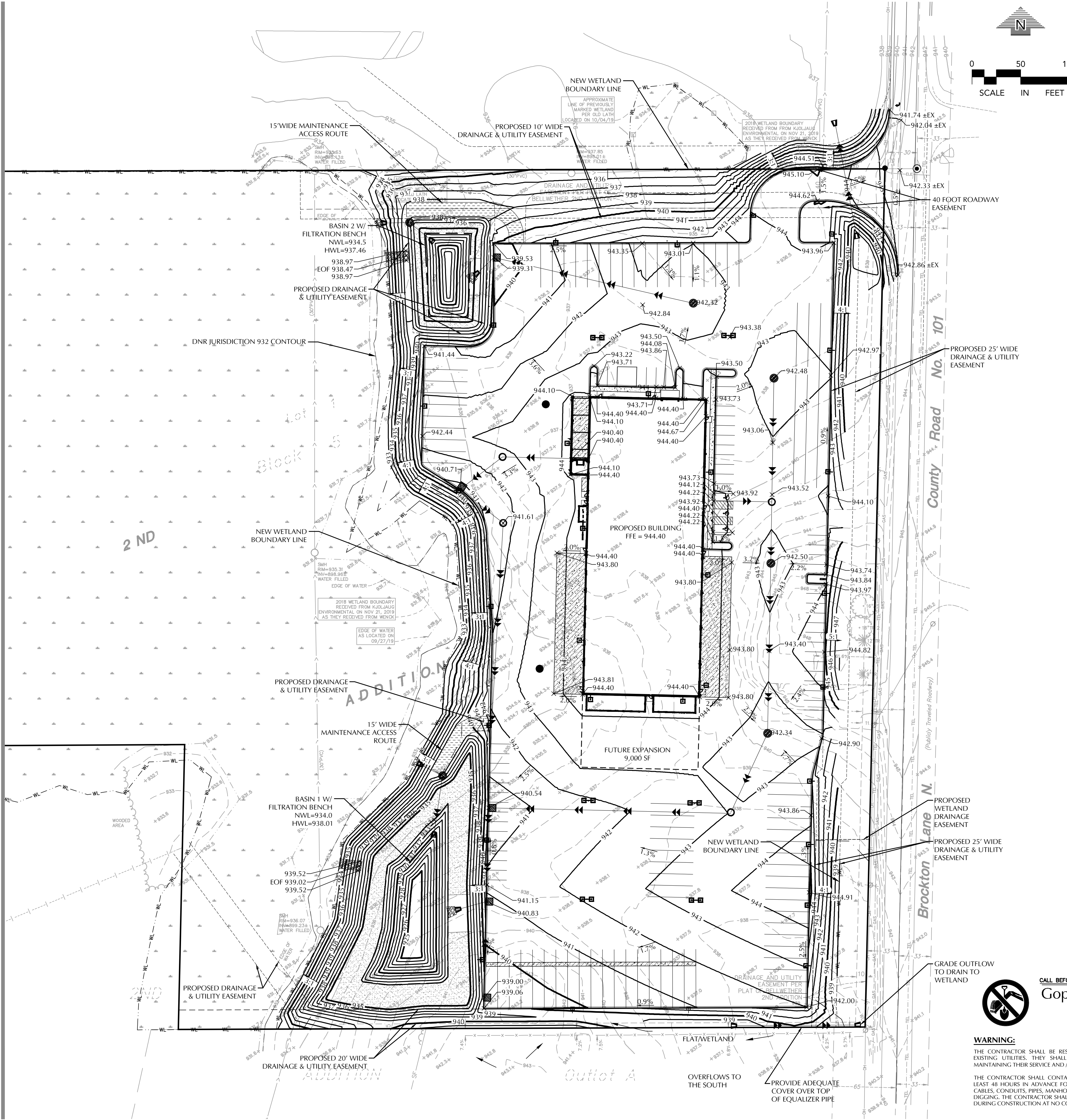
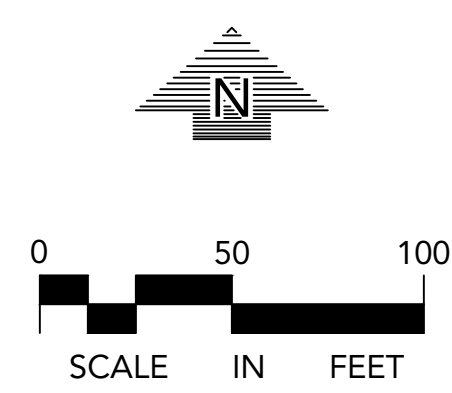
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Loucks Project No. 019758.0A
Project Lead VJV
Drawn By MJS
Checked By VJV
Review Date 10/07/2020

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C8-2	CIVIL DETAILS
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L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

GRADING
PLAN

C3-1



GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- REFER TO THE GEOTECHNICAL EXPLORATION REPORT (REPORT NO. 20-22378), DATED APRIL 15, 2020 AS PREPARED BY AMERICAN ENGINEERING TESTING INC. FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, SANITARY SEWER, AND STORM SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- COMPACT SOIL WELL FOR BASIN AREAS BELOW FILTRATION BENCH.



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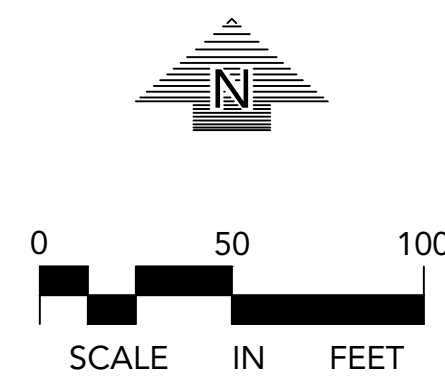
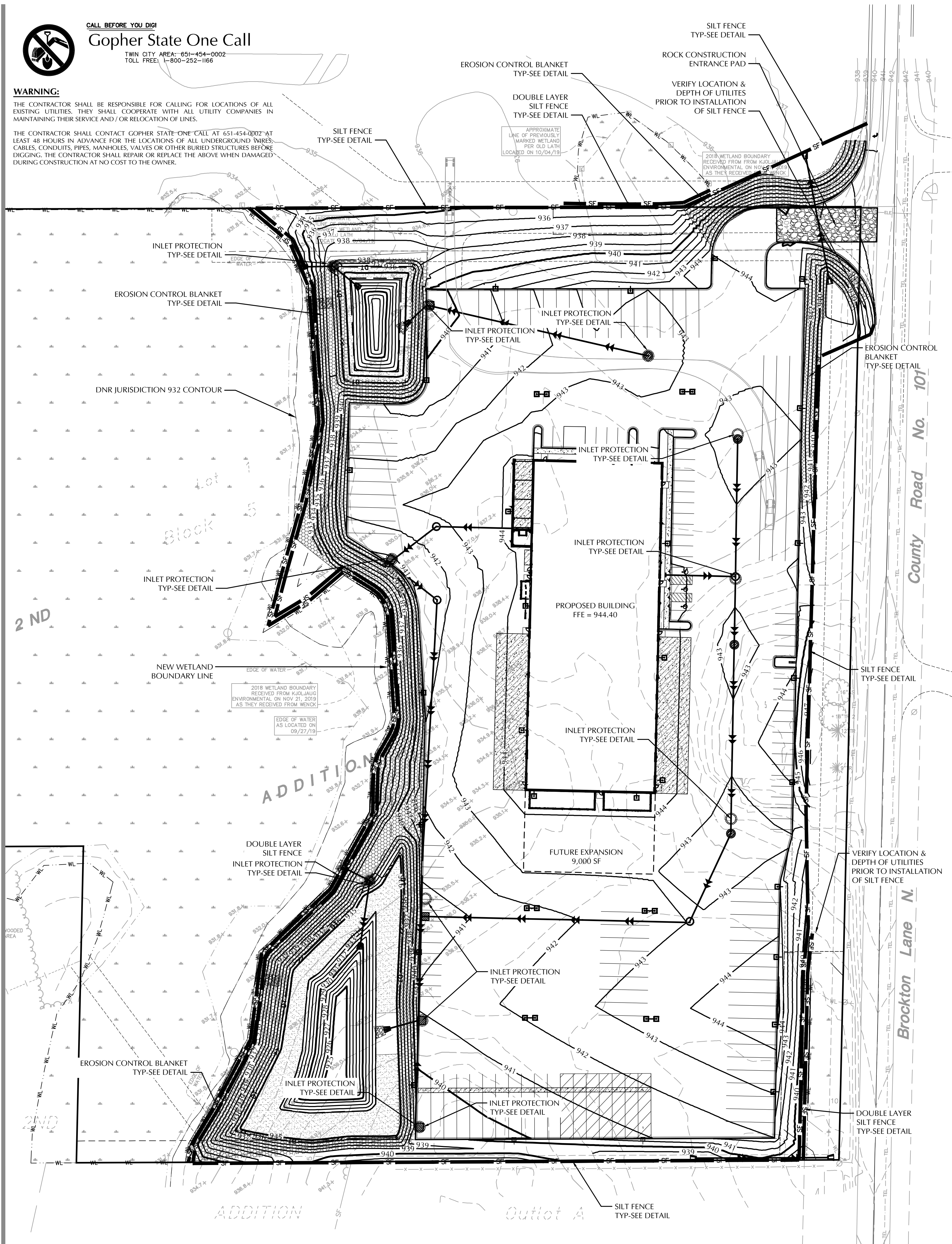


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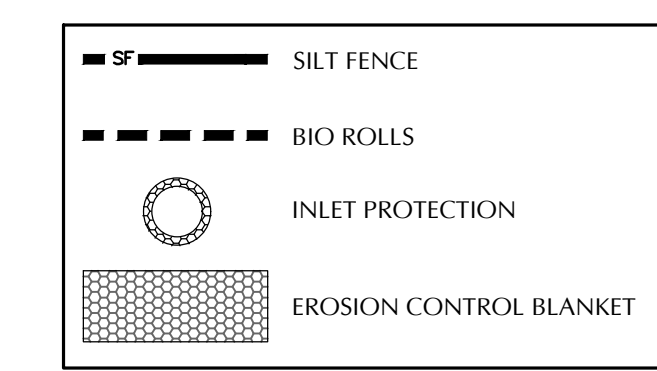


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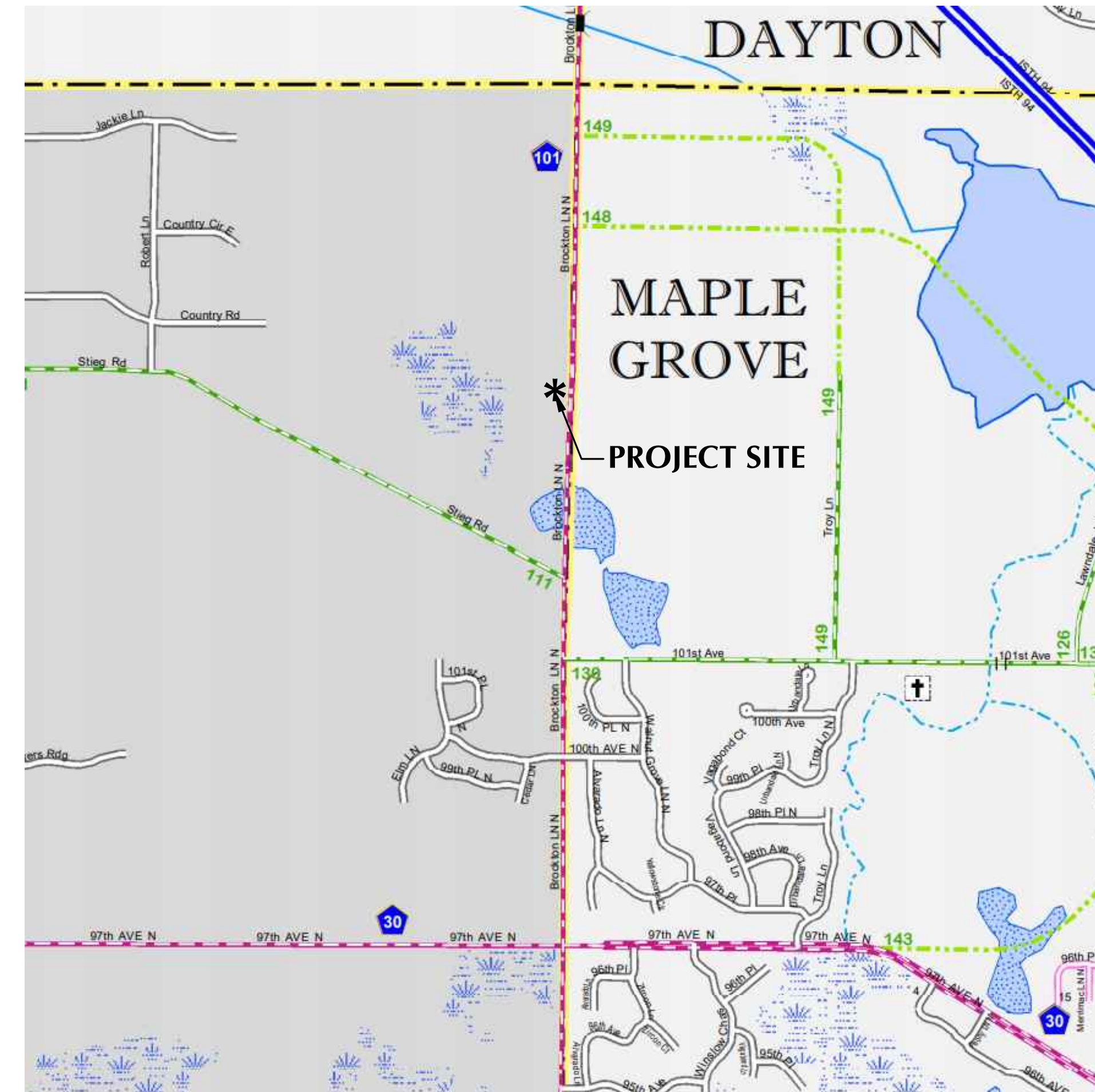
ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
PREFABRICATED CONCRETE WASHOUT	EA	NA
SILT FENCE (STANDARD)	LF	±4,440
EROSION CONTROL BLANKET	SY	±5,910
INLET PROTECTION	EA	11
BIOROLLS	LF	NA

SWPPP LEGEND

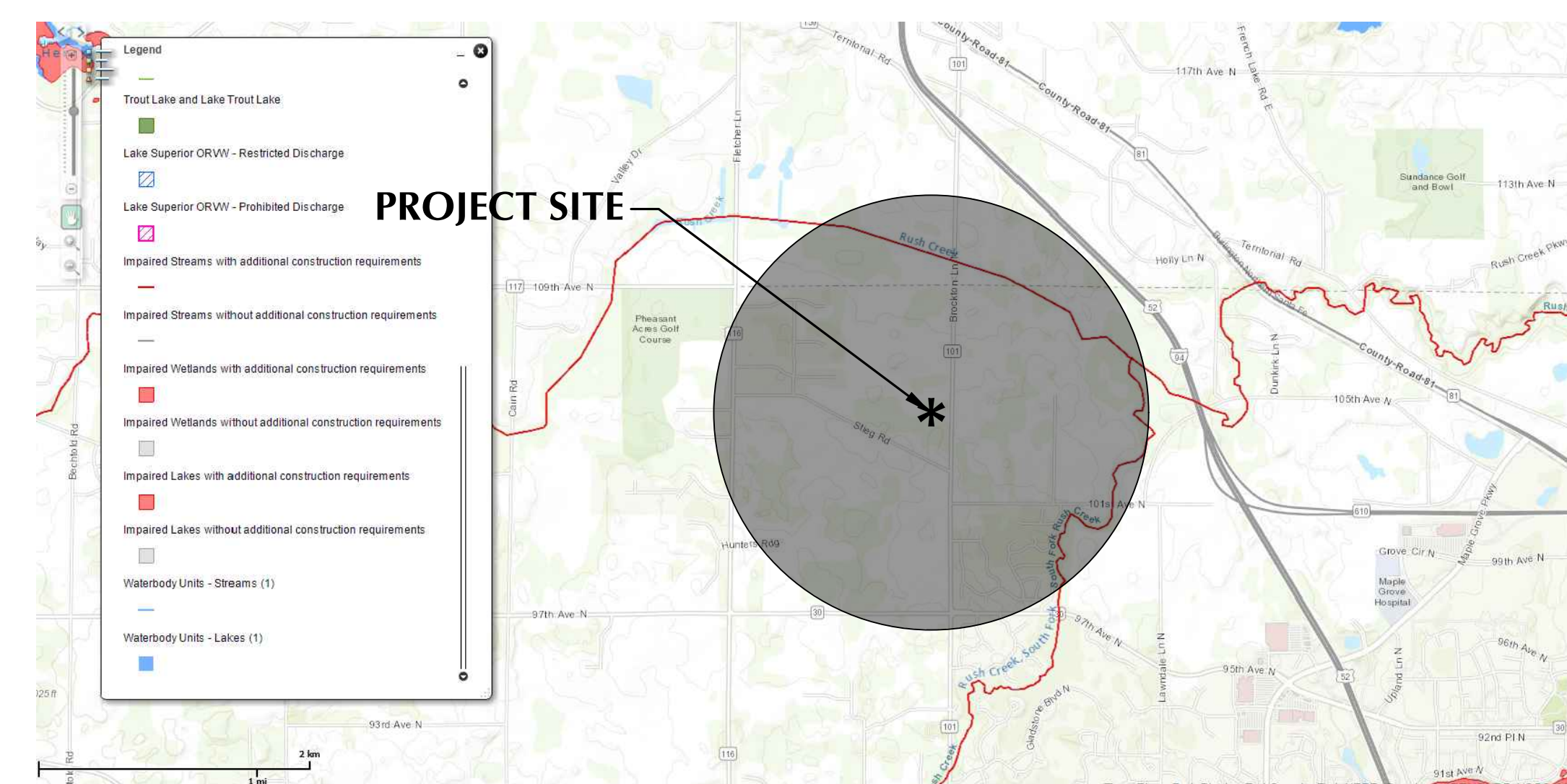


SITE VICINITY MAP



NOTE:
 SEE SHEET 3-3 FOR SWPPP NOTES.

CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP



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Loucks Project No. 019758.0A
 Project Lead VJV
 Drawn By MJS
 Checked By VJV
 Review Date 10/07/2020

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C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

**SWPPP
 C3-2**

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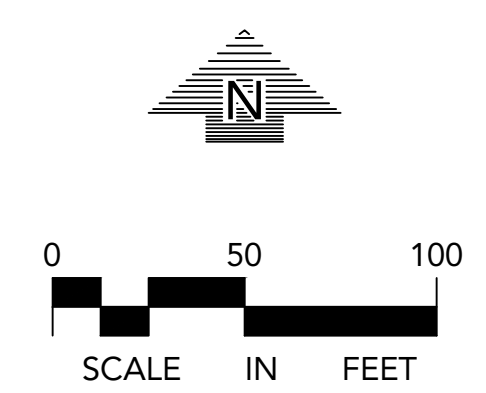
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Loecks Project No. 019758.0A
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C8-2	CIVIL DETAILS
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L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

UTILITY PLAN

C4-1



UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), LATEST EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE SCHEDULE 40 PVC. ALL SANITARY SEWER STRUCTURES WHICH NEED TO BE RAISED SHALL HAVE EXISTING CONE SECTION REMOVED AND APPROPRIATE BARREL SECTIONS SHALL BE ADDED TO ACHIEVE FINAL GRADE. THE LAST BARREL SECTION SHALL BE 1" HIGH IN ACCORDANCE WITH THE CITY STANDARD DETAILS.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, CHAPTER 4714.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, CHAPTER 4714). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, CHAPTER 4714:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- SANITARY SEWER MATERIAL: SCHEDULE 40 PVC.
- WATERMAIN MATERIAL: C900 PVC.
- SEE SHEETS C4-2 AND C4-3 FOR WATERMAIN PROFILES.
- WELL LOCATION AND DESIGN BY OTHERS. COORDINATE WELL INSTALLATION WITH MINNESOTA DEPARTMENT OF HEALTH. VERIFY WATER SERVICE SIZE, MATERIAL, AND LOCATION WITH MECHANICAL.
- STORM SEWER MATERIALS:

RCP	12" DIAMETER OR GREATER
PVC	6" DIAMETER

 (ALL FLARED END SECTIONS TO BE RCP)

STORM SEWER SCHEDULE

STRUCTURE NO.	CASTING	MANHOLE SIZE	DETAIL #
CBMH 1	R-2557-A	48" PRECAST	STO-1
CBMH 2	R-3067V	48" PRECAST	STO-6
CBMH 4	R-2557-A	48" PRECAST	STO-1
STMH 5	R-1642	48" PRECAST	STO-1
CBMH 5A	R-2557-A	48" PRECAST	STO-1
CBMH 6	R-2557-A	48" PRECAST	STO-1
STMH 6A	R-1642	48" PRECAST	STO-1
CBMH 7	R-3067V	48" PRECAST	STO-5
CBMH 8	R-3067V	48" PRECAST	STO-6
STMH 9	R-1642	48" PRECAST	STO-1
CBMH 9A	R-3067V	48" PRECAST	STO-5
STMH 10	R-1642	48" PRECAST	STO-1
CBMH 11	R-3067V	48" PRECAST	STO-5
OCS 13	SEE DETAIL	60" PRECAST	4318A
OCS 15	SEE DETAIL	60" PRECAST	4318B

SANITARY SEWER SCHEDULE

STRUCTURE NO.	CASTING	MANHOLE SIZE	DETAIL #
MH 1	R1642	48" PRECAST	SAN-1
MH 2	R1642	48" PRECAST	SAN-1

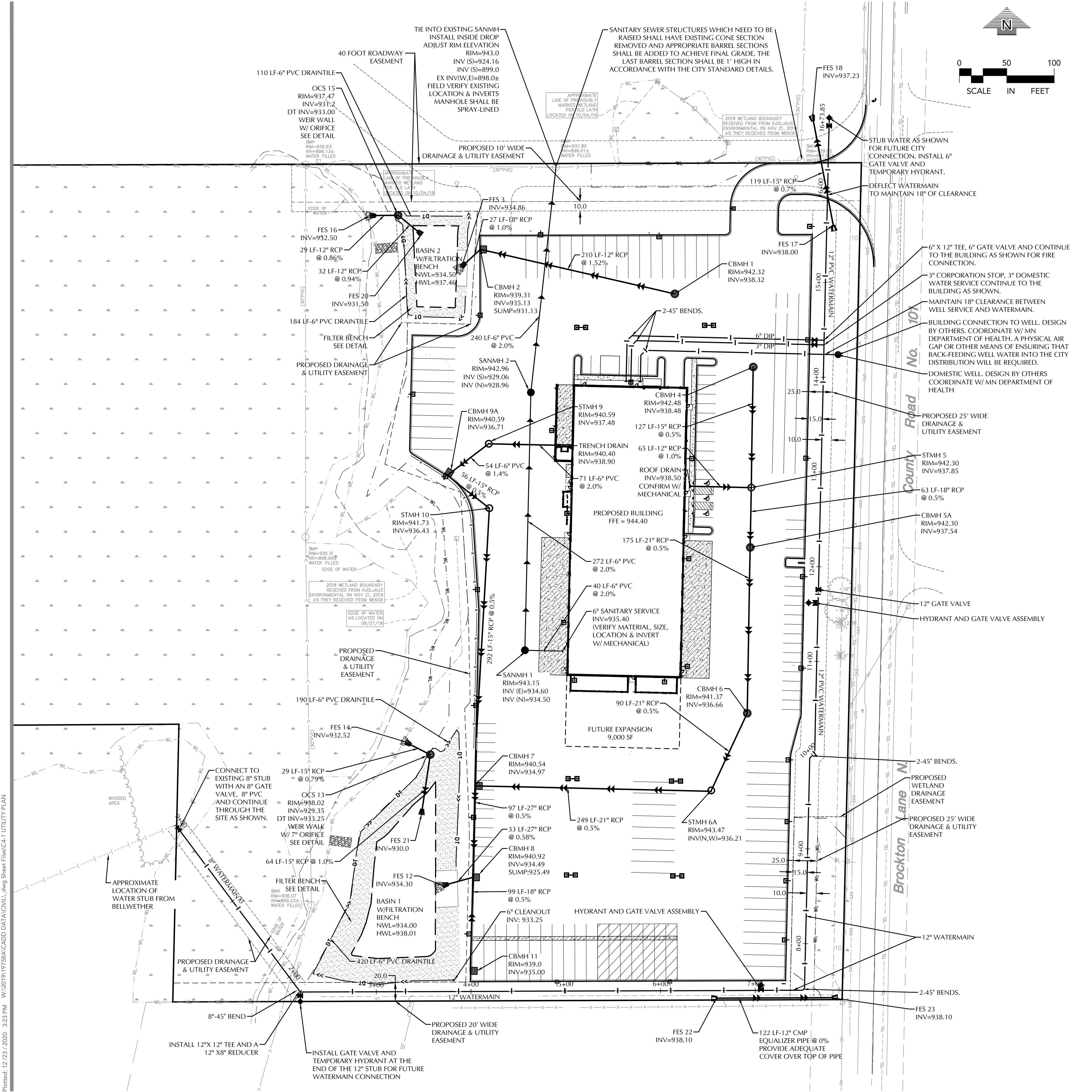


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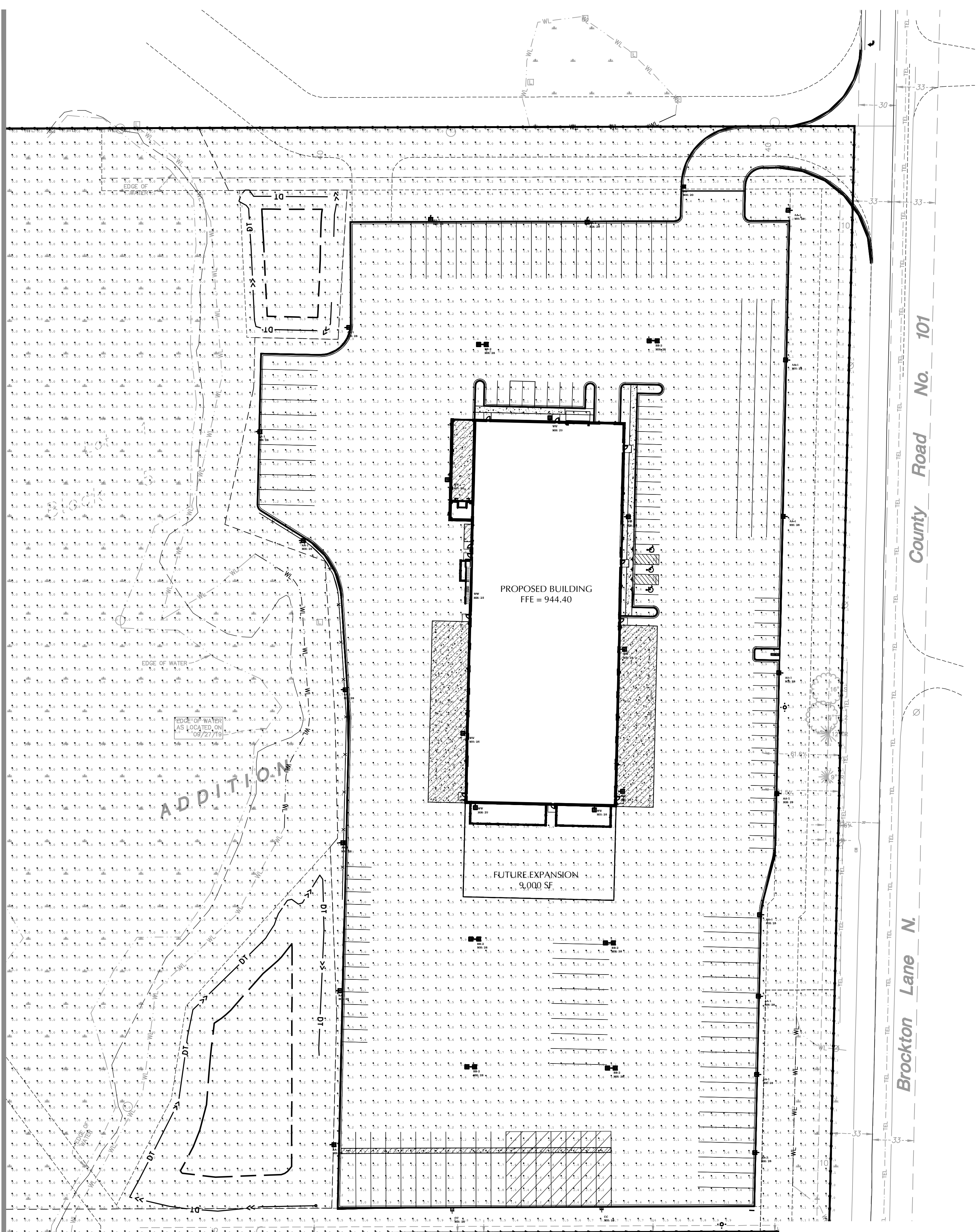
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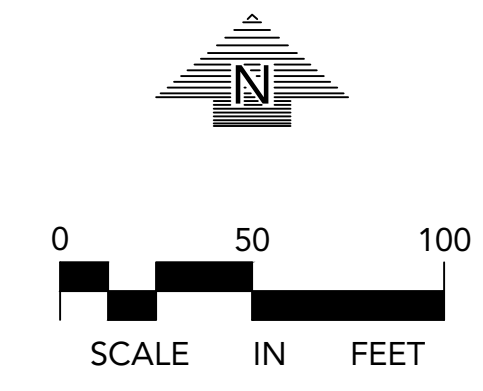
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 W:\2019\19758\CADD DATA\CIVIL.dwg Sheet: File:C4-1 UTILITY PLAN

Plotted: 12/23/2020 2:44 PM W:\2019\19758\ACADD\CADD DATA\Civil.dwg Sheet: PH-1 PHOTOMETRIC PLAN



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10409 CO RD NO 101
 CORCORAN, MN 55311

MARCUS CONSTRUCTION

2580 HWY 12 E
 WILLMAR, MN 56201

LOUCKS

PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

Date	Revision
05/19/2020	CITY SUBMITTAL
07/13/2020	REV. CITY SUBMITTAL
08/17/2020	REV. CITY SUBMITTAL
12/14/2020	REV. CITY SUBMITTAL
12/28/2020	REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE

 Signature line for professional signature.

QUALITY CONTROL

Locuks Project No.	019758.0A
Project Lead	VJV
Drawn By	MJS
Checked By	VJV
Review Date	

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP DETAILS
C4-1	UTILITY PLAN
C4-2	WATERMAIN PLAN
C4-3	WATERMAIN PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

All Lumiares Shown Are Full Cut-Off Type. Uplight Rating Zero

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	BUG Rating
AA-1	18	AA-1	SINGLE	0.850	Leotek #AR18-30M2-MV-NW-4-XX-700 Single Mounted At A Height Of 28'	262	B3-U0-G4
BB-2	6	BB-2	BACK-BACK	0.850	Leotek #AR18-30M2-MV-NW-5-XX-700 Back To Back Mounted At A Height Of 28'	262	B5-U0-G3
CC	2	CC	SINGLE	0.850	Leotek #AR18-20M2-MV-NW-3-XX-700-HSS Single Mounted At A Height Of 28'	164	B1-U0-G2
DD	1	DD	SINGLE	0.850	Leotek #AR13-10M2-MV-NW-3-XX-530 Single Mounted At A Height Of 20'	63	B2-U0-G2
WW	9	WW	SINGLE	0.850	Leotek #AR18-30M2-MV-NW-4-XX-700 Wall Mounted At A Height Of 25'	262	B3-U0-G4

Mounting Height Shown On Site Plan & Referred To In Schedule Is The Sum Of Pole Height & Concrete Base, If Applicable.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Nelson Intl Lot	illuminance	Fc	2.93	8.5	0.6	4.88	14.17
Outside Lot Lines	illuminance	Fc	0.16	5.2	0.0	N.A.	N.A.
Property Line	illuminance	Fc	0.05	0.7	0.0	N.A.	N.A.

Lighting by:
Charlie Leavitt, LC, MIES
Lighting Fundamentals, LLC
PO Box 50827
Mendota, MN 55150
charlie@lightingfundamentalsllc.net
651-399-7768

PHOTOMETRIC PLAN

PH-1

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12/14/2020	REV. CITY SUBMITTAL
12/28/2020	REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
 License No. 46508
 Date 10/07/2020

QUALITY CONTROL

Loucks Project No. 019758.0A
 Project Lead VJV
 Drawn By CEF
 Checked By CEF
 Review Date 10/07/2020

SHEET INDEX

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C4-2	WATERMAIN PLAN
C4-3	WATERMAIN PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

PLANT SCHEDULE

DECIDUOUS TREES	CODE	COMMON NAME	BOTANICAL NAME
	BL	BOULEVARD LINDEN	Tilia americana 'Boulevard'
	CH	COMMON HACKBERRY	Celtis occidentalis
	KC	KENTUCKY COFFEETREE	Gymnocladus dioica
	PE	PRINCETON ELM	Ulmus americana 'Princeton'
	RB	RIVER BIRCH CLUMP	Betula nigra
	QB	SWAMP WHITE OAK	Quercus bicolor
EVERGREEN TREES	CODE	COMMON NAME	BOTANICAL NAME
	BS	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'
	CSP	COLORADO SPRUCE	Picea pungens
	NOP	NORWAY PINE FULL FORM	Pinus resinosa
ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME
	FVB	FOX VALLEY BIRCH	Betula nigra 'Little King' TM
	SSC	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME
	AH	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'
	AD	ARCTIC FIRE DOGWOOD	Cornus sericea 'Arctic Fire'
	CD	CARDINAL DOGWOOD	Cornus sericea 'Cardinal'
	DH	DWARF BUSH HONEYSUCKLE	Diervilla lonicera
	DEV	DWARF EUROPEAN VIBURNUM	Viburnum opulus 'Nanum'
	GC	GLOSSY BLACK CHOKEBERRY	Aronia melanocarpa elata
	GF	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'
	NAV	NANNYBERRY VIBURNUM	Viburnum lentago
	NFS	NEON FLASH SPIREA	Spirea japonica 'Neon Flash'
GRASSES	CODE	COMMON NAME	BOTANICAL NAME
	FG	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'
	SSG	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenandoah'
	LBL	THE BLUES LITTLE BLUESTEM	Schizachyrium scoparium 'The Blues'
PERENNIALS	CODE	COMMON NAME	BOTANICAL NAME
	RSD	RUBY STELLA DAYLILY	Hemerocallis x 'Ruby Stella'
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME
	SEED 2	MNDOT NATIVE SEED MnDOT Seed Mix 34-261 Riparian South & West	
	SM 1	STONE MULCH CRUSHED GRAY ROCK 1/4" MINUS 3"-4" DEPTH	
	SEED	TURF SEED MnDOT Seed Mix 25-151 High Maintenance Turf	

CALL BEFORE YOU DIG
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
 THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

LANDSCAPE DATA:

CITY REQUIREMENTS:
 • 1 OVERSTORY TREE PER 50 L.F. OF SITE PERIMETER.
 • 1 UNDERSTORY SHRUB PER 30 L.F. OF SITE PERIMETER.
 • NO MORE THAN 33% OF OVERSTORY TREES SHALL BE OF ONE SPECIES.

FRONT SETBACK REQUIREMENTS:
 PARKING SETBACK FLEXIBILITY - MINIMUM REQUIREMENT PER 100 FT. OF THE LENGTH OF PROPERTY.
 • 1 OVERSTORY DECIDUOUS TREE PER 100 FEET.
 • 1 OVERSTORY CONIFEROUS TREE PER 100 FEET.
 • 2 ORNAMENTAL TREES PER 100 FEET.
 • 10 UNDERSTORY SHRUBS PER 100 FEET.

NORTH PROPERTY LINE - 593.9 FEET
 594' / 50' = 12 OVERSTORY TREES
 594' / 30' = 20 UNDERSTORY SHRUBS

SOUTH PROPERTY LINE - 624.5 FEET
 625' / 50' = 13 OVERSTORY TREES
 625' / 30' = 21 UNDERSTORY SHRUBS

EAST PROPERTY LINE - 883.4 FEET
 883' / 50' = 18 OVERSTORY TREES
 883' / 30' = 29 UNDERSTORY SHRUBS

EAST PROPERTY LINE - PARKING SETBACK FLEXIBILITY REQUIREMENTS
 883' / 100' = 9 OVERSTORY DECIDUOUS TREES
 883' / 100' = 9 OVERSTORY CONIFEROUS TREES
 883' / 100' x 2 = 18 ORNAMENTAL TREES
 883' / 100' x 10 = 88 UNDERSTORY SHRUBS

WEST PROPERTY LINE - 885.2 FEET (*ARBITRARY LOCATION SET FOR REQ'S.)
 885' / 50' = 18 OVERSTORY TREES
 885' / 30' = 30 UNDERSTORY SHRUBS

TOTAL PLANTS REQUIRED:
 OVERSTORY DECIDUOUS TREES 70
 OVERSTORY CONIFEROUS TREES 9
 ORNAMENTAL TREES 18
 UNDERSTORY SHRUBS 188

TOTAL PLANTS PROVIDED:
 OVERSTORY DECIDUOUS TREES 70
 OVERSTORY CONIFEROUS TREES 20
 ORNAMENTAL TREES 18
 UNDERSTORY SHRUBS 258

* ARBITRARY LOCATION SET ON WEST SIDE TO INCLUDE UPLAND PROPERTY.

GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

REFER TO SHEET L2-1 FOR FULL PLANT SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

IRRIGATION NOTES:

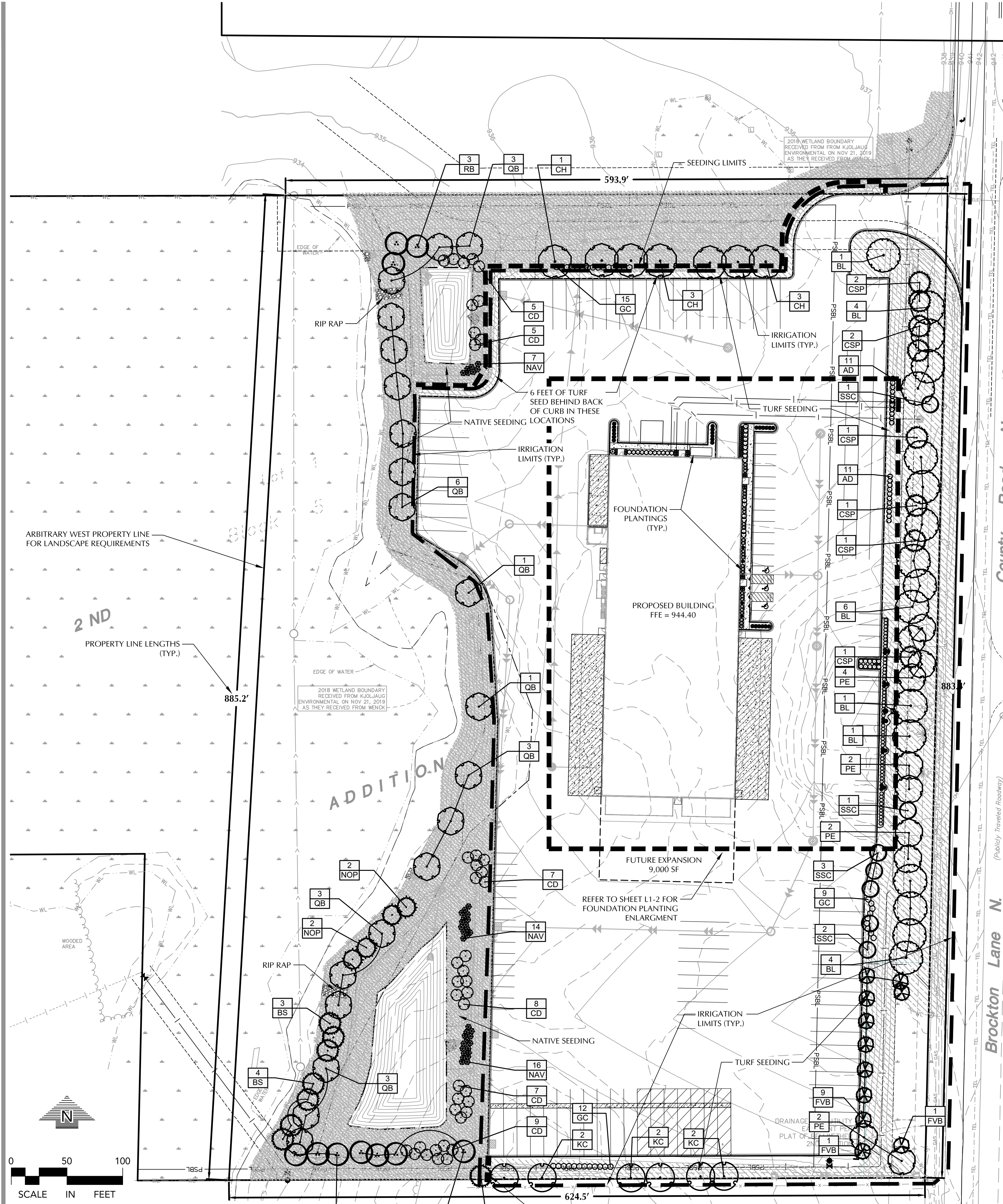
VERIFY EXISTING / PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED / SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

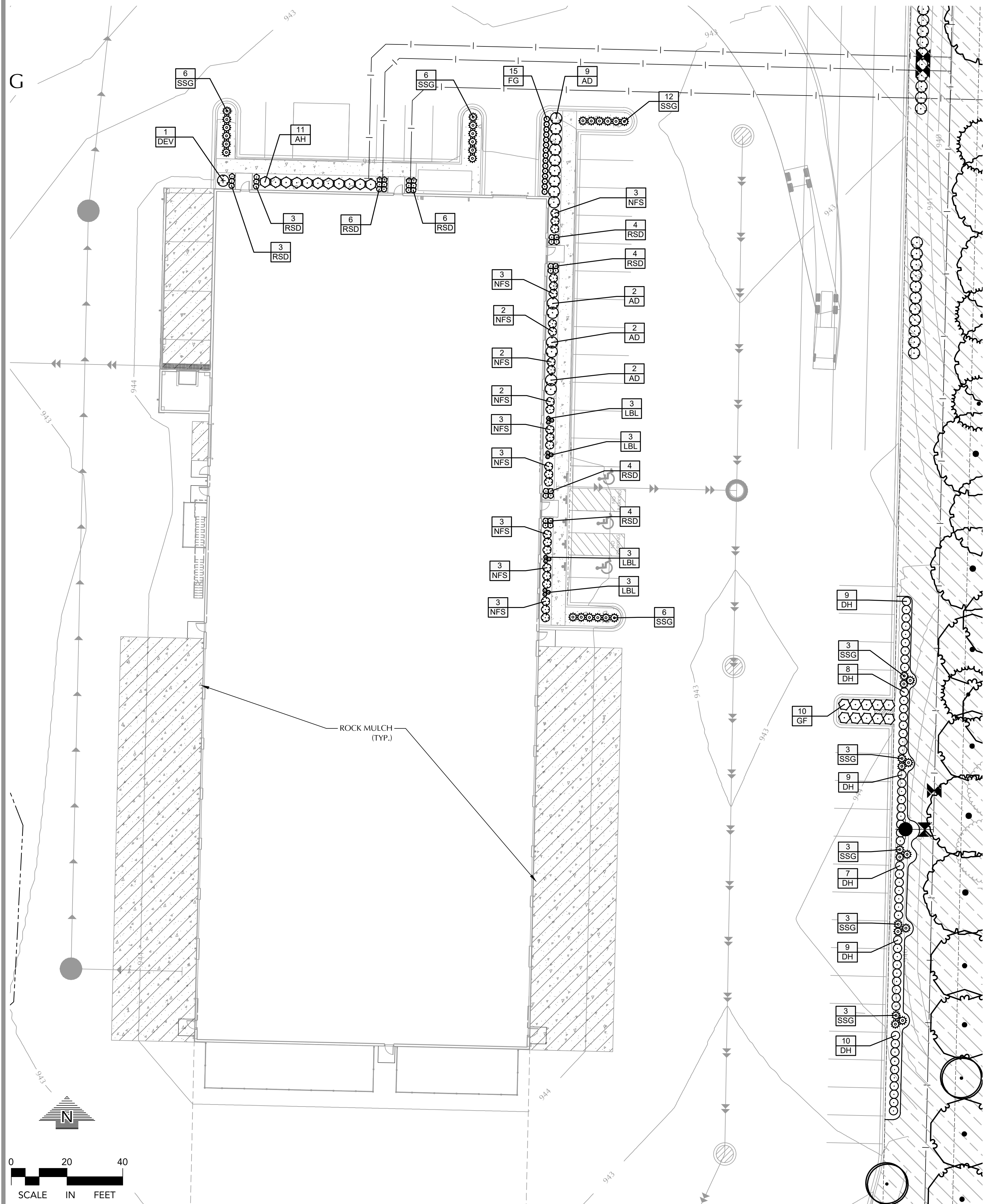
IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING / SOD / SEED HAS BEEN ESTABLISHED.



NOTE:
 EXISTING CONDITIONS INFORMATION SHOWN IS FROM A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY LOUCKS, DATED DECEMBER 13, 2019.

Plotted: 12/23/2020 3:26 PM W:\2019\19758\ACADD DATA\LANDSCAPE\Draw Sheet Files\L1-2 FOUNDATION PLANTINGS



PLANT SCHEDULE							
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
	AH	11	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'	5 gal	36" HGT	48" o.c.
	AD	37	ARCTIC FIRE DOGWOOD	Cornus sericea 'Arctic Fire'	5 gal	36" HGT	48" o.c.
	CD	41	CARDINAL DOGWOOD	Cornus sericea 'Cardinal'	10 gal	48" HGT	120" o.c.
	DH	52	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	5 gal	18" HGT	36" o.c.
	DEV	1	DWARF EUROPEAN VIBURNUM	Viburnum opulus 'Nanum'	5 gal	36" HGT	48" o.c.
	GC	36	GLOSSY BLACK CHOKEBERRY	Aronia melanocarpa elata	10 gal	48" HGT	60" o.c.
	GF	10	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD	48" o.c.
	NAV	37	NANNYBERRY VIBURNUM	Viburnum lentago	10 gal	48" HGT	60" o.c.
	NFS	27	NEON FLASH SPIREA	Spirea japonica 'Neon Flash'	5 gal	36" HGT	36" o.c.
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
	FG	15	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal		24" o.c.
	SSG	39	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenendoah'	1 gal		36" o.c.
	LBL	12	THE BLUES LITTLE BLUESTEM	Schizachyrium scoparium 'The Blues'	1 gal		18" o.c.
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
	RSD	34	RUBY STELLA DAYLILY	Hemerocallis x 'Ruby Stella'	1 gal		24" o.c.
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING	
	SEED 2	MNDOT NATIVE SEED MNDOT Seed Mix 34-261 Riparian South & West					
	SM 1	STONE MULCH CRUSHED GRAY ROCK 1/4" MINUS 3"-4" DEPTH					
	SEED	TURF SEED MNDOT Seed Mix 25-151 High Maintenance Turf					

GENERAL NOTES:

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REFER TO SHEET L1-1 FOR OVERALL PLANTING PLAN, IRRIGATION NOTES, AND LANDSCAPE REQUIREMENTS BASED ON CITY CODE AND ADDITIONAL REQUIREMENTS.

REFER TO SHEET L2-1 FOR FULL PLANT SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.



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CORCORAN, MN 55311

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PROFESSIONAL SIGNATURE

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 Date 10/07/2020

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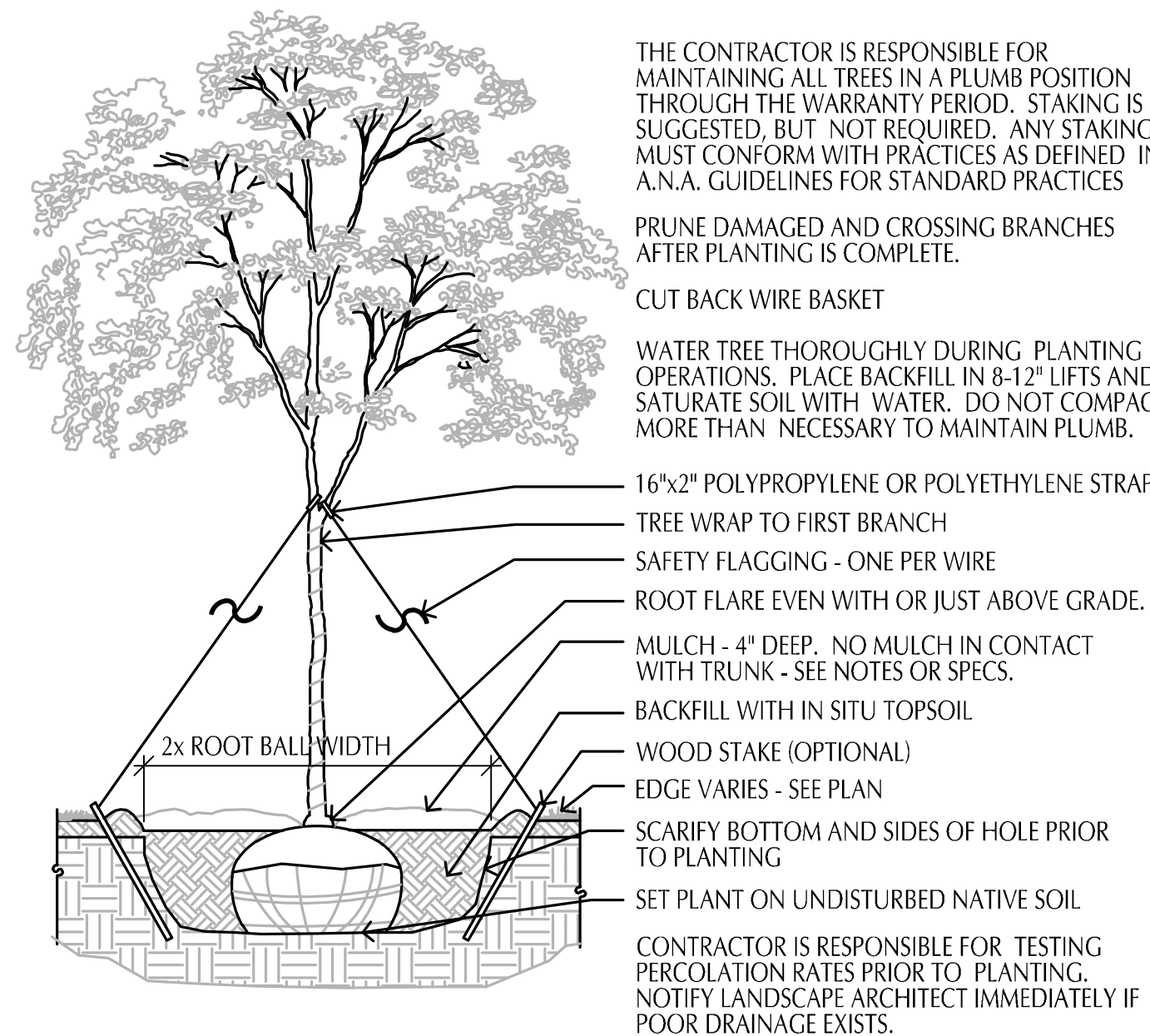
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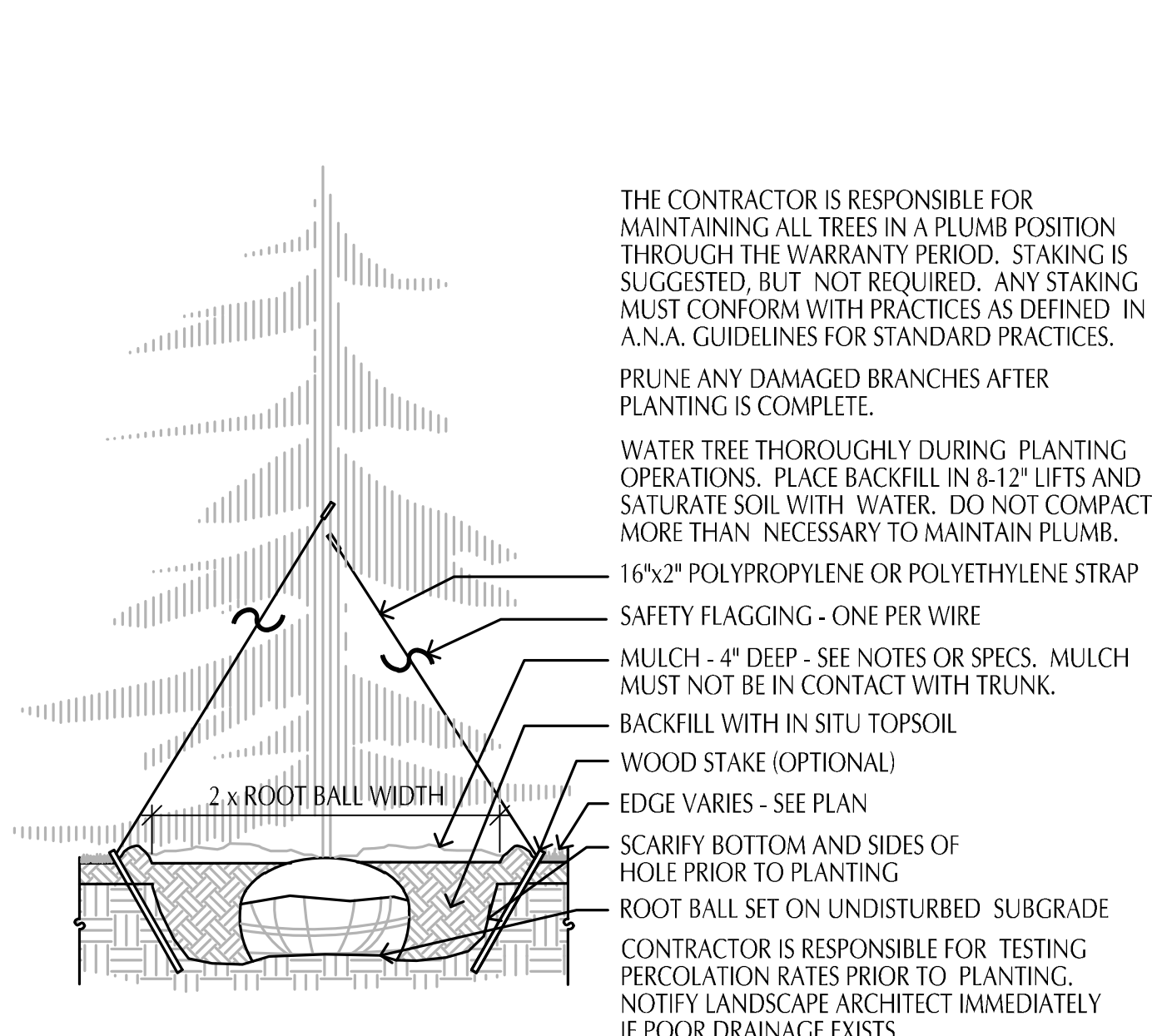
FOUNDATION PLANTINGS
L1-2

PLANT SCHEDULE

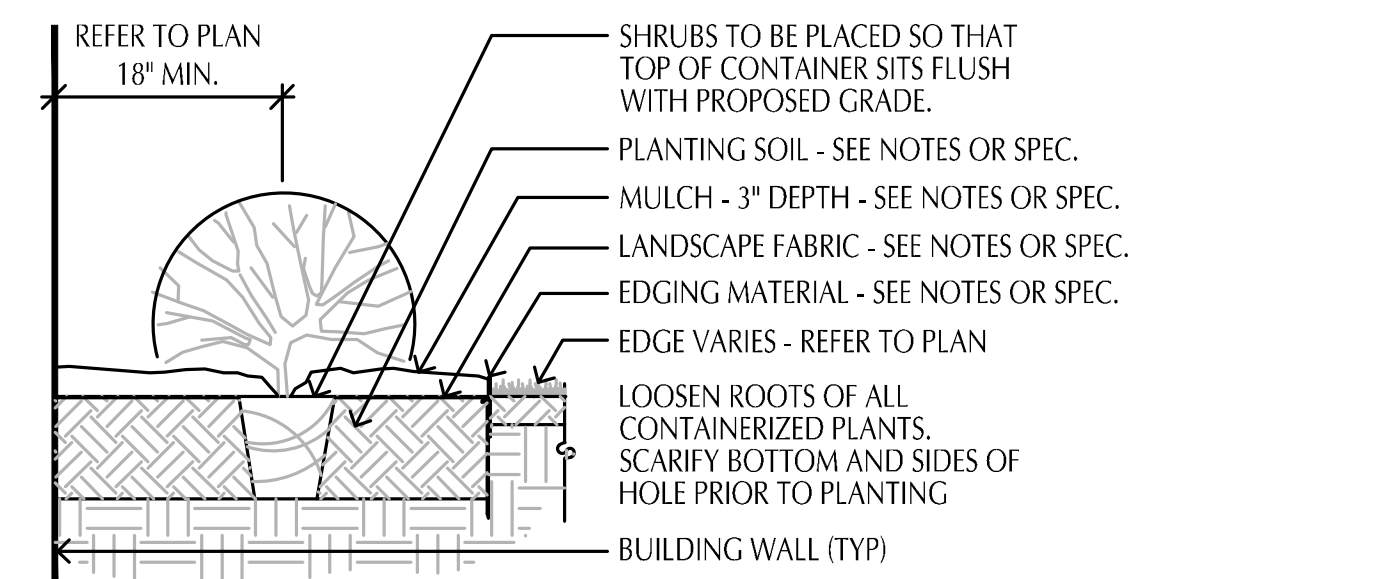
DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
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	PE	10	PRINCETON ELM	Ulmus americana 'Princeton'	B & B	2.5" Cal		
	RB	10	RIVER BIRCH CLUMP	Betula nigra	B & B	5' HGT		
	QB	20	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal		
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
	BS	7	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B		6' HGT	
	CSP	9	COLORADO SPRUCE	Picea pungens	B & B	5' HGT		
	NOP	4	NORWAY PINE FULL FORM	Pinus resinosa	B & B		6' HGT	
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
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	SSC	7	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5" Cal		
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
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GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME					
	SEED 2	MNDOT NATIVE SEED MnDOT Seed Mix 34-261 Riparian South & West						
	SM 1	STONE MULCH CRUSHED GRAY ROCK 1/4" MINUS 3"-4" DEPTH						
	SEED	TURF SEED MnDOT Seed Mix 25-151 High Maintenance Turf						



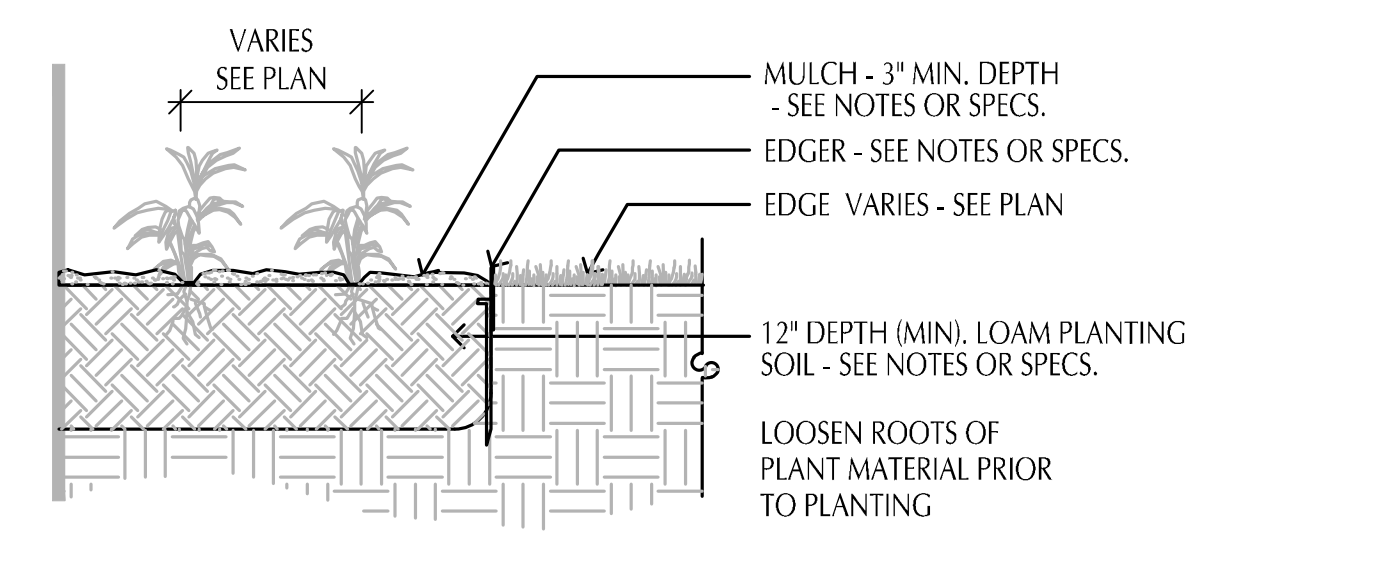
1
L2-1
DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



2
L2-1
CONIFEROUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



3
L2-1
SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"



4
L2-1
PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3" ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5' CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING PERENNIALS, GROUND COVER, ANNUALS, AND / OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF 5 PARTS CLEAN TOPSOIL AND 1 PART PEAT. SHRUBS AND TREES TO BE BACKFILLED WITH SAME PLANTING SOIL.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP STONE MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP STONE MULCH AND FIBER MAT WEED BARRIER. SHRUB BEDS WITHIN NATIVE PLANTING AREAS SHALL RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER. ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND STONE MULCH AS SPECIFIED / INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND / OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE / PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH TWO CALENDAR YEARS FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (TWO FULL GROWING SEASONS) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

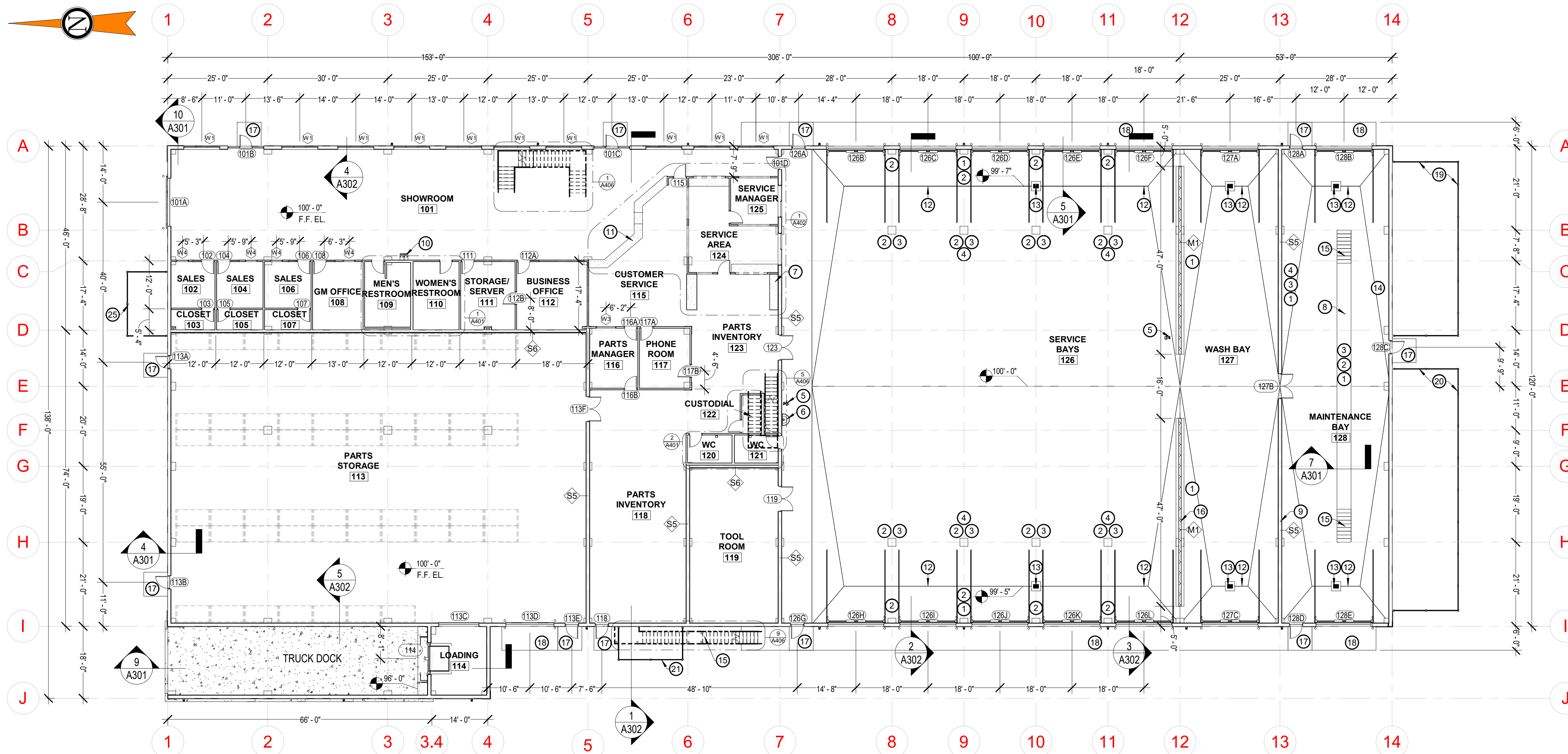
UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

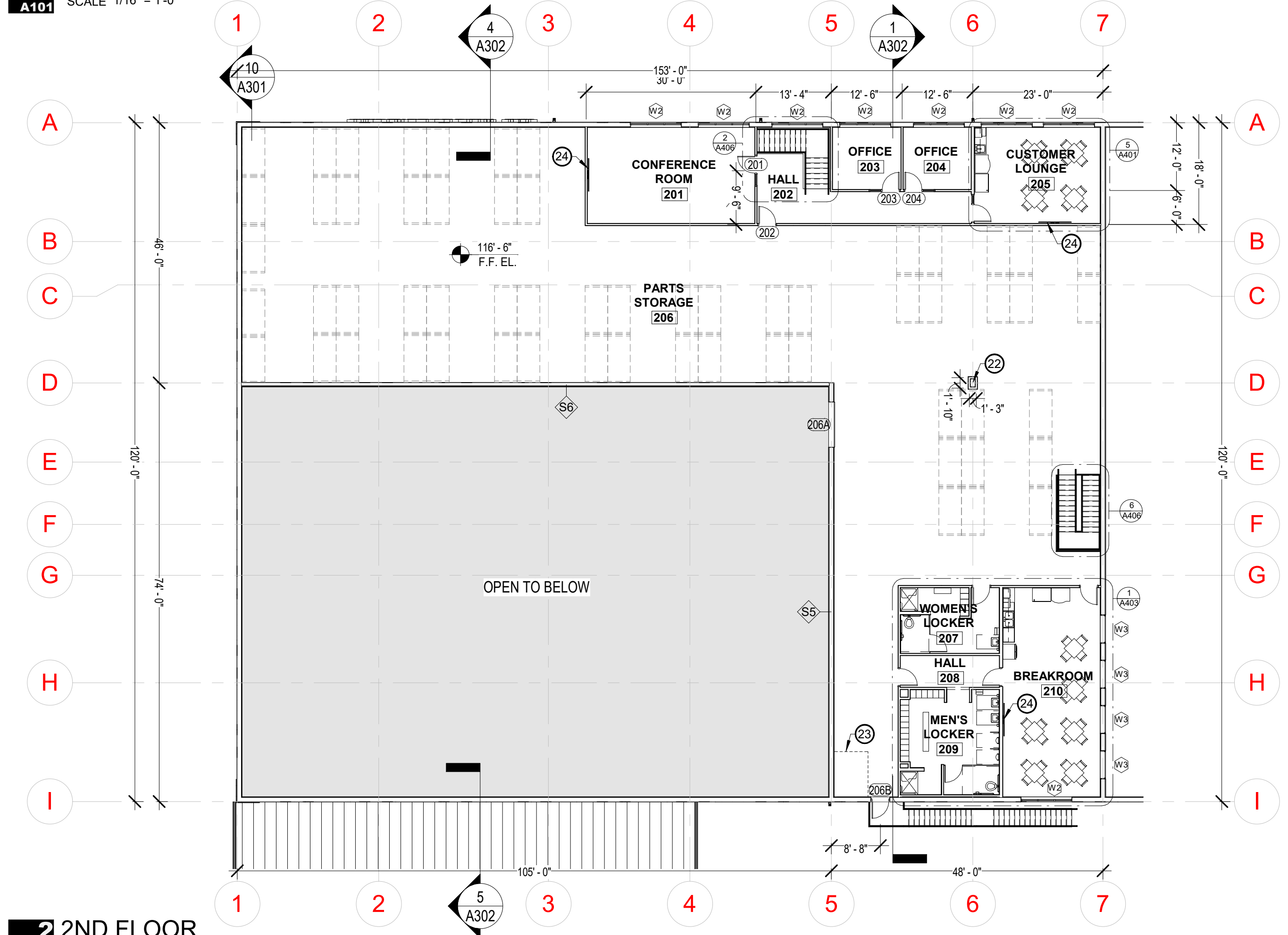
LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

REFER TO SHEET L1-1 FOR PLANTING PLAN, PLANTING LABELS, GENERAL NOTES, AND IRRIGATION NOTES.



Keynote Legend	
KEY #	KEYNOTE
1	HOSE BIB
2	110 POWER
3	AIR
4	WELDER OUTLET
5	EYEWASH STATION
6	WASH SINK
7	MECHANICS COMPUTER
8	SERVICE PIT
9	FULL-HEIGHT DIVISION WALL FOR NATURAL GAS CERTIFICATION
10	ADA COMPLIANT HIGH LOW DRINKING FOUNTAINS
11	SERVICE COUNTER
12	PREFABRICATED FRENCH DRAIN
13	SUMP, SEE PLUMBING PLAN
14	SAND/OIL PIT, SEE PLUMBING PLAN
15	METAL STAIR
16	M1 WALL UP TO 116" - 0", SEE A602
17	6'x6' FROST PROTECTED STOOP
18	8" THICK CONCRETE APRON
19	6' HIGH MAINTENANCE FREE FENCING (16'x44')
20	6' HIGH MAINTENANCE FREE FENCING (16'x60')
21	6' HIGH MAINTENANCE FREE FENCING (8'x16')
22	BUILDING COLUMN
23	SOUND CURTAIN FOR AIR COMPRESSOR
24	WALL MOUNTED TELEVISION
25	6' HIGH MAINTENANCE FREE FENCING (10'x16')

1 100 100/FLOOR PLAN
SCALE 1/16" = 1'-0"



2 2ND FLOOR
SCALE 1/16" = 1'-0"



Nelson International
10409 Co Rd No 101, Corcoran, MN 55374

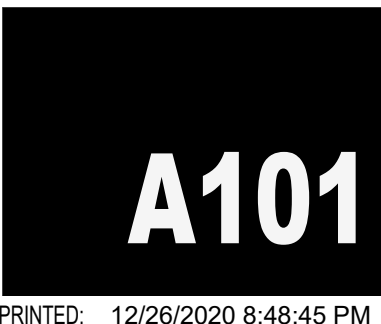
PRELIMINARY FOR REVIEW ONLY DO NOT USE FOR CONSTRUCTION

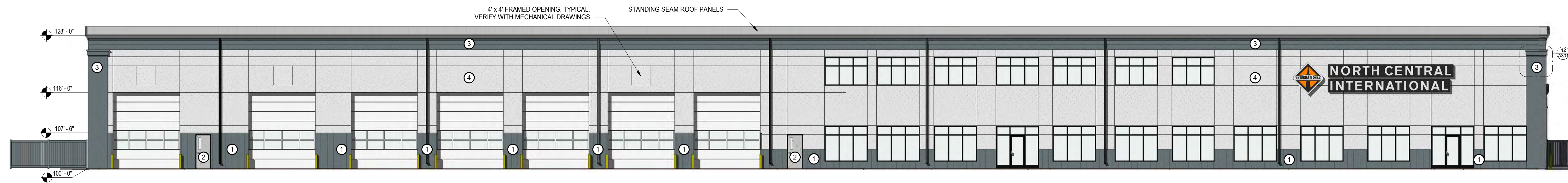
Version: 2
Revision: 5
Drafter: B.L.
Date: 20201226
Job Number: 201933

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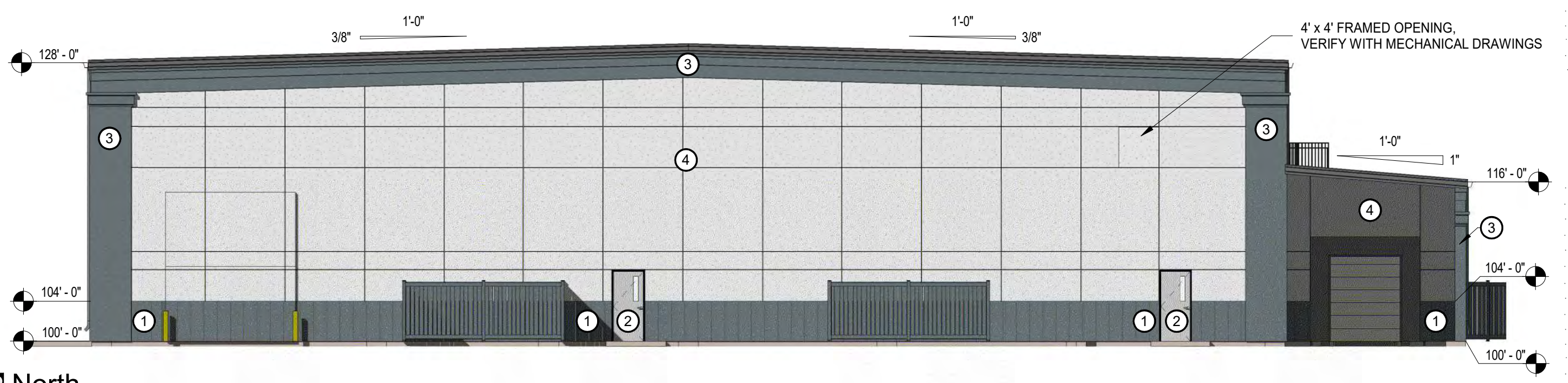
THIS SHEET MAY BE A REDUCED COPY. THE BAR BELOW IS 2" LONG ON A FULL SIZE SHEET. DRAWING SCALES APPLY TO FULL SIZE SHEETS.

Floor Plan

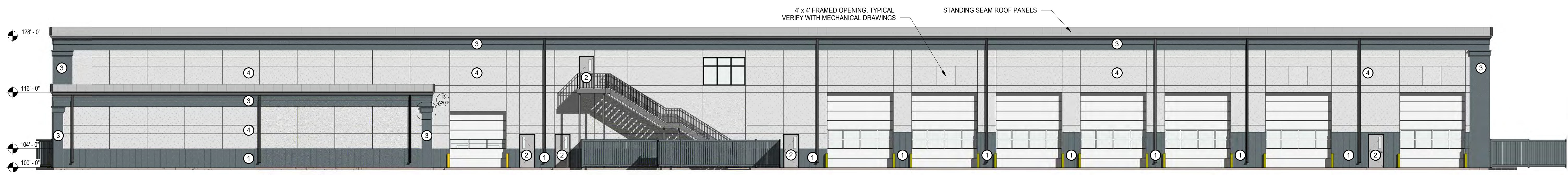




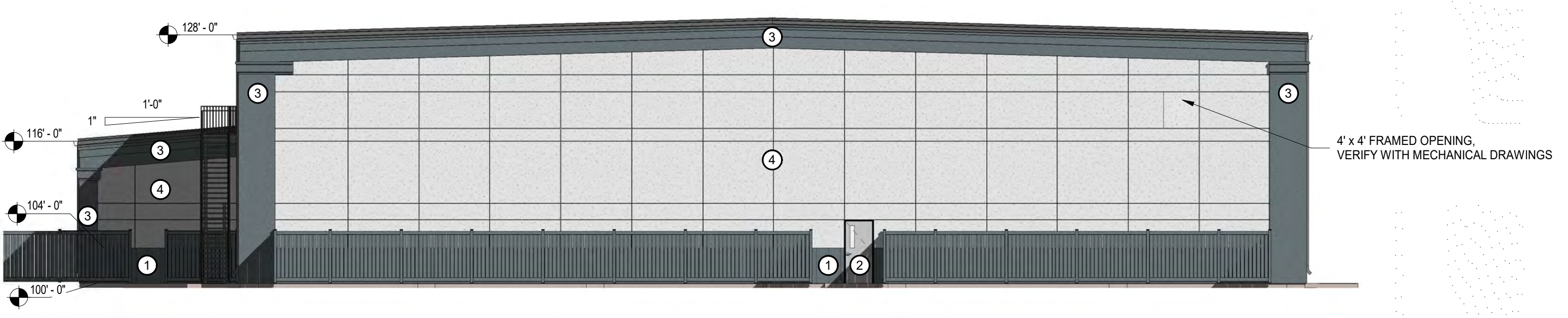
1 East
SCALE 3/32" = 1'-0"
A201



2 North
SCALE 3/32" = 1'-0"
A201



3 West
SCALE 3/32" = 1'-0"
A201



4 South
SCALE 3/32" = 1'-0"
A201

Nelson International
10409 Co Rd No 101, Corcoran, MN 55374

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External Elevations Keynote Legend	
KEY #	KEYNOTE
1	TEXTURECLAD - COLOR: GRAY
2	NS-1 MEDIUM GRAY (SW 4030)
3	EIFS - COLOR: NS-2 DARK GRAY (SW 4018)
4	EIFS - COLOR: NS-3 LIGHT GRAY (SW 4028)

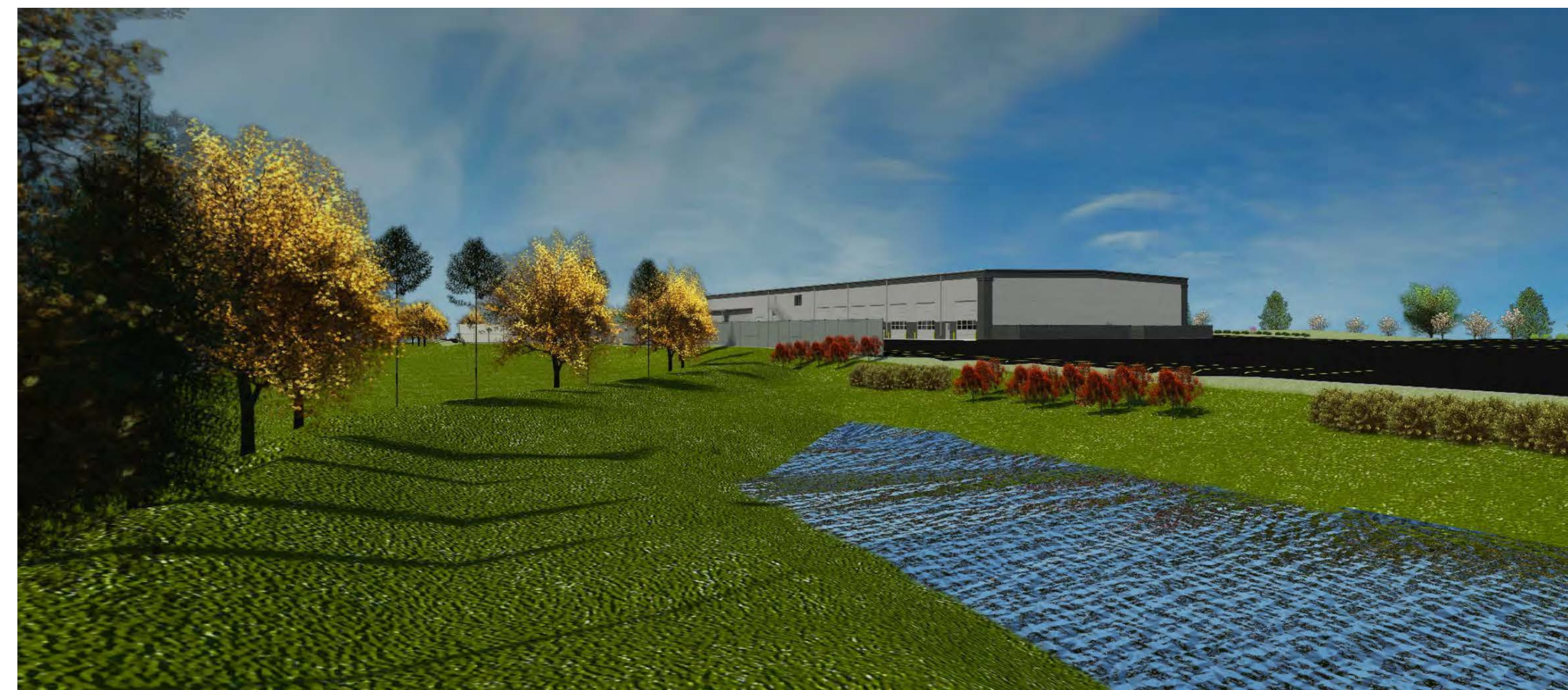
MATERIAL USAGE				
ELEVATION	TOTAL AREA	TOTAL AREA (LESS OH DOORS)	TEXTURECLAD	PERCENTAGE
EAST	8,568 SF	7,000 SF	635 SF	9.0%
NORTH	3,800 SF	3,491 SF	436 SF	12.4%
WEST	8,568 SF	6,856 SF	861 SF	12.5%
SOUTH	3,800 SF	3,800 SF	495 SF	13.0%

Exterior Elevations

A201



NORTHEAST SITE PERSPECTIVE



SOUTHWEST SITE PERSPECTIVE



NORTH SITE PERSPECTIVE



NORTHWEST SITE PERSPECTIVE

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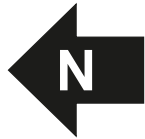
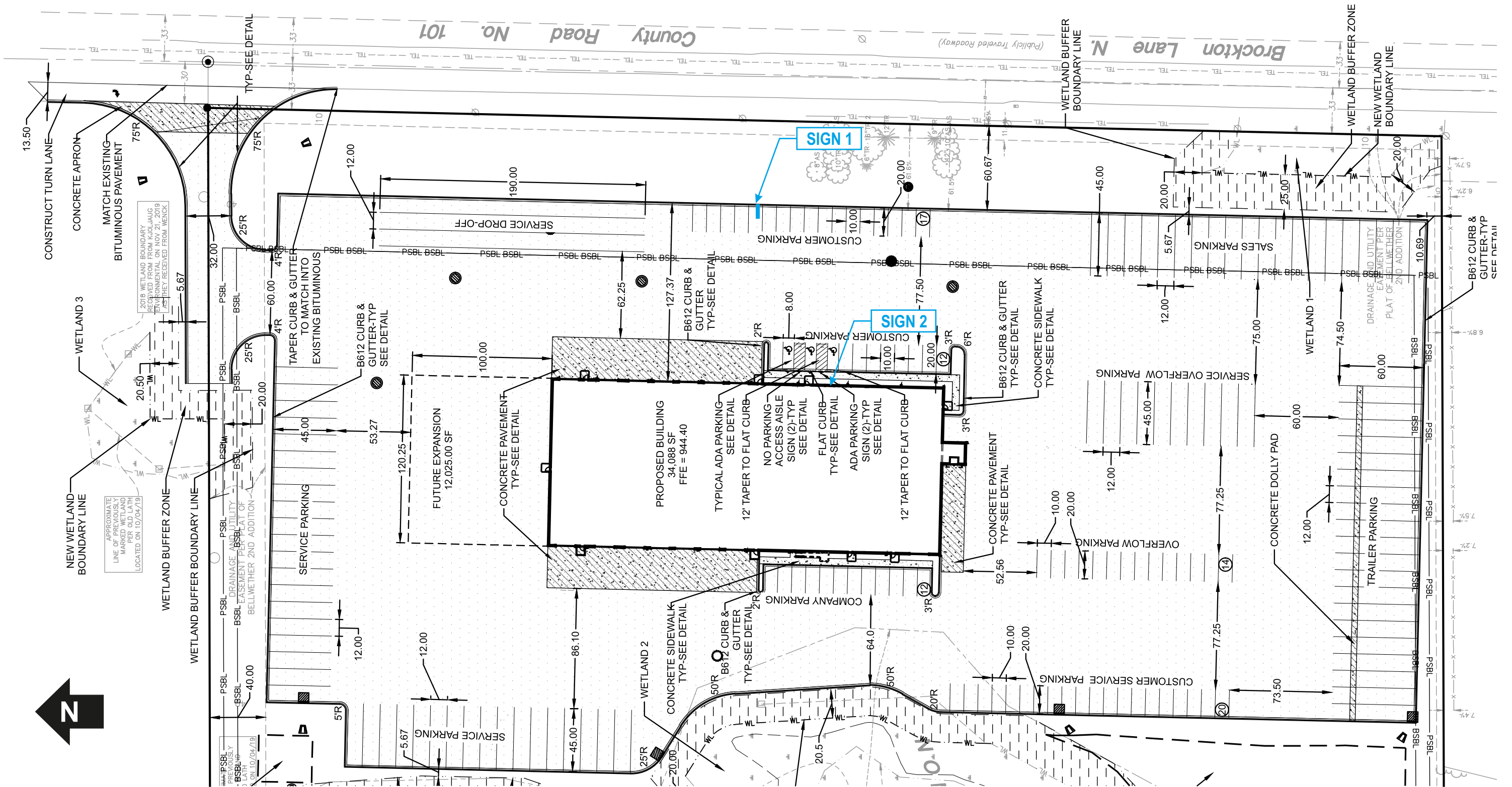
SITE ADDRESS:

10409 County road 101
Corcoran, MN 55311-9999



mcgroup-icon.com

SITE PLAN



8959 Tyler Boulevard
Mentor, Ohio 44060
800.627.4460 mcgroup-icon.com

1701 Golf Road 1-900
Rolling Meadows, IL 60008
877.740.4266

CLIENT:



ADDRESS:

International
1701 Golf Road
Rolling Meadows, IL 60008

PAGE NO.

2

P.O. NUMBER:

International

SITE NUMBER:

International

ELECTRONIC FILE NAME:

International - 1701 Golf Road - Rolling Meadows, IL 60008

PROJECT NUMBER:

International

PROJECT MANAGER:

International

Rev #	Req #	Date/Artist	Description
Original	327926	07/09/20 KWK	
Rev. 1	328174	07/13/20 KWK	
Rev 2	328621	07/31/20 KP	
Rev 3	329058	08/14/20 KP	

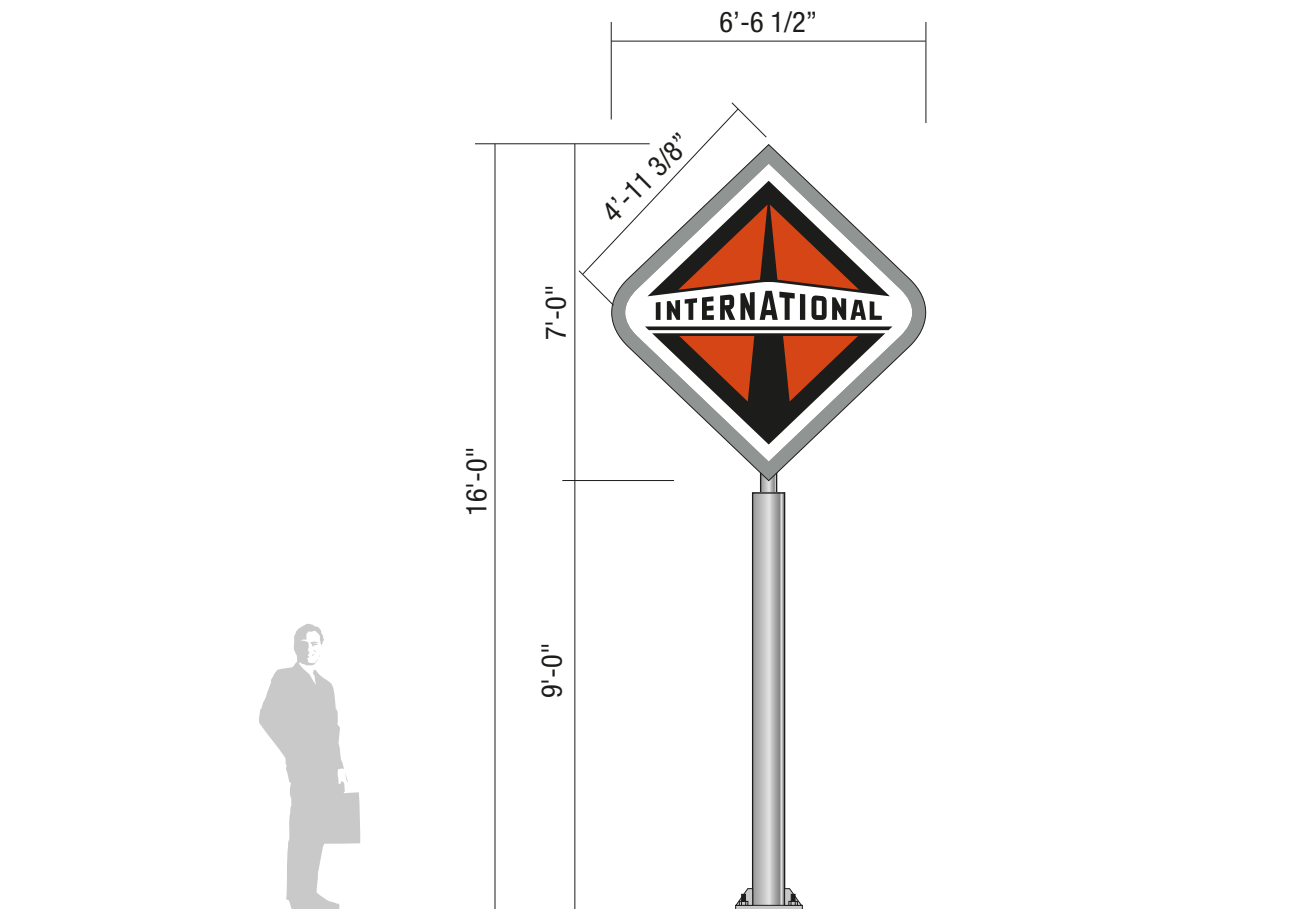
Rev #	Req #	Date/Artist	Description

PRINTS ARE THE EXCLUSIVE PROPERTY OF MC GROUP/ICON. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF MC GROUP/ICON.

16' D.F. ILLUMINATED PYLON ON A TELESCOPING POLE - (PANAFLEX FACE) 24.48 Sq. Ft.

SIGN 1

SCALE: 1/4"=1'-0"



8959 Tyler Boulevard
Mentor, Ohio 44060
800.627.4460
mcgroup-icon.com

1701 Golf Road 1-900
Rolling Meadows, IL 60008
877.740.4266

CLIENT: 

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Rev. 1	328174	07/13/20 KWK	
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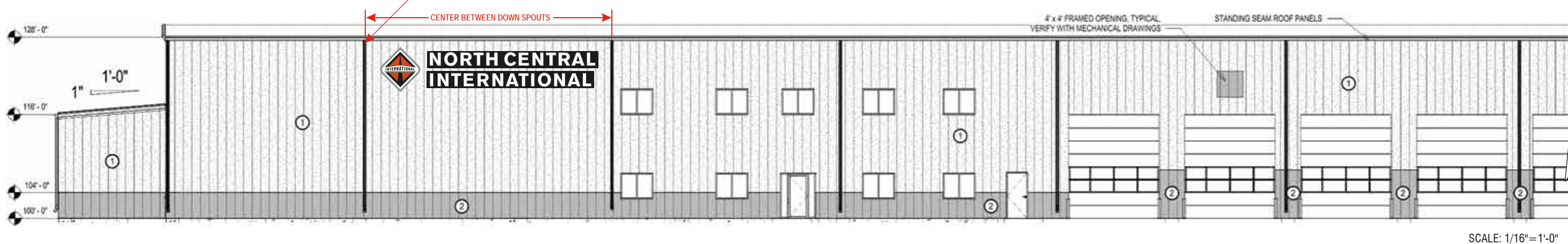
SIGN 2



TYPE: CUSTOM WLNL-7 / DNNL-24 / NL-24
 NON-ILLUMINATED DIAMOND LOGO WALL SIGN &
 NON-ILLUMINATED INDIVIDUAL LETTERS

SCALE: 1/4"=1'-0"

NOTE:
 DOWN SPOUT
 OBSTRUCTION



SCALE: 1/16"=1'-0"



8959 Tyler Boulevard
 Mentor, Ohio 44060
 800.627.4460 mcgroup-icon.com

1701 Golf Road 1-900
 Rolling Meadows, IL 60008
 877.740.4266

CLIENT: 

ADDRESS: 

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Rev. 1	328174	07/13/20 KWK	
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Rev #	Req #	Date/Artist	Description

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TO: Corcoran City Council

FROM: T.J. Hofer through Kendra Lindahl, Landform

DATE: January 20, 2021 for the January 28, 2021 City Council Meeting

RE: **PUBLIC HEARING.** Easement Vacation for Nelson International (PID 01-119-23-41-0001) (city file no. 20-022)

REVIEW DEADLINE: February 20, 2021

1. Description of Request

The applicant Ryan Nelson, on behalf of Nelson International, submitted a request for the vacation of drainage and utility easements over Lot 1, Block 5, Bellwether 2nd Addition.

2. Background

This parcel was platted as part of the Bellwether 2nd Addition subdivision and a drainage and utility easement was provided over the wetland on the west side of Lot 1, Block 5. The City typically requires drainage and utility easements over all wetlands and wetland buffers.

As part of the Nelson site plan application, the applicant applied for a wetland replacement plan with the Minnesota Wetland Conservation Act (MWCA), which was approved by the Elm Creek Watershed Management Commission (ECWMC) on November 4, 2020. This replacement plan allowed them to fill wetland and build a portion of the parking lot over that area.

3. Analysis

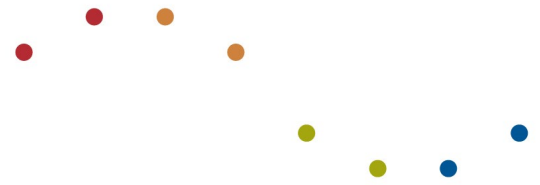
The easement is requested to be vacated because the boundary of the wetland changed with the approved wetland mitigation plan. The change resulted in the parking lot encroaching on the easement area and this vacation will eliminate that conflict. As part of the vacation, the application would provide a new easement over this area as well as over the planned stormwater ponds. The new easement will align with the new wetland buffers. Resolution 2021-09 requires dedication of these new easements.

The city planner and city engineer have reviewed the request and have no objection to the vacation.

4. Recommendation

Move to adopt Resolution 2021-08 approving the easement vacation on Lot 1, Block 5, Bellwether 2nd Addition.





Attachments

1. Resolution 2021-08 approving the easement vacation for Lot 1, Block 5, Bellwether 2nd Addition.
2. Easement vacation exhibit dated December 22, 2020
3. Drainage and Utility Easement dated December 22, 2020

RESOLUTION NO. 2021-08

Motion By:
Seconded By:

**APPROVING VACATION OF DRAINAGE AND UTILITY EASEMENT ON LOT 1, BLOCK 5,
BELLWETHER 2ND ADDITION (PID 01-119-23-41-0001) (CITY FILE NO. 20-022)**

WHEREAS, Ryan Nelson on behalf of Nelson International (“the applicant”) has requested approval of an easement vacation on the lot legal described as:

Lot 1, Block 5, Bellwether 2nd Addition

WHEREAS, the subdivision will provide a new drainage and utility easement over this large wetland, wetland buffer and stormwater ponds to replace this easement as required by City Code;

WHEREAS, the applicant has requested vacation of the existing easement legally described as follows:

See Attachment A.

WHEREAS, the Corcoran City Council considered this item at a Public Hearing;

WHEREAS, notice of the public hearing was mailed to all landowners of property directly abutting the area to be vacated and to all utility companies serving the area;

WHEREAS, notice of the public hearing was published in the official newspaper;

WHEREAS, the City finds that the existing drainage and utility easements are no longer required as new easements will be dedicated with this resolution; and

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the following vacation, subject to the following conditions:

1. The applicant must record the resolution approving the vacation at Hennepin County and provide the City of Corcoran with proof of recording.
2. The applicant must record the resolution approving the vacation prior to applying for building permits on the site.

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Thomas, Manoj**
- Nichols, Jeremy**
- Schultz, Alan**

RESOLUTION NO. 2021-08

Whereupon, said Resolution is hereby declared adopted on this 28th day of January 2021.

Tom McKee - Mayor

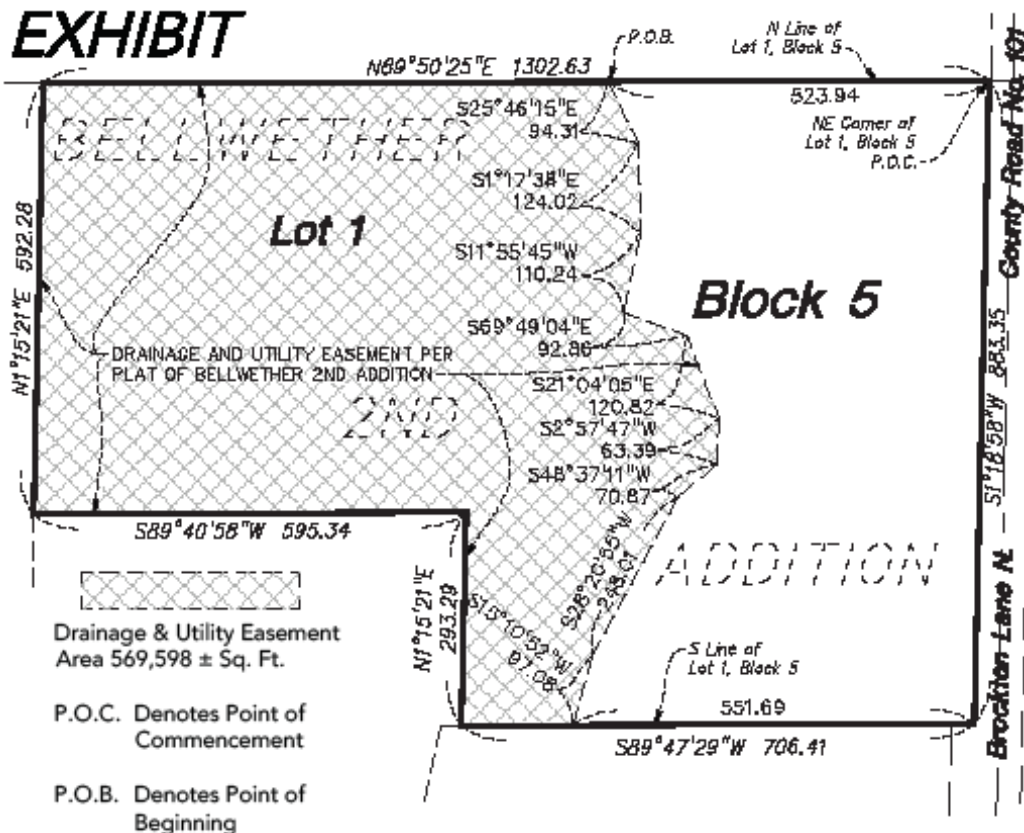
ATTEST:

Jessica Beise – Administrative Services Director

City Seal

RESOLUTION NO. 2021-08

Attachment A



Drainage & Utility Easement Area 569,598 ± Sq. Ft.

P.O.C. Denotes Point of Commencement

P.O.B. Denotes Point of Beginning



DRAINAGE & UTILITY EASEMENT VACATION DESCRIPTION
 December 22, 2020



That part of the Drainage and Utility Easement dedicated in Lot 1, Block 5, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota, lying west of the following described line:

Commencing at the northeast corner of said Lot 1; thence on an assumed bearing of South 89 degrees 50 minutes 25 seconds West, along the north line of said Lot 1, a distance of 523.94 feet to the point of beginning of the line to be described; thence South 25 degrees 46 minutes 15 seconds East, 94.31 feet; thence South 01 degree 17 minutes 38 seconds East, 124.02 feet; thence South 11 degrees 55 minutes 45 seconds West, 110.24 feet; thence South 69 degrees 49 minutes 04 seconds East, 92.86 feet; thence South 21 degrees 04 minutes 05 seconds East, 120.82 feet; thence South 02 degrees 57 minutes 47 seconds West, 63.39 feet; thence South 48 degrees 37 minutes 11 seconds West, 70.87 feet; thence South 28 degrees 20 minutes 55 seconds West, 248.01 feet; thence South 15 degrees 10 minutes 52 seconds West, 97.08 feet to the south line of said Lot 1 and said line there terminating.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski

Max L. Stanislawski - PLS

License No. 48988

12/22/20

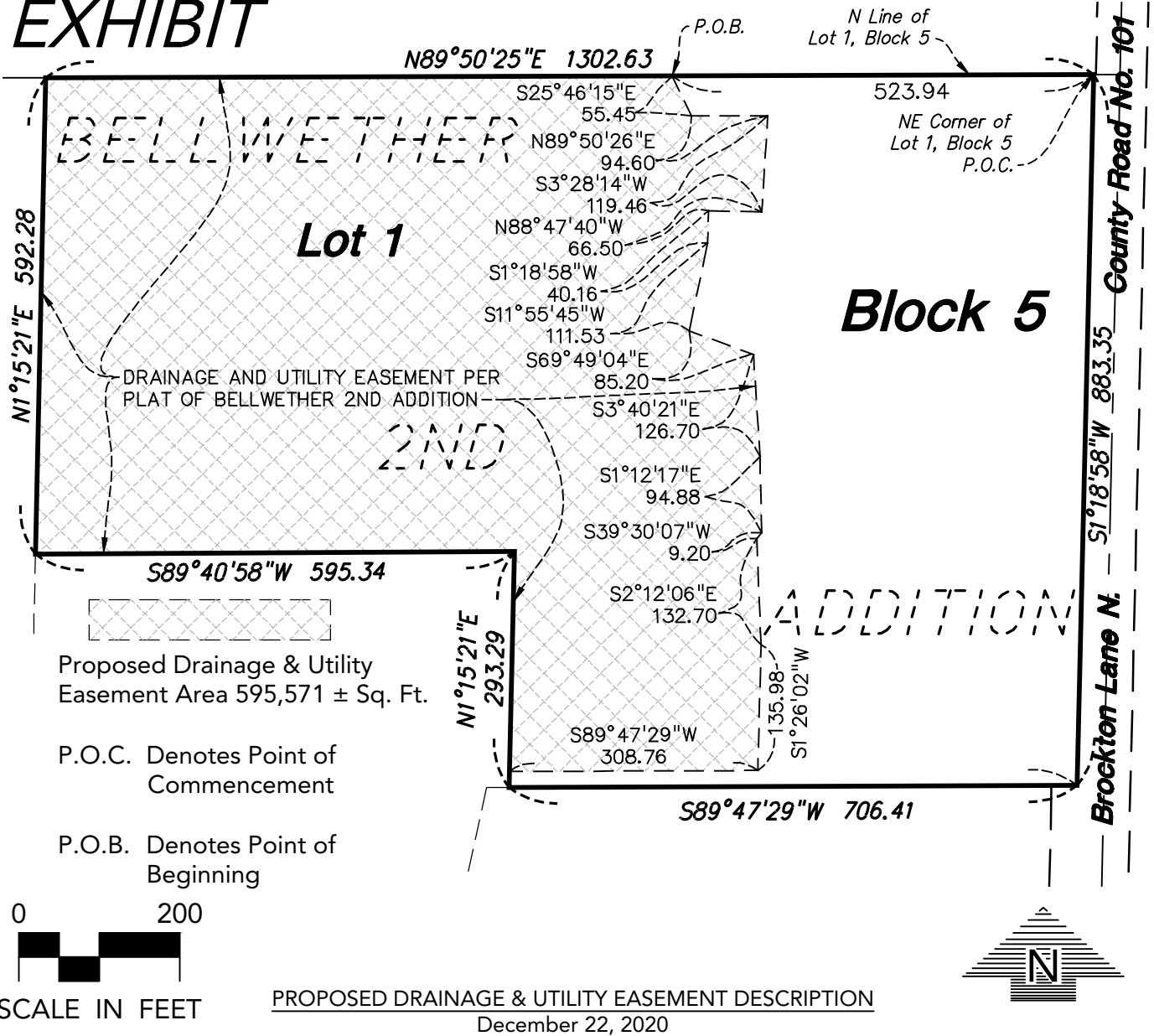
Date

LOUCKS

Loucks Project No. 19758A

W:\2019\19758A\CADD DATA\SURVEY_dwg Sheet Files\19758A-HE-EXH_VACA

EXHIBIT



That part of Lot 1, Block 5, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota, lying westerly, southerly and northerly of the following described line:

Commencing at the northeast corner of said Lot 1; thence on an assumed bearing of South 89 degrees 50 minutes 25 seconds West, along the north line of said Lot 1, a distance of 523.94 feet to the point of beginning of the line to be described; thence South 25 degrees 46 minutes 15 minutes East, 55.45 feet; thence North 89 degrees 50 minutes 26 seconds East, 94.60 feet; thence South 03 degrees 28 minutes 14 seconds West, 119.46 feet; thence North 88 degrees 47 minutes 40 seconds West, 66.50 feet; thence South 01 degree 18 minutes 58 seconds West, 40.16 feet; thence South 11 degrees 55 minutes 45 seconds West, 111.53 feet; thence South 69 degrees 49 minutes 04 seconds East, 85.20 feet; thence South 03 degrees 40 minutes 21 seconds East, 126.70 feet; thence South 01 degree 12 minutes 17 seconds East, 94.88 feet; thence South 39 degrees 30 minutes 07 seconds West, 9.20 feet; thence South 02 degrees 12 minutes 06 seconds East, 132.70 feet; thence South 01 degree 26 minutes 02 seconds West, 135.98 feet; thence South 89 degrees 47 minutes 29 seconds West, 308.76 feet to a west line of said Lot 1 and said line there terminating.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski

Max L. Stanislawski - PLS

License No. 48988

12/22/20

Date

LOUCKS

Loucks Project No. 19758A



TO: Corcoran City Council

FROM: T.J. Hofer through Kendra Lindahl, Landform

DATE: January 20, 2021 for the January 28, 2021 City Council Meeting

RE: PUD Sketch Plan Review for Van Blaricom and Schober properties for "Bellwether" (PID 01-119-23-34-0002 and 01-119-23-43-0002) (city file no. 20-050)

REVIEW DEADLINE: February 20, 2021

1. Description of Request

The applicant (Pulte Homes of Minnesota, LLC) is requesting an opportunity to appear before the City Council to solicit informal comments on a PUD sketch plan for a proposed 193 single family housing units--176 units on the Van Blaricom property and 17 units on the Schober property.

The application has two separate areas for development, the Van Blaricom property (PID 01-119-23-34-0002) to the east of the Bellwether development and the Schober property (PID 01-119-23-43-0002), which was platted as part of the Bellwether development and planned for future development. A portion of this development area will be included as part of the Bellwether development and portion will be a separate, distinct single family neighborhood.

2. Background

Bellwether (originally Encore) is an active adult neighborhood developed by Pulte under the Del Webb brand. Bellwether is a multiphase development that has received final approval for five out of six phases approved at this time. The Bellwether development was approved with a parks plan that included a large open space park and a smaller neighborhood park in the development near the southwest corner of the proposed Van Blaricom development.

3. Context

Zoning and Land Use

The site is zoned RSF-2 (Single Family Residential 2) for the Van Blaricom property and zoned PUD for the Schober property. The Comprehensive Plan designates the properties as Low Density Residential.

Surrounding Properties

All the surrounding properties are in the MUSA (Metropolitan Urban Service Area).





The property to the east and south are part of the Bellwether development and are guided Low Density Residential and zoned PUD (Planned Unit Development). The properties to the north and west are guided Existing Residential and are zoned UR (Urban Reserve) and PUD as part of Bellwether.

Natural Characteristics of the Site

The west side of the Van Blaricom property has a large emergent wetland that leads into the center of the property according to the Natural Resource Inventory Areas map (Map 1-7) in the Comprehensive Plan. A portion of the site is also located in the FEMA floodplain.

4. Analysis

Environmental Review

An Environmental Assessment Worksheet (EAW) was completed in 2018 for the original Bellwether project. This parcel was planned to be part of the project and was not included in the EAW. This concept plan project does not meet the threshold to require an EAW by itself and when combined with the approved Bellwether project would not rise to the threshold for an Environmental Impact Statement (EIS), but could be considered a Phased Action under Minnesota Rules 4410.0200, subpart 60 (E).

Staff finds that an EAW would not be required, but we recommend reviewing this new concept plan against the completed EAW and preparing a new infrastructure feasibility study. The Council would review and accept these documents prior to allowing the applicant to proceed with a formal plat/PUD application. Wenck has used this process in other similar circumstances and we believe this is consistent with the intent of the EQB rules. Under Minnesota Environmental Review Program rules, the City is the governmental unit responsible for preparing this EAW and determining whether the project has the potential for significant environmental effects. Staff has reached out to the EQB staff to confirm this approach and will provide an update on the process at the Council meeting.

Sketch Plan

The sketch plan shows 193 single family housing units (a mix of villa units that will be part of Bellwether and traditional single family detached homes) on approximately 77 acres. The applicant has indicated that the project would be developed in two phases. The developer will be required to submit a phasing plan with the preliminary PUD development plan.

Proposed PUD Uses

The applicant has not provided a proposal for what the framework for the PUD might be. As part of the development would be an extension of the Bellwether development, staff expects that the applicant will request approval to amend the Bellwether PUD to incorporate the new villas into the existing homeowner's association.



Lot Standards and Setbacks

The sketch plan shows villas that will be marketed to a 55+ age buyer. These villas are connected to the Bellwether development by street extensions from 102nd Place and 103rd Avenue. The development on the south side of the Van Blaricom property will be incorporated into the existing PUD and will be managed by a homeowner’s association.

The sketch plan also shows single family homes that are not connected to the Bellwether development. These lots will have separate access from Stieg Road. These homes will not be part of the Bellwether HOA.

The applicant does not indicate in their submittal which zoning district they would prefer to use to evaluate the lot standards proposed. Previously, the Bellwether development used the RSF-3 (Residential Single Family 3) lot standards as the framework for the PUD. The proposed lot standards for the 17 units on 44-ft. wide lots on the Schober property and the 104 villas on the south side of the Van Blaricom are the same as those approved for the rest of the adult active living lots in Bellwether.

	Proposed	Existing RSF-2 (single family) zoning (Van Blaricom)	Bellwether PUD (Schober)
Minimum lot area	unknown	7,500 sq. ft.	5,000 sq. ft.
Minimum lot width	44-foot villa lots	65 feet	44-foot villa lots
Minimum Principal Structure Setbacks:			
Front, From Major Roadways*	100 feet	100 feet	100 feet
Front, From all other streets	20 feet primary	20 feet	20 feet
Side (living)	5 feet	10 feet	5 feet
Side (garage)	5 feet	5 feet	5 feet
Rear	20 feet	30 feet	20 feet
Maximum Principal Building Height	unknown	35 feet	35 feet
Driveway Width	22 feet	22 feet	22 feet

The proposed single family housing development on the Van Blaricom shows a total of 72 units of single family housing units are proposed on 65-ft. wide lots.



	Proposed	RSF-2 (single family)
Minimum lot area	unknown	20,000 sq. ft.
Minimum lot width	65-foot single family lots	80 feet
Minimum Principal Structure Setbacks:		
Front, From Major Roadways*	100 feet	100 feet
Front, From all other streets	20 feet	20 feet
Side	7.5 feet	10 feet/5 feet garage
Rear	30 feet	30 feet
Maximum Principal Building Height	unknown	35 feet

The applicant will require PUD flexibility for the lot width as 65-foot lots are proposed where 80-foot lots would usually be required.

Utilities

The applicant’s narrative does not state how utilities would be provided to the homes.

Municipal water is not currently available to the site. The Bellwether development has access to water from the City of Maple Grove, however, the agreement that allowed this does not extend to the proposed development. The City Administrator has met with the City of Maple Grove, and the City of Maple Grove has stated it would be open to moving where the water is needed in Bellwether and could be open to expanding water service. The site can obtain sanitary sewer service from the Bellwether development. This issue would be evaluated as part of the feasibility study.

The City Engineer also notes that the site is a water tower search site. The available sites for water tower development were identified in a feasibility study and two were identified, one of which is in the southwest corner of the Van Blaricom property. This would be evaluated as part of the feasibility study.

Transportation and Access

The street extensions from Bellwether show a mix of 50- and 60-foot street rights-of-way. This complies with the approved Bellwether plans and resolutions and City standards.

Access to the new villas would be from an extension of the existing roads within the Bellwether development. Access is proposed for the new single family homes with two new curb cuts off Stieg Road. Public Works has indicated they would prefer to see the eastern access point for the development moved further east along Stieg Road as a future connection when the parcel to the east develops. This would provide more spacing and would increase safety for turning motorists. The area across Stieg Road from the development is guided as Mixed Use and will likely create a larger amount of traffic in the area when developed. Staff suggests that the current southern entrance to the development remain as temporary access until the time that the small triangular parcel is developed. The future access on this property should be ghost platted to show where the connection will be made.



If this project proceeds forward, the City will require the applicant to upgrade Stieg Road in front of the subdivision. The Council will want to discuss the potential to complete the remaining road improvements out to CR 116 as part of that project. This would be analyzed as part of the transportation feasibility study that would be completed as part of the review of the approved EAW.

Stormwater

The sketch plan shows several stormwater ponds. Stormwater appears to be manageable without off-site improvements.

Public Safety

Public Safety has no comment on the sketch plan, but supports the Public Works recommendation regarding access.

Wetlands

The wetland delineation has been completed. ECWMC is the LGU for the Wetland Conservation Act and they have reviewed and approved the delineation. The subject wetlands are ranked on the National Resource Communities Quality Rankings map as medium quality. There are wetlands that are not shown on that map that were identified during the delineation, the applicant should complete a MNRAM study to determine wetland quality. The sketch plan appears to identify wetland buffers and setbacks, but not enough information is provided to review at this time. If mitigation occurs, a mitigation plan must be submitted for review and approval and Elm Creek Watershed District approval must be obtained. All wetlands must be blanketed by a drainage and utility easement.

Landscaping

No landscape plan was provided with the concept plan, but staff notes that a well-designed landscape is an important part of this project to ensure transitions between potentially conflicting land uses (single family homes and higher density development planned on the adjacent property). We will review the landscape plan with the development plan submittal for compliance with the ordinance standards. The developer may wish to provide an upgraded landscape plan as one of the PUD benefits.

In the previous approval street trees were allowed in the right-of-way on streets with a 60-ft. right-of-way and were required to be placed outside of the right-of-way on streets with 50-ft. right-of-ways. Staff recommends this condition be applied to the future landscape plans.

Parks and Trails

The sketch plan is correctly showing sidewalks on one side of all public streets. The sketch plan shows trails leading west from the future city park then leading north along the west side of the Van Blaricom property. Trails are planned to wind through the site. The City requires an 8-foot wide trail in a 20-foot wide easement. The trail plan should allow the public to use the public trails to get through the site and



to/from the proposed public park in the center of the site. The trail plan is generally consistent with the City's trail plan adopted as part of the Comprehensive Plan.

Three Rivers Park District is continuing to work to finalize the alignment of the Diamond Lake Regional Trail corridor and has expressed a desire extend that trail through the Van Blaricom property. Staff will continue to work with the applicant, the TRPD and the Parks and Trails Commission to finalize a trail alignment through this property. The TRPD trail is generally a 10-foot wide trail in a 20-foot easement.

The sketch plan shows an area for a future neighborhood park that was initially part of the Bellwether approvals. The current concept does not appear to be consistent with the original approvals. The park is not intended to be a park exclusively for the residents in the Bellwether development and should be visible from the street. The original concept include a parking lot near the entrance which would serve both the neighborhood park and the open space park. Staff believes that several lots will need to be removed near the entrance to create a viable gateway into this park complex.

Original Park Plan from Preliminary Approvals



Proposed Van Blaricom Development



Park dedication for this project would be reviewed by the Parks Commission with the preliminary plat application but would likely be a mix cash and land dedication for the park and public trail easements. However, the developer could suggest additional park land dedication or construction of the trails as one of the benefits of the PUD.

The City should accept park dedication in the form of land where shown on the maps. The City may accept cash-in-lieu of land if park dedication requirements are not met by the trail dedication.

Next Steps

- a. The EAW review/feasibility study will be completed for Council review and acceptance.
- b. If the applicant chooses to proceed with the application, they would need to submit applications for:



- i. Zoning Map Amendment
- ii. Preliminary Plat
- iii. Preliminary PUD Development Plan

c. Then the applicant would submit applications for:

- i. Final Plat
- ii. Final PUD Development Plan

While this is not the formal application, the Council should provide direction to the applicant so that they can decide whether to proceed with formal application.

5. Recommendation

The applicant is requesting comments on this sketch plan. Any comments given by the City Council are advisory in nature and non-binding.

While the comments are non-binding, the applicant will consider the comments from the City Council when they prepare their formal submittal.

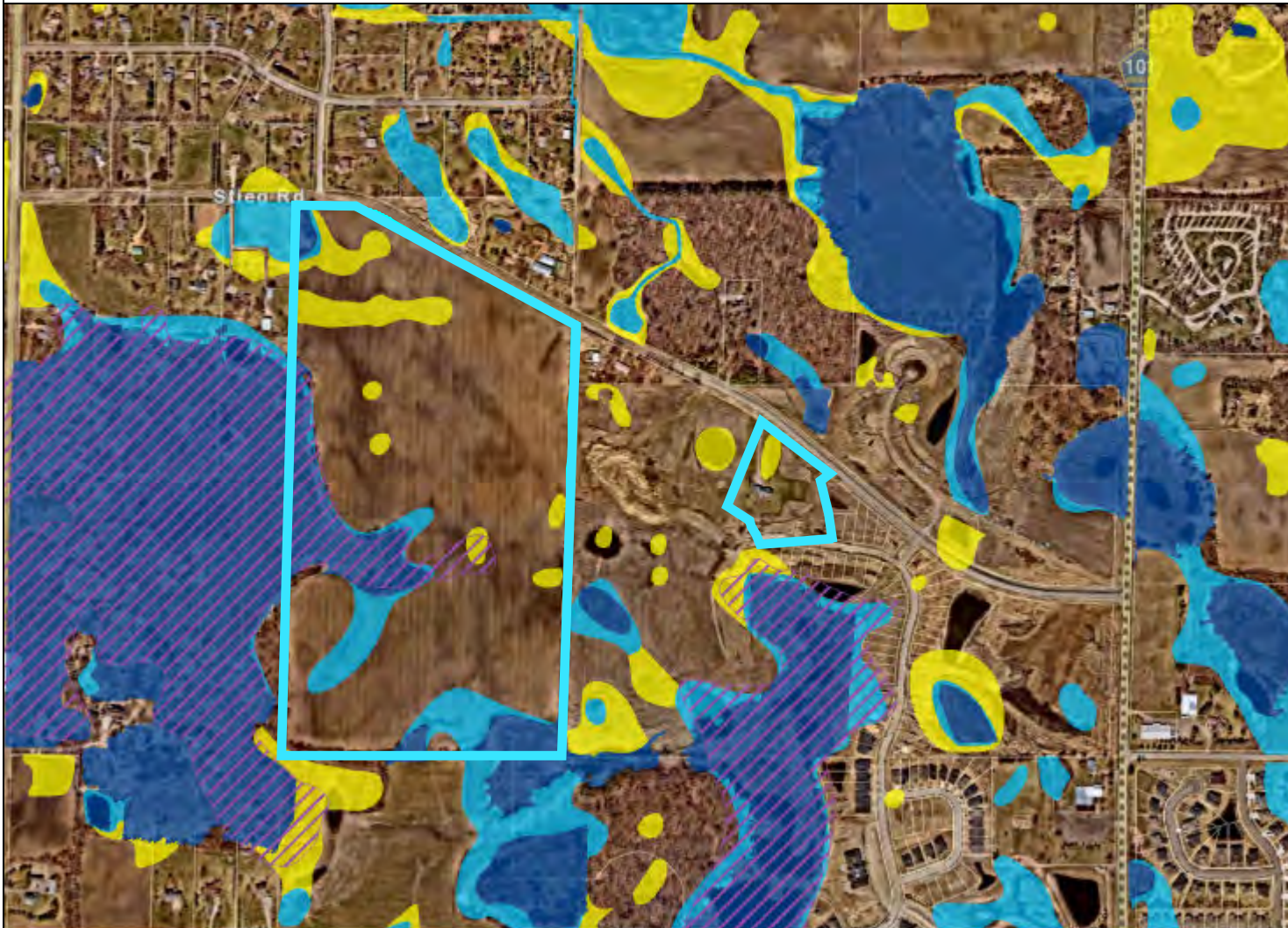
Attachments

1. Site Location Map
2. City Engineer's Memo dated January 19, 2021
3. Applicant Narrative dated December 22, 2020
4. Concept Plans dated December 22, 2020
5. Approved Bellwether Preliminary Plans



Hennepin County Natural Resources Map

Date: 1/21/2021






Legend

FEMA Floodplains - 100 Year

-  A
-  AE FLOODPLAIN
-  AH
-  AO
-  AE FLOODWAY

Wetlands

-  Potential Wetland - HCWI
-  Probable Wetland - HCWI
-  Probable Wetland - NWI

PID: 0111923340002
Address: 52 ADDRESS UNASSIGNED,
CORCORAN
Owner Name: VAN BLARICOM
FAMILY TRUST
Acres: 73.48

Comments:

1 inch = 800 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To:	Kevin Mattson, PE Director of Public Works	From:	Kent Torve, PE, City Engineer Steve Hegland, PE, Todd Shoemaker, PE, Ed Terhaar, PE, Matt Bowers, PE
File:	B002294-20-501	Date:	January 19, 2021

0.0 INTRODUCTION

Pulte Homes has submitted a concept plan for a parcel adjacent to the ongoing Bellwether development. The 73 acre (+/-) concept is shown in the Attachments. This review outlines major infrastructure and water resource items related to the concept plan.

1.0 TRANSPORTATION

BACKGROUND

A previous transportation study was completed for the Bellwether Feasibility Study and EAW. The VanBlaricom development is of sufficient size to update this analysis, although COVID restrictions have some impact on the data.

The traffic study may consist of

- Collecting traffic counts and turn movement volumes at the CR 116/Stieg and CSAH 101/Stieg intersections to determine existing volumes.
- Traffic forecasts completed in 2018 for Pulte will be updated to account for the proposed development. These forecasts will account for other future development potential in the immediate area.
- The proposed access spacing will be reviewed relative to City and State Aid standards.
- The sight lines at the proposed access locations will be reviewed to determine if they meet standards.
- The traffic forecasts will be used to determine the necessary roadway improvements on Stieg Road and at the CR 116/Stieg Road intersection.

SUMMARY OF TRANSPORTATION IMPACTS

The development will be required to fund transportation improvements to manage the impacts. The first review of the concept plan was evaluated and the following improvements may be considered. Additional impacts may be identified through the feasibility study and city review process:

- Paving the remainder of Stieg Road at State Aid standards to CSAH 116
 - Stormwater management for these improvements
- Turn lanes at CSAH 116
 - Utility locates, stormwater improvements, etc.
- Potentially relocating the east development entrance to align with future development north of Stieg Road. Creating a temporary access in current east location shown.
- Construct turn lanes into the development on Stieg Road
- Potential for signal at CSAH 116 and CR 101 should be reviewed at time of feasibility study with updated traffic review.
- The two internal cul-de-sacs in the middle of the single family home portion should be connect into one looped road.
- Ghost platting should be provided for the development to the west to confirm access stub is appropriate.

- Parking demands for park area should be further considered.

2.0 WATER

BACKGROUND

Water system connections are governed by the City's existing Water Service Agreement with the City of Maple Grove in the short term and eventually the Corcoran municipal system will serve the site.

WATER SUPPLY

The water supply for the first development in Northeast Corcoran (Pulte - Bellwether) was obtained via connection to the Maple Grove water system at a location just north of the CSAH 101 / CSAH 30 intersection. Under the overall water supply contract, Maple Grove has indicated that they would supply Southeast Corcoran with water up to a maximum day demand (MDD) of 5 million gallons per day (MGD). However, in Northeast Corcoran, they indicated that water would only be supplied for the Bellwether development, and no additional developments would be supplied.

As a result, the City is now underway with the pursuit of developing its own water supply for Northeast Corcoran, including a municipal well (90% designed), water treatment plant (Draft Feasibility Study completed), property acquisition (underway) and water tower (sites identified). Start-up of this system is projected to occur in 2022/2023 based on early 2021 design phase.

INFRASTRUCTURE

The expected and potential infrastructure is discussed below and, if development plans progress, will need to be evaluated in more detail in a future feasibility.

Municipal Well

The first municipal well is planned for a parcel adjacent to CSAH 116, along with the planned treatment plant. The VanBlaricom property is a potential site for future Municipal Well No. 2, most likely in the vicinity of the park in the southeast corner of the development. The City is required to own a 50-foot radius around the well (Minnesota Department of Health requirement) and in the future would construct a relatively small well house in conjunction with the well. Water main ("raw water") would be installed to convey supply to the centralized water treatment plant. The City would work with the developer to identify the route within the development, create permanent City easements, and ensure that the City gets a route for the future raw water main, or it could be installed in conjunction with the development. More discussion is warranted on future Well No. 2.

Water Tower

The development property is also a candidate for the City's first water tower, which would require approximately 1 acre of land for the City. Water towers are somewhat restricted in their siting locations, with the "high ground" being optimal. A feasibility study for the Northeast Water System was completed in November 2020, which identified two potential locations for a 750,000 gallon water tower. The City is currently in the process of evaluating and selecting the final location. Location 2 in the feasibility study is in the vicinity of the park in the southeast corner of the VanBlaricom development (see figures). The figures also shows the conceptual trunk water main routing that will need to be constructed westward to connect to the water treatment plant and also a line south, then eastward to connect to the existing trunk water mains nearer to the Maple Grove connection point. Some of these water mains will need to be constructed through future phases of the currently approved Bellwether development, so additional discussions and coordination on these segments will be required.

Other Development Water Main

Other than the trunk water mains noted in the water tower discussion above, most water mains will be standard 8-inch PVC, with looping of dead-end water mains (to avoid water quality issues) and stubs for connection (existing and future) into adjacent properties. One other potential trunk extension will be evaluated in the feasibility study: the existing 12-inch water main that is headed northwest along Stieg Road will likely be further extended along the edge of Stieg Road or might possibly be constructed into the northernmost parallel street in the development property.

Expected Conditions

Based on available information and prior distribution system modeling work, the water distribution system pressures for the future City water system are anticipated to range from approximately 60 to 75 psi, and fire flows are anticipated to exceed the target residential fire flow of 1,500 gallons per minute. Expected system pressures and fire flows will be more specifically evaluated in a future feasibility study.

3.0 SEWER

SEWER SERVICE

Sewer service will be provided via extension of the 30-inch trunk sewer through the southern edge of the development property. This trunk sewer was constructed through the currently approved Pulte Bellwether property to a location immediately east of the southeast corner of the development property (see figure in Attachments).

A summary of requirements for the sewer include:

- Construction plans for trunk sewer extension will be prepared by the developer and approved by the City, with construction costs paid by developer.
- Construction will be fully completed to the west edge of the Pulte developments, such that the City can continue its westward construction to the water treatment parcel.
- Permanent easements will be dedicated to the City, with widths similar to those established for the existing 30-inch trunk sewer.
- Sanitary sewer service will need to be provided to the City Water treatment site with the 1st Addition as sewer service is required to operate this facility to provide water for the development.

4.0 STORMWATER, WETLANDS AND WATER RESOURCES

The VanBlaricom parcel drains to the west/northwest and stormwater can be managed for rate control and basic water quality on site. A regional improvement was discussed with the original Bellwether development and is at the concept/staff level. Stormwater modeling will follow the City's guidelines and floodplain (FEMA) rules and Elm Creek Water Management Organization (WMO) rules will be followed.

STORMWATER MANAGEMENT

Stormwater has several regulatory agencies and City also has requirements for standardized installation of practices to ensure future maintenance access. The site will be subject to City stormwater guidelines, wetland regulations and Elm Creek Watershed's approval.

- Site drainage is to the west with Stieg Road drainage to the north.
- Concept plan shows backyard stormwater ponds, which will be reviewed and possibly combined into a single pond.
- Alignment and discharge location shall be shown for the 18" pipe from Wetland 25 to the west.
- Incorporate stormwater management for the Schober Property.

- Provide updated drainage area maps which are typically a part of the site's Stormwater Management Plan
- Provide an updated hydrology and hydraulic model in XP-SWMM that addresses the following:
 - Wetland 25 Emergency Overflow (EOF) as planned for Bellwether and the 18" pipe to west
 - Account for stormwater runoff from the south Stieg roadside ditch
 - Account for stormwater runoff from of Stieg Road.
 - Include wetlands in modeling.
- Significant wetlands exist and the formal process will need to be followed. It can be noted that Corcoran is the LGU for the Wetland Conservation Act and obtained this authority in 2019.

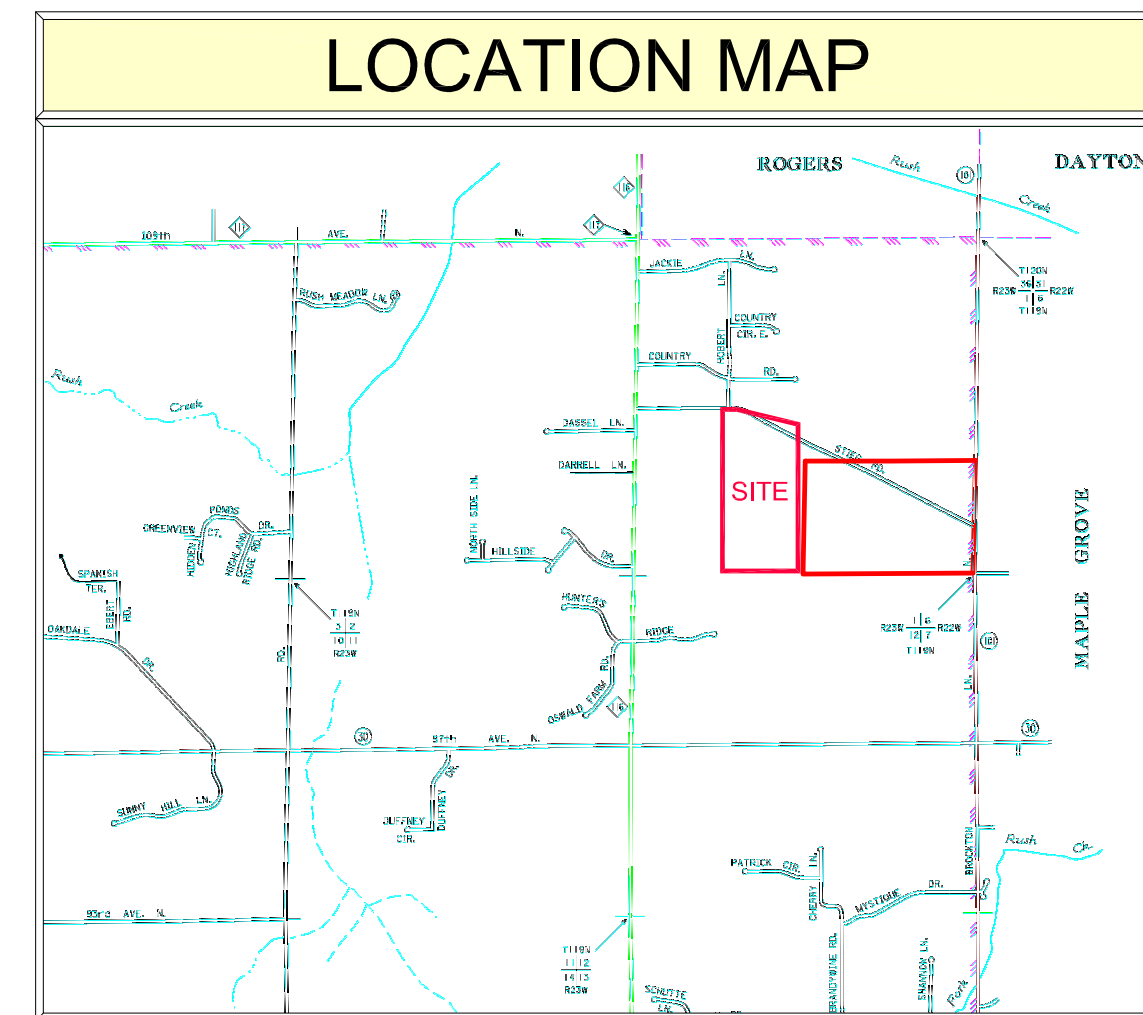
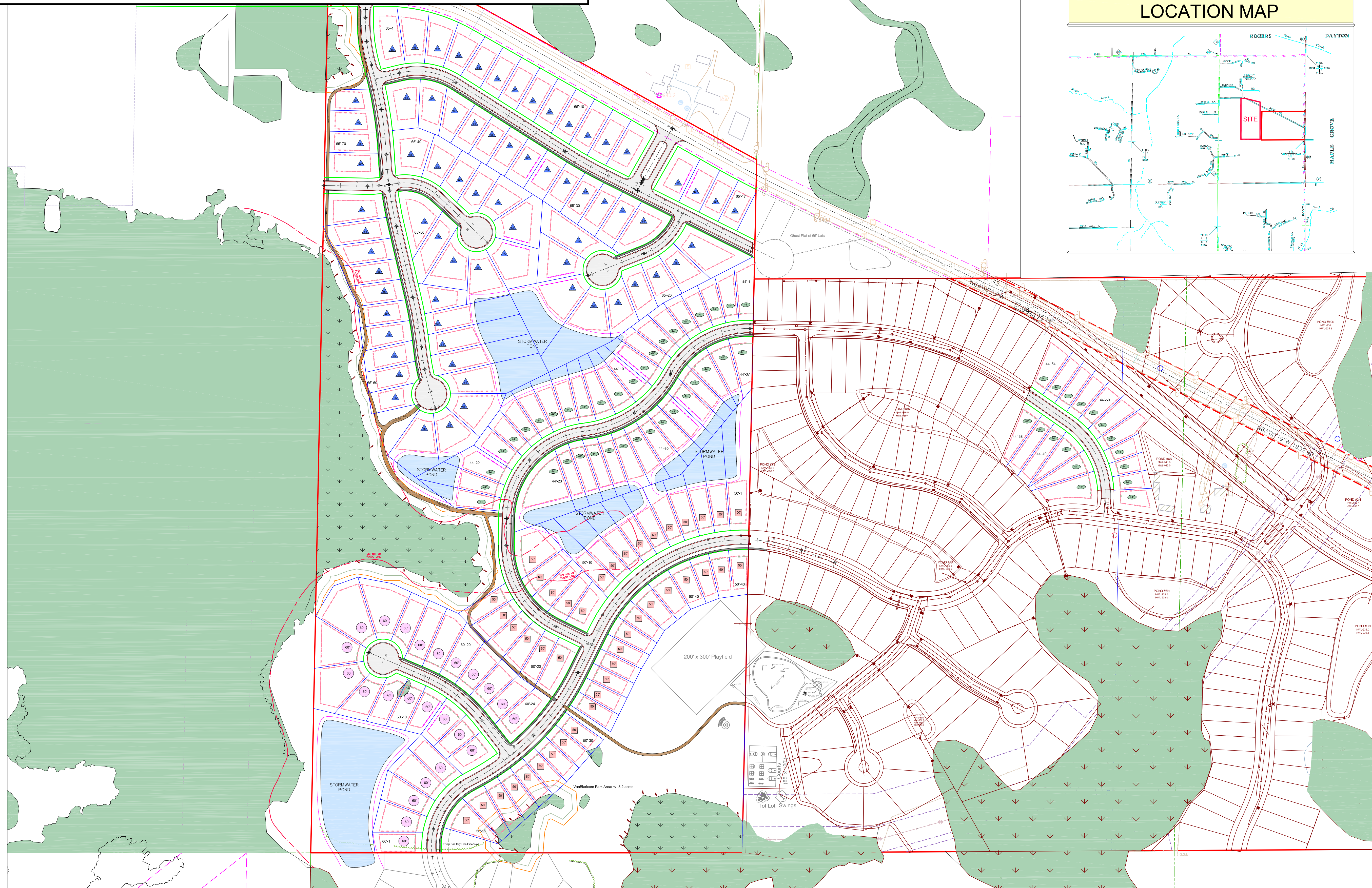
In summary, a comprehensive evaluation of the regional drainage area, hydraulic conditions, and runoff parameters to Wetland 4 (west side of VB site) will be required. This comprehensive evaluation will be calibrated with the FEMA. Floodplain regulatory modification (Letter of Map Revision -LOMR) may be required.

An offsite wetland enhancement may be required as part of the development in lieu of stormwater utility fees.

Attachments

1. Concept Layout
2. Transportation
3. Infrastructure Overview
4. Tower Location

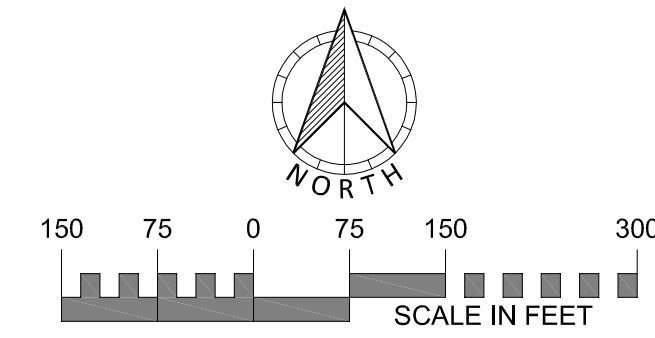
ATTACHMENT 1: CONCEPT LAYOUT



VAN BLARICOM/SCHOBER PARCELS
 PID: 0111923340002
 0111923430009
 Area: 77.22 ac
LOT COUNT
ACTIVE ADULTS - (121 LOTS)
 44' 44' WIDE LOT - 54
 50' 50' WIDE LOT - 43
 60' 60' WIDE LOT - 24
SINGLE FAMILY
 65' 65' WIDE LOT - 72
TOTAL - 193

AREAS
 Gross Area: +/- 77.22 Acres
 Gross Density: 193 units / 77.22 = 2.50 un/ac
 Wetland: +/- 6.2 Acres
 Stieg Road ROW: +/- 0.24 Acres
 Net Area: 70.78 Acres
 Net Density: 193 units / 70.78 = 2.72 un/ac
 Park Dedication Area
 Gross: +/- 8.20 Acres
 Wetland Area (within Park): +/- 1.56 Acres
 Net area: +/- 6.64 Acres

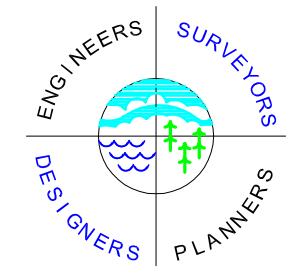
DIMENSIONS
 Street: 50' ROW - 30' B-B
 CDS - 50' R
SETBACKS
Active Adult
 Frontyard Setback: 20'
 22' Minimum Driveway
 Sideyard Setback: 5'/5'
 Rearyard Setback: 20'
Single Family
 Frontyard Setback: 25'
 Sideyard Setback: 7.5'/7.5'
 Rearyard Setback: 30'



DRAWING NAME	NO.	BY	DATE	REVISIONS
xxx				
DRAWN BY				
xxx				
CHECKED BY				
xxx				
DATE				
xx/xx/xx				

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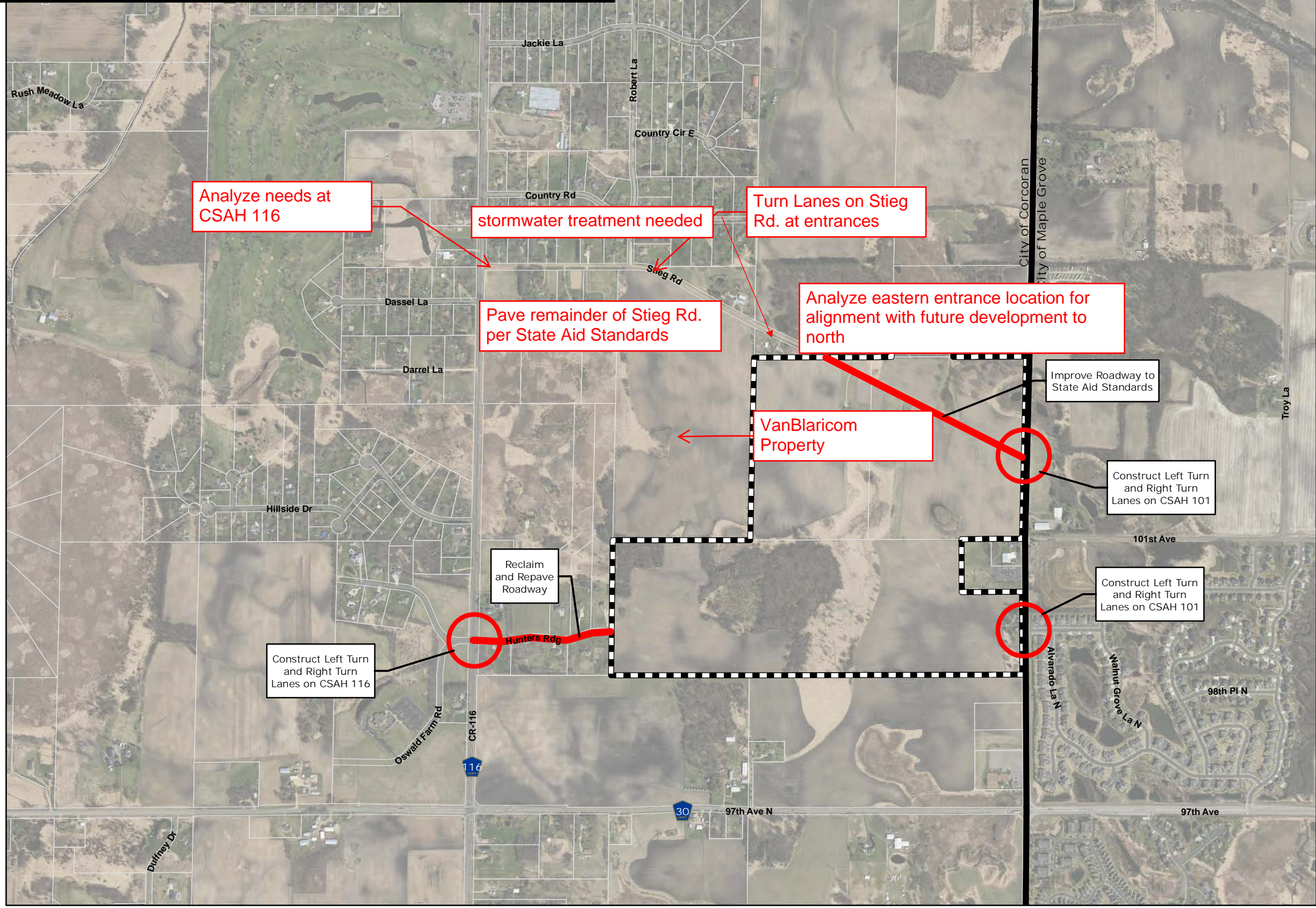
CITY PROJECT NO. _____
CORCORAN, MINNESOTA

VAN BLARICOM/SCHOBER
CONCEPT 121720
BELLWETHER
PULTE GROUP

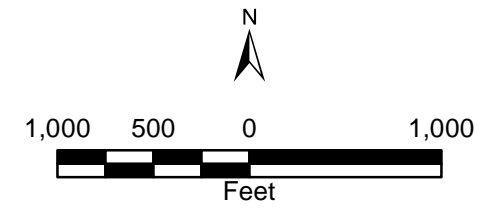
FILE NO. _____
 xxx-xxx
 X
 X

PROJECT NAME AND NUMBER

ATTACHMENT 2: TRANSPORTATION



- Legend**
- Municipal Boundary
 - Proposed Pulte Development
 - Roadway Improvements
 - Turn Lane Improvements
 - Parcels



2016 Aerial Photograph (Source: MN GEO)
 Path: L:\2294\0033\mxd\FS\Transportation Improvements.mxd
 Date: 5/23/2018 Time: 1:47:24 PM User: shujc0243

CITY OF CORCORAN - PULTE DEVELOPMENT

Transportation Improvements

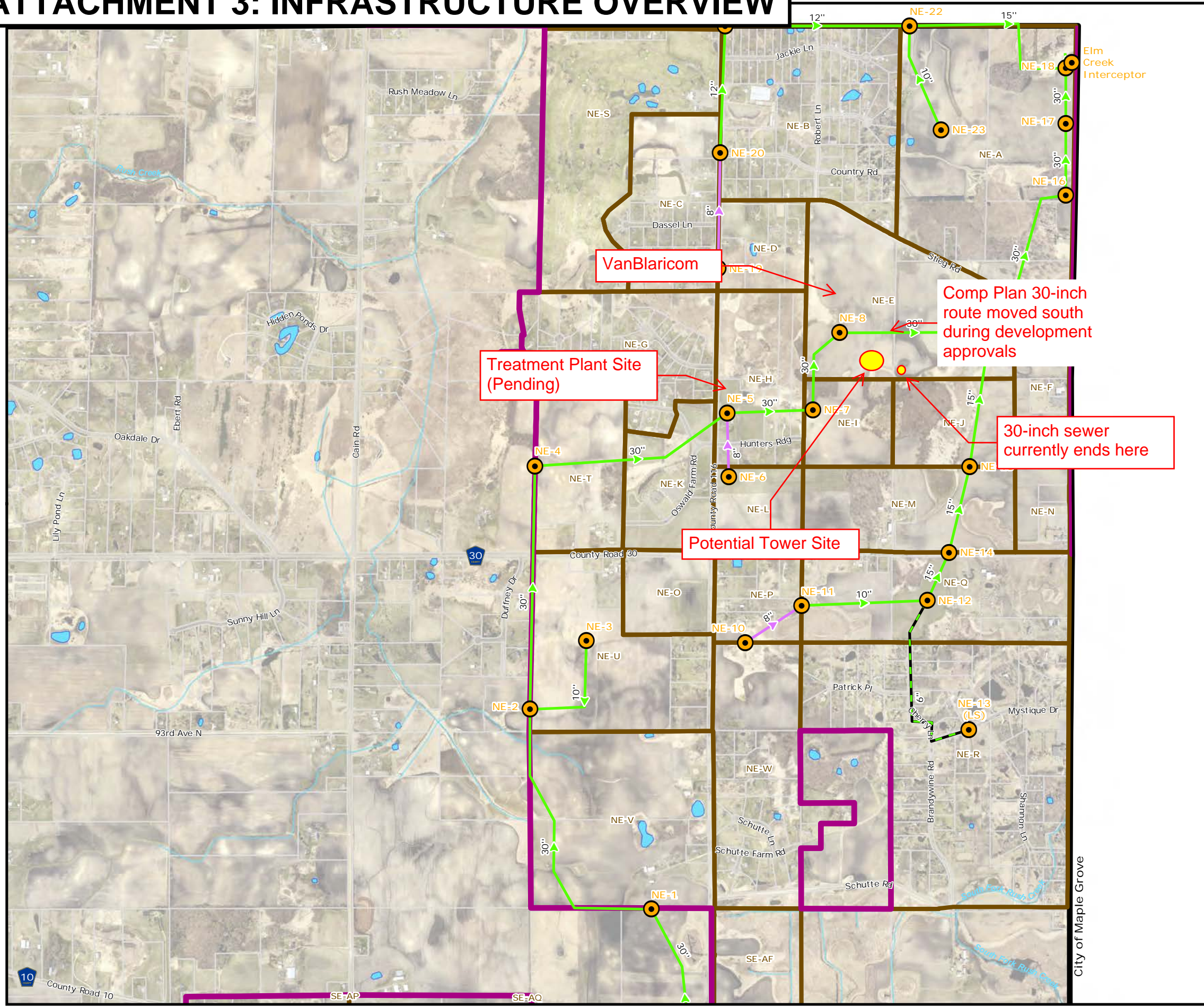
Markup for VanBlaricom Concept Plan



MAY 2018

Figure 1

ATTACHMENT 3: INFRASTRUCTURE OVERVIEW



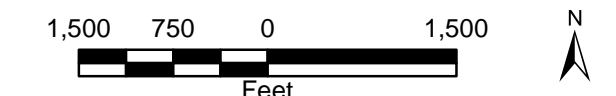
CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Fig 2 Markup for VanBlaricom Concept

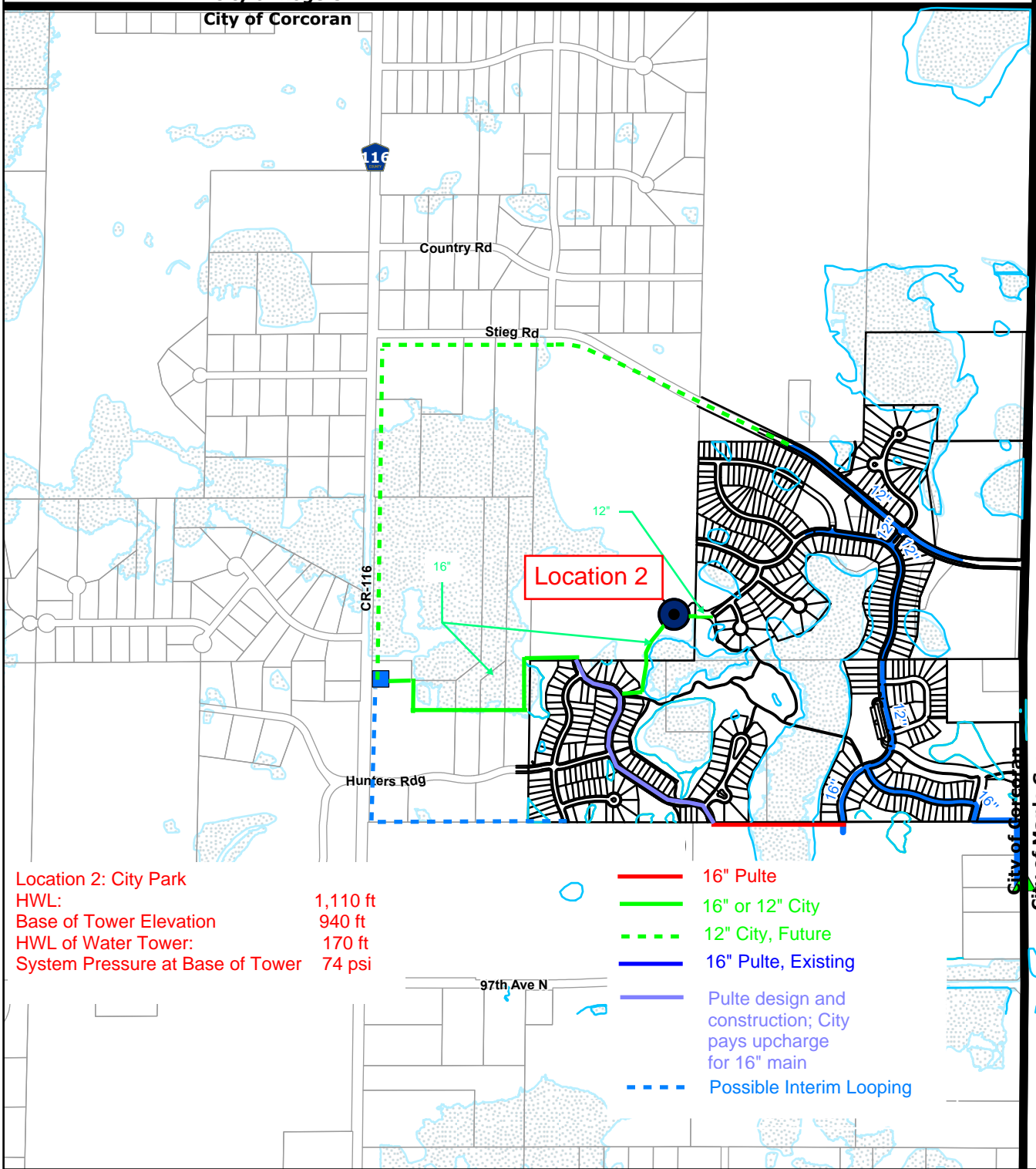
Map 7-2
Proposed Trunk Sanitary
Sewer System - NE District

- Proposed Gravity
- Proposed Gravity (Lateral)
- Proposed Forcemain
- Sewer Nodes (LS) = Lift Station
- Sewer Subdistricts
- Municipal Boundary
- 2040 MUSA
- Parcel Boundaries
- Streams
- Lake/Open Water



Path: L:\2294\100\2040CompPlan\NE Proposed Trunk Sanitary Sewer_LS.mxd
Date: 1/8/2019 Time: 7:15:58 AM User: ShuJC0243

ATTACHMENT 4: TOWER LOCATION



Location 2: City Park
 HWL: 1,110 ft
 Base of Tower Elevation: 940 ft
 HWL of Water Tower: 170 ft
 System Pressure at Base of Tower: 74 psi

- 16" Pulte
- 16" or 12" City
- - - 12" City, Future
- 16" Pulte, Existing
- Pulte design and construction; City pays upcharge for 16" main
- - - Possible Interim Looping

Legend

- Municipal Boundary
- Parcel Boundaries
- Bellweather Parcels
- ~ Existing Watermain

- Preferred Water Tower Locations
- ◎ Potential Water Tower Locations
- Well/Water Treatment Plant

- ▲ Potential Supply Connections with Neighboring Comm
- Wetland Delineation
- ~ NWI Wetlands

1,200 600 0 1,200 Feet

Path: L:\2294\19-048\ProWaterSupplyArea\WaterSupplyArea.aprx
6/23/2020 3:56 PM shuic0243 Layout: Corcoran NE Water Supply Area

CITY OF CORCORAN
 Corcoran NE Water Supply Area

WENCK
 Responsive partner. Exceptional outcomes.

JUN 2020
 Figure 5-1b

Fig 4 For VanBlaricom Concept



“VAN BLARICOM & BELLWETHER”

**APPLICATION FOR:
Site Plan**

**CORCORAN, MINNESOTA
December 22, 2020**

Introduction

Pulte Homes of Minnesota, LLC (“Pulte”) is pleased to be submitting this application for Site Plan.

Pulte’s company vision is **“Building Consumer Inspired Homes and Communities to Make Lives Better”**. We are one of the largest homebuilders in the United States with corporate offices in Atlanta, Georgia. We currently operate under three distinct brands of homebuilding throughout the country: Pulte Homes, Centex Homes, and Del Webb. Pulte’s Minnesota Division has an office in Eden Prairie and will build about 700 homes in the Twin Cities in 2021 under the Pulte Homes and Del Webb brands.

Pulte will act as both developer of the property and builder of the homes. The primary contact for Pulte is:

Paul Heuer, Director of Land Planning & Entitlement
7500 Flying Cloud Drive, Suite 670
Eden Prairie, MN 55344

The owners of the properties are:

Claudia Taylor for Van Blaricom Trust
415 City View Drive
Minnetonka, MN 55305

Mary Schober Martin and Joel Martin
19319 Stieg Road
Corcoran, MN 55374

The Properties

Van Blaricom:
01-119-23-34-0002

Schober:
01-119-23-43-0002
19319 STIEG RD ROGERS, MN 55374

Background - Bellwether

On June 28, 2018, the Corcoran City Council approved the preliminary plat for the first Del Webb neighborhood in Minnesota, named Bellwether. Bellwether is an active adult neighborhood consisting of 398 homes.

Del Webb is an iconic and renowned brand name across the Country that exclusively caters to the active adult 55+ market. Del Webb neighborhoods are extremely popular, high amenity facilitated lifestyle communities which are highly sought after.

Many active adult buyers are searching for a neighborhood with the following attributes: single level homes; homeowner's association yard and snow maintenance; a safe and secure feeling; the attractiveness of a resort; and provides an abundance of social and recreational opportunities. Bellwether has been designed to cater to these buyers.

Within Bellwether, we have incorporated the traditional Del Webb neighborhood design characteristics which have been a trademark for decades. The neighborhood vision for Bellwether includes:

1. **Entrance experience** – At the primary entrance to the neighborhood off County Road 101 (100th Avenue), there is plentiful open space, a large monument, and robust landscaping.
2. **Arrival drive** – The arrival drive leads the driver directly from the main entrance to the amenity center. The arrival drive consists of a parkway with a wide, heavily landscaped center median and runs immediately adjacent to a wetland, providing beautiful, open views. There are no driveways on the parkway, creating a feeling of luxury, beauty, safety, and a welcoming sense of arrival into the neighborhood.
3. **Amenity center** – This buyer expects a private amenity center that caters to their recreational and social needs. We have strategically planned this amenity at a central location overlooking the largest wetland on the property. Now complete, the amenity center includes a wide variety of recreational and social features and is nearly 12,000 square feet!
4. **Trails/Open Space** – We used the City's Comprehensive Plan as a guide for preserving valued natural resources (woods), providing land for an active public park, and designing an interconnected public trail system throughout the neighborhood.
5. **A feeling of security** – It is very important to this buyer that their neighborhood feel safe and secure. This is accomplished by a variety of intentional design approaches such as buffer plantings in key perimeter areas, parkway arrival drive, sidewalks along every street, a private amenity center for homeowners and their guests, etc.
6. **Single level villa homes** – The active adult buyer commonly wants to move into a single level home with no or minimal stairs, homeowner's association-maintained yards/snow removal, and social and recreational opportunities. Buyers can choose from different product lines of homes, each catering to a different square footage, price point, and location/views.

Bellwether has been received extraordinarily well by the buying public. The iconic Del Webb brand has proved to be equally successful in Minnesota as it has across the Country. As a result of this success, we are expanding the neighborhood.

Current Application

The current application includes two separate properties and will include two different neighborhoods. See exhibits.

Van Blaricom Property

Bellwether was designed to someday include a portion of the Van Blaricom property. Viewing the original Bellwether site plan, we designed a “loop road” through the Van Blaricom property. In effect, the Van Blaricom property helps us to connect two separated parts of the overall Bellwether neighborhood.

The Van Blaricom property will have two separate neighborhoods with different types of homes. On the southern half, we will build an extension of the Del Webb Bellwether neighborhood with single level villa homes restricted to active adults. The northern half will consist of a new Pulte Homes single family neighborhood.

Schober Property

For the original Del Webb Bellwether neighborhood, we bought a large majority of the Schober property. The intention of the Schober family was to stay in their existing single-family home encircled by Bellwether. Over time, their intention has changed. Therefore, this small “infill” property will be converted into Bellwether lots. We originally designed the neighborhood to easily convert this property to Bellwether lots.

Key Facts

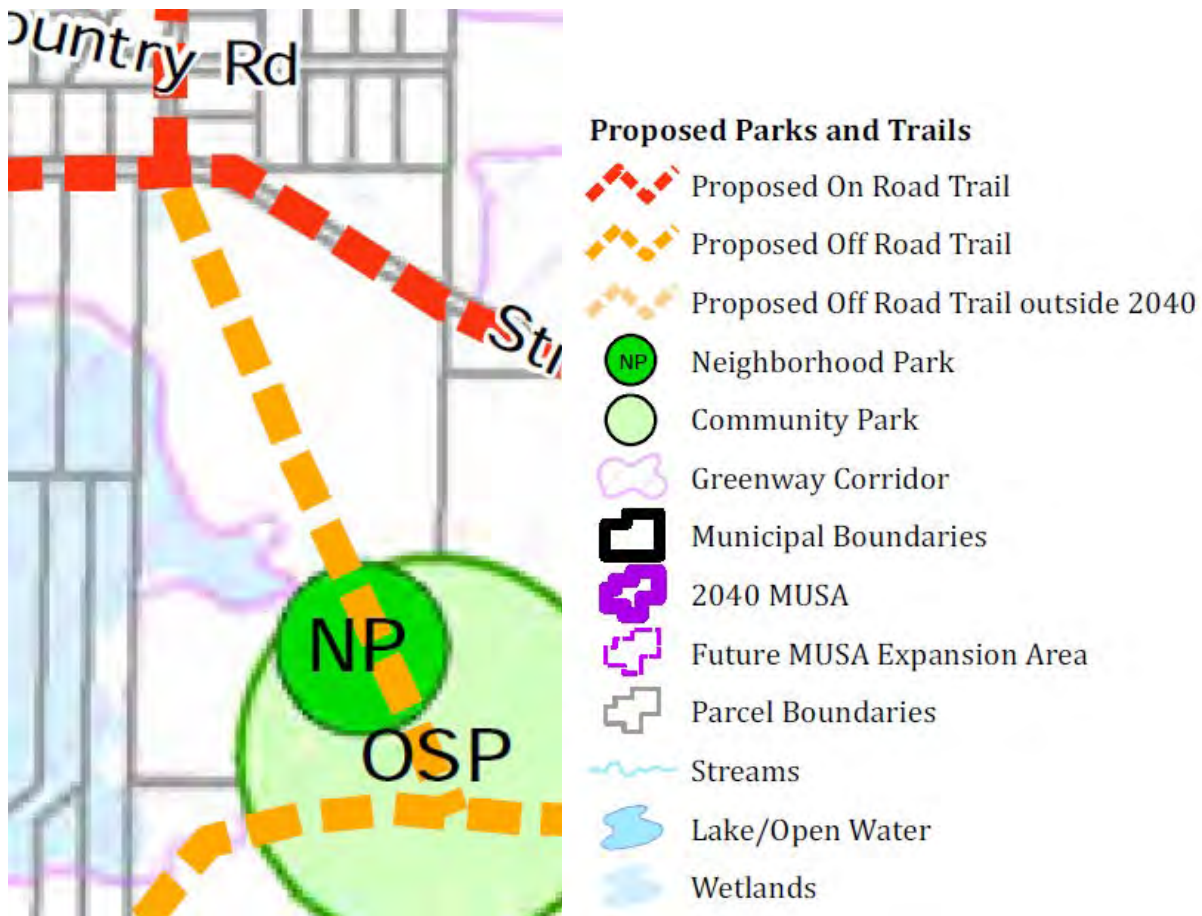
- Lots
 - Van Blaricom property
 - i. Bellwether lots (44', 50', 60') 104
 - ii. Single family lots (65') 72
 - iii. Total 176
 - Schober property
 - i. Bellwether lots (44', 50', 60') 17
 - Total 193
- Comp Plan Guidance is Low Density Residential
- Proposed zoning is PUD
- Key property areas (pre-development):
 - Gross area 77.22 ac
 - Gross density 2.5 units/ac
 - Wetlands 6.2 ac
 - Stieg Road ROW 0.24 ac
 - Net area 70.78 ac
 - Net density 2.72 units/ac
- Minimum home setbacks for Bellwether (unchanged from approved 2018 plan)
 - 25 feet front

- 5 feet and 5 feet side
- 20 feet rear
- 22 feet driveway
- Minimum home setbacks for single family
 - 25 feet front
 - 7.5 feet and 7.5 feet side
 - 30 feet rear

Park Dedication

Below is a graphic from the City's Comprehensive Plan showing planned parks and trails and a graphic from the original Bellwether application.

When Bellwether was approved, we preserved nearly 9 acres of hardwood forest. We also dedicated 4.33 acres of upland for a future neighborhood/community park as outlined in the City Comprehensive Plan. During the approval process, we were instructed to plan for additional dedication on the Van Blaricom property. Our Van Blaricom site plan shows this additional upland park dedication of 6.64 acres to complete the neighborhood/community park.



A new trail has been added to the Comp Plan maps, connecting the community park to Stieg Road. We have incorporated this additional trail into our site plan as well. We anticipate our park dedication requirements will be satisfied from dedication of public park land, dedication of a trail corridor, and construction of the public trail.



Our Homes

Pulte Homes is known for the extraordinary steps that we take to ensure that we are designing and building homes that meet the needs and desires of home buyers. We continually reach out to the public and Pulte homeowners to get feedback to improve our home designs. We call this Life Tested®. Through this intensive process, we have conceived of and incorporated many innovative home design features such as the Pulte Planning Center, Everyday Entry, Super Laundry, Oversized Pantry, and the Owner's Retreat. This exhaustive process has played a major part in Pulte's success in "Building Consumer Inspired Homes and Communities to Make Lives Better".

The homes in the Bellwether extension will be identical to the homes approved by the City with the original Bellwether application and built thereafter within the neighborhood. We offer our updated and popular combination of Del Webb homes. Buyers can choose from different product lines of homes with varying sizes, prices, and views/locations. All product lines will offer five different options for architectural facades and will offer various structural options.

44-Foot Wide Lots

The homes built on the 44-foot wide lots are 34-foot wide and range in size from 1,300 to 1,700 square feet. There are three different floor plans to choose from. These smaller floor plans are very popular for singles/widows/widowers in our active adult neighborhoods. They typically have two bedrooms and a two-car garage and are built slab on grade (no basements). Valuations of these homes start in the low \$300k's.

50-Foot Wide Lots

The homes built on the 50-foot wide lots are 40-feet wide and range in size from 1,680 to 1,960 square feet (excluding basements). There are four different floor plans to choose from. These homes are typically the largest selling product line in our active adult neighborhoods across the country. The homes typically have two bedrooms and a two-car garage but are versatile and can offer many options such as a third bedroom, a bonus room, and/or a finished basement. Valuations of these homes start in the low \$400k's.

60-Foot Wide Lots

The homes built on the 60-foot lots are a similar product line as for the 50-foot wide lots. However, all of homes have basements and three-car garages. The homes are 50 feet wide. These lots are in the premium locations with the most attractive views. Valuations of these homes start in the mid \$400k's.

Amenities

One of the primary hallmarks of a Del Webb community is the elevated level of amenities included in the neighborhood. Bellwether is no exception. We are providing the same level of amenities as other similar sized Del Webb communities across the nation.

The nearly 12,000 square foot clubhouse opened for use in October 2020. It contains a lounge, ballroom, fitness center, locker rooms, multi-purpose rooms, a craft room, an indoor pool, and a commercial grade kitchen. Surrounding the clubhouse is pickleball courts, bocce ball courts, an outdoor pool, a tiki bar, and a fire pit gathering area. The amenities have been designed for the additional homes included in this application. A couple of example photos are shown below. It is truly an extraordinary facility.





Phasing & Schedule

The following preliminary schedule for development is envisioned based on current information and the below preliminary phasing plan. As development progresses, phase boundaries will be refined.

Spring 2021

Preliminary plat approval

Summer/Fall 2021 Development of Phase 1
2022 Development of Phase 2

This submittal includes:

- *This narrative*
- *Application*
- *Application fees totaling \$2,450*
- *Verification of taxes paid*
- *Site Plan*
- *Platting exhibit*
- *Home renderings*



Discover (34-foot Garden series)





Ascend (40-foot Classic series)





Abbeyville (50-foot Estate series)





Pulte
Homes
Greenfield





Hilltop

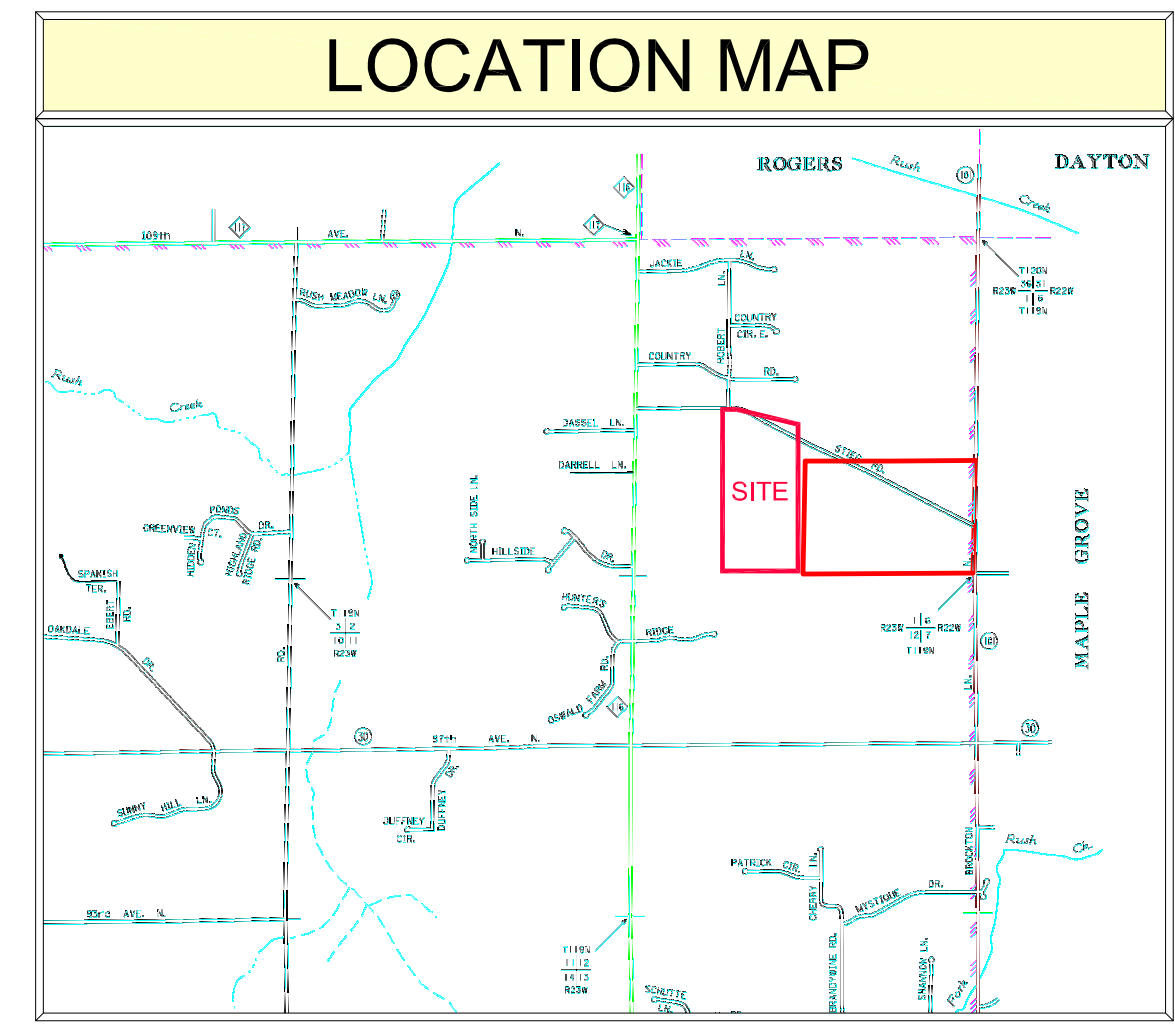
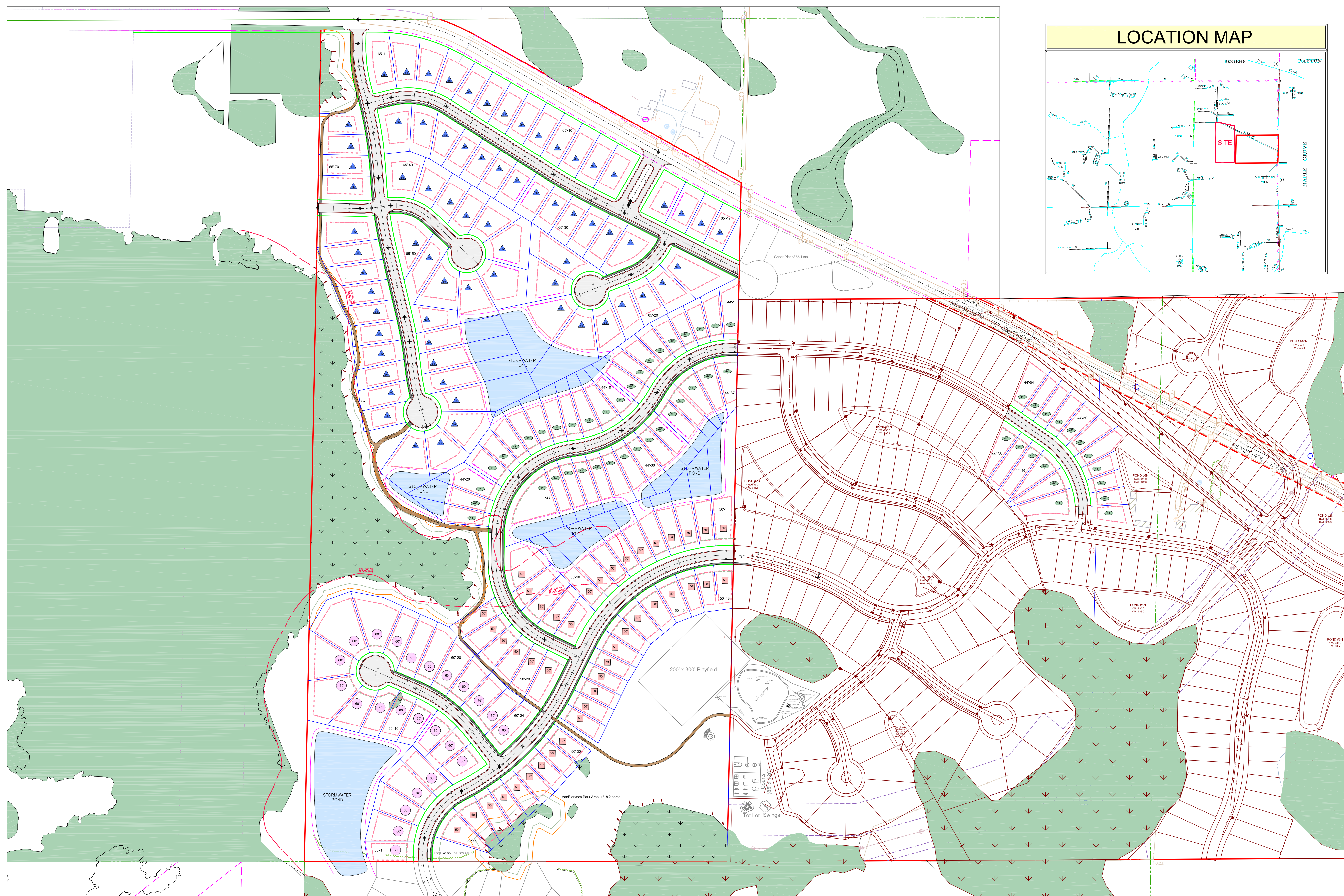






Westchester





VAN BLARICOM/SCHOBER PARCELS
 PID: 0111923340002
 0111923430009
 Area: 77.22 ac

LOT COUNT

ACTIVE ADULTS - (121 LOTS)

- 44' 44' WIDE LOT - 54
- 50' 50' WIDE LOT - 43
- 60' 60' WIDE LOT - 24

SINGLE FAMILY

- 65' WIDE LOT - 72

TOTAL - 193

AREAS

Gross Area: +/- 77.22 Acres
 Gross Density: 193 units / 77.22 = 2.50 un/ac

Wetland: +/- 6.2 Acres
 Stieg Road ROW: +/- 0.24 Acres
 Net Area: 70.78 Acres

Net Density: 193 units / 70.78 = 2.72 un/ac

Park Dedication Area
 Gross: +/- 8.20 Acres

Wetland Area (within Park):
 +/- 1.56 Acres
 Net area: +/- 6.64 Acres

DIMENSIONS

Street: 50' ROW - 30' B-B
 CDS - 50' R

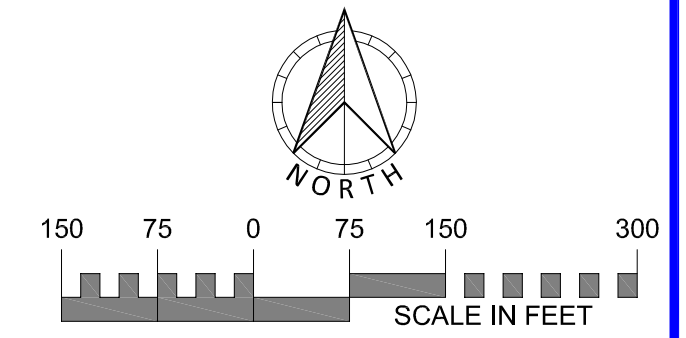
SETBACKS

Active Adult

Frontyard Setback: 20'
 22' Minimum Driveway
 Sideyard Setback: 5'/5'
 Rearyard Setback: 20'

Single Family

Frontyard Setback: 25'
 Sideyard Setback: 7.5'/7.5'
 Rearyard Setback: 30'

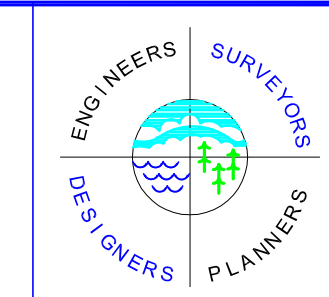


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Name, P.E. _____
 Date: _____ Lic. No. _____



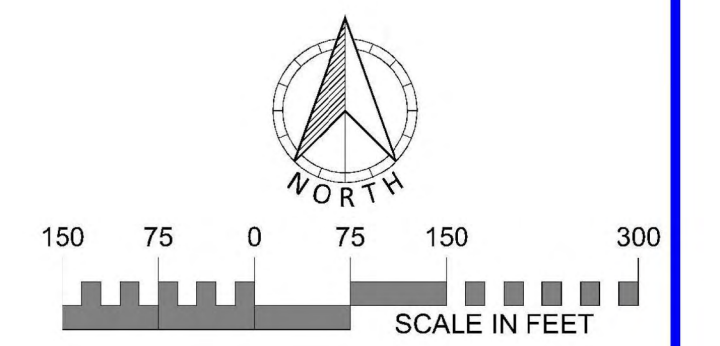
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CITY PROJECT NO.

CORCORAN, MINNESOTA

VAN BLARICOM/SCHOBER
CONCEPT 121720
BELLWETHER
PULTE GROUP

FILE NO.
 xxx-xxx
X
X

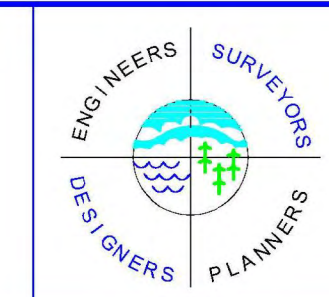


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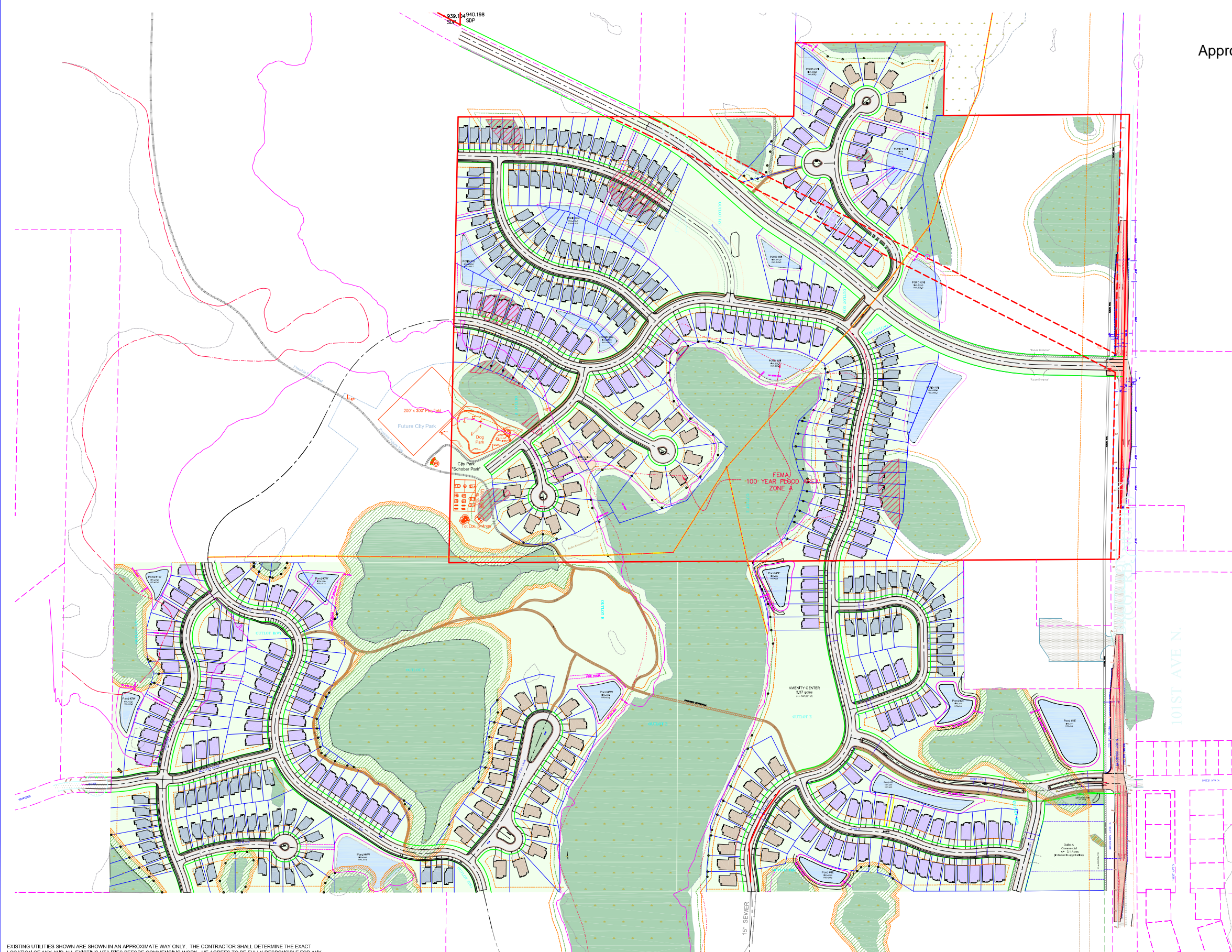
CITY PROJECT NO.

**CORCORAN,
 MINNESOTA**

AERIAL EXHIBIT
BELLWETHER
PULTE GROUP

FILE NO.
 xxxx-xxx
 X
 X

Approved Bellwether Plans



SHEET INDEX TABLE	
SHEET	Description
TI	Title Sheet
1	ALTA/NSPS - Land Title Survey - Newman
1-2	ALTA/NSPS - Land Title Survey - Schober
1-5	Preliminary Plat
1	Phasing Plan
1-4	Area Summary Plan
UP1E-4E	Preliminary Utility Plans - E
GP1E-2E	Preliminary Grading & Erosion Control Plans - E
UP1S-10S	Preliminary Utility Plans - S
GP1S-5S	Preliminary Grading & Erosion Control Plans - S
UP1W-8W	Preliminary Utility Plans - W
GP1W-4W	Preliminary Grading & Erosion Control Plans - W
TS1-TS7	Tree Survey Plans
LP1-LP11	Landscape Plans
1	Site Rendering

PREPARED BY

ENGINEER
SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY
 WAYZATA, MINNESOTA 55391
 PHONE: (952) 476-6000
 FAX: (952) 476-0104
 CONTACT: ROBERT S. MOLSTAD, P.E.
 EMAIL: MOLSTAD@SATHRE.COM

PREPARED FOR

DEVELOPER
PULTE HOMES OF MINNESOTA
 7500 FLYING CLOUD DRIVE
 SUITE 670
 EDEN PRAIRIE, MN 55344
 CONTACT:
 PAUL HEUER
 PHONE: (952) 229-0722
 EMAIL: PAUL.HEUER@PULTEGROUP.COM

DESIGN DATA

44FT, 50FT & 60FT LOTS X 1'-125FT DEEP

FYSB - 25 FT (50 FT & 66 FT ROWS)
 FYSB - 20 FT (60 FT ROW)
 SYSB - 5 FT / 5FT
 CRNR - 20 FT
 RYSB - 25 FT EXT / 20 FT (OTHERS)

60 FT ROW (32 FT B-B)
 50 FT ROW (28 FT B-B)
 66 FT ROW COLLECTOR (36 FT B-B)

5 FT WALKS / 8 FT TRAILS



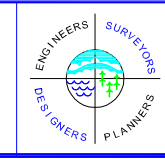
EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

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Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 04/17/18 Lic. No. 26728



SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

CORCORAN, MINNESOTA

TITLE SHEET
ENCORE
PULTE HOMES OF MINNESOTA, LLC

FILE NO.
 72905-313
TI
TI

STAFF REPORT

Agenda Item 10a.

Council Meeting: January 28, 2021	Prepared By: Kevin Mattson
Topic: Authorize Feasibility Study – City Center Drive & 79 th Place Improvements	Action Required: Approval

Summary:

On December 12, 2019, the City entered into a land purchase agreement with St. Therese to develop a new senior living campus on approximately 13 acres of undeveloped land located at 8200 County Road 116 immediately south of City Hall.

On November 23, 2020, the City approved a Minor Subdivision request by St. Therese to create 3 separate lots including public right-of-way for the proposed street alignments consistent with the Southeast Corcoran District Plan and Design Guidelines.

Staff continues to coordinate with St. Therese on the planning, design, and timing of site improvements. The recommended next step for the city in that process is to complete a feasibility study for street and utility improvements to “City Center Drive and 79th Place” which are proposed to be constructed on the property consistent with preliminary development agreements.

Attached to this report is a detailed scope and estimate from Wenck to complete the feasibility study.

- Wenck Proposal: \$27,000

The feasibility study is a requirement for the city to consider potential assessments to the adjacent neighboring properties.

Financial/Budget:

It is likely that the improvements will be funded through a combination of sources including Municipal State Aid, special assessments, and local participation. At this stage, it is unknown how the actual percentages will break down.

Staff is proposing to work with accounting to open a City Center Drive and 79th Place Improvement project.

Options:

1. Approve the proposal from Wenck; authorize the Public Works Director to approve optional services if needed.
2. Send back to staff for further review.
3. Decline.

Recommendation:

Approve the proposal from Wenck; authorize the Public Works Director to approve optional services if needed.

Council Action:

Consider a motion to approve the proposal from Wenck; authorize the Public Works Director to approve optional services if needed.

Attachments:

1. Wenck Proposal

Technical Memo



To: Kevin Mattson, PE Public Works Director

From: Kent Torve, PE, City Engineer
Steve Hegland

Date: January 21, 2021

Subject: Feasibility Study Scope for City Center Drive and 79th Place Improvements

Background

Saint Therese is underway with development plans for City owned property south of City Hall. The project will require transportation, infrastructure and utilities that have a larger regional benefit; therefore the City is considering a public project partially funded by special assessments to the benefiting properties through what is commonly referred to as the Chapter 429 statutory process.

A prior Feasibility Study (June, 2019) was prepared for the Saint Therese development. This feasibility study was done to analyze the specific impacts of the project on the City of Corcoran public infrastructure specific to the proposed development. The assessment funding option for the State Statute 429 process requires a separate feasibility study for the specific public improvements to be provided which identifies the costs of the proposed improvements and identifies a special assessment amount which is assigned to the benefiting properties.

Overall Scope

The study involves identifying the base project, any alternatives, feasibility and costs of constructing transportation, utility and potentially stormwater infrastructure for the City owned lot which is being subdivided and developed (Figure 1). The development is within an area that has been identified for both regional planning (SE District) and the regional infrastructure necessary. For the purposes of this document, the main road will be referred to as "City Center Drive".

This Feasibility Study will analyze the regional infrastructure as related to:

- Transportation
 - Turn Lanes at City Hall main (south) entrance at CSAH 116/City Center Drive.
 - Turn Lanes at proposed 79th Place (south end of Saint Therese site) and CSAH 116
 - Review of proposed parkway (City Center Drive) design elements.
- Stormwater
 - Sub-Regional stormwater modeling and land needs for the drainage and water resources system to serve the Saint Therese area, City Center Drive and drainage areas contributing drainage to the project area.
 - Piping infrastructure to support a regional stormwater (future) system.

- Sewer
 - Trunk infrastructure will be analyzed in order to capture additional sewer flows from the SE District for diversion to the north.
 - An updated capacity analysis of existing sewer flows to the Met Council Environmental Services (MCES) Lift Station L80.
 - Discussion of gravity sewer depths under CSAH 116 at north end of site to drain to the new lift station within the Rush Creek development.
 - Review layout alternatives under the parkway or through the linear park along CSAH 116.
- Water
 - Trunk water system along CSAH 116 with a 12-inch loop under the future City Center Drive and 8-inch stub at 79th Place that were identified in the 2019 Saint Therese Feasibility Study.

Transportation

The main intersection of City Center Drive and CSAH 116 (at City Hall's southern entrance) is proposed as a full access intersection and a potential future signal. Additionally, 79th Place connection and turn lanes will be included along with the City Center Drive.

The alignments have been identified as Saint Therese is moving through preliminary design phases, and the study will review and discuss the State Aid requirements and evaluate the design standards which were included in the previously approved design standards for this area (see Attachment A).

Traffic generation data from the Saint Therese feasibility study will be reviewed as well as potential generation information from the adjacent properties to evaluate potential assessment alternatives for the City Center Drive costs.

Stormwater and Floodplain

The SE District has subwatersheds which involve multiple properties and a regional treatment approach will likely be beneficial to the properties. Since the City does not have a stormwater utility to analyze and implement improvements, this study will provide a preliminary model, pipe sizing, ponding areas for the subregional area within and immediately adjacent to the City owned lot south of City Hall. A management area will be modeled to maximize the land use efficiency which is typically more efficient than multiple individual ponds and treatment systems. Floodplain will be reviewed along with WMO water quality requirements.

Sewer

Sewer service in the majority of the SE District area flows east to the MCES (L80) as collected by the interceptor just north of CR 10 which terminates as gravity at Saint Thomas parcel but receives forcemain flow from the Downtown Lift Station. Saint Therese parcel flows north and eventually will flow west under CSAH 116 to the Rush Creek Development's Lift Station that will serve development in the subregion until the 30-inch NE District pipe is eventually constructed towards the Rogers/Maple Grove/Corcoran/Dayton joint borders along CR 101 (NE District).

Since the L80 lift station is “flow limited” by downstream pipe capacity, an option to divert more of these SE District sewer flows was first outlined in the Saint Therese Feasibility Study and will again be presented along with updated utility corridors. A discussion with MCES staff on L80 capacity and recent flow volumes will be conducted.

Water

In accordance with future regional supply needs identified in the City’s Comprehensive Plan, and to serve Saint Therese, a 16-inch watermain will be constructed along CSAH 116, beginning at the existing 12-inch pipe near Saint Thomas and north connecting the Saint Therese north end of the site at City Hall. Upon future construction of City Center Drive (Parkway) between Saint Therese and CR 10, a 12-inch main will be constructed under the new roadway, thus effectively looping the system and serving other future development.

Report and Preliminary Assessment Roll

One of the most important components of a feasibility study is the cost data from the report and preliminary assessment roll which is related to the project. This preliminary assessment roll identifies the benefiting properties of the proposed improvements and what special assessment would be based the benefit received from the project. Staff and engineering will work jointly on identifying and compiling the preliminary assessment roll.

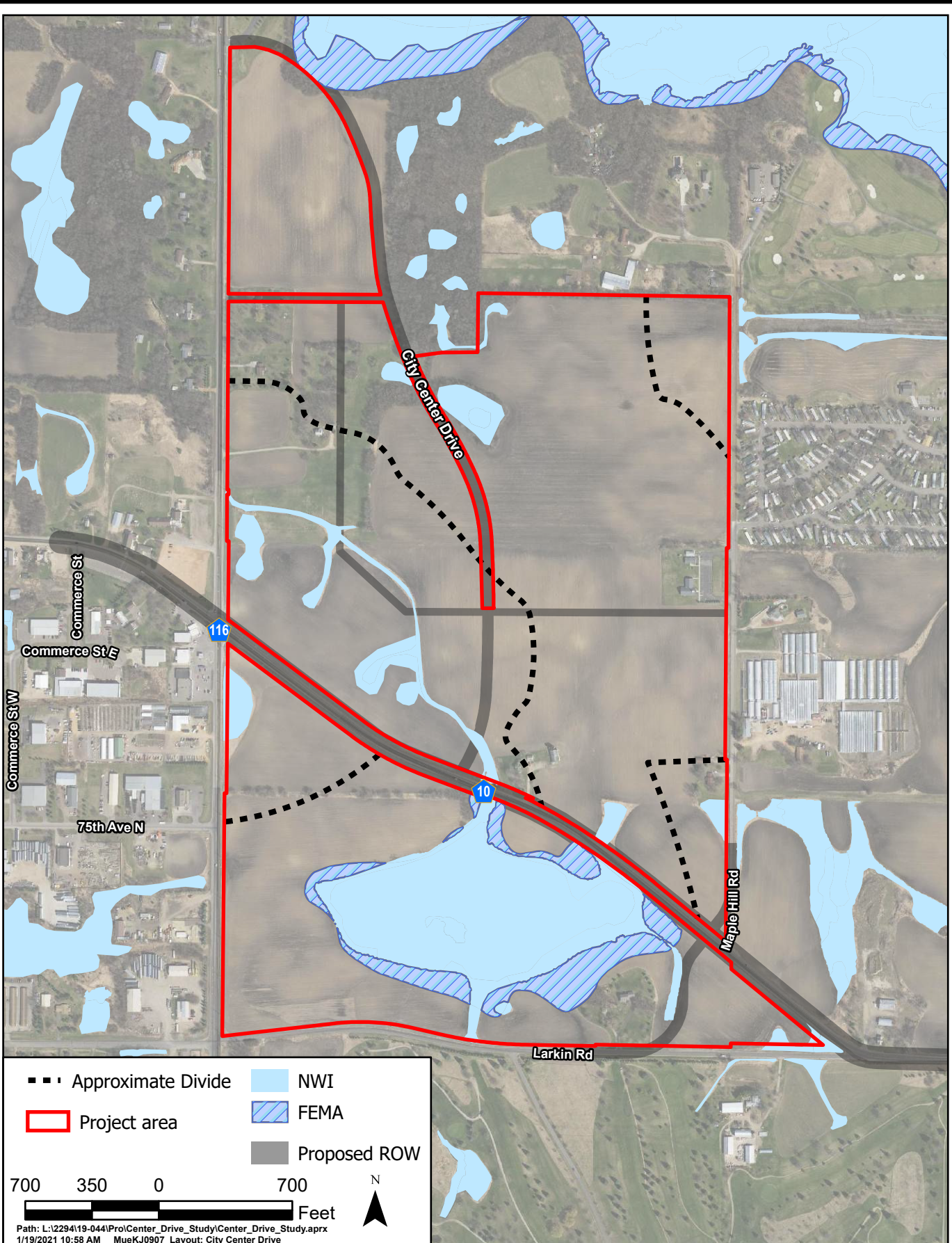
Schedule and Process

As part of the Feasibility Study, a public process with schedule will be presented in accordance with the Minnesota State Statute 429. A draft schedule for the City Center Drive Project, including the Feasibility Study is provided below. This schedule can be adjusted to meet the needs of the project but gives a general outline of the process.

Accept Feasibility Report (Draft in March)		April
Improvement Hearing		May
Approve Plans and Specifications		August
Open Bids		September
Begin Construction		October
Substantial Completion		Summer 2022
Final Completion (Grass and Punch List)		Fall 2022

Wenck estimates the cost to prepare the feasibility study as identified above to be \$27,000.

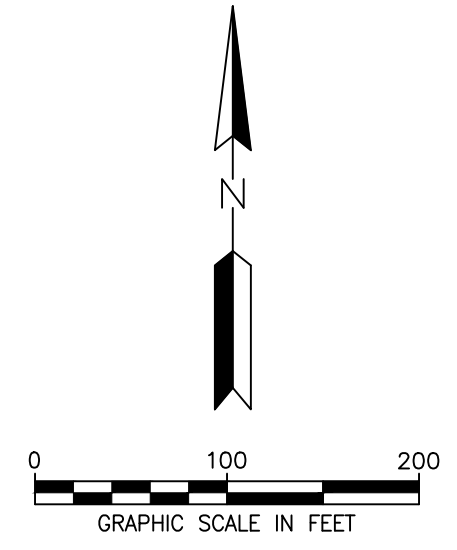
Figure



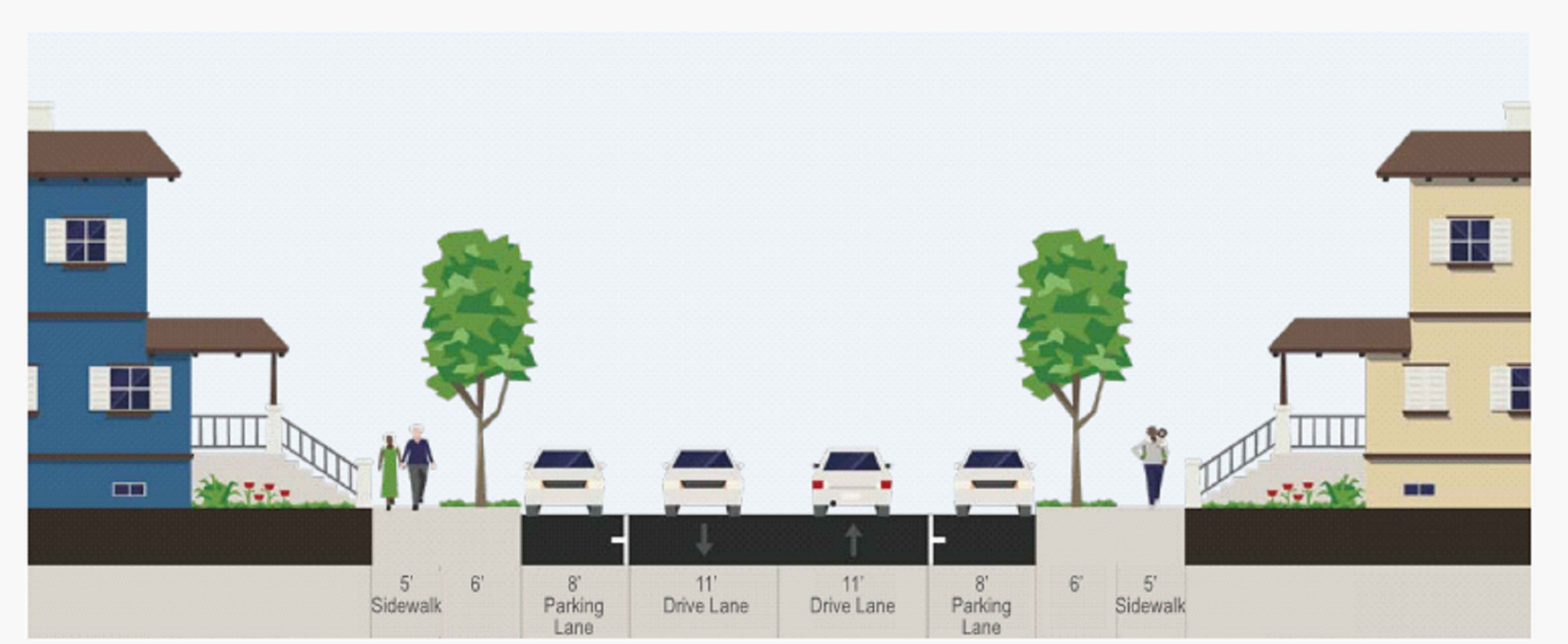
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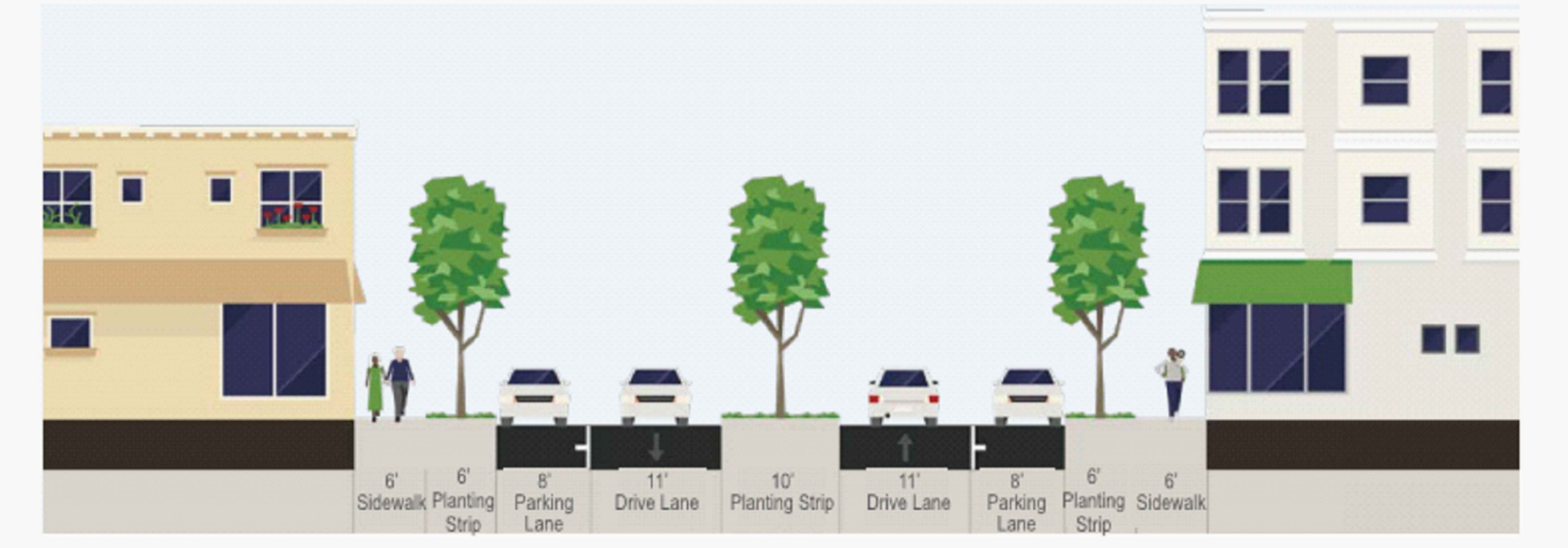
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- NOTES:
- PONDS
 - 936 BTM/TOP OF FILTER MEDIA.
 - 2:1 SLOPE TO HWL (941)
 - 10:1 SAFETY BENCH
 - MSA STANDARDS
 - ALIGNMENT IS BASED ON MSA STANDARDS FOR 40 MPH ROAD
 - ASSUMED CROWNED ROAD
 - CAN TIGHTEN RADIUS BY ADDING SUPER ELEVATION
 - TURN LANES
 - PROPOSED EXPANSION ON WEST SIDE TO AVOID POWER POLES
 - WILL LIKELY NEED GRADING EASEMENTS
 - NO RIGHT SOUTH RIGHT TURNS PROPOSED



Connector Street. The Connector Street has a 60-foot right-of-way and prioritizes movement across the community. Setbacks vary by district, but the frontage is consistently a sidewalk in the throughway and a turf boulevard with regularly spaced overstory and tall ornamental trees.



Parkway Street. This tree lined street has a 72-foot wide right-of-way and a center median with trees. The median may have turf or perennials and shrubs depending on the surrounding context. Parkway at the entrance to a neighborhood or district are logical places for upgrading the median plantings to perennials and shrubs with trees. In special cases, the median may be depressed and function as a stormwater amenity. In this case, upgraded plantings are advised. The City Engineer may reduce or eliminate on-street parking for this street type outside the Town Center depending on the surrounding context.

ST. THERESE CONCEPT

Prepared For:
CITY OF CORCORAN
 8200 COUNTY ROAD 116
 CORCORAN, MN 55340

Issue #	Date	Description

PRELIMINARY
 NOT FOR CONSTRUCTION
 NOT FOR CONSTRUCTION

Project #:	2294-0050
Drawn By:	NPW
Issue Date:	04/25/2019
Issue #:	0
Sheet #:	
Sheet Title:	CONCEPT 1

STAFF REPORT

Agenda Item 10b.

Council Meeting: January 28, 2021	Prepared By: Kevin Mattson
Topic: Draft Appaloosa Woods Feasibility Study	Action Required: Direction

Summary:

On April 13, 2020, the City authorized staff to complete a feasibility study related to proposed street improvements in the Appaloosa Woods neighborhood.

Attached is a draft feasibility report outlining the recommended street improvements, preliminary assessment roll, estimated project costs, schedule, and overall feasibility.

Staff is seeking direction on several items that could impact project outcomes and schedule before a recommendation to accept the report and ordering a public hearing is brought back to the council.

1. The feasibility report is consistent with the city's adopted Special Assessment Policy.
 - a. Methodology used per lot calculations to distribute costs in a fair and equitable manner
 - b. Maximum assessed benefit is reached for several properties which leaves the city with a share of the improvement costs
 - i. City contribution estimated at \$12,634.65
 - c. Isolated properties at 19260 81st Place North and 19140 81st Place North
 - i. Applied consistently with other Corcoran properties
2. Maple Grove is also planning a street improvement project immediately surrounding the Corcoran properties in 2021.
 - a. To be most cost effective, staff recommends pursuing a cost share agreement with Maple Grove assuming there is support for the proposed improvements
 - b. If the improvements lack support, Maple Grove is still considering a request of Corcoran for compensation related to street improvements in front of the isolated Corcoran properties
3. City has discretion on when to finalize the special assessments
 - a. After receiving bids or after construction completed
 - b. For this project, staff recommends after receiving bids

Financial/Budget:

The improvements could be funded through a combination of special assessments and local participation projected in the amount of \$12,634.65 possibly from the Asphalt Fund.

Options:

N/A

Recommendation:

Provide direction to staff.

Council Action:

Provide direction to staff.

Attachments:

1. Draft Appaloosa Woods Feasibility Study
2. Special Assessment Policy and Procedure

Feasibility Report for the Appaloosa Woods Improvements Project

DRAFT

Prepared for:

City of Corcoran

8200 County Road 116
Corcoran, MN 55340



Prepared by:

WENCK Associates, Inc.
1800 Pioneer Creek Center
Maple Plain, MN 55359
Phone: 763-479-4200
Fax: 763-479-4242



Responsive partner.
Exceptional outcomes.

January 5, 2021

Kevin Mattson

Public Works Director
City of Corcoran
8200 County Road 116
Corcoran, MN 55340

RE: Feasibility Report for Appaloosa Woods Improvements Project

Dear Mr. Mattson:

Please see the enclosed Feasibility Report for the Appaloosa Woods Improvements Project which would be considered in conjunction with an adjacent Street Improvement Project by the City of Maple Grove.

We would be pleased to discuss this report in detail and answer any questions that may come forth.

Sincerely,

Wenck Associates, Inc.

Kent Torve P.E.
City Engineer

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FIGURES

Figure 1: Improvement Area

APPENDICES

- A Geotechnical Report
- B Preliminary Assessment Roll
- C Appraisal Report
- D Cost Estimate

1.0 Introduction

The City of Corcoran has ordered the preparation of this report to provide an initial analysis of the feasibility, cost effectiveness, and necessity of the proposed infrastructure improvements of the Appaloosa Woods neighborhood. This report analyzes the existing conditions of this area, the proposed improvements, costs, and the feasibility of those improvements.

The City of Maple Grove is considering an improvement project in the year 2021 for the Appaloosa Woods development within their city to reconstruct the local street system. Maple Grove is not anticipating updates to the sewer and water utilities. The Corcoran residents are all on private utility systems and are not affected by the status of their utilities.

The streets included in this report are 81st Place North including the cul-de-sac and Ridge Court. See attached Figure 1 for the limits of the improvement area. Ridge Court is only a public street for the very initial portion and then transitions to a privately owned street to the south. We are assuming for the scope of this project that only the public infrastructure will be upgraded. If the affected properties wish to upgrade the private road section, that can be coordinated outside of the scope of the 429 process.

1.1 EXISTING CONDITIONS

A majority of 81st Place within Corcoran is a gravel roadway approximately 26' wide with no curb and gutter to facilitate drainage. The Northern and eastern portions of 81st Place within the City of Corcoran Boundary are paved bituminous pavement with select portions of curb and gutter to facilitate drainage. The pavement is showing significant signs of distress.

The City of Corcoran had shallow borings performed along the project area in August of 2020 to understand what the existing conditions were underneath the gravel portion of the roadway. A copy of the Geotechnical report is included in Appendix A. The soil borings showed approximately 16" of weathered aggregate base existed over the roadway which overlaid approximately 2' of imported fill over the native soils.

2.0 Proposed Improvements

2.1 APALOOSA WOODS IMPROVEMENTS

2.1.1 ROADWAY

Based on the deteriorating condition of the existing pavement, a reclamation and repaving of the existing bituminous pavement section is recommended for these sections of 81st Place roadway.

For the existing gravel section, the city considered a complete reconstruction, a concrete stabilized base prior to paving as well as a shape and pave of the existing roadway. The project cost for the complete reconstruction was approximately \$280,000 and the project cost if the existing gravel section were stabilized with concrete was approximately \$230,000. The project cost with a shape and pave of the exiting roadway section was approximately \$153,000.

Based on the cost alternatives and a review of the geotechnical report the shape and pave alternative with spot subgrade improvements is the recommended improvement for this roadway section.

2.1.2 RIGHT OF WAY AND EASEMENTS

Most of the proposed improvements will be completed within the existing Right-of-Way and/or easements. Temporary easements will be obtained as needed for utility connections or other construction not within the existing Right-of-Way if necessary.

3.0 Assessments

3.1 ASSESSMENTS

The City of Corcoran has the authority to levy special assessments under the State Local Improvement Code, known as chapter 429, to parcels based upon the special benefit a parcel receives from an improvement project. A City policy was created to ensure that the costs for improvements levied through special assessments are distributed in a fair and equitable matter. The City can assess any or all project cost to the benefitting properties provided that the assessed costs is not greater than the benefit the improvement provides to the property.

In accordance with the City of Corcoran Assessment Policy, the improvements proposed are a Type I Improvement and costs were assigned using the Unit Method. Using this method, the total project costs were divided by the total number of assessment units to calculate the assessment cost per unit. See Appendix B for the Preliminary Assessment Roll.

The City of Corcoran had an appraisal report done for these properties to determine what the anticipated benefit would be for the properties which are abutting the improvements. A copy of the appraisal is included in Appendix C. In the appraisal report, two categories were used to determine the benefit, existing gravel roads reconstructed to pavement and existing pavement reconstructed to pavement.

The City of Corcoran assement policy notes that roadway improvements are to be assessed up to 90% of the low end of the appraisal for the improvements. For this project, that would mean the maximum assessment for a property going from existing gravel to existing pavement would be \$7,200 and the maximum assessment for existing pavement to proposed pavement would be \$13,500. For this report, 100% of the project costs were assigned to be assessed to the benefitting properties up to the maximum amounts previously identified. This is in line with the City of Corcoran policy but can be adjusted at the Council's discretion.

4.0 Project Financials

4.1 ESTIMATED COSTS AND ASSESSMENTS

The tables below show the project revenues and expenses for the recommended improvements.

Table 4-1: Estimated Costs and Assessments

Project	Local Funds	Special Assessments	Total
Appaloosa Woods	\$12,634.65	\$140,449.51	\$153,084.16

Cost estimates for the project are provided in Appendix D

5.0 Summary

5.1 PROJECT FEASIBILITY

The outlined projects discussed previously are feasible as it relates to the general engineering principles, standards and construction procedures and is in accordance with the City's assessment policy.

The project is necessary to make the required street improvements to maintain the quality and function of the current street system.

The project is cost effective based on the existing conditions, public bidding, and acceptable construction standards for street improvements.

The project is financially feasible.

5.2 PROJECT SCHEDULE

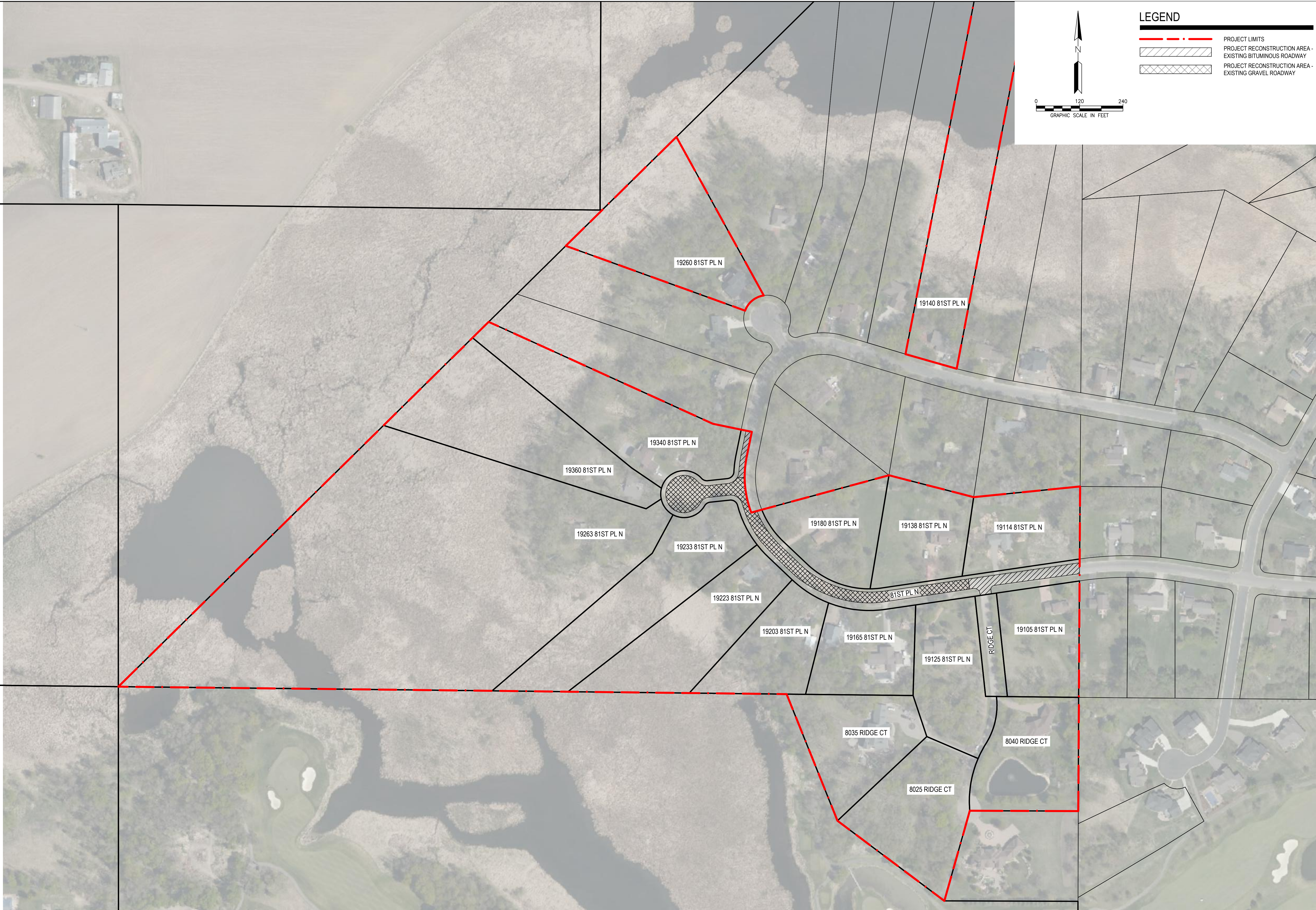
A proposed schedule for the Appaloosa Woods Improvements Project is presented here.

Accept Feasibility Report	February 2021
Order Improvement Hearing	February 2021
Improvement Hearing	March 2021
Authorize Plans and Specifications	March 2021
Approve Plans and Specifications	April 2021
Authorize Bidding	April 2021
Advertise for Bid	April 2021
Open Bids	May 2021
Present Bids to Council	May 2021
Assessment Hearing	May 2021
Award Contract	May 2021
Substantial Completion	Fall 2021
Final Completion (Grass and Punch List)	Spring 2022

5.3 RECOMMENDATION

It is recommended that City Council discuss the feasibility report presented and accept the report, then Order the Improvement Hearing.

Figure 1: Improvement Area



LEGEND

- PROJECT LIMITS
- PROJECT RECONSTRUCTION AREA - EXISTING BITUMINOUS ROADWAY
- PROJECT RECONSTRUCTION AREA - EXISTING GRAVEL ROADWAY

0 120 240
GRAPHIC SCALE IN FEET

1800 PIONEER CREEK CENTER
MAPLE PLAIN, MN 55369
PHONE: 763-479-4200
FAX: 763-479-4242
WWW.WENCK.COM

CLIENT:
CITY OF CORCORAN
8200 COUNTY ROAD 116
CORCORAN , MN 55340



**APPALOOSA WOODS
FEASIBILITY STUDY**
CORCORAN, MN

PROJECT TITLE:

ISSUE NO.:

ISSUE #

DESCRIPTION:

DESCRIPTION

DATE:

XXXXXX

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.:

DATE:

PROJECT NO.: 2294-0000

DWN BY: GRM CHKD BY: GRM APP'D BY: SKH

ISSUE DATE: DATE

ISSUE NO.: ISSUE #

SHEET TITLE:

IMPROVEMENT AREA

SHEET NO.:

FIGURE 1

NOT FOR CONSTRUCTION

Geotechnical Report



Element Materials Technology
662 Cromwell Avenue
St Paul, MN
55114-1720 USA

P 651 645 3601
F 651 659 7348
T 888 786 7555
info.stpaul@element.com
element.com

Geotechnical Exploration Program
Appaloosa Woods Street Improvements
Corcoran, Minnesota
Element Materials Technology St. Paul Inc. Project No. ESP034001P

Prepared for:

City of Corcoran
c/o Wenck Associates

August 3, 2020

Professional Certification:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

A handwritten signature in blue ink that reads 'John Starke'.

John Starke, P.E.
Senior Geotechnical Engineer
MN Reg. No. 23546

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August 3, 2020

City of Corcoran c/o Wenck Associates
Attn: Mr. Nick Wyers, P.E.
1800 Pioneer Creek Ctr.
P.O. Box 249
Maple Plain, MN 55359

RE: Geotechnical Exploration Program
Appaloosa Woods Street Improvements
Corcoran, Minnesota
Element Materials Technology St. Paul Inc. Project No. ESP034001P

Dear Mr. Wyers:

We have completed the geotechnical exploration and engineering analysis for the above referenced project. This report presents the results of our field and laboratory testing programs, and provides recommendations concerning the soil and groundwater conditions as they relate to the proposed construction.

The soil samples will be retained in our laboratory for 30 days, at which time we will dispose of them. If you desire Element Materials Technology St. Paul Inc. to retain the samples longer than 30 days, please notify us.

We are pleased to be of service to you in this important phase of the project. If there are any questions regarding the information contained in this report or if we can be of further service to you, please contact Brian Nehring at 651-797-9503, e-mail at brian.nehring@element.com or John Starke at (651) 746-4079, e-mail at john.starke@element.com.

ELEMENT MATERIALS TECHNOLOGY ST. PAUL INC.



Brian Nehring, E.I.T.
Staff Geotechnical Engineer
MN E.I.T. No. 150749



John Starke, P.E.
Senior Geotechnical Engineer
MN Reg. No. 23546

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1.0 INTRODUCTION

This report presents our geotechnical exploration program for the proposed reconstruction and extension of 81st Place N from the intersection with Brockton Lane N. extending approximately ¼ of a mile east to Timberglade Ct. in Corcoran, Minnesota. We understand a geotechnical exploration program was required to depict the subsurface conditions within the proposed road reconstruction and road extension areas and provide pertinent recommendations for the planned construction. This report presents the results of the field exploration, laboratory analysis, and our geotechnical review and recommendations.

1.1 Scope of Work

We recently performed a geotechnical exploration program in accordance with our proposal dated July 7, 2020. The scope of our work for the project was as follows:

1. Arrange to have buried public utilities marked through the Gopher-State-One-Call System.
2. Explore the subsurface soil and groundwater conditions by drilling three (3) Standard Penetration Test (SPT) borings to approximate unit depths of 10' each, at locations marked by the City c/o Wenck. The City c/o Wenck would also provide ground surface elevations at the boring locations.
3. Perform laboratory review of soil samples to check soil classification. Selected samples would be submitted to the laboratory for moisture content and atterberg limit tests to aid in soil classification and identifying soil engineering properties.
4. Prepare a geotechnical report which includes the following information:
 - a. Logs of the soil test borings showing the soil and groundwater data.
 - b. A site plan showing the approximate boring locations.
 - c. Written description of encountered soil and groundwater conditions.
 - d. Recommendations for roadway reconstruction with estimated subgrade R-values.

The scope of our work is intended for geotechnical purposes only. This scope is not intended to explore for the presence or extent of environmental contamination at the site.

2.0 FIELD TESTING PROGRAM

2.1 Soil Borings

Three (3) Standard Penetration Test (SPT) borings were drilled within the project area on July 28, 2020. Two (2) borings were drilled on 81st Place N. and one (1) boring was drilled east of the bend in the road of 81st Place N. on Timberglade Court. The number, location, and depths of the soil borings were determined by the City of Corcoran c/o Wenck. City of Corcoran c/o Wenck also marked the boring locations along the road centerline and measured the ground surface elevation at each location. Borings B1, B2 and B3 were offset from the marked locations as noted on the attached soil boring logs. The ground surface elevations measured at the marked locations are also noted on the boring logs. The approximate soil boring locations are shown on the attached soil boring location plan provided by Wenck.

The SPT borings were extended using a truck mounted rotary drill rig with split-barrel sampling conducted at 2½' intervals. Water level observations were made in the boreholes during and upon completion of the drilling and sampling operations. During the field operations, the drill crew maintained logs of the subsurface conditions including changes in stratigraphy and the observed groundwater levels. The boring logs are attached.

After completion of the drilling operations, the boreholes were backfilled and/or grouted per the Minnesota Department of Health (MDH) guidelines.

Sampling and classification of soils were performed in general accordance with American Standards for Testing and Materials (ASTM) procedures, and are described on an attached sheet.

2.2 Surface Conditions

We understand the Appaloosa Woods Street Improvements project consists of approximately ¼ mile of reconstruction of 81st Place N from approximately 100' north Brockton Lane N to Timberglade Court. The existing road surface is gravel from the intersection with Brockton Lane N through Timberglade Court and bituminous surfaced throughout the rest of the neighborhood. Topographically this area is relatively flat with slight inclines and declines. The ground surface at the road section generally slopes downward toward the west. The surrounding land use is predominantly private residential homes and outbuildings located near the soil boring locations. Based on aerial maps this area forms a peninsula as there is a large wetland/marsh area located on the north, south and western sides surrounding the adjacent properties.

2.3 Subsurface Conditions

The subsurface conditions encountered at the test boring locations are shown on the soil boring logs. The boring logs also indicate the possible geologic origin of the materials encountered. We wish to point out that the subsurface conditions at other times and locations on the site may differ from those found at our test locations. If different conditions are encountered during construction, it is necessary that you contact us so that our recommendations can be reviewed.

The borings indicated the project roadway is mantled by fill at the surface underlain by glacial till deposits to the exploration limit of the borings (approximately 10½').

The existing gravel road surface at the boring locations B2 and B3 consisted of approximately 16" of sand with silt and gravel base course material. Underlying the sand and gravel aggregate base and extending to a depth of approximately 2' is fill soil consisting predominantly of lean clay with gravel. The existing sand with silt and gravel base course material in its existing condition may not meet current Mn/DOT Specifications for aggregate base material that supports pavements.

At Boring B1 the ground surface is mantled by approximately 4” of bituminous pavement supported by approximately 12” of silty sand and gravel aggregate base beneath the bituminous pavement section. Fill soil consisting of lean clay was present to an approximate depth of 2’.

Beneath the existing road sections and fill soils, extending to the maximum depth of the borings was glacial till consisting of lean clay (CL) with varying amounts of gravel. Based upon SPT blow counts (N-values), the consistency of the lean clay stratum was present in a very soft to firm state.

2.4 Water Level Conditions

Water level observations were made during and after completion of the drilling operations. Groundwater was not encountered in borings at the time of drilling activities. Furthermore, we noted iron oxide staining/mottling was observed in some of the soil samples collected in the field suggesting periodic fluctuation of the groundwater through these soils.

The natural silty and clayey soils which are present at depth are somewhat impervious or slow draining and may take several days for groundwater to stabilize. If more accurate water level determinations are required, piezometers should be installed and the water level monitored over a period of time.

In general, water levels may fluctuate throughout the year depending on variations in the amount of precipitation, degree of evaporation, surface run-off characteristics and other related hydrogeological factors.

3.0 LABORATORY REVIEW AND TESTING

The soil samples obtained during the drilling operations were logged, labeled, sealed and delivered to our laboratory for further review. An Element Materials Technology St. Paul Inc. geotechnical engineer classified the soil samples in general conformance with ASTM standards. Soil samples were selected for laboratory grain size distribution analysis and natural moisture content determination. The test results are noted on the associated soil boring logs and/or attached to this report.

4.0 ENGINEERING REVIEW

The engineering recommendations made in this report are based on our understanding of the project as described in the following paragraphs. The recommendations are valid for a specific set of project conditions. If the characteristics of the project change from those indicated in this section, it is necessary that we be notified so we may determine whether the new conditions affect our recommendations.

4.1 Project Data

The project consists of reconstruction of approximately 100 feet of 81st Place N and construction of approximately ¼ mile of new light duty residential 5-ton road from the intersection with Brockton Lane N. to Timberglade Ct. in Corcoran, Minnesota. We understand the extent of the roadway reconstruction and extension project will be determined by the City available project budget, informed by subsurface conditions present within the project area. The project scope may include reclaiming portions of the existing gravel road aggregate base, placing new aggregate base where needed, and placing a new bituminous pavement section. We understand the existing gravel road profile grades would be maintained for the project with only slight variations in elevation as needed to maintain proper surface water drainage.

4.2 Discussion - Site Preparation

Provided below is an overview of roadway reconstruction options that could be considered by the City. In light duty bituminous pavement design, the critical portion of the subgrade is the upper 2-foot zone. This zone provides the primary strength and stability needed for flexible pavement materials. In our opinion, based on the soil composition and apparent in-place density, the existing fill soil is not suitable for pavement support if a long term, robust road profile is desired. We recommend excavating this material to the underlying native soil strata then reconstructing the road subgrade to the pavement subbase elevation using engineered fill as described below. The following table lists recommended excavation depth and subgrade elevation at the boring locations with estimated R values of the native emplace subgrade soils at the recommended excavation depth.

Boring No.	Recommended Approximate Excavation Depth to Competent Subgrade (ft.)⁽¹⁾	Soil Type at Excavated Subgrade	Estimated R-value at excavated subgrade
B1	2	CL	20
B2	2	CL	20
B3	2	CL	20

⁽¹⁾ Further subcutting may be required to remove soft/loose soils if encountered at the subgrade.

⁽²⁾ R-value derived from Mn/DOT pavement manual.

However, if the City should desire a less robust pavement section, a limited excavation with removal of the upper 1' to 2' of the existing subgrade material could be performed. Partial excavation will result in a less than optimum pavement performance over time with possible early pavement deterioration due to subgrade settlement and displacement. The City should recognize the cost of maintenance with the selection of the reconstruction program. Higher long term road surface maintenance cost would be expected if the lesser subgrade correction option is selected.

Reclaiming existing gravel aggregate road base to produce aggregate base meeting Mn/DOT Specifications may not be achievable due to the lack of coarse fraction present in the existing material. If this approach is pursued additional evaluation of the quality/thickness of the existing aggregate base should be performed. Samples should be collected and tested for mechanical analysis (gradations) to aid in qualifying and/or improving existing in-place aggregates.

New pavement areas that extend beyond the existing constructed embankment for the roadway should be reviewed by the project soils engineer to determine cut depths prior to fill placement. We recommend at a minimum that any encountered surface organics (topsoil) and underlying very soft clays be excavated prior to constructing new pavement areas. Geotextiles may need to be incorporated into the design to provide additional stability over very weak subgrade areas especially where high groundwater or perched water is present. Dewatering may be required to facilitate earthwork activities depending on final roadway design, excavation depths and seasonal factors.

The actual depth of excavation may vary away from our boring locations and should be determined in the field at the time of construction. We recommend that for best performance that a relatively uniform excavation is performed. Some contingency should be provided in the project budgeting for excavation that extends below the average subcut depth shown in the above table. The geotechnical engineer should be retained to observe the exposed soils and document the condition of the excavation bottoms prior to fill placement.

We recommend that the excavation be laterally oversized at least two foot for each foot (i.e., 2H:1V lateral oversizing) it extends below subgrade elevation. This lateral oversizing is necessary to properly distribute the anticipated vehicle loads through the new fill.

4.3 Pavement Subgrade Preparation

We were not provided with design elevations for the proposed road grades however, we expect similar road profiles to current conditions. Based on the borings, we recommend the subgrade preparation should consist of removing the existing roadway section and performing additional excavations where applicable to allow for placement of the new pavement section.

We recommend the subgrade be prepared by surface compacting with a large self-propelled roller. The surface compaction should be completed by making at least four passes. The subgrade surface should be compacted to a minimum of 100% of the Standard Proctor density (ASTM D698). Density tests should be performed at the time of construction to verify compaction requirements have been met. We caution that over compacting clayey type soils, which may be present at the excavation subgrade may result in pumping and softening of the subgrade soils resulting in additional excavation/sub cutting corrective work. Care should be used by the contractor during this operation to prevent this occurrence. We recommend a geotechnical engineer or qualified technician be present to observe the excavated subgrade conditions prior to subgrade compaction operations.

Upon completion of the thorough surface compaction, the subgrade should be evaluated by test rolling at the surface. The test roll should be performed as specified in Mn/DOT Specification 2111. In areas where the subgrade deflects or ruts, the subgrade should be reworked prior to aggregate base and new pavement placement. We recommend reworking the soils by scarification, aeration or moisture conditioning, and recompaction, or replacing with engineered fill.

We recommend any imported fill used to attain designed grades in the upper 2' of subgrade should be relatively clean material meeting Mn/DOT Specification 3149.2B (Select Granular Borrow) to improve the subgrade R-value. The fill should be placed in thin lifts not exceeding 12 inches in thickness and be compacted to at least 100 percent of the Standard Proctor (ASTM D698) maximum dry density. The moisture content of the fill should be maintained

within +/- 3% of the optimum as determined by the Standard Proctor test. The subgrade surface, as well as the pavement surface, should be uniformly sloped to facilitate drainage of the base and granular sandy subgrade material within the pavement system, and to avoid any ponding of water beneath the pavement. If the above recommended soil correction procedures are applied a pavement design R-value of 50 can be used. If a less correction is performed we should be contacted to assist the City with additional R-value guidance.

Proper draitile systems would need to be incorporated into the design where more granular fill was placed/encountered at the surface underlain by relatively impervious clayey soil types. The draitile should be placed at the bottom of the sand section, encapsulated with pea-gravel surrounded by geotextile fabric and properly connected to the storm sewer system and/or suitable outfalls. Any contaminated soils encountered during construction should be properly tested and disposed of under standard construction practices per the Minnesota Department of Health (MDH) and Minnesota Pollution Control Agency (MPCA) guidelines.

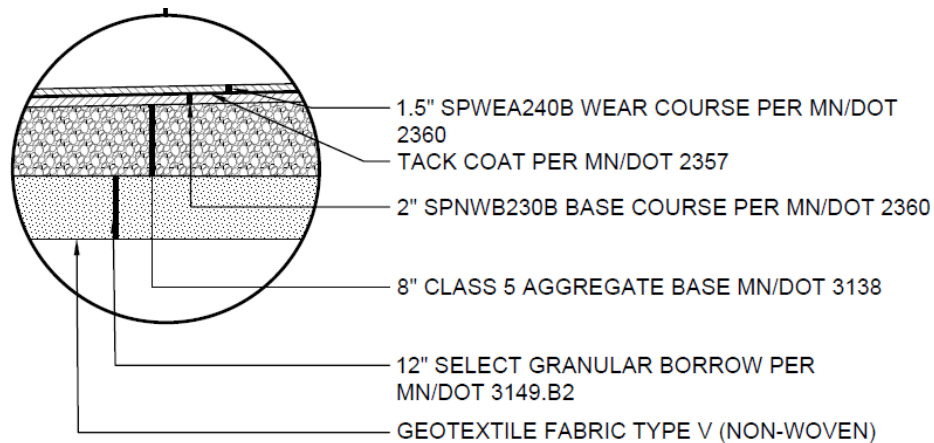
4.3.1 Bituminous Surfaced Road Section

Assuming the pavement subgrade preparation is performed as recommended in the preceding section and the subgrade soils are determined suitable based on a proofroll test, we recommend the following pavement design be used:

City Bituminous Pavement Road Section Profile	Pavement Thickness
Mn/DOT Spec. 2360 Type SPWEA240B Bituminous Wear Course	1½"
Mn/DOT Spec. 2360 Type SPNWB230B Bituminous Non-wear Base Course	2"
Mn/DOT Spec. 3138 Class 5 Aggregate Base	8"
Mn/DOT Spec. 3149.2B (Select Granular Borrow)	Min 12"
Mn/DOT Spec. 3733 Type 5 Geotextile Fabric	-
Approved Subgrade Per Mn/DOT Specifications 2111 Test Rolling and 2112 Subgrade Preparation	Required

⁽¹⁾Minimum design provided by City.

Figure1: Typical Light Duty City of Corcoran Residential Pavement Section Provided by Wenck.



The recommended thickness is based on the subgrade being corrected as stated previously. Recycled aggregate base may be substituted for Class 5 provided the proper gradation is obtained and the material is properly compacted. For superior pavement performance we recommend that a crushed limestone aggregate base meeting Mn/DOT Specification 3138 be used. The pavement design also assumes that a regular, conscientious maintenance program is performed. It is possible that seal coating may extend the pavement life somewhat. We caution that reduced pavement thickness may result in a reduced service life and increased maintenance.

The thicknesses recommended are assumed a minimum for construction. The design also assumed the aggregate base will be compacted to a minimum of 100% of the Standard Proctor density and the bituminous pavement placed and compacted to 92% of the maximum theoretical density. The subgrade fill within the upper 3' should also be compacted to 100% of the Standard Proctor density.

4.4 General Comments

We recommend that all geotechnical-related work, including subgrade preparation, and engineered fill placement, be observed by the project geotechnical engineer or their representatives. The geotechnical engineer will perform appropriate testing to verify the geotechnical conditions that have been anticipated during preparation of this report.

5.0 CONSTRUCTION CONSIDERATIONS

5.1 Excavation Safety

All excavations should comply with applicable O.S.H.A. standards including O.S.H.A. 29 CFR, Part 1926, Subpart P, "Excavations and Trenches". Excavation safety is the responsibility of the contractor. Reference to these O.S.H.A. requirements should be included in the project specifications.

5.2 Cold Weather Construction

Construction during cold weather should be exercised with care. We have included a sheet entitled "Precautions for Excavating and Refilling During Cold Weather".

5.3 Field Observations and Testing

As variations in soil conditions may exist at locations and elevations other than those encountered at our borings, we recommend the geotechnical engineer be retained to observe the soil conditions during site preparation. We recommend in-place field compaction tests be performed in the compacted fill.

5.4 Soil Sensitivity

Clayey and silty soils are susceptible to disturbance from construction traffic, especially in wet conditions. If the soils become disturbed, additional excavation may be required. Therefore, proper excavation equipment should be used to minimize the potential for disturbance.

The moisture content of the clayey and silty soils should be monitored closely during the earthwork procedures. If these soils are compacted with moisture contents significantly higher than the optimum (12 to 14%), some yielding of the pavement may occur even if the specified compaction levels have been achieved. Because the moisture-sensitive nature of the soils, use caution to maintain moisture contents near optimum.

6.0 REMARKS

This report is for the exclusive use of the parties to which it is addressed. The soil testing and geotechnical engineering services performed by Element Materials Technology St. Paul Inc. for this project have been conducted in a manner with the level of skill and care ordinarily exercised by other members of the profession currently practicing in this area under similar budgetary and time constraints. No warranty, express or implied, is made.

Attachments:

- Boring Location Plan (1 page)
- Soil Boring Logs #B1-#B3 (3 pages)
- Particle Size Distribution Reports (3 pages)
- Atterberg Limit Report (1 page)
- Symbols and Terminology on Test Boring Logs (1 page)
- Classification of Soils for Engineering Purposes (1 page)
- Field Exploration Procedures (1 page)
- Construction Observations and Testing (1 page)
- Cold Weather Precautions (1 page)



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CLIENT:
CITY OF CORCORAN
 8200 COUNTY ROAD 116
 CORCORAN, MN 55340

APPALOOSA WOODS
SOIL BORINGS
 CORCORAN, MN

PROJECT TITLE	
ISSUE NO.	ISSUE #

CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO. _____
 DATE: _____

PROJECT NO.: 2294-0000
 DWN BY: NPW CHKD BY: NPW APP'D BY: KCT
 ISSUE DATE: _____ DATE: _____
 ISSUE NO.: _____ ISSUE # _____

SHEET TITLE
 SOIL BORING LOCATIONS

SHEET NO.:
FIGURE 1

NOT FOR CONSTRUCTION

Project No. ESP034001P

LOG OF BORING NO. B1

Sheet 1 of 1

CLIENT
City of Corcoran co Wenck

ARCHITECT/ENGINEER
Wenck

SITE
**81st Place N
Corcoran, MN**

PROJECT
Appaloosa Woods Street Improvements Project

DEPTH (FT.)	BLOWS/12" N - VALUE RQD	NUMBER	TYPE	IN. RECOVERED IN. DRIVEN	MOISTURE, %	DRY DENSITY PCF	ADDITIONAL DATA/REMARKS	SAMPLES		TESTS	
Surface Elev.: 958.7 ft.											
2.0		1	AUGER	24			p200= 11.6%				
		2	SS	18							
		3	SS	18							
7.0		4	SS	18							
		5	SS	18							
10.5		5	SS	18							
End of Boring											

ELEMENT LOG ESP034001P - APPALOOSA WOODS STREET IMPROVEMENTS PROJECT CORCORAN, MN.GPJ LOG A.GNIN08.GDT. 8/3/20

WATER LEVEL OBSERVATIONS

None



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materials technology
662 Cromwell Ave.
St. Paul, MN 55114
Telephone: 651-645-3601

STARTED	7/28/20	FINISHED	7/28/20
DRILL CO.	Element	DRILL RIG	367
DRILLER	KK	ASST DRILLER	MM
LOGGED BY	MM	APPROVED	JOS

Project No. ESP034001P

LOG OF BORING NO. B2

Sheet 1 of 1

CLIENT **City of Corcoran co Wenck** ARCHITECT/ENGINEER **Wenck**

SITE **81st Place N Corcoran, MN** PROJECT **Appaloosa Woods Street Improvements Project**

GRAPHIC LOG	GEOLOGY	DEPTH (FT.)	SAMPLES				TESTS	
			BLOWS/12" N - VALUE RQD	NUMBER	TYPE	IN. RECOVERED IN. DRIVEN	MOISTURE, %	DRY DENSITY PCF
Surface Elev.: 958.4 ft.								
2.0 FILL, 16" of silty sand and gravel aggregate base at the surface, underlain by a mixture of clayey sand and lean clay with gravel, with trace organics, brown (FILL) 956.4 LEAN CLAY, with a little gravel, moist, brown, mottled, firm to soft (CL) 7.0 LEAN CLAY, with a little gravel, moist, brown to gray, mottled, firm (CL) 951.4 10.5 End of Boring 947.9	FILL		AS	1	AUGER	24		p200= 9.8%
	GLACIAL TILL		9	2	SS	18		
			7	3	SS	18		
			10	4	SS	18		
			11	5	SS	18		

ELEMENT LOG ESP034001P - APPALOOSA WOODS STREET IMPROVEMENTS PROJECT CORCORAN, MN.GPJ LOG A.GNIN08.GDT. 8/3/20

WATER LEVEL OBSERVATIONS		 <p>element™ materials technology 662 Cromwell Ave. St. Paul, MN 55114 Telephone: 651-645-3601</p>	STARTED	7/28/20	FINISHED	7/28/20
None			DRILL CO.	Element	DRILL RIG	367
			DRILLER	KK	ASS'T DRILLER	MM
			LOGGED BY	MM	APPROVED	JOS

Project No. ESP034001P

LOG OF BORING NO. B3

Sheet 1 of 1

CLIENT
City of Corcoran co Wenck

ARCHITECT/ENGINEER
Wenck

SITE
**81st Place N
Corcoran, MN**

PROJECT
Appaloosa Woods Street Improvements Project

GRAPHIC LOG	GEOLOGY	DEPTH (FT.)	SAMPLES				TESTS		ADDITIONAL DATA/REMARKS
			BLOWS/12" N-VALUE RQD	NUMBER	TYPE	IN. RECOVERED IN. DRIVEN	MOISTURE, %	DRY DENSITY PCF	
Surface Elev.: 946.2 ft.									
FILL, 16" of silty sand and gravel aggregate base at the surface, underlain by lean clay with gravel, moist, brown to gray (FILL)	FILL	0 - 2.0	AS	1	AUGER	24			
LEAN CLAY, with a little gravel, moist, brown, soft (CL)	GLACIAL TILL	2.0 - 3.5	5	2	SS	18			
(Possible Fill) LEAN CLAY, with a little gravel, moist, brown, mottled, soft (CL)		3.5 - 10.5	8	3	SS	18	19	LL= 30, PL=19	
			6	4	SS	18			
			6	5	SS	18			
End of Boring		10.5							

ELEMENT LOG ESP034001P - APPALOOSA WOODS STREET IMPROVEMENTS PROJECT CORCORAN, MN.GPJ LOG A.GNIN08.GDT. 8/3/20

WATER LEVEL OBSERVATIONS

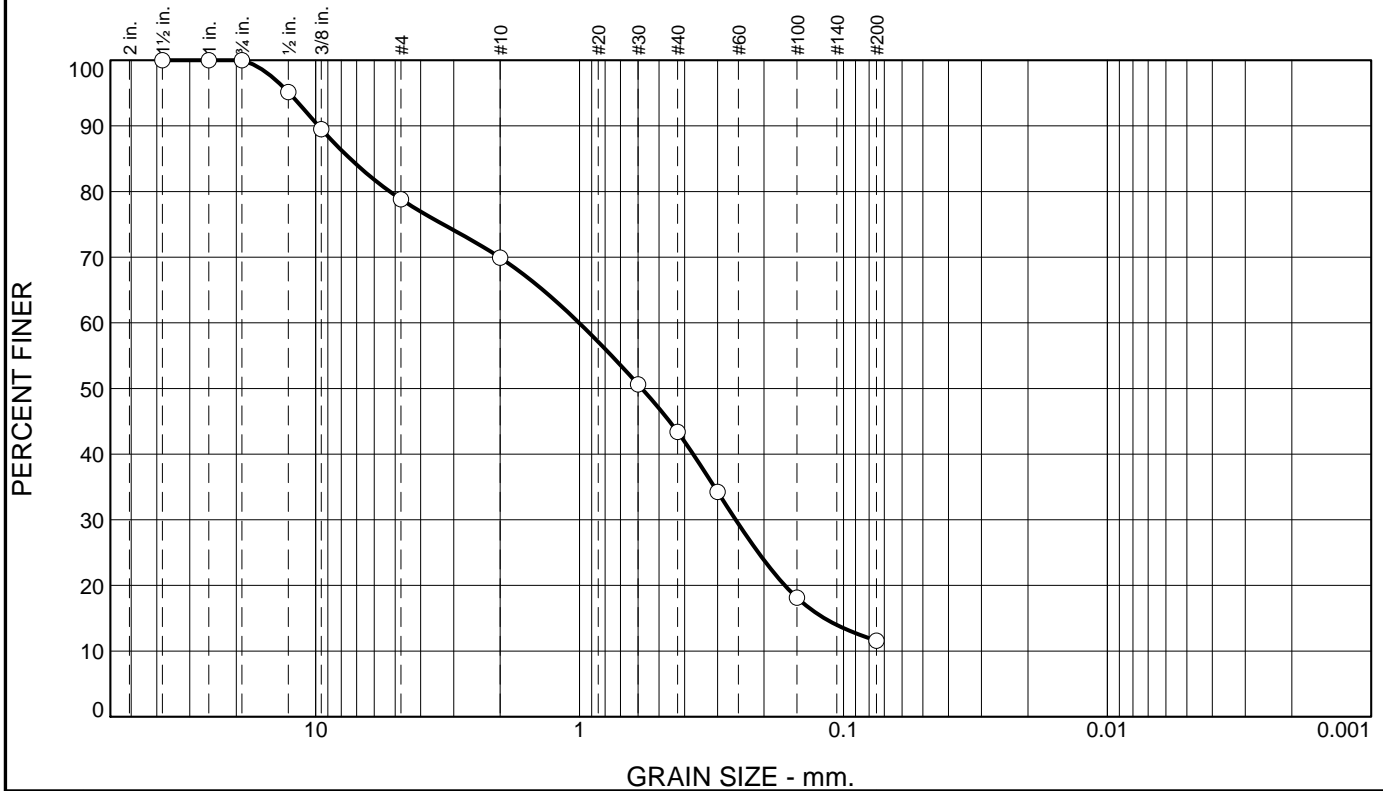
None



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Telephone: 651-645-3601

STARTED	7/28/20	FINISHED	7/28/20
DRILL CO.	Element	DRILL RIG	367
DRILLER	KK	ASST DRILLER	MM
LOGGED BY	MM	APPROVED	JOS

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	21.2	8.9	26.5	31.8	11.6	

Test Results (C136 & C117)			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1-1/2"	100.0		
1"	100.0		
3/4"	100.0		
1/2"	95.2		
3/8"	89.5		
#4	78.8		
#10	69.9		
#30	50.6		
#40	43.4		
#50	34.3		
#100	18.1		
#200	11.6		

* (no specification provided)

Material Description

SILTY SAND with gravel aggregate base, fine to medium grained, light brown to brown (Aggregate Base)

Atterberg Limits (ASTM D 4318)

PL= LL= PI=

Classification

USCS (D 2487)= AASHTO (M 145)=

Coefficients

D₉₀= 9.7687 D₈₅= 7.4017 D₆₀= 1.0040
D₅₀= 0.5809 D₃₀= 0.2560 D₁₅= 0.1182
D₁₀= C_u= C_c=

Remarks

Sample was discarded after testing.

Date Received: 7-28-2020 **Date Tested:** 7-31-2020

Tested By: K. Zander

Checked By: B. Nehring

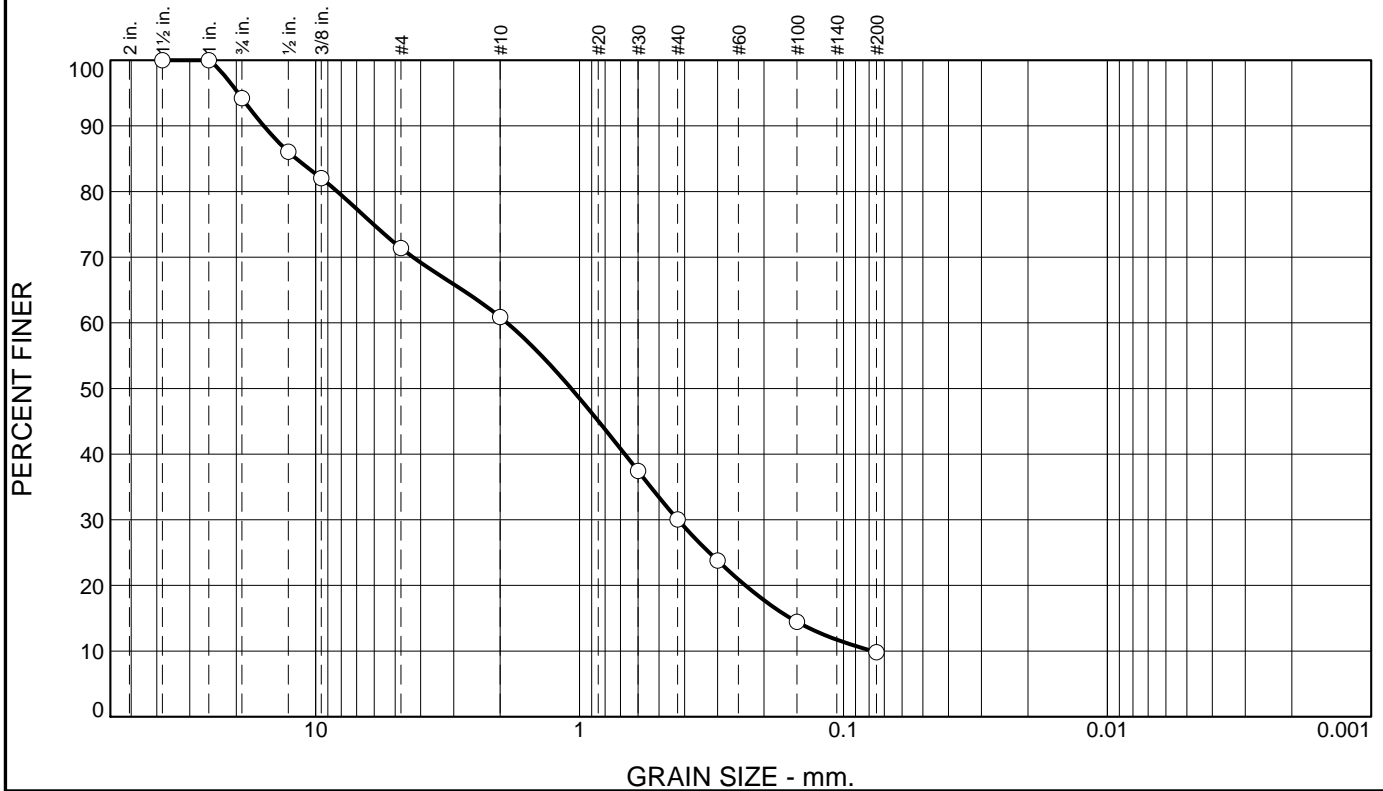
Title: Staff Engineer

EAR-CONTROLLED DATA

Location: SB1 **Depth:** 4"-12" **Date Sampled:** 7-28-2020
Sample Number: Aggregate Base

Element Materials Technology St. Paul, MN	Client: City of Corcoran co Wenck Project: Appaloosa Woods Street Improvments Project Corcoran, MN Project No: ESP034001P Figure
--	---

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	5.8	22.8	10.5	30.8	20.3	9.8	

Test Results (C136 & C117)			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1-1/2"	100.0		
1"	100.0		
3/4"	94.2		
1/2"	86.1		
3/8"	82.0		
#4	71.4		
#10	60.9		
#30	37.4		
#40	30.1		
#50	23.8		
#100	14.5		
#200	9.8		

* (no specification provided)

Material Description

SAND with SILT with gravel aggregate base, fine to medium grained, light brown to brown (Aggregate Base)

Atterberg Limits (ASTM D 4318)

PL= LL= PI=

Classification

USCS (D 2487)= AASHTO (M 145)=

Coefficients

D₉₀= 15.7344 D₈₅= 11.8422 D₆₀= 1.8830
D₅₀= 1.0762 D₃₀= 0.4239 D₁₅= 0.1584
D₁₀= 0.0777 C_u= 24.22 C_c= 1.23

Remarks

Sample was discarded after testing.

Date Received: 7-28-2020 Date Tested: 7-30-2020
Tested By: K. Zander
Checked By: B. Nehring
Title: Staff Engineer

Location: SB2 Date Sampled: 7-28-2020
Sample Number: Surface Gravel Depth: 0"-16"

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St. Paul, MN**

Client: City of Corcoran co Wenck
Project: Appaloosa Woods Street Improvments Project
Corcoran, MN
Project No: ESP034001P Figure

EAR-CONTROLLED DATA

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	1.8	1.5	13.3	7.8	75.6	

Test Results (C136 & C117)			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
1-1/2"	100.0		
1"	100.0		
3/4"	100.0		
1/2"	100.0		
3/8"	100.0		
#4	98.2		
#10	96.7		
#30	87.6		
#40	83.4		
#50	81.7		
#100	78.8		
#200	75.6		

* (no specification provided)

Material Description

LEAN CLAY, with sand, trace of gravel, brown (CL)

Atterberg Limits (ASTM D 4318)

PL= 19 LL= 30 PI= 11

Classification

USCS (D 2487)= CL AASHTO (M 145)= A-6(7)

Coefficients

D₉₀= 0.7307 D₈₅= 0.4915 D₆₀=
D₅₀= D₃₀= D₁₅=
D₁₀= C_u= C_c=

Remarks

The sample was retained in a sample jar after testing.
Moisture Content= 18.75%

Date Received: 7-28-2020 **Date Tested:** 7-30-2020

Tested By: K. Zander

Checked By: B. Nehring

Title: Staff Engineer

EAR-CONTROLLED DATA

Location: SB3 **Depth:** 2-3.5'

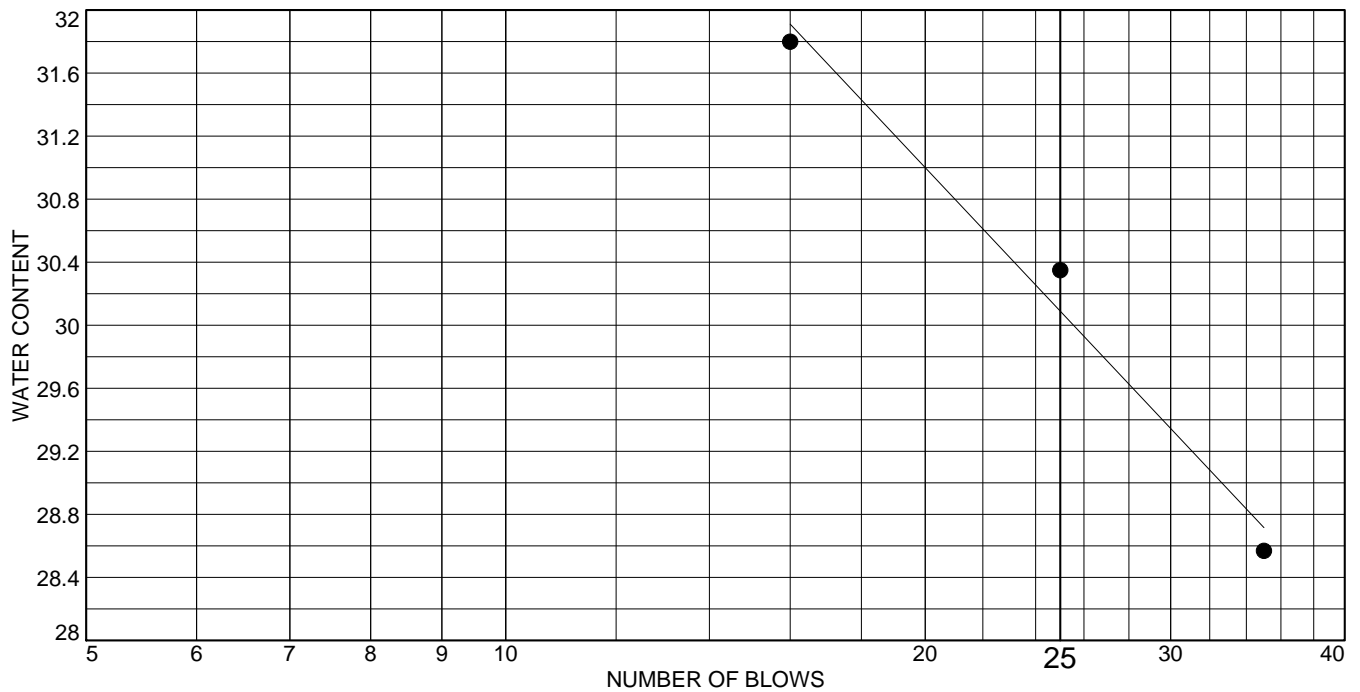
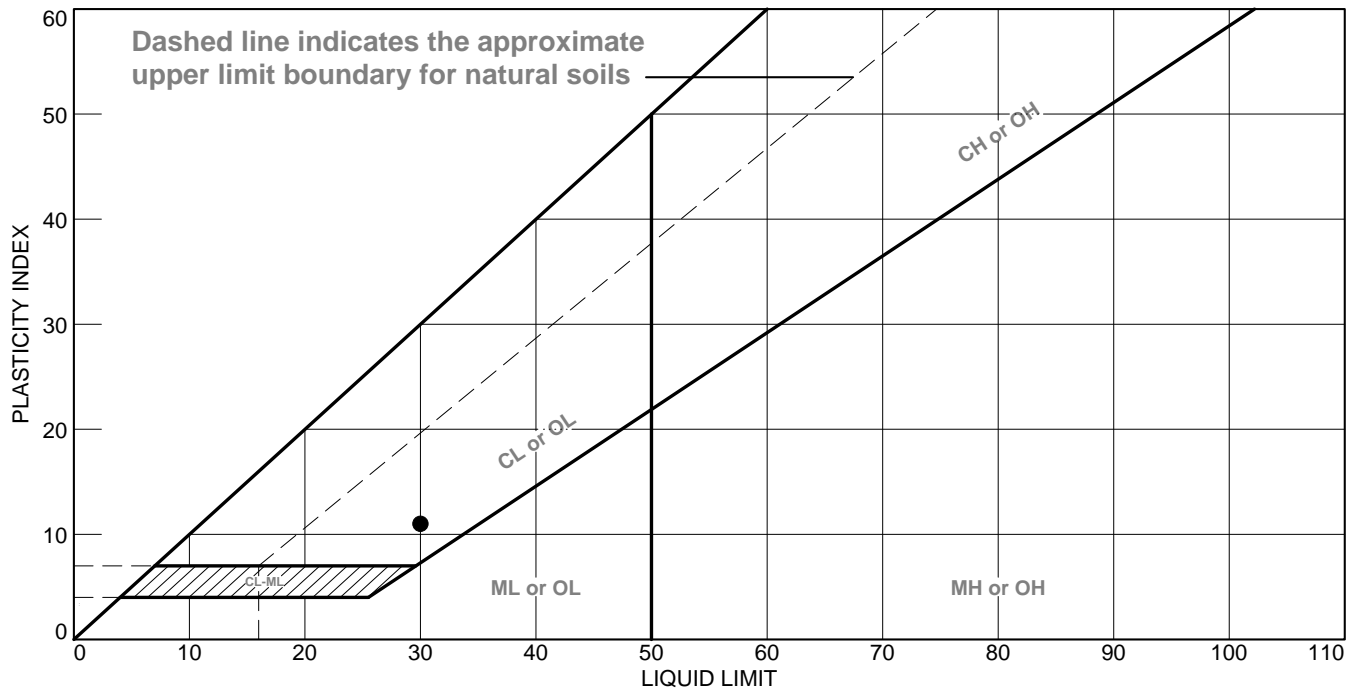
Sample Number: 3

Date Sampled: 7-28-2020

**Element Materials
Technology
St. Paul, MN**

Client: City of Corcoran co Wenck
Project: Appaloosa Woods Street Improvments Project
Corcoran, MN
Project No: ESP034001P **Figure**

LIQUID AND PLASTIC LIMITS TEST REPORT



MATERIAL DESCRIPTION	LL	PL	PI	%<#40	%<#200	USCS
LEAN CLAY, with sand, trace of gravel, brown (CL)	30	19	11	83.4	75.6	CL

EAR-CONTROLLED DATA

Project No. ESP034001P **Client:** City of Corcoran co Wenck
Project: Appaloosa Woods Street Improvments Project
 Corcoran, MN
Location: SB3
Sample Number: 3 **Depth:** 2-3.5'
Element Materials Technology
St. Paul, MN

Remarks:
 ● Sample was retained in jar after testing.

Figure

Tested By: B. Nehring

Checked By: B. Nehring

SYMBOLS AND TERMINOLOGY ON TEST BORING LOGS

SYMBOLS							
Drilling and Sampling				Laboratory Testing			
<u>Symbol</u>	<u>Description</u>			<u>Symbol</u>	<u>Description</u>		
HSA	3-1/4" I.D. hollow stem auger			W	Water content, % (ASTM:D2216)**		
_FA	4", 6" or 10" diameter flight auger			D	Dry density, pcf		
_HA	2", 4" or 6" hand auger			LL	Liquid limit (ASTM:D4318)		
_DC	2-1/2", 4", 5" or 6" steel drive casing			PL	Plastic limit (ASTM:D4318)		
_RC	Size A, B or N rotary casing			--- Inserts in Last Column (Qu or RQD) ---			
PD	Pipe drill or cleanout tube			Qu	Unconfined compressive strength, psf (ASTM:D2166)		
CS	Continuous split barrel sampling			Pq	Penetrometer reading, tsf (ASTM:D1558)		
DM	Drilling mud			Ts	Torvane reading, tsf		
JW	Jetting water			G	Specific gravity (ASTM:D854)		
SB	2" O.D. split barrel sampling			SL	Shrinkage limits (ASTM:D427)		
_L	2-1/2" or 3-1/2" O.D. SB liner sample			OC	Organic content – Combustion method (ASTM:D2974)		
_T	2" or 3" thin walled tube sample			SP	Swell pressure, tsf (ASTM:D4546)		
3TP	3" thin walled tube using pitcher sampler			PS	Percent swell under pressure (ASTM:D4546)		
_TO	2" or 3" thin walled tube using Osterberg sampler			FS	Free swell, % (ASTM:D4546)		
W	Wash sample			SS	Shrink swell, % (ASTM:D4546)		
B	Bag sample			pH	Hydrogen ion content – Meter Method (ASTM:D4972)		
P	Test pit sample			SC	Sulfate content, parts/million or mg/l		
_Q	BQ, NQ, or PQ wireline system			CC	Chloride content, parts/million, or mg/l		
_X	AX, BX, or NX double tube barrel			C*	One dimensional consolidation (ASTM:D2435)		
N	Standard penetration test, blows per foot			Qc*	Triaxial compression (ASTM:D2850 and D4767)		
CR	Core recovery, percent			D.S.*	Direct shear (ASTM:D3080)		
WL	Water level			K*	Coefficient of permeability, cm/sec (ASTM:D2434)		
≅	Water level			P*	Pinhole test (ASTM:D4647)		
NMR	No measurement recorded, primarily due to the presence of drilling or coring fluid			DH*	Double hydrometer (ASTM:D4221)		
				MA*	Particle size analysis (ASTM:D422)		
				R	Laboratory electrical resistivity, ohm-cm (ASTM:G57)		
				E*	Pressuremeter deformation modulus, tsf (ASTM:D4719)		
				PM*	Pressuremeter test (ASTM:D4719)		
				VS*	Field vane shear (ASTM:D2573)		
				IR*	Infiltrometer test (ASTM:D3385)		
				RQD	Rock quality designation, percent		
				* Results shown on attached data sheet or graph			
				** ASTM designates American Society for Testing and Materials			
TERMINOLOGY							
Particle Sizes				Soil Layering and Moisture			
<u>Type</u>	<u>Size Range</u>			<u>Term</u>	<u>Visual Observation</u>		
Boulders	> 12"			Lamination	Up to 1/4" thick stratum		
Cobbles	3" – 12"			Varved	Alternating laminations of any combination of clay, silt, fine sand, or colors		
Coarse gravel	3/4" – 3"			Lenses	Small pockets of different soils in a soil mass		
Fine gravel	#4 sieve – 3/4"			Stratified	Alternating layers of varying materials or colors		
Coarse sand	#4 - #10 sieve			Layer	1/4" to 12" thick stratum		
Medium sand	#10 - #40 sieve			Dry	Powdery, no noticeable water		
Fine sand	#40 - #200 sieve			Moist	Damp, below saturation		
Silt	100% passing #200 sieve and > 0.005 mm			Waterbearing	Pervious soil below water		
Clay	100% passing #200 sieve and < 0.005 mm			Wet	Saturated, above liquid limit		
Gravel Content				Standard Penetration Resistance			
Coarse-Grained Soils		Fine-Grained Soils		Cohesionless Soils		Cohesive Soils	
<u>% Gravel</u>	<u>Description</u>	<u>% Gravel</u>	<u>Description</u>	<u>N-Value</u>	<u>Relative Density</u>	<u>N-Value</u>	<u>Consistency</u>
2 – 15	A little gravel	< 5	Trace of gravel	0 – 4	Very loose	0 – 4	Very soft
16 – 49	With gravel	5 – 15	A little gravel	5 – 10	Loose	5 – 8	Soft
		16 – 30	With gravel	11 – 30	Medium dense	9 – 15	Firm
		31 – 49	Gravelly	31 – 50	Dense	16 – 30	Hard
				> 50	Very dense	> 30	Very hard

CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES

ASTM D2487 (Unified Soil Classification System)

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification		
				Group Symbol	Group Name ^B	
COARSE-GRAINED SOILS	Gravels (More than 50 % of coarse fraction retained on No. 4 sieve)	Clean Gravels (Less than 5 % fines ^C)	$Cu \geq 4$ and $1 \leq Cc \leq 3^D$	GW	Well-graded gravel ^E	
			$Cu < 4$ and/or $[Cc < 1 \text{ or } Cc > 3]^D$	GP	Poorly graded gravel ^E	
	More than 50 % retained on No. 200 sieve	Gravels with Fines (More than 12 % fines ^C)		Fines classify as ML or MH	GM	Silty gravel ^{E,F,G}
				Fines classify as CL or CH	GC	Clayey gravel ^{E,F,G}
		Sands (50 % or more of coarse fraction passes No. 4 sieve)	Clean Sands (Less than 5 % fines ^H)	$Cu \geq 6$ and $1 \leq Cc \leq 3^D$	SW	Well-graded sand ^I
				$Cu < 6$ and/or $[Cc < 1 \text{ or } Cc > 3]^D$	SP	Poorly graded sand ^I
Sands with Fines (More than 12 % fines ^H)		Fines classify as ML or MH	SM	Silty sand ^{F,G,I}		
		Fines classify as CL or CH	SC	Clayey sand ^{F,G,I}		
FINE-GRAINED SOILS	Silt and Clays Liquid limit less than 50	inorganic	$PI > 7$ and plots on or above "A" line ^J	CL	Lean clay ^{K,L,M}	
			$PI < 4$ or plots below "A" line ^J	ML	Silt ^{K,L,M}	
	50 % or more passes the No. 200 sieve	inorganic		$\frac{\text{Liquid limit} - \text{oven dried}}{\text{Liquid limit} - \text{not dried}} < 0.75$	OL	Organic clay ^{K,L,M,N} Organic silt ^{K,L,M,O}
		Silt and Clays Liquid limit 50 or more	inorganic	PI plots on or above "A" line	CH	Fat clay ^{K,L,M}
				PI plots below "A" line	MH	Elastic silt ^{K,L,M}
organic		$\frac{\text{Liquid limit} - \text{oven dried}}{\text{Liquid limit} - \text{not dried}} < 0.75$	OH	Organic clay ^{K,L,M,P} Organic silt ^{K,L,M,O}		
HIGHLY ORGANIC SOILS	Primarily organic matter, dark in color, and organic odor			PT	Peat	

^A Based on the material passing the 3-in. (75-mm) sieve.

^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^C Gravels with 5 to 12 % fines require dual symbols:
 GW-GM well-graded gravel with silt
 GW-GC well-graded gravel with clay
 GP-GM poorly graded gravel with silt
 GP-GC poorly graded gravel with clay

^D $Cu = D_{60}/D_{10}$ $Cc = (D_{30})^2 / D_{10} \times D_{60}$

^E If soil contains ≥ 15 % sand, add "with sand" to group name.

^F If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^G If fines are organic, add "with organic fines" to group name.

^H Sands with 5 to 12 % fines require dual symbols:

SW-SM well-graded sand with silt
 SW-SC well-graded sand with clay
 SP-SM poorly graded sand with silt
 SP-SC poorly graded sand with clay

^I If soil contains ≥ 15 % gravel, add "with gravel" to group name.

^J If Atterberg limits plot in hatched area, soil is a CL-ML, silty clay.

^K If soil contains 15 to < 30 % plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^L If soil contains ≥ 30 % plus No. 200, predominantly sand, add "sand" to group name.

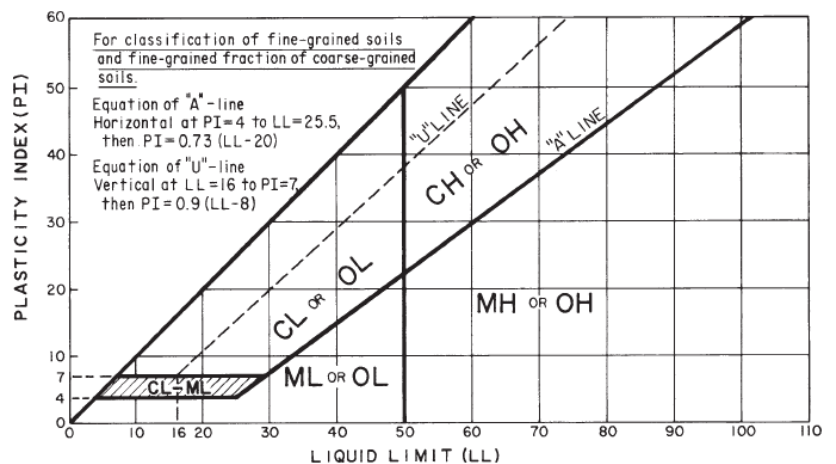
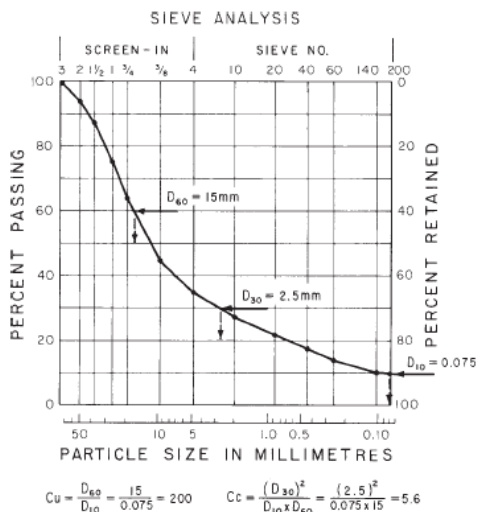
^M If soil contains ≥ 30 % plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

^O $PI < 4$ or plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.



FIELD EXPLORATION PROCEDURES

Soil Sampling

Soil sampling was performed in accordance with ASTM D 1586. Using this procedure, a 2" O.D. split barrel sampler is driven into the soil by a 140 pound weight falling 30". After an initial set of 6", the number of blows required to drive the sampler an additional 12" is known as the penetration resistance, or N value. The N value is an index of the relative density of cohesionless soils and the consistency of cohesive soils. Thin wall tube samples were obtained according to ASTM D 1587 where indicated by the appropriate symbol on the boring logs. Rock core samples, if taken, were obtained by rotary drilling in accordance with ASTM D 2113. Power auger borings, if performed, were done in general accordance with ASTM D 1452.

Soil Classification

As the samples were obtained in the field, they were visually and manually classified by the crew chief in accordance with ASTM D 2488. Representative portions of the samples were then returned to the laboratory for further examination and for verification of the field classification. Logs of the borings indicating the depth and identification of the various strata, the N value, the laboratory test data, water level information and pertinent information regarding the method of maintaining and advancing the drill holes are attached. The descriptive terminology and symbols used on the boring logs are also attached.

CONSTRUCTION OBSERVATIONS AND TESTING

The recommendations made in this report have been made based on the subsurface conditions found in the borings. It is possible that there are soil and water conditions on site that were not represented by the borings. Consequently, on-site observation during construction is considered integral to the successful implementation of the recommendations. We believe that qualified field personnel need to be on site at the times outlined below to observe the site conditions and effectiveness of the construction.

We recommend that the completed excavation and prepared subgrade be observed and tested by a soils engineer/technician prior to fill placement or construction of any foundation elements. These observations would be necessary to judge if all unsuitable materials have been removed from within the planned construction area and that an appropriate degree of lateral oversize has been provided for in those areas where fill will be placed below the bottom of foundation grade.

We recommend a representative number of field density tests be taken in all engineered fill placed to aid in judging its suitability. We suggest that at least one density test be performed for at least every 2,500 square feet of engineered fill placed for every 2' of fill depth. Additional tests should be taken where confined areas are compacted. Any proposed fill material should be submitted to the laboratory for tests to check compliance with our recommendations and project specifications.

PRECAUTIONS FOR EXCAVATING AND REFILLING DURING COLD WEATHER

The winter season in this area presents specific problems for foundation construction. Soils that are allowed to freeze undergo a moisture volume expansion, resulting in loss of density. These frost-expanded soils will consolidate upon thawing, causing settlement of any structure supported on them. To prevent this settlement, frost should not be allowed to penetrate into the soils below any proposed structure.

Ideally, winter excavation should be limited to areas small enough to be refilled to grade higher than footing grade on the same day. Typically, these areas should be filled to floor grade. Trenching back down to unfrozen soils for foundation construction can then be performed just prior to footing placement. The excavated trenches should be protected from freezing by means of insulating or heating during foundation construction. Backfilling of the foundation trenches should be performed immediately after the below-grade foundation construction is finished. In addition, any interior footings or footings designed without frost protection should be extended below frost depth, unless adequate precautions are taken to prevent frost intrusion until the building can be enclosed and heated.

In many cases, final grade cannot be attained in one day's time, even though small areas are worked. In the event final grade cannot be attained in one day's time, frost can be expected to develop overnight. Leaving a layer of loose soil on top of the compacted material overnight can minimize the depth of frost penetration. However, any frost that forms in this loose layer, or snow that accumulates, should be completely removed from the fill area prior to compaction and additional soil placement. Frozen soils or soils containing frozen material or snow should never be used as fill material.

After the structure has been enclosed, all floor slab areas should be subjected to ample periods of heating to allow thawing of the soil system. Alternatively, the frozen soil can be completely removed and be replaced with an engineered fill. The floor slab areas should be checked at random and representative locations for remnant areas of frost and density tests should be performed to document fill compaction to slab placement.

Due to the potential problems associated with fill placement during cold weather, a full-time, on-site soils technician should monitor any filling operations. Full-time monitoring aids in detecting areas of frozen material, or potential problems with frozen material within the fill, so the appropriate measures can be taken. The choice of fill material is particularly important during cold weather, since clean granular fill material can be placed and compacted more efficiently than silty and clayey soils. In addition, greater magnitudes of heaving can be expected with freezing of the more frost susceptible silts and clays.


If more specific frost information or cold weather data concerning other construction materials is required, please contact us.

Preliminary Assessment Roll

Appaloosa Woods - Road Improvements Preliminary Assessment Roll

Estimated Project Cost \$ 153,084.16

					Lot Equivalency	
PID	PROPERTY ADDRESS	TAX PAYER ADDRESS	TAXPAYER NAME	Units	Estimated Assessment Amount	
2411923130002	19340 81st Place N	19340 81st Place N	J R Laxen & M L Simon	1	\$	9,004.95
2411923130003	19360 81st Place N	19360 81st Place N	Shelby Ann Burgess	1	\$	9,004.95
2411923130004	19263 81st Place N	19263 81st Place N	S J Fraasch & N J S Fraasch	1	\$	9,004.95
2411923140015	19233 81st Place N	19233 81st Place N	Sulaine Marie Pedersen	1	\$	9,004.95
2411923140016	19223 81st Place N	19223 81st Place N	Dale M Hiebert	1	\$	9,004.95
2411923140017	19203 81st Place N	19203 81st Place N	D & R Arntson	1	\$	9,004.95
2411923140018	19165 81st Place N	19165 81st Place N	P J Dorn & A A Dorn	1	\$	9,004.95
2411923140031	19125 81st Place N	19125 81st Place N	A M Gadalla/I E Siebenschuh	1	\$	9,004.95
2411923410003	8035 Ridge Court N	8035 Ridge Court N	Steve Powers & Carrie Powers	1	\$	7,200.00
2411923410004	8025 Ridge Court N	16369 69th Place N	Jonathan T Frieze Et Al	1	\$	7,200.00
2411923410006	8040 Ridge Court N	8040 Ridge Court N	David Mcstott & Judy Mcstott	1	\$	7,200.00
2411923140020	19105 81st Place N	19105 81st Place N	Leon M & Maria S Ramminger	1	\$	7,200.00
2411923140004	19140 81st Place N	19140 81st Place N	J & P Peterson	1	\$	7,200.00
2411923140027	19114 81st Place N	19114 81st Place N	R A & M A M Riemer	1	\$	7,200.00
2411923140026	19138 81st Place N	19138 81st Place N	Roman Svistun	1	\$	9,004.95
2411923140025	19180 81st Place N	19180 81st Place N	Mary Judith Phillips	1	\$	9,004.95
2411923140009	19260 81st Place N	19260 81st Place N	J D & B A Armbruster	1	\$	7,200.00

 Denotes properties from existing pavement to existing pavement

Appraisal Report

Report Type

Real Estate Consulting
Letter Report (Restricted Appraisal)

Effective Date

November 23, 2020

Client

City of Corcoran
Attn: Brad Martens, City Administrator
8200 County Road 116
Corcoran, MN 55340

Subject Property

Street Improvement Project
81st Place North and Ridge Court
Corcoran, MN 55340



File # V2011001 – Appaloosa Woods

Prepared By:

Ethan Waytas, MAI, Appraiser
William R. Waytas, SRA, Appraiser

Nagell Appraisal Incorporated

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Plymouth, Minnesota 55441
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NAGELL APPRAISAL INCORPORATED

12805 Highway 55 #300
Plymouth, MN 55441
Established in 1968

Phone 952-544-8966
Fax 952-544-8969

City of Corcoran
Attn: Brad Martens, City Administrator
8200 County Road 116
Corcoran, MN 55340

November 23, 2020

To Brad Martens:

Per your request, this is a letter report to assist the city for guidance regarding a street improvement project within Corcoran (see attached map for the location of the streets in the project). The project is a street improvement of 81st Place North and Ridge Court.

This report is not an appraisal of a specific property, but rather provides a preliminary opinion of a general range of market benefit, if any, for similar properties. Relevant information, including USPAP, is retained in the workfile. If an appraisal of a specific property was performed, the findings of that report are considered likely to be consistent with the findings in this document (but could vary). The letter can function as a test of reasonableness for the proposed assessments.

SCOPE OF ASSIGNMENT

In accordance with your request, a drive-by viewing of the properties has been made along with some general market comments regarding benefit (if any) for the street and utility improvement project as it relates to the subject market. As noted in the engagement letter, no specific sales data has been collected for this assignment. The general market comments are based on past appraisals, experience, and market information.

Pictures of the streets were taken on November 23, 2020 by William R. Waytas. The appraiser also viewed aerial/satellite image on the county GIS website and Google street view images. Project information and documents were provided; the conclusions and information from the report were a part of the overall consulting letter analysis. The preliminary engineering report is retained in the appraiser's workfile.

PROJECT

The City of Corcoran is proposing to update existing paved and gravel roads within the project area. The project would be a "shape and pave", which appears to be grading of the existing road base and then 3 inches of new asphalt paving.

Per request, you desire to know the benefit (if any) as it impacts properties in the project area.

Motivation for the road improvement project stemmed from deteriorating road surface and/or base, along with paving existing gravel roads.

AREA DESCRIPTION

The City of Corcoran is a western outlying suburban community located approximately 35 minutes northwest of Downtown Minneapolis. The population was 5,500 as of 2010 census (a decrease of 2.3% from the 2000 census).

The commercial portion of the city is located at the intersection of County Roads 10 & 116. The remainder of the city is mostly made up of rural residential, large estate-sized residential and newer scattered single-family residential developments. Corcoran has a reputation as a stable community. Access to most shopping and surrounding communities is within 15 minutes. Most existing buildings in the area range from average to good quality. No apparent adverse influences.

The population for Corcoran in 2010 was 5,379, down from 5,630 in 2000—a 4.5% decrease. The 2019 estimated population is 6,250, a 16.2% increase.

Single family homes generally range in value between \$195,000 and \$575,000+ in the City Limits with an average of about \$500,000 (MLS statistics). The city is a mixture of residential, industrial, and commercial. Most homes are average quality.

SUBJECT PROPERTIES

The project area consists of single-family residential. An exact number of properties being assessed was not available at this time.

EXISTING STREETS & UTILITIES

Physical Condition of the Existing Road: The existing road improvements are a mixture of gravel or asphalt. The road condition, based on the visual inspection of the streets, is rated to range from poor to fair+, with a majority of the project being fair in condition. There are signs of transverse, longitudinal, and alligator cracking on the paved road. There are also areas of raveling.

Physical Condition of Existing Utilities: The utilities in the area are a mixture private well and septic and public water and public sanitary sewer (public electricity and gas are available for all properties).

Functional Design of the Road: The existing road is dated, in poor to fair condition, and does have substantial large cracks, heaving, raveling, etc. The road condition is rated to be poor to fair, with a majority of streets fair.

Road and utility infrastructure in poor to fair condition do not meet the expectations of typical market participants in this suburban market for re-development, resale price, and/or updating the current uses. Overall, the existing street improvements are in poor to fair + condition, are beginning to look dated (or function) and reflect likewise on the adjoining and side street properties.

PROPOSED IMPROVEMENTS

The city is proposing to pave portions of the gravel road and then re-pave existing paved areas.

There are no proposed updates to the utility infrastructure.

Given the existing condition of the road, the proposed project is logical.

If any of the above descriptions change, the benefit due to the project could differ.

HIGHEST AND BEST USE

The subject project area is located in the eastern portion of the city in an area of residential uses.

Owners in the subject area appear to update their property as needed when site and building components wear out or become dated. Owners in the overall area commonly pave their driveways or maintain parking lots as needed, recognizing it adds value when done. Therefore, it is logical to update the road and/or utility infrastructure to the subject properties as needed, as these are essential property characteristics that are expected in this market.

An informed buyer would consider the condition of the road, traffic flow/management, and utilities. A well-constructed and good condition road provides aesthetic appeal to a property and efficient/safe traffic flow. Given a choice, a potential informed buyer would likely prefer a newer road with good traffic flow over a deteriorating road with fair traffic flow. Additionally, a potential informed buyer would likely prefer newer utility infrastructure as compared to older, dated and inferior utility infrastructure.

If replacement of components of real estate near the end of their economic life in a home or building is postponed, it can be costlier in the long run; delays in replacing components can result in incurring higher interim maintenance costs and potential difficulty in marketing the property. Also, it is typical for the cost of the replacement of an improvement to increase over time. That said it is logical and prudent for market participants to update/replace dated components when needed. Therefore, the highest and best use of the surrounding properties in the project area is for the continued various uses with the proposed infrastructure improvements.

DISCUSSION OF MARKET BENEFIT

Listed below are the factors that will be taken into consideration concerning the potential benefit to the properties.

<u>Description</u>	<u>Existing Improvements</u>	<u>Change</u>
1) Road Surface	Poor to fair, gravel	New, asphalt
2) Base Condition	Dated to average	Graded, improved
3) Curb	Concrete in portions	Concrete in portions, unchanged
4) Drainage	n/a	n/a
5) Storm Sewer	Surface	Surface
6) City water	n/a	n/a
7) City sewer	n/a	n/a
8) Sidewalk	None	None
9) Street Lights	Average	Average
10) Functional Design of Road	Dated	Good, new
11) Traffic Management	Average	Average
12) Pedestrian Use (biking, walking, etc.)	Fair to Poor	Good
13) Median	n/a	n/a
14) Road Proximity to Properties	n/a	n/a
15) Dust	n/a	n/a
16) Visual Impact on Properties	Fair to Poor	Good

Based on the preceding grid, the subject properties will improve in 5 of the 16 categories. Market participants generally recognize that roads and utilities need replacing when nearing the end of a long economic life. A typical buyer in the subject market commonly prefers a good condition paved road surface versus an inferior condition paved road surface. Similarly for utilities, market participants prefer new or newer utilities versus older utilities. In addition to visual benefit, new street improvements provide better and safer use for pedestrians (biking, walking, stroller, rollerblading, etc.) and drivers. The new streets and utilities will enhance potential for re-development and/or updating the current properties. Properties that indirectly/directly abut or have driveways/access that exit on the new street will benefit.

Based on past appraisals, experience, and general market information, it is not uncommon for properties similar to those in the subject market to realize an increase in price for new street improvements.

Discussion of Market Benefit – Continued

Given the scope of the project, the age/quality/condition of houses, properties in the area with newer street improvements could see an average price benefit of:

- **Single-Family Residential – Existing gravel to new pavement** \$15,000 to \$23,000 per buildable lot
- **Single-Family Residential – Existing paved to new pavement** \$8,000 to \$13,000 per buildable lot

Note: The above benefit considers only the scope of the project. Higher value buildings/homes or larger lots are on the upper end of the range. Properties on corners, with one street being improved and the other not, might receive less than the above ranges (for example 50% of the benefit).

CONCLUSION

The benefit amounts noted above should not be construed or relied on as being an appraisal of a specific property, but are general observations based on the overall market. If an appraisal were made on the individual properties, the actual benefit amount could vary from market observations above.

If you have additional questions, please do not hesitate to contact us.

Sincerely,



Ethan Waytas, MAI
Certified General MN 40368613

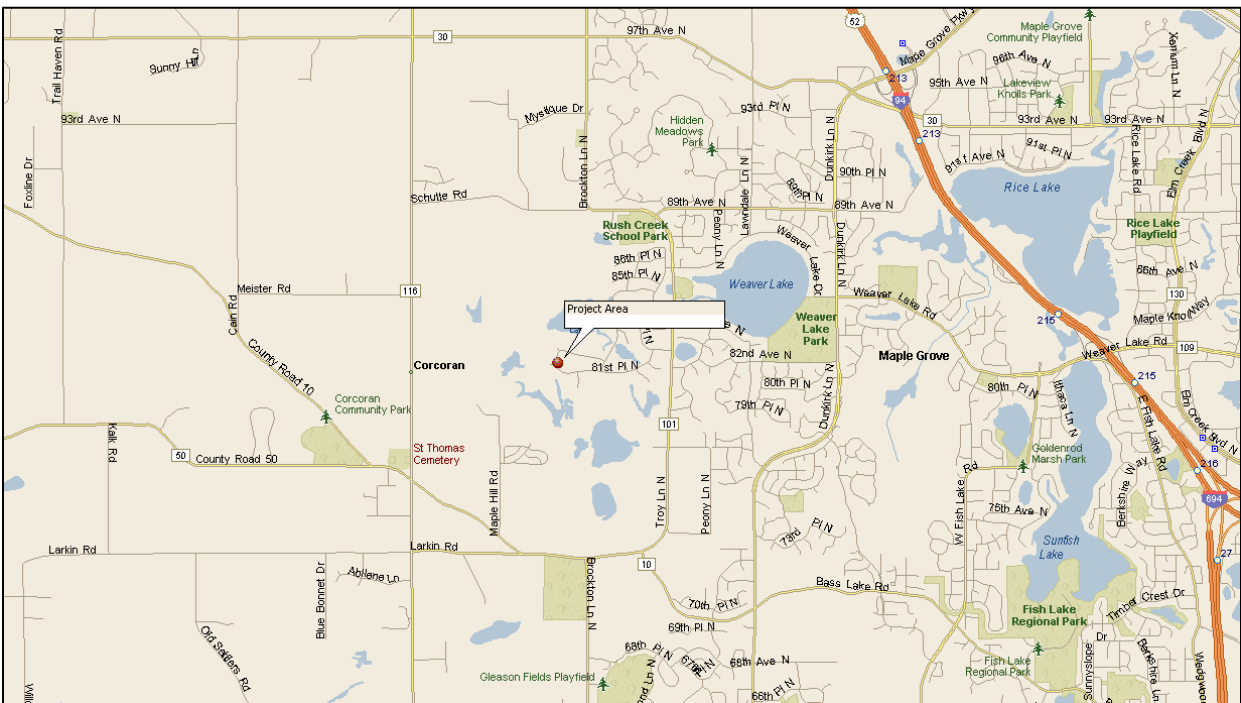


William R. Waytas, SRA
Certified General MN 4000813

Enclosures: Location Map, Aerial Map View of Project, Subject Photos, Qualifications

www.nagellmn.com

LOCATION MAP



AERIAL VIEW OF PROJECT MAP



*Red line reflects the project area

SUBJECT PHOTOGRAPHS



Street view



Street view



Street view



Street view

Subject Photographs – continued



Street view



Street view



Street view



Street view

Subject Photographs – continued



Street view



Street view



Street view



Street view

QUALIFICATIONS

Appraisal Experience

Presently and since 2006, **Ethan Waytas, MAI** has been employed as an employee of Nagell Appraisal Incorporated, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. He is currently a full time licensed certified general real estate appraiser, partner, and director of the company's IT department.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, cinema, numerous special use properties, golf courses, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
- **Special Assessment** – numerous street improvement and utilities projects for both governmental and private owners.
- **Clients** - served include banks, savings and loan associations, trust companies, corporations, governmental bodies, relocation companies, attorneys, REO companies, accountants and private individuals.
- **Area of Service** - most appraisal experience is in the greater Twin Cities Metro Area (typically an hour from downtown metro). Numerous assignments throughout Minnesota.

Testimony

-- Court, commission, mediation testimony, etc. has been given

Professional Membership, Associations & Affiliations

License: Certified General Real Property Appraiser, MN License #40368613

Holds the MAI designation from the Appraisal Institute

Education

-- Graduate of the University of Minnesota: College of Science and Engineering, Twin Cities Campus
Bachelor of Science in Computer Science, with distinction, 3.86 GPA.

General & Professional Practice Courses & Seminars

-- Basic Appraisal Procedures
-- Basic Appraisal Principles
-- 2012-2013 15-Hour National Uniform Standards of Professional Appraisal Practice
-- General Appraiser Sales Comparison Approach
-- General Appraiser Income Approach – Part 1
-- General Appraiser Income Approach – Part 2
-- Advanced Income Capitalization
-- General Appraiser Report Writing and Case Studies
-- Real Estate Finance, Statistics and Valuation Modeling
-- 2014-2015 7-hour National USPAP Update Course
-- General Appraiser Site Valuation & Cost Approach
-- Advanced Market Analysis and Highest & Best Use
-- Advanced Concepts & Case Studies
-- Quantitative Analysis

Curriculum Vitae -- continued

Appraisal Experience

Presently and since 1985, **William R. Waytas** has been employed as a full time real estate appraiser. Currently a partner and President of the Nagell Appraisal & Consulting, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. Mr. Waytas was employed with Iver C. Johnson & Company, Ltd., Phoenix, AZ from 1985 to 1987.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, hotel, hotel water park, bed & breakfast, cinema, marina, numerous special use properties, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
- **Special Assessment** – numerous street improvement and utilities projects for both governmental and private owners.
- **Review** – residential, commercial and land development.
- **Clients** - served include banks, savings and loan associations, trust companies, corporations, governmental bodies, relocation companies, attorneys, REO companies, accountants and private individuals.
- **Area of Service** - most appraisal experience is in the greater Twin Cities Metro Area (typically an hour from downtown metro). Numerous assignments throughout Minnesota.

Professional Membership, Associations & Affiliations

License: Certified General Real Property Appraiser, MN License #4000813.
Appraisal Institute: SRA, Senior Residential Appraiser Designation,
General Associate Member
Employee Relocation Council: CRP Certified Relocation Professional Designation.
International Right-Of-Way Association: Member
HUD/FHA: On Lender Selection Roster and Review Appraiser
DNR: Approved appraiser for Department of Natural Resources

Testimony

-- Court, deposition, commission, arbitration & administrative testimony given.

Mediator

-- Court appointed in Wright County.

Committees

- President of Metro/Minnesota Chapter, 2002, Appraisal Institute.
- Chairman of Residential Admissions, Metro/MN Chapter, AI.
- Chairman Residential Candidate Guidance, Metro/Minnesota Chapter, AI.
- Elm Creek Watershed Commission, Medina representative 3 years.
- Medina Park Commission, 3 years.

Curriculum Vitae -- continued

Education

- Graduate of Bemidji State University, Minnesota. B.S. degree in Bus. Ad.
- During college, summer employment in building trades (residential and commercial).
- Graduate of Cecil Lawter Real Estate School. Past Arizona Real Estate License.

- **General & Professional Practice Courses & Seminars**
- Course 101-Introduction to Appraising Real Property.
- Numerous Standards of Professional Practice Seminar.
- Fair Lending Seminar.
- Eminent Domain & Condemnation Appraising.
- Eminent Domain (An In-Depth Analysis)
- Property Tax Appeal
- Eminent Domain
- Business Practices and Ethics
- Scope of Work
- Construction Disturbances and Temporary Loss of Going Concern
- Uniform Standards for Federal Land Acquisitions (Yellow Book Seminar)
- Partial Interest Valuation Divided (conservation easements, historic preservation easements, life estates, subsurface rights, access easements, air rights, water rights, transferable development rights)

- **Commercial/Industrial/Subdivision Courses & Seminars**
- Capitalization Theory & Techniques
- Highest & Best Use Seminar
- General & Residential State Certification Review Seminar
- Subdivision Analysis Seminar.
- Narrative Report Writing Seminar (general)
- Advanced Income Capitalization Seminar
- Advanced Industrial Valuation
- Appraisal of Local Retail Properties
- Appraising Convenience Stores
- Analyzing Distressed Real Estate
- Evaluating Commercial Construction
- Fundamentals of Separating Real Property, Personal Property and Intangible Business Assets

- **Residential Courses & Seminars**
- Course 102-Applied Residential Appraising
- Narrative Report Writing Seminar (residential)
- HUD Training session local office for FHA appraisals
- Familiar with HUD Handbook 4150.1 REV-1 & other material from local FHA office.
- Appraiser/Underwriter FHA Training
- Residential Property Construction and Inspection
- Numerous other continuing education seminars for state licensing & AI

Speaking Engagements

- Bankers
- Auditors
- Assessors
- Relocation (Panel Discussion)

Publications

- Real Estate Appraisal Practice (book): Acknowledgement
- Articles for Finance & Commerce and Minnesota Real Estate Journal

Preliminary Cost Estimate

OPINION OF PROBABLE COST (SHAPE & PAVE)
CITY OF CORCORAN
APPALOOSA WOODS ROAD RECONSTRUCTION
002294-01
FEASIBILITY STUDY
January 5, 2021



NO.	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
BASE BID SCHEDULE					
1	MOBILIZATION	LS	1	\$ 8,000.00	\$ 8,000.00
2	TRAFFIC CONTROL	LS	1	\$ 1,000.00	\$ 1,000.00
3	EROSION CONTROL	LS	1	\$ 1,000.00	\$ 1,000.00
4	RESTORATION	LS	1	\$ 5,000.00	\$ 5,000.00
5	RECLAIM BITUMINOUS PAVEMENT	SY	1329	\$ 5.00	\$ 6,644.44
6	COMMON EXCAVATION (OFFSITE)	CY	473	\$ 20.00	\$ 9,461.88
7	SUBGRADE PREPARATION	LF	1610	\$ 5.00	\$ 8,050.00
8	BITUMINOUS TACK COAT MATERIAL	GAL	243	\$ 3.50	\$ 851.57
9	TYPE SP 9.5 WEARING COURSE MIXTURE (2,B)	TON	421	\$ 85.00	\$ 35,778.94
10	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2,C)	TON	560	\$ 75.00	\$ 41,970.21
				SUBTOTAL	\$ 117,757.05
				CONTINGENCY (15%)	\$ 17,663.56
				LEGAL, ENGINEERING, ADMIN (15%)	\$ 17,663.56
				TOTAL PROJECT COSTS	\$ 153,084.16



Responsive partner.
Exceptional outcomes.

Special Assessment Policy

Purpose:

The City's special assessment policies and procedures have been established to:

1. Provide a stable and continuing source of funding within the financial capacity of the City, in combination with federal, state, county, and other local financial resources available to the City, to accommodate infrastructure needs for new development, redevelopment, and maintenance within the existing community in the most cost-effective manner.
2. Balance needs and costs for new and existing infrastructure to support and promote economic development and growth as well as maintenance within the existing community by providing for the equitable distribution of infrastructure costs to ensure that specific developments are financially self-supporting to the extent warranted.
3. Provide a comprehensive, well-constructed and well-maintained infrastructure system that services individual properties and takes advantage of economies on a regional scale and flexibility in the timing of infrastructure development.
4. Respond to community needs and desires for health, safety, welfare; accessibility, and mobility provided by new infrastructure and the maintenance of existing infrastructure.
5. Function in harmony with the City's comprehensive plan and growth area plans by providing the infrastructure and amenities associated with those plans thereby promoting orderly growth in areas where services are available or can be provided at the most reasonable cost.
6. Provide the City Council and staff with guidelines and methods to efficiently distribute infrastructure costs to benefiting properties in an equitable and consistent manner thereby enhancing the value of property by assigning a proportionate value of the improvements to the properties deriving benefit from the improvement.

General Policy Statement:

While the special assessment purposes, policies and procedures have been identified herein, the City Council may deviate from this policy when such rationale in equity arises or the law is required.

I. Policy Definitions:

- A. Adjacent Property: A property directly adjacent to public improvements.

- B. Access:** Properties shall be considered to have access to public street improvements when they may enter onto the improvement from their own private driveway, private road, or public street, or when the street classification would allow the property to be granted driveway access. Properties shall be considered to have access to underground utility improvements when they directly abut the property or may be available to the property by utility or road easement/ROW, and the City has included the property within a defined services area approved for immediate utility service.
- C. Accrued Interest (or Compounded Interest):** Interest which is calculated not only on the initial principal but also the accumulated interest of prior periods.
- D. Adjusted Area:** An area of a benefited property that has been modified by an adjustment factor to more accurately represent the true benefit that property receives from an improvement in comparison to other properties in the assessment area. The adjustment will be based on the improvement design parameters that are applicable to that parcel, as approved by the City Council. Design parameters that may be used to determine the adjustment factor include, but are not limited to, trip generation, storm water runoff coefficients, water or sanitary sewer use, needed fire flow, and zoning or future land use.
- E. Assessed Cost:** Those costs of public improvements that have been determined to benefit specific properties. The assessed cost will be equal to the project cost minus the City cost. Project costs eligible for assessment include all costs associated with the improvements, including, but not limited to, land acquisition, demolition, construction, administration, engineering, legal, financing and other costs as determined by the City Council. The financing charges include all costs of financing the project. These costs include, but are not limited to, financial consultant's fees, bond attorney's fees, and capitalized interest.
- F. Assessable Footage:** The assessable footage is the total front footage of all of the benefiting properties, calculated by using the front footage method.
- G. Assessment Rate:** The assessment rate for improvements other than streets is determined by dividing the assessable cost of an improvement by the total number of assessment units such as the total adjusted front footage or square footage, acreage, number of lots, or number of parcels.
- H. Assessment Unit:** Front footage, area, or unit used to compute the costs on the basis of individual assessments.
- I. Benefit:** The increase in property value as a result of a public improvement such as a street, sidewalk, trail, curb and gutter, water main, sanitary sewer, storm sewer, park, or street landscaping.

- J. Deferment:** A process of postponing the collection of the cost of public improvements and funding them as a system cost with the intention of collecting the cost at a later date.
- K. Driveway Approach:** That area which lies between the existing pavement to the right-of-way line; curb cut to curb cut. For assessment purposes driveway approach refers to the road surfacing, not stormwater conveyance such as ditching or culverts.
- L. Front Footage:** The distance measured along the right-of-way line that directly abuts an improvement, not counting Side-Lot Footage.
- M. Limited Access Street:** A street, such as a major or minor collector street, which because of its high volume of traffic has been designated by the City for controlled access, meaning the number of access points to the street will be limited.
- N. Lot Definitions:**
1. Corner Lot: A lot located at a street intersection having both front and side-lot footage.
 2. Double Frontage Lot: A lot with access to two separate non-intersecting or intersecting streets but not a corner lot.
 3. Irregularly Shaped Lot: Those lots abutting curved streets, cul-de-sacs, or other lots where there is more than five feet of difference in length between the front and back lot lines.
 4. Rectangular Lot: A lot with less than five feet of difference in length between the front and back lot lines.
- O. Public Improvement:** Improvements as allowed by State statute that provide a special benefit to properties, including but not limited to streets, sidewalks, trails, curb, gutter, sanitary sewer systems, storm sewer systems, water treatment and distribution systems.
- P. Special Assessment:** A legal process whereby the benefited property is charged for all or a portion of the cost of public improvements.
- Q. Standards for Surface Improvements:** Standards for surface improvements have been established in the City's Engineering Standards.
- R. Street:** All public ways designed as means of access to the adjoining properties. Streets are classified into six groups and classified per a Collector or Local street status in the City's Comprehensive Plan:
1. Local Gravel – Local gravel streets have lower traffic counts as compared to collector gravel streets, have a gravel finish, and utilize rural ditches for stormwater conveyance. Examples include, but are

not limited to, Hidden Ponds Drive, Meadow Circle, Nystrom Lane, Rush Meadow Lane, and Treeline Drive.

2. Collector Gravel - Collector gravel streets have higher traffic counts as compared to local gravel streets, have a gravel finish, and utilize rural ditches for stormwater conveyance. Examples include, but are not limited to, Trail Haven Road, Cain Road, Bechtold Road, Old Settlers Road, and Willow Drive.
3. Rural Local Asphalt – Rural local asphalt streets have a bituminous finish and utilize ditches for stormwater conveyance. Examples include, but are not limited to, Cates Longhorn Road, Abilene Lane, Butterworth Lane, Hunter Road, and Dassel Lane.
4. Urban Local Asphalt – Urban local asphalt streets have a bituminous finish and utilize curb and gutter for stormwater conveyance. Examples include, but are not limited to, Bridle Path, Carriage Way, Prairie Sage Lane, and Sorrel Court.
5. Rural Collector Asphalt – Rural collector asphalt streets have higher traffic counts than local streets, have a bituminous finish, and utilize ditches for stormwater conveyance. Examples include, Oakdale Drive.
6. Urban Collector Asphalt – Urban collector asphalt streets have higher traffic counts than local streets, have a bituminous finish, and utilize curb and gutter for stormwater conveyance. Examples include, Gleason Parkway.

S. Street Treatment Definitions:

1. Crack Seal and Seal Coat - Crack sealing involves patching and sealing cracks in the roadway. This is followed by seal coating, which involves spraying the road with oil and covering it with a layer of small rock. Crack sealing and seal coating is generally considered routine roadway maintenance. The recommended interval is 6-8 years with first application about 7 years after new roadway construction.
2. Mill and Overlay - Milling and overlaying consists of grinding off the upper layer of asphalt (in urban sections) and replacing it with a new layer of asphalt. This is generally done on roadways that have a fair amount of cracking and other surface distress, usually at about 60% of the street's life cycle. This is considered a structural improvement that will renew the street surface and extend its useful life.
3. Rehabilitate - Rehabilitating a roadway consists of grinding up the existing

asphalt and mixing it with a portion of the underlying gravel base (typically 4"- 8"). This combination of bituminous and gravel is then used as the new road base, and a new asphalt surface is paved over this. This is generally done on roadways that have a significant amount of distress. This can be a good alternative to reconstructing a road if the existing road base appears to be structurally sufficient.

4. Reconstruct - Reconstructing a roadway includes improving a gravel road to a paved road or completely removing the existing road and underlying gravel and sand base material, and constructing a new road section. This may also include correcting any poor base material beneath the section, or updating the road to meet design standards such as width and drainage. This is often done in conjunction with utility repairs/replacement. Generally done on roadways that exhibit signs of major distress, such as rutting, cracking, and potholes.

T. System Cost: That portion of the assessable cost that benefits properties whose assessments are deferred because they qualify for green acres status, are located outside of the City limits, or are unable to make use of the improvements due to factors beyond their control. The City may reimburse itself for such system costs from the benefitting properties when the basis for the deferral is no longer valid.

U. Unit: A unit, for purposes of defining an assessment, may include, but is not limited to: a household; a parcel/lot; water or sewer main length and size; sidewalk or trail length, width and depth; driveway approach length, width and depth.

II. Policy Implementation and Procedures:

A. Assessment Classification

The assessment process shall address the feasibility of physical construction and also the affordability of the improvements. In meeting these responsibilities, a classification system is established below for public improvement projects based on the design capacity and the level of use. Cost apportionment is based on the extent of use of the improvement by the benefitting property owners and City policies for street paving, curb, gutter, and sidewalk construction shall be used as a basic guide. The classification system groups improvements into the three categories:

- **Type I improvements** consist of projects that are mostly of benefit to the abutting properties and include local streets, curb, gutter, water and sewer services, and driveway improvements. Street construction, sidewalk, paving, storm sewer, sanitary sewer, and water mains may be Type I if solely designed to serve the abutting properties.
- **Type II improvements** consist of projects that benefit a larger, yet definable, area. Street construction, sidewalk, paving, storm sewer, sanitary sewer, and water mains may also be Type II if the improvement benefits a larger area. Collector streets, which are likely to be used by a broader segment of the public, should be proportionately assessed to a larger area.

- **Type III improvements** consist of large-scale projects of benefit to the entire City regardless of location. The criteria for designation of any improvement as Type III are facilities that serve areas larger than a definable neighborhood or those areas separated by major identifiable barriers, such as creeks, or county roads. Typically, Type III improvements are financed through a combination of Federal and State appropriations and available City funds; however, special assessments may be needed to fully fund the project.

If financial assistance is received by the City from the Federal Government, from the State of Minnesota, the County, or from any other source to defray a portion of the costs of a given improvement, such aid will be used first to reduce the "City cost" of the improvement. If the financial assistance received is greater than the normal "City cost", the remainder of the aid will be applied according to the terms of the assistance program or at the Council's discretion.

The assessment classifications are listed in Table 1 below. The City Council may from time to time adjust the classification of improvements to maintain the equitability of the assessment cost.

Table 1. Assessment Classification

Type I Improvements	Type II Improvements	Type III Improvements
Curb & Gutter	Trunk Sanitary Sewers (greater than 8" diameter)	Bridges
Sidewalks and trails, 5 feet wide or less	Trunk Water Main (greater than 8" diameter) and Looped Water Main	Community Facilities Library Law Enforcement Fire Station
Sanitary Sewer Laterals (less than or equal to 8" diameter)	Collector Streets	
Water Main (less than or equal to 8" diameter)	Sidewalks and trails, greater than 5 feet wide	Community Parks
Sewer & Water Services	Storm Drainage Improvements	Wastewater Treatment Facilities
Local Streets/Alleys	Pumping Stations	Water Tower
Storm Drainage Improvements		Water Treatment Plant
Other improvements mandated or authorized by law		

B. Methods of Assessment

The City shall use the following methods in determining assessments for public improvements.

1. Front Footage Method

This method computes the assessable frontage for the project and for each property. The assessment rate is obtained by dividing the total assessable cost by the assessable footage in an assessment district. The assessment for each parcel is then obtained by multiplying the assessment rate times the front footage for each property. Front footage is determined as follows:

- a. For rectangular lots, the front footage shall be the same as the front footage at the right-of-way.
- b. For irregularly shaped lots, the front footage will typically be calculated as the width of the lot as defined in the City's zoning ordinance, although other methods may be used at the City's discretion (such as average lot width) if they are determined to be more equitable.
- c. For all corner lots, street assessments, regardless of the orientation of the house, shall be based on one-half of the footage of the road being improved.
- d. For a rectangular corner lot, water and sewer assessments, regardless of the orientation of the house, the short side of the lot shall be considered to be the "frontage".
- e. Double frontage lots may be assessed for any street improvement that it has direct access to, if the lot is of such size that it could be split into multiple buildable lots. The front footage for each improvement will be determined in accordance with the above-described policies, whichever is appropriate.

2. Area Method

This method computes cost on a square foot or acreage basis. The assessment rate is determined by dividing the total assessable cost by the total benefiting area. A parcel's assessment is then determined by multiplying the assessment rate times the benefiting area of the parcel. When the benefiting area includes both platted and un-platted properties, the gross benefiting area will be used to apportion the benefit among the properties. An adjustment factor reflecting land use may be applied to a parcel's benefiting area in some cases. For example, for storm sewer design, the assumed rate of runoff per acre from a commercial lot is greater than the runoff rate from a residential lot. If all uses are the same in a project area (single family, multi-family, commercial, or industrial), the assessment rate is the same for all. Where there is variation in residential density or uses, the assessment rate may be adjusted to reflect the corresponding differences in benefit.

The assessable area shall include all properties legally eligible for assessments. The following items may not be included in area calculations: public right-of-ways, natural waterways, lakes or other wetlands.

3. Unit Method

This method computes the costs on the basis of individual assessment units. For example, sewer and water services, sidewalks, trails, and driveway approaches are typically considered separate individual units. The total project cost is divided by the total number of assessment units to calculate the fixed cost. Assessment units could be determined on a per lot or per unit basis, or any combination thereof. For lots that may be further

subdivided, the City may determine the number of assessable units based on the number of equivalent lots that could be created from a particular parcel.

4. Combination Method

This method involves using one or more of the above defined methods to more equitably calculate assessments. The combination method may be considered when there is varying land use, undeveloped properties available for future development, or other circumstances involving the defined public improvement that may provide assessment inequities.

C. Determination of Assessable Costs, Rate and Term

1. Water System

- a. Water Mains: The assessable cost for installing new water main improvements shall be based on the level of service required by the property. In residential areas, 100% of the cost of installing water main that is 8-inches in diameter or less shall be assessed to the benefiting properties, and up to 50% for reconstruction, see chart below. In commercial areas, 100% of the cost of installing new water main and 50% of the cost of reconstruction will be assessed, based on current design standards.

The cost of over sizing the water main for general distribution purposes shall not be assessed. Where larger diameter water mains are required to serve commercial, industrial or institutional properties, the increased cost of water main installation shall be assessed to those properties. Where improvements are designed to serve an area beyond that of direct benefit, the City may defer that portion of the assessment and fund it as a system cost.

Reconstruction Assessments – Water System

Years After First Assessment Levied¹	City Share²	Assessed Share²
0-20 years	100%	0%
20-40 years	75%	25%
Over 40 years	50%	50%

¹First assessment refers to the original assessment for properties developed or platted at or before the time the improvement is constructed, or to the deferred assessment for properties developed or platted after the improvement is constructed.

²Percentage based on project construction cost. The assessed share of the project cost, as listed in the above table, will be apportioned against the benefiting properties. The City Engineer will use standard procedures to determine the benefiting property for each specific project.

- b. Water Services: The assessable cost for the construction or replacement of water services shall be 100% of the project cost. The unit cost method will be used to calculate the assessment.
- c. Length of Assessment: The assessment period for sanitary sewer improvements, including new construction and replacement projects, is a maximum of twenty years.

2. Sanitary Sewer

Sanitary Sewer Assessments shall be based on engineering design standards. The assessable cost for installing sanitary sewer improvements shall be based on the type of service required by the property. In residential areas, 100% of the cost of installing new sanitary sewer that is 8-inches in diameter; and up to 50% for reconstruction, shall be assessed to the abutting properties.

Where larger diameter sanitary sewers are required to serve commercial, industrial or institutional properties, the increased cost of installation shall be assessed to those properties. Where improvements are designed to serve an area beyond that of direct benefit, the City may defer that portion of the assessment and fund it as a system cost.

- a. Sanitary Sewer Assessment Formula: Assessments to be levied against properties within the benefited area shall be distributed to those properties on the basis of the following provisions:
 1. Assessment Rate: The assessment rate shall be equal to the "assessable cost" of the improvement divided by the total number of assessable units benefited by the improvement. Projects having an uneven distribution of benefits may be subdivided into separate improvements using multiple assessment methods and rates to more equitably apportion the assessments.
 2. Assessable Units: The assessable units shall be determined as follows:
 - i. *Lateral Sewers.* The assessment method shall be the "unit method", unless otherwise specified by the Council.
 - ii. *Trunk Sewer and Lift Station.* Trunk fees shall be charged as outlined in City Code, Chapter 51: Regulating Public Sanitary Sewer and Water Within the City of Corcoran.
 - iii. *Sewer Services.* The assessable cost for the construction or replacement of sewer service lines shall be 100% of the project cost. The assessment shall be based on the number of sewer services installed for each individual property. This is the unit cost method of assessment.
 3. Assessment Formula for Replacement: The following table shows the cost split for replacement of sanitary sewers (trunk sewers, lateral sewers, and lift stations), if they are to be assessed.

Reconstruction Assessments – Sewer System

Years After First Assessment Levied¹	City Share²	Assessed Share²
0-20 years	100%	0%
20-40 years	75%	25%
Over 40 years	50%	50%

¹First assessment refers to the original assessment for properties developed or platted at or before the time the improvement is constructed, or to the deferred assessment for properties developed or platted after the improvement is constructed.

²Percentage based on project construction cost. The assessed share of the project cost, as listed in the above table, will be apportioned against the benefiting properties. The City Engineer will use standard procedures to determine the benefiting property for each specific project.

4. Length of Assessment: The assessment period for sanitary sewer improvements, including new construction and replacement projects, is a maximum of twenty years.

3. Storm Sewer

Storm sewer improvements shall be classified to include all storm sewer, storm sewer pumping stations, culverts, ditches, rain gardens, swales, street grading and any other improvement, which will facilitate drainage. The assessment for the construction of storm drainage improvements shall be based on the level of service required by the property.

- a. Storm Sewer Assessment Formula: Assessments to be levied against properties within the benefited area shall be distributed to those properties on the basis of the following provisions:
 1. Assessment Rate: The assessment rate shall be equal to the assessable cost of the improvement divided by the total number of assessable units benefited by the improvement. Projects having an uneven distribution of benefits may be subdivided into separate improvements using multiple assessment methods and rates to more equitably apportion the assessments.
 2. Assessable Units: The assessable unit, unless otherwise specified by the Council, shall be the gross area or adjusted area of the benefited properties, both present and future, as determined in the project design.
 3. Assessable Cost: The assessable cost shall be 100% of the total project cost for new or expanded storm drainage improvements, and up to 50% for reconstruction, based on the chart below.
 4. Length of Assessment: The assessment period for sanitary sewer improvements, including new construction and replacement projects, is a maximum of twenty years.

Reconstruction Assessments – Storm Sewer

Years After First Assessment Levied¹	City Share²	Assessed Share²
0-20 years	100%	0%
20-40 years	75%	25%
Over 40 years	50%	50%

¹First assessment refers to the original assessment for properties developed or platted at or before the time the improvement is constructed, or to the deferred assessment for properties developed or platted after the improvement is constructed.

²Percentage based on project construction cost. The assessed share of the project cost, as listed in the above table, will be apportioned against the benefiting properties. The City Engineer will use standard procedures to determine the benefiting property for each specific project.

5. Assessment Formula for Replacement: The cost split for replacement of storm

sewers, lift stations, and miscellaneous drainage improvements, if they are to be assessed, will be assessed in the same manner as sanitary sewer replacement as shown above.

6. Length of Assessment: The assessment period for storm sewers, lift stations, and miscellaneous drainage improvements is a maximum of twenty years.

Where improvements are designed to serve an area beyond that of direct benefit, the City may defer that portion of the assessment and fund it as a system cost.

4. New Street Construction

The City's general policy and practice is to require new residential street construction during land use development applications to be constructed to City standards by the developer/applicant with no special assessments or public bonding support.

5. Street Reconstruction, Rehabilitation, and Mill and Overlays

- a. Reconstruction and Rehabilitation - The assessable cost of street reconstruction and street rehabilitation projects shall be determined by the benefit to properties affected by the project determined through a letter of benefit or similar from a licensed appraiser. The assessment shall be 90 percent of the low value of the benefit. For example, if the benefit for a direct access residential property was valued from \$12,000-\$15,000 per unit, the assessment would be \$10,800 ($\$12,000 \times .9 = \$10,800$). If the benefit for an indirect access residential property was \$3,000-\$5,000 per unit, the assessment would be \$2,700-\$3,600 ($\$3,000 \times .9 = \$2,700$). The method of assessment shall be based on per unit. The remaining cost shall be a City cost.

- 6.

1. For properties with access to the street receiving a reconstruction or rehabilitation, each existing unused development right and newly created development right resulting from the project will be assessed an amount equal to the assessment of a direct access property.
2. Landowners receiving assessments for existing unused development rights and newly created development rights may have the option of paying the entire assessment in one lump sum or through deferral until time of plat with no accrued interest during the period of deferral. Assessments will be filed with the County Recorder.

- b. Mill and Overlays - The assessable cost of overlays and mill and overlays shall be determined by the benefit to properties affected by the project determined through a letter of benefit or similar from a licensed appraiser. The assessment shall be 90 percent of the median value of the benefit. For example, if the benefit was valued from \$1,500-\$2,500 per unit, the assessment would be \$1,800. The method of assessment shall be based on per unit. The remaining cost shall be a City cost.

1. Exception: The City has completing initial overlays on roads without assessments, the following roads will receive one overlay without an assessment in order to complete the existing program, if the road is improved to a higher standard instead of an overlay the exception no longer applies: Bluestem Trail, Cates Longhorn Road, Chisolm Trail, Country Circle, Country Road, Hage Drive, Heather lane,

High Bluff Lane, Hunters Ridge, Jackie Lane, Jubert Lane, Julie Ann Drive, Larkin Road, Maple Hill Road, Meadow Creek Drive, Mohawk Road, Oswald Farm Road, Pioneer Trail, Robert Lane, Rolling Hills Road, Rush Creek Drive, Schutte Farm Road, Sunnyhill Road, Sunset Lane, and Windmill Drive.

- c. Length of Assessment - The assessment period for street improvements is a maximum of twenty years.

7. SIDEWALK

The front footage or unit cost method shall be the basis for assessment. The assessable cost for sidewalk improvements shall be 100% for both new construction and reconstruction up to 5 feet wide. Sidewalk maintenance and rehabilitation shall be repaired or replaced to the original standard and is the responsibility of the abutting property owner.

8. DRIVEWAY APPROACHES

Driveway approaches shall be part of the overall project and not assessed separately. The improvement to driveway approaches should be considered as the amount of benefit is established.

D. Deferred Assessments for Green Acres

In cases where improvement projects are determined to benefit properties that have been certified to qualify for Green Acres exemption, the City will determine that portion of the project cost that benefits those properties, and finance that portion of the project cost as a system cost. Landowners of benefiting properties may have the option of paying the entire assessment in one lump sum or through deferral as allowed by Minnesota Green Acres statutes. Once the benefiting properties no longer qualify for Green Acres status, the City may recover the system cost. Interest will not be accrued during the period of deferral if assessed on a Green Acres parcel which is not designated as homestead property. Assessments to landowners of Green Acres parcels which contain both homestead and non-homestead assessment units will accrue interest during the period of the deferral on the homestead assessment units only. Assessments against Green Acres parcels will be filed with the County Recorder.

E. Deferred Assessments for Undeveloped Property

In the Council's discretion, the City may, at the meeting in which the Council approves an assessment, levy the assessment but defer the first installment of the assessment for unimproved property until a designated future year, or until the platting of the property or the construction of improvements. However, all deferred assessments must be paid within 30 years of the assessment levy. The City Council may set, by resolution, terms, conditions, standards, and criteria for the deferral and future payments. Assessments deferred pursuant to this section shall not accrue interest during the period of deferral. The City shall file a certificate with the county recorder stating the legal description of property subject to deferred assessments, and the amount of the deferred assessments. The City shall include all benefitted property in the assessment proceedings, including those properties on which it determines to

defer assessments.

F. Determination of Assessment Rate and Terms

1. **Interest Rate on Assessments**: The City will charge interest on special assessments at a rate specified in the resolution approving the assessment roll. If bonds were sold to finance the improvement project, the interest rate shall generally be one percent (1.0%) more than the average rate of the bonds, rounded to the nearest quarter of a percent. If no bonds were sold, the interest rate shall be set using the same formula based on the current bond market.
2. **Length of Assessment**: The assessment period for all improvements is subject to the requirements of the bond market at the time of project financing and thus may vary in length from the time periods proposed.

G. Undeveloped Property

The City shall require the developer, owner or sub-divider of any property within the City's corporate limits desiring to install street, curb and gutter, sidewalk, sanitary sewer or water main improvements to follow the City's subdivision ordinance, in addition to the following:

1. Upon written request by a developer, the City Council shall give consideration to the preparation of a feasibility report to determine the feasibility of construction for the desired improvements. The developer will prepare a plan and other such information, as the Council requires, prior to the Council making a decision on the request.
2. The developer and/or the property owner are required to sign a Developer's Agreement and Petition and Waiver Agreement, in a form acceptable to the City, prior to awarding a contract.
3. At the completion of an improvement, all improvement costs will be recorded or certified to the County per the Developer's Agreement

H. Petitioned Improvement Projects

The City will consider petitioned improvement projects. However, the need for specific projects shall be determined based on engineering standards (e.g. the existing condition represents a physical or structural hazard, or is no longer cost-effective to maintain, etc.) as determined by the City Public Works Superintendent and City Engineer and approved by the City Council. The City may consider the following information in approving or denying the petition: comprehensive cost of the project; cost to individual properties; demonstrated need for the project; existing site conditions of the proposed project; geographic scope of the project area, and any other information the City deems relevant. The City Council has the authority to initiate non-petitioned improvement projects, if it is felt the improvements are in the best interest or safety of the citizens.

Special Assessment Procedures

Purpose:

This procedure is for internal purposes to summarize statutory and administrative requirements with respect to special assessments. Changes occur statutorily on an annual basis and administratively through Council direction and administrative review on an on-going basis. Verification of any changes needs to occur prior to utilizing this document as those changes may supersede the contents of this document at the time of approval.

Procedure:

I. Initiation of Proceedings

Either a petition from affected property owners or the Council initiates Minnesota State Statute chapter 429 proceedings.

- A. By Petition: If the Council chooses to proceed with an improvement based on a petition it must have the signatures of the owners of at least 50 percent in frontage of the property bordering the proposed improvements.
- B. By Council: The Council may act on its own initiative in proposing a local improvement and ordering a feasibility report. The Council must calculate the cost of the improvement or direct staff to do so.

II. Feasibility Report

Whether initiated by petition or by Council, Chapter 429 requires that the city engineer, or another person with similar skills, prepare a feasibility report. The feasibility report must cover such factors as whether the project is necessary, the availability of money in the general fund to pay the city's share of the cost, an estimate of that cost, whether the improvement is cost effective, and any other information necessary for Council consideration. The feasibility report must also include the estimated cost of the improvement as recommended. Since a reasonable estimate of the total amount to be assessed and a description of the methodology used to calculate individual assessments for affected parcels must be available at the hearing it could be part of the commissioned report. The feasibility report is integral to the assessment process. Best practice suggests that the City Council pass a resolution receiving the report and provide preliminary notice of the improvement.

III. Initial Considerations

The law requires two public hearings commonly known as an improvement hearing and an assessment hearing; in between these two public hearings Council may order the improvement, decide how to construct the project and tabulate an assessment roll.

- A. Determining Benefit Districts: Determining what area benefits from improvement projects, or the area against which the City will levy assessments, is a major policy

decision for the City Council. The benefit district varies with the kind of improvement. For some improvements, such as a water tank, the area benefited might be very large. In levying an assessment to finance the tank's construction the Council might assess the entire area the tank services. The special benefit test still applies. City staff, consulting engineers and attorneys may provide the basis for Council to determine what area or district to assess for a specific improvement because that area benefits from the improvement.

- B. City's Share: At any time before or after the City actually incurs expenses for the improvement, the Council must pass a resolution determining how much the City plans to pay and separate that from amounts to be assessed. Best practices suggest the Council work with an appraiser and an attorney to determine the appropriate City share of a particular project. The City has adopted a policy to address the methodology of the assessment calculations.
- C. Non-abutting Property: The Council may wish to levy assessments against adjacent, non-abutting properties if the properties benefit from the improvement.
- D. Service Laterals: City utility ordinance requires that property owners maintain private water and sewer service laterals. When an improvement project requires new service laterals the City may require that property owner to install or replace them.
- E. May Omit Improvement Hearing: The Council may omit the improvement hearing if 100 percent of the affected landowners sign the petition requesting the improvement. If the landowners are not paying 100% of the project costs the City will consider holding both public hearings.
- F. Two or More Simultaneous Local Improvements: When the City proposes undertaking two or more local improvements simultaneously the City does not need to issue separate notices and hold separate improvement hearings on different dates. The notice will describe each improvement separately, stating the estimated cost for each one and noting that there will be a hearing to address each improvement.

IV. Prepare for the Improvement Hearing

The purpose of the first hearing is for the Council to discuss a specific local improvement before ordering it done. The Council considers all the information in the feasibility report and any other information necessary for Council deliberation.

- A. Publish Notice of the Improvement Hearing: The City must publish notice of the initial public hearing on the proposed project twice in the official newspaper, stating the time and place of the hearing, the general nature of the improvement, the estimated cost, and the area proposed to be assessed. The notices must appear at least one week apart. At least three days must elapse between the last publication date and the date of the hearing.
- B. Mail Notice of the Improvement Hearing: The City must mail a notice once to each property owner in the proposed assessment area, at least 10 days prior to the improvement hearing that states the time and place of the hearing, the general nature of the improvement, the estimated cost and the proposed assessment area. The notice must also contain a statement that a reasonable estimate of the cost of the assessment will be

available at the hearing. The City will diligently make every effort to notify citizens about assessment proceedings. According to statute, failure to give mailed notice of the improvement hearing will not invalidate subsequent assessment proceedings. Notice to other governmental entities must be sent out at least two weeks before the improvement hearing, by registered or certified mail to the head of the instrumentality, department or agency having jurisdiction over the property.

V. Improvement Hearing

At the improvement hearing, interested persons may voice their concerns, whether or not they are in the proposed assessment area. A reasonable estimate of the total amount to be assessed and a description of the methodology used to calculate individual assessments for affected parcels must be available at the hearing. If the Council rejects the project, it may not reconsider that same project unless another hearing is held following the required notice. The Council must prepare a record of the proceedings and make written findings. The Council may adjourn and subsequently continue the improvement hearing. To provide proper notice, before the improvement hearing is adjourned, the Council must state on record, the date, time and place of the continuation of the improvement hearing, if any.

VI. Ordering the Improvement

A resolution ordering the improvement may be adopted at any time within six months after the date of the improvement hearing.

- A. Vote Requirements for Ordering the Improvement: If the improvement is made pursuant to a legally sufficient petition from property owners, the Council adopts the resolution by a simple majority vote of all members of the Council. If there is not a petition, adoption requires a 'super-majority' vote, meaning the council can only adopt the resolution by a four-fifths vote of all members of the Council.

- B. Time Limits for Local Improvements: The resolution ordering the improvement may be adopted at any time within six months after the date of the improvement hearing. Either arrangements for day labor or a contract must be made within one year of adopting the resolution ordering the improvement, unless the Council specifically states a different timeframe in the resolution ordering the improvement.

VII. Competitive Bidding

The law permits the Council to carry out, in advance of the assessment hearing, all the steps prior to, but short of, actually issuing of a contract for the improvement. Thus, if the Council wishes to provide firm estimates of costs at the hearing, it may, in addition to the required preliminary report, prepare completed plans and specifications, advertise for bids, and open and tabulate them before the assessment hearing.

Once the Council orders a public improvement, staff or consultants prepare the necessary plans and specifications and the Council either:

- Contracts for all or part of the work to be performed by outside parties, or
- Orders all or part of the work to be done by city staff and contracts for any necessary materials and equipment.

In either case, contracting law applies. The City Attorney should coordinate the

contracting process in combination with the special assessment process.

VIII. Prepare the Proposed Assessment Rolls

The City Clerk, with the assistance of the engineer or other staff prepares the proposed assessment rolls. The proposed assessment cannot exceed the increase in market value accruing to the property as a result of the public improvement project.

Road Assessment Calculations Components:

- A. Future Lots within the Combined Method Calculation: The maximum potential parcels are calculated with the current zoning.
- B. Cemeteries: A cemetery cannot be assessed in accordance with State Statute.
- C. Right of Way: Parcels that are entirely right of ways will not be assessed.
- D. Rounding: Calculation of assessment will need to be adjusted due to rounding. Practice is that \$.01 per parcel will be adjusted either positively or negatively beginning with the last parcel listed.

IX. Prepare for the Assessment Hearing

The purpose of the second hearing is to give property owners an opportunity to express concerns about the actual special assessment. The Council will pass a resolution setting the date and time of the assessment hearing and direct the City Clerk to publish and mail notice about the assessment hearing.

- A. Publish Notice of the Assessment Hearing: At least once and at least two weeks before the assessment hearing, the City must publish notice of the hearing in the city newspaper. The published notice must include the hearing time, date, place, overall project description, area to be assessed, total cost of the improvement, a description of a landowner's right to appeal the assessment, and any deferment options, if available.
- B. Mail Notice of the Assessment Hearing: At least two weeks before the hearing the City must mail notice of the hearing to each affected property owner. This mailed notice must include the amount of the special assessment against the individual parcels, a description of the landowner's right to appeal the assessment, possible prepayment provisions, and the interest rate on the assessments. Failure to comply with the requirements for published and mailed notice invalidates the assessments. The Clerk will execute an affidavit attesting to the mailing to property owners.

X. Assessment Hearing

The assessment hearing may be adjourned and continued to another time. If the assessment hearing is adjourned, proper notice shall be given, stating for the record, the date, time and place of the continuation of the hearing.

- A. Resolution Adopting Assessment Roll: At the assessment hearing the Council shall hear and consider all objections to the proposed assessment, whether presented orally or in

writing. The Council may change or amend the proposed assessment as to any parcel. Council must by resolution adopt the special assessment against the lands named in the assessment roll. Once the assessment roll is adopted the assessments are set and become liens against the properties listed. The Council must prepare a record of the proceedings and written findings as to the amount of the assessment roll at this hearing.

- B. Council Decides Interest of Special Assessments: Special assessments may bear interest at any rate the Council determines. In setting the rate the Council should make sure there is a reasonable relationship between the assessment interest rate and the bond interest rate if the City is issuing bonds to finance the project. If the city finances the project with funds on hand without using bonds, the Council will want to look at the interest rate the City would otherwise have earned on the funds.
- C. Council Decides Payment Timelines: The Council must also decide the number of years over which the property owners may pay the assessment. The statutes permit payment over a period of not more than 30 years.

XI. Sending of Final Notice

The law does not require that the City send final notice of assessment to property owners if the amount assessed is the same as that listed in the previously mailed assessment hearing notice. The City chooses to notify property owners of all final assessment amounts whether they differ from the proposed assessment or not. Staff will also notify owners by mail the interest rates and prepayment requirements as stated in the proposed assessment notice.

XII. Certification of Special Assessment Rolls

The City Clerk must certify the assessment rolls to the County Auditor by November 30. The Assessment Rolls need to be accompanied by Council Resolution, certificate with the city seal signed by the City Clerk and a rate card. The County Auditor spreads the assessment every year for collection with taxes.

XIII. Payment of Assessments and Interest

Property owners initially have two options regarding their assessment. They can either pay the total amount of their assessment immediately, or pay the assessments in annual installments with interest under the terms set by the Council.

The property owner can:

- Pay the entire amount of the assessment within 30 days after the Council adopts the assessment rolls with no interest.
- Pay the entire amount any time after 30 days, but before any certification has been made to the County Auditor with interest accrued to the date of payment.
- Any time after the certification the property owner may still pay the entire remaining unpaid amount to the City. The property owner must pay the entire remaining unpaid amount of the assessment before November 15 of any year and must also pay all interest accrued until the end of that calendar year.

If the property owner elects not to pay the entire amount of the assessment at once, they may pay it in annual installments spread over the number of years the Council has allowed

including interest calculated at the rate established by the Council.

XIV. Deferred Assessments

Deferred assessments are certified to the County Auditor but collection is deferred. All deferred assessments constitute liens on the property and must be paid within 30 years of the assessment levy. Property owners may request deferment provided the property owner or the property meets certain criteria. The City authorizes deferrals for undeveloped property and Green Acres deferrals. If the assessment deferral is for undeveloped property, or for a Green Acres assessment unit which is not designated as homestead property, no interest shall accrue during the period of the deferral. If interest is deferred with the assessment it will be computed on a compounding basis. Any interest on deferred assessments may be paid or deferred during the period of the deferral.

- A. Notice of Deferred Assessments: The City will record deferred special assessments with the County Auditor. The certificate of the deferred assessment will contain the type of deferral.

- B. Interest on Deferred Assessments: Property owners may pay interest (if applicable) either annually during the period of deferment, or when the assessment becomes payable. If interest is deferred with the assessment it will be computed on a compounded basis.

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STAFF REPORT

Agenda Item 10c.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: Bellwether Park Improvement Project - Boardwalk	Action Required: Direction

Summary:

Trail plans in the Bellwether development include a boardwalk to connect a portion of the community to the planned open space/neighborhood park. The draft alignment is attached to this report. Over the past couple of years, the Parks and Trails Commission has reviewed boardwalk designs and discussed park improvement priorities. Most recently, at the September 17, 2020 meeting, the Parks and Trails Commission recommended proceeding with the boardwalk project in 2021. The next step is for the City Council to review that recommendation.

The cost of the boardwalk is to be shared by the developer and the City of Corcoran. The development agreement for the Bellwether development includes a capped amount for park dedication contribution which is a mixture of land and cash. Any amount over that cap is the responsibility of the City. While a formal design and quote needs to be completed to have a firm estimate, it is assumed that the overall cost of the boardwalk to be \$350,000-\$450,000 with a City contribution between \$100,000-\$200,000. These are estimates based upon quotes the developer received in 2019. It is requested that the City Council provide staff direction on whether or not to proceed with this project in 2021.

Financial/Budget:

The Park Dedication Fund has a cash balance of \$828,895.60. The City portion of the costs would be paid from this fund. Additional park dedication funds will be received as development continues throughout the city.

Additional future park improvements requiring investment include the following:

- City Park
- Ravinia open space park
- Bellwether open space park
- Bellwether neighborhood park
- Town square park
- Trails along County Roads

Options:

1. Take no action and defer boardwalk construction until a future time
2. Direct staff to begin design work for boardwalk construction in 2021 including obtaining quotes for construction; direct the Parks and Trails Commission to review quotes and make a recommendation to Council

Recommendation:

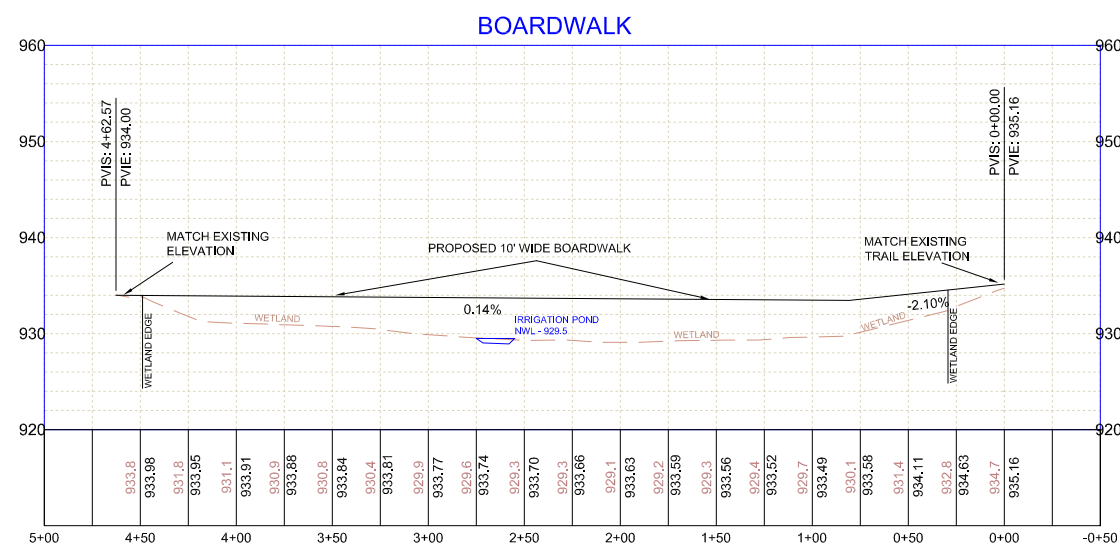
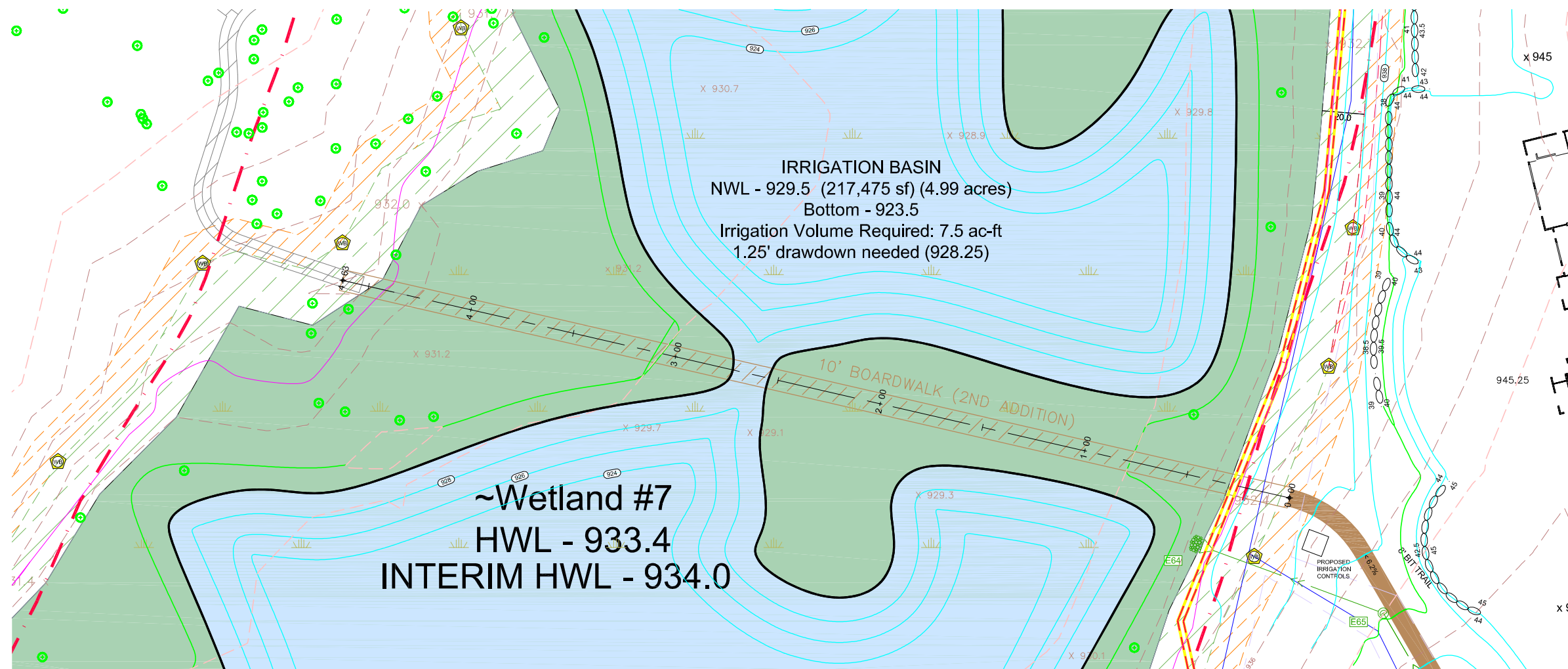
Staff supports the Parks and Trails recommendation to direct staff to begin design work for boardwalk construction in 2021 including obtaining quotes for construction; and directing the Parks and Trails Commission to review quotes and make a recommendation to Council

Council Action:

Consider a motion to direct staff to begin design work for boardwalk construction in 2021 including obtaining quotes for construction; direct the Parks and Trails Commission to review quotes and make a recommendation to Council

Attachments:

1. Boardwalk Exhibit



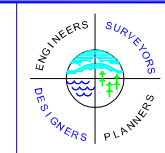
EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
NE - SHEETS	10	RSM	10/29/18	South EOF at 945.0
DRAWN BY	11	MJV	11/01/18	SIDEWALK, PED RAMP & WM REVISION
ERJ	12	ERJ	11/20/18	TEMP CDS REVISION - PLAN UPDATES
CHECKED BY	13	ERJ	01/03/19	PARK TRAIL/STORM REVISIONS
RSM	14	ERJ	03/07/19	WATERMAIN CONNECTION/METER REVISIONS
DATE	15	ERJ	03/22/19	WATERMAIN CONNECTION/METER REVISIONS
07/13/18	16	ERJ	05/03/19	IRRIGATION POND (WET 7) REVISIONS

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Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 07/13/18 Lic. No. 26728



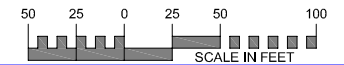
SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

CORCORAN, MINNESOTA

BOARDWALK
BELLWETHER 1ST ADDITION
PULTE HOMES OF MINNESOTA, LLC

FILE NO.
 72905-313



STAFF REPORT

Agenda Item 10d.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: 2021 Legislative Priorities	Action Required: Approval

Summary:

The 2021 legislative session began on January 4th and must end by May 17, 2021. As in previous years, staff will work with legislators to promote the priorities of the City of Corcoran and to attempt to eliminate legislation hurtful to the City. Additionally, the League of Minnesota Cities and Metro Cities will advocate on behalf of their member cities which includes Corcoran.

In order to communicate effectively with the legislators, it is requested that the City Council review proposed legislative priorities and provide staff with direction for those conversations. Attached to this report is a draft document showing draft legislative priorities.

Financial/Budget:

N/A

Options:

1. Approve 2021 legislative priorities as presented.
2. Approve 2021 legislative priorities with amendments.

Recommendation

Approve 2021 legislative priorities as presented.

Council Action:

Consider a motion to approve 2021 legislative priorities.

Attachments:

1. Draft 2021 legislative priorities for the City of Corcoran



CITY OF CORCORAN

2021 Legislative Priorities

Thank you for taking the time to review the legislative issues affecting the City of Corcoran. The City appreciates your help in furthering our mission to provide high quality public services in a cost effective, responsible, and professional manner in order to create a preferred environment to live, work, play, and conduct business.

Topic #1: General Government

- **Local Decision-Making Authority:** The City opposes legislation that erodes local decision making and control. We believe that decision making happens best at the local level.
- **Unfunded Mandates:** Many bills passed by the legislature and adopted into law have direct effects on cities. Bills should include language stating that additional costs from State requirements must be paid for with State allocated funds. Additionally there are often bills introduced which require additional reporting from cities. This affects smaller communities the hardest which have the fewest staff. Existing unfunded mandates should be modified or repealed where possible; no additional statewide mandates should be enacted unless full funding for the mandate is provided; cities should not be forced to comply with unfunded mandates.
- **Levy Limits:** The City of Corcoran strongly opposes levy limits and other forms of levy restrictions imposed upon local governments.

Topic #2: Transportation

- **Street Improvement District:** Current law does not allow for the collection of transportation fees as cities develop other than the existing 429 process which is overly burdensome on existing property owners. The City supports the option to create a street improvement district to dedicate funds towards transportation improvements as development takes place similar to the existing authority to impose fees on new development of other infrastructure such as water, sanitary and storm sewer, and park purposes.
- **State Aid Funds:** The City of Corcoran roads deteriorate on a more aggressive pace due to the amount of pass through traffic. Although the City receives some state aid funds, the amount is nowhere near the level needed to offset the additional maintenance costs. Additional funding should be provided.

Topic #3: Housing and Land Use

- City Role in Planning: Cities facilitate the development of housing via land use planning, zoning ordinances, subdivision regulations, and rental licensing. Cities should have sufficient authority and flexibility to promote housing types best suited to meet local needs, public purposes and goals. Corcoran strongly opposes any effort to reduce, alter, or interfere with city authority to carry these functions in a locally determined manner.

Topic #4: Fiscal Reform

- Local Government Aid: The City of Corcoran receives no local government aid despite ever increasing costs to maintain infrastructure for those who do not live in the City. Formula adjustments should be made to consider costs attributed to non-residents travelling through and utilizing infrastructure.

Topic #5: Officer or Firefighter Disability Funding

- Minnesota Statute 299A.465 required cities to pay health insurance costs for officers or firefighters following disability. This requirement placed on cities by the State of Minnesota should be funded and not fall on individual cities.

Topic #6: School Funding

- Inadequate school funding leads to discrepancies based upon which district has the highest tax capacity. Corcoran sends students to five school districts, more rural districts such as Rockford and Buffalo do not have access to resources equal to high tax capacity districts such as Wayzata and Osseo. This places an undue burden on property owners and reduces the ability to provide a high quality education without cutting important after school programs important for student development.

Sincerely,



Brad Martens, City Administrator

bmartens@ci.corcoran.mn.us

763-400-7030

Corcoran City Council

Mayor Tom McKee

Councilmember Jonathan Bottema

Councilmember Jeremy Nichols

Councilmember Alan Schultz

Councilmember Manoj Thomas

STAFF REPORT

Agenda Item 10e.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: Covid-19 Pay Extension	Action Required: Approval

Summary:

On March 26, 2020, the City Council approved a COVID-19 Pay program in line with requirements of the federal government. The approved program is attached to this report. The program expired at the end of 2020.

Due to the extended impact of the COVID-19 pandemic, staff is requesting the Council extend this program through June 30, 2021. The extension would not increase any hours available to any individual. Those that have used hours would not receive any additional hours. Through the initial program, two staff have used COVID-19 pay.

Financial/Budget:

Extending the program would allow another type of leave to react to the needs of the pandemic including individual/family quarantines, caring for individuals, etc. as outlined in the program. There are no direct budget costs other than employees not utilizing their PTO banks for these specific instances.

Options:

1. Extend the COVID-19 Pay program through June 30, 2021.
2. Decline to extend COVID-19 Pay program

Recommendation:

The need for quarantines and family care continues to be just as important as 2020. Staff recommends extending the COVID-19 Pay program through June 30, 2021.

Council Action:

Consider a motion to extend the COVID-19 Pay program through June 30, 2021.

Attachments:

1. Previously approved COVID-19 Pay program

City of Corcoran

COVID-19 Pay Guidelines – Subject to change at any time

Effective April 2, 2020, full-time staff who are required to be off work due to COVID-19, are authorized to use up to 80 total hours of COVID-19 Pay. Part-time staff are authorized to receive COVID-19 pay for his or her average number of work hours in a two-week period. The total number of hours given will be established at the time of leave. The information provided here is based on information available at this time; if at some point in the future we receive further guidance in conflict with this information, we will make appropriate adjustments at that time

COVID-19 Pay is based upon an employee's base pay rate. COVID-19 Pay does not include overtime, supplemental pay, and/or other additional pay unless authorized by law and may not be compounded, stacked, or pyramided. Below are examples of how employees would be treated under various scenarios.

Description	Full-time	Part-time	Temp/Seasonal
Employee is sick - not related to COVID-19	1) Comp-time 2) PTO 3) Extended Leave Bank	Unpaid	Unpaid
Employee with confirmed or suspected COVID-19, as determined by employee's health care provider. If you are not able to secure a medical certification from your medical provider, contact your supervisor.	COVID-19 Pay until exhausted followed by employee use of accrued Comp-time, PTO, and extended leave. Medical certification may be required	COVID-19 pay for his or her average number of work hours in a two-week period. Medical certification may be required. This total number is to be established at time of leave and does not restart with an additional leave.	COVID-19 pay for his or her average number of work hours in a two-week period. Medical certification may be required. This total number is to be established at time of leave and does not restart with an additional leave.
Confirmed COVID-19 contracted from exposure at work.	Workers' Comp supplemented with Injured On Duty or COVID-19 pay, as applicable. Subject to approval by Work Comp provider.	Workers' Comp supplemented with COVID-19 pay. Subject to approval by Work Comp provider.	Workers' Comp supplemented with COVID-19 pay. Subject to approval by Work Comp provider.
Employee must leave work to care for a sick family member(s) - not related to COVID-19	1) Comp-time 2) PTO 3) Extended Leave Bank	Unpaid	Unpaid
Employee must leave work to care for a family member(s) with confirmed or suspected COVID-19, as determined by a licensed health care provider. If you are not able to secure a medical certification from your medical provider, contact your supervisor.	COVID-19 Pay until exhausted followed by employee use of accrued Comp-time, PTO, and extended leave. Medical certification may be required	COVID-19 pay for his or her average number of work hours in a two-week period. Medical certification may be required. This total number is to be established at time of leave and does not restart with an additional leave.	COVID-19 pay for his or her average number of work hours in a two-week period. Medical certification may be required. This total number is to be established at time of leave and does not restart with an additional leave..

Description	Full-time	Part-time	Temp/Seasonal
Extended FMLA Leave. Employee unable to work because they need to care for a son or daughter under 18 years of age whose school or place of care has been closed.	Employer will attempt to find work to complete remotely if possible; if not possible, the first 10 days employee may choose to use PTO or other paid or unpaid leave or may elect to use the COVID-19 Pay described above , following 10 weeks paid at two-thirds the regular rate of pay for the number of hours the employee would otherwise be normally scheduled to work. The 10 weeks of pay is capped at \$200 per day (\$10,000 in the aggregate).	IF employed at least 30 days: First 10 days paid in accordance with COVID-19 Pay described above; following 10 weeks paid at two-thirds the regular rate of pay for the number of hours the employee would otherwise be normally scheduled to work. The 10 weeks of pay is capped at \$200 per day (\$10,000 in the aggregate).	If employed at least 30 days: First 10 days paid in accordance with COVID-19 Pay described above; following 10 weeks paid at two-thirds the regular rate of pay for the number of hours the employee would otherwise be normally scheduled to work. The 10 weeks of pay is capped at \$200 per day (\$10,000 in the aggregate).

Negative Leave Balances:

Employees with insufficient paid leave may request authorization to allow leave balances to become negative. The City Administrator will review requests on a case by case basis.

Carryover:

COVID-19 Pay shall not carry over from one year to the next.

Ability to send an employee home

Supervisors have the authority to send employees home who are sick and may require a note from a medical provider in order to return.

STAFF REPORT

Agenda Item 10f.

Council Meeting: January 28, 2021	Prepared By: Brad Martens
Topic: Schedule Work Session – Northeast Water Supply Planning	Action Required: Schedule Work Session

Summary:

The City is in the initial process of establishing a water supply system to serve the City in northeast Corcoran. Major decisions will need to be made this year on potential investments into the system. It is requested that a work session be scheduled at 5:30 pm on February 11, 2021 to discuss water supply planning.

Financial/Budget:

Investments in a water system need to be supported by the water fund. If the water fund is unable to pay for the improvements, the general fund would be impacted.

Options:

1. Schedule a work session for 5:30 pm on February 11, 2021.
2. Decline to schedule a work session.

Recommendation:

Schedule a work session for 5:30 pm on February 11, 2021.

Council Action:

Schedule a work session for 5:30 pm on February 11, 2021.

Attachments:

None



From Site to Finish

105 South Fifth Street,
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
www.landform.net

MEMORANDUM

DATE January 20, 2021
TO Brad Martens
CC City Council, Planning Commission, Parks & Trails Commission
FROM Kendra Lindahl, City Planner
RE Active Corcoran Planning Applications

Projects/Comments in blue italics are new

Project marked with an * have moved from active to complete.

The following is a summary of project status for current, active projects:

1. **Certificate of Compliance for the Orht property located at 20600 County Road 30 (PID 11-119-23-23-0004) (city file no. 20-038).** The request is to allow ground mounted solar on the residential property. The application is currently incomplete pending a certificate of survey/site plan, but may be administratively approved if the ordinance standards are met.
2. ***Final Plat and Final Planned Unit Development for “Tavera” (city file no. 20-042).** The application for the first phase of this development includes 33 single family homes south of the main entrance off County Road 116. The item is currently incomplete, but will be scheduled for Planning Commission and City Council action when complete.*
3. ***Final Plat for the Property located at 23825 Tessmer Road (PID 07-119-23-22-0001) and 10005 CR 19 (PID 07-119-23-21-0002) (city file no. 20-043).** The applicant is requesting final plat approval for the subdivision which will create three lots and one outlot. The item is currently incomplete, but will be scheduled for City Council action when complete.*
4. ***Preliminary Plat and Final Plat for “Hunters Place 2nd Addition” at 10110 CR 116 (PID 12-119-23-22-0001) (city file no. 20-044).** The City is requesting approval of a subdivision to create two lots – one for the existing Lothar home and one for the new city well site. The item has been scheduled for a public hearing at the February 4th Planning Commission meeting and City Council action on February 25th.*
5. ***Interim Use Permit for an Accessory Dwelling Unit at 6330 Snyder Road (PID 35-119-23-43-0002) (city file no. 20-045).** Kevin Henn has requested approval of an accessory dwelling unit in an accessory building. The item has been scheduled for a public hearing at the February 4th Planning Commission meeting and City Council action on February 25th.*
6. ***Variance for a front yard setback reduction at 20795 Larkin Road (PID 27-119-23-41-0013) (city file no. 20-046).** Nate Kariniemi has requested approval for a setback variance for construction of a new home on a lot he recently subdivided. The item has been scheduled for review at the February 4th Planning Commission meeting and City Council action on February 25th.*
7. ***Rezoning, Preliminary Plat and Preliminary PUD Plan for Cook Lake Highlands (PID 25-119-23-14-0003) (city file no. 20-047).** Trek Development has requested approval for a mixed use development with a senior co-op, market rate apartment, villa homes, day care and memory care. This item is tentatively scheduled for a public hearing at the March 4th Planning Commission meeting and City Council action on March 25th.*

8. **Wright-Hennepin Cooperative Electric Association request for Wetland Waiver, Preliminary Plat, Variance and Administrative Permit at 19835 Larkin Road. (PID 25-119-23-32-0001) (city file 20-048).** The applicant has submitted a request for a new electric substation on the southwest portion of the site. The wetland waiver is scheduled for Council review on January 28th. The preliminary plat, variance and administrative permit are scheduled for a public hearing at the Planning Commission on February 4th and City Council action on February 25th.
9. **Preliminary Plat and Variance for the Property located at 23020 Strehler Road (PID 17-119-23-32-0003) (city file no. 20-049).** Greg Franzen has requested approval of a subdivision to create three lots and a variance from the minimum lot frontage standards. The application is currently incomplete and will be scheduled for Planning Commission and City Council action when complete.
10. **PUD Sketch Plan Review for Van Blaricom and Schober properties for "Bellwether" (PID 01-119-23-34-0002 and 01-119-23-43-0002) (city file no. 20-050).** Pulte Homes has submitted a request for sketch plan review for a mix of single family homes and villa homes on the 77 acre site. The concept plan has been scheduled for City Council review on January 28th.
11. **Initiation of Agricultural Preserve Expiration at 19550 Schutte Farm Road (PID 13-119-23-21-0006) (city file no. 21-001).** Tom and Ann Schlangen have requested expiration of the Agricultural Preserve designation. The item has been scheduled for City Council review on January 28th.
12. **Concept Plan Review for a New Warehouse / Storage Facility at 22400 State Highway 55 (PID 32-119-23-44-0001) (city file no. 21-002).** Craig Scherber has submitted a request for concept plan review for a storage facility. Staff is reviewing the application and when complete will schedule for City Council review.
13. **Interim Use Permit (IUP) for a Conditional Home Occupation License (CHOL) at 23405 CR 30 (PID 07-119-23-42-0003) (city file no. 21-003).** Jason Larson has requested approval of an IUP for a CHOL to allow auto detailing. The application is currently incomplete and will be scheduled for Planning Commission and City Council action when complete.
14. **Conditional Use Permit and Site Plan for a new NAPA at 19905 75th Avenue (PID 26-119-23-11-0040) (city file no. 21-004),** REH Auto LLC has requested approval of a conditional use permit and site plan for a new 16,400 sq. ft. building. Staff is reviewing the application for completeness. The item is tentatively scheduled for Planning Commission and City Council review in March.

The following projects were recently acted upon and will be closed out:

1. ***Final Plat for Kariniemi Addition at 6780 Rolling Hills Road and 6855 Willow Drive (PID 33-119-23-22-0004 and 33-119-23-21-0001) (PID 36-119-23-24-0045) (city file 20-036).** The applicant has requested final plat approval, but has not addressed the preliminary plat conditions regarding the wetland delineation. *The final plat was approved at the December 21, 2020 City Council meeting and the easement vacation was approved at the January 14, 2021.*
2. ***Rezoning for the property located at 23240 County Road 30 (PID 07-119-23-13-0003) (city file no. 20-040).** The request from T. Scherber Demolition & Excavating is to rezone the property from Transitional Rural Commercial to Rural Commercial. The applicant would initially use the existing accessory structure for vehicle storage as allowed by the existing CUP and would transition the home to office space. *The Planning Commission recommended approval of this item at the December 3rd public hearing and the request was approved by the Council on December 21, 2020.*

City of Corcoran 2021 City Council Schedule

Agenda Item 13.

February 3, 2021 – 4:00 pm

- Goal Setting Work Session continued

February 11, 2021 – Work Session (5:30 pm?) *tentative*

- Northeast Water Supply Planning

February 11, 2021

- Water Fee Feasibility Study Discussion – Recommend Future Stormwater Fee
- Fire Sub-committee Report Work Plan
- Code Enforcement Violation – Westside Tire
- Closed Session – Offers for Southeast Watermain Improvement Project
- Discussion on potential of paving gravel roads
- City Council Agenda Format Discussion
- Finance Staff Planning
- Potential Land Sale – PID 35-119-23-42-0035

February 25, 2021

- Discuss ordinance amendment to address non-residential users in the residential zoning district
- Commissioner appointments – Planning Commission/Parks and Trails Commission
- Planning Commission Annual Report
- Parks and Trails Commission Annual Report
- Recreational Vehicle Ordinance Discussion*
- Hunters Ridge 2nd Addition – City well site
- Interim Use Permit for Accessory Dwelling Unit
- Karinemi Variance
- Active Corcoran Planning Applications
- Wright Hennepin Preliminary Plat and Final Plat

March 11, 2021

- Charter Commission Appointment (review applications)
- Discussion on Open Book meeting vs. Local Board of Appeals and Equalization (December 1 deadline)
- Diamond Lake Regional Trail Corridor Update – Approve Preferred Route